

Table of Contents:

- a. DRC Application
- b. Statement of Use
- c. Aerial
- d. Photographs
- e. Property Survey
- f. Architectural Drawings/Plans
- g. Art of Public Places statement
- h. City of Coral Gables Annual Registration Application



City of
Coral Gables,
Florida

Level

1

Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Development Review General Procedures – Conditional Use

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level One (1) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- Abandonment and Vacations
- Comprehensive Plan Map Amendment - Small Scale
- Comprehensive Plan Map Amendment - Large Scale
- Conditional Use with Site Plan
- Conditional Use without Site Plan
- Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- Development Agreement
- Development of Regional Impact
- Development of Regional Impact - Notice of Proposed Change
- Mixed Use Site Plan
- Planned Area Development Designation and Site Plan
- Planned Area Development Major Amendment
- Separation/Establishment of a Building Site
- Site Plan
- Subdivision Review for a Tentative Plat and Variance
- Transfer of Development Rights Receiving Site Plan
- University Campus District Modification to the Adopted Campus Master Plan
- Zoning Code Map Amendment
- Other: Variance for location of cooling tower building

Requests confirmed by Development Review Official (DRO) at pre-application meeting (signature): _____

Coral Gables Mediterranean Architecture Bonus

- Coral Gables Mediterranean Style Bonus - Table 1
- Coral Gables Mediterranean Style Bonus - Table 2
- Coral Gables Mediterranean Style Bonus - Table 3
- None



City of
Coral Gables,
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Level

1

Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Property information

Street address of the subject property: 10 Edgewater Drive and 60 Edgewater Drive

Property/project name: The Gables Club Condominium Association

Current land use classification(s): Commercial High Rise

Current zoning district(s): MX3 + MF3

Proposed land use classification(s) (if applicable): N/A

Proposed zoning district(s) (if applicable): N/A

Previous use(s)/current use(s) of the property/building(s): Residential Condo

Proposed use(s) of the property/building(s): Cooling tower housing structure

Size of property (square feet/acres) 456,300 square feet

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): 0

Total number of residential units per acre and total number of units 198

Estimated cost of the existing/proposed building/project: \$1,400,000.00

Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

Board of Adjustments - variances 1989, 1990; and in 1993 for entire project

Project Legal Description: Lot(s): _____

Block(s): All of Blocks 3 & 4 and the East 235' of Block 5

Section(s): Revised Plat of Sunset Harbour Plat Book 65, Page 22

Listing of all folio numbers for subject property:

03-4129-066-0000



City of
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Level

1

Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

General information

Applicant(s)/Agent(s) Name(s): Laura L. Russo, Esq., LLC

Telephone Contact No: 305-476-8300 Fax No. 305-476-8383 Email LauraR@Laurarussolaw.com

Mailing Address: 2334 Ponce de Leon Blvd., #240, Coral Gables, FL 33134
(City) (State) (ZIP Code)

Property Owner(s) Name(s): The Gables Club Condominium Association, Inc. c/o Jorge Averhoff

Telephone Contact No: 305-498-5047 Fax No. _____ Email generalmanager@thegablesclub.org

Mailing Address: 10 Edgewater Drive, Coral Gables, FL 33133
(City) (State) (ZIP Code)

Property Owner(s) Name(s): _____

Telephone Contact No: _____ Fax No. _____ Email _____

Mailing Address: _____
(City) (State) (ZIP Code)

Project Architect(s) Name(s): Burton Hersh, AIA

Telephone Contact No: 305-491-1133 Fax No. _____ Email burton@burtonhersh.com

Mailing Address: 130 Miracle Mile, Suite 200, Coral Gables, Florida 33134
(City) (State) (ZIP Code)

Provide the date(s) and type(s) of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

Board of Adjustment 7724-Z, 7229-Z, 7397-Z variances for parking, below base flood elevation, an accessory deck; to allow first 6' of balconies to be excluded on ground area coverage; allow auxiliary structures between street and principal buildings; tennis court and shelter, wall fountain, gatehouse, dock locations, setbacks.



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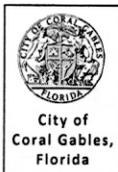
Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to tentatively be scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. First Floor Board Room, 427 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agents shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- Table of Contents with page numbers identifying all below documents.
- DRC Application.
- Statement of use and/or cover letter.
- Aerial.
- Photographs of property, adjoining properties and/or streetscape.
- Property ALTA survey and legal description.
- Architectural drawings (signed/sealed), including: Zoning chart / supporting information; site plan; floor plan(s); and all affected elevations. Maximum of 20 sheets shall be accepted.
- Landscape plan; vegetation assessment; and tree survey / relocation plan.
- Pedestrian amenities and streetscape plan.
- On-street parking analysis.
- Art in Public Places plan and/or statement.
- Lighting plan and signage plan.
- Underground utilities plan and/or statement.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Historical significance letter.
- City Concurrency Impact Statement (CIS).
- Traffic study.
- Name and contact information for property owner, applicant, architect, attorney, etc.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Warranty deed.
- Application fee equal to one tenth of one percent (.001) of the estimated total building construction cost as determined by the City (\$100.00 minimum fee and \$10,000.00 maximum fee). Payment shall be in check form, payable to the City of Coral Gables.
- Other: _____



Level

1

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Posting of the property. The Applicant will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant's responsibility to remove the sign.

Application submittal requirements

Electronic copy. A PDF of the entire application shall be submitted. The total file size shall not exceed 30 MB.

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. The subject property will be posted by the Applicant in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.



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Email: planning@coralgables.com

Phone: 305.460.5211

Applicant(s)/Agent(s) Signature:

Applicant(s)/Agent(s) Print Name:

Laura L. Russo

Address: 2334 Ponce de Leon Blvd., Suite 240
Coral Gables, FL 33134

Telephone: 305-476-8300

Fax: 305-476-8383

Email: LauraR@Laurarussolaw.com

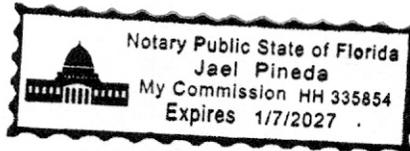
NOTARIZATION

STATE OF FLORIDA/COUNTY OF Miami-Dade

The foregoing instrument was acknowledged before me this 30 day of Oct. 2025 by

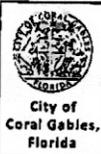
Laura L. Russo

(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced



Level

1

Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Property Owner(s) Signature: <i>Robert A. Stone, PRES.</i>	Property Owner(s) Print Name: The Gables Club Condominium, Inc.
Property Owner(s) Signature:	Property Owner(s) Print Name:
Property Owner(s) Signature:	Property Owner(s) Print Name:

Address: 10 Edgewater Drive
Coral Gables, FL 33133

Telephone: 305-490-5047 Fax:

Email: generalmanager@thegablesclub.org

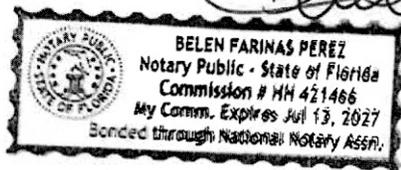
NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 30 day of October by

Robert A. Stone

(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced



City of
Coral Gables,
Florida

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Review

General Procedures - Conditional

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Architect(s) Signature:

Burton Hersh

Digitally signed by Burton Hersh
DN: cn=Burton Hersh,
o=Qualifer=A01410C0000018D31B7C3BD0000F492,
ou=Burton Hersh Architects PA, C=US
Date: 2025.10.27 09:14:30-0400

Architect(s) Print Name:

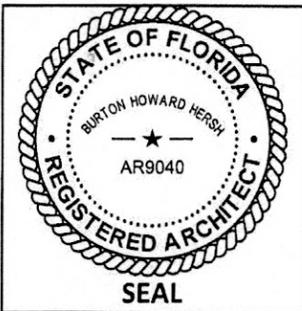
Burton Hersh, AIA

Address: 130 Miracle Mile, #200
Coral Gables, FL 33134

Telephone: 305-446-4877

Fax:

Email: burton@burtonhersh.com

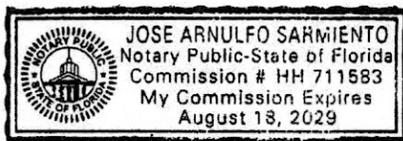


NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 27th day of October by

(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced

Law Office
of
LAURA L. RUSSO, ESQ.

2334 Ponce de Leon Boulevard, Suite 240
Coral Gables, Florida 33134

Tel: 305-476-8300
Fax: 305-476-8383

Email: Laura@LauraRussoLaw.com

November 5, 2025

Ms. Jennifer Garcia
Assistant Director for Planning and Zoning
City of Coral Gables
427 Biltmore Way, 2nd Floor
Coral Gables, Florida 33134

Re: The Gables Club
Property: 10 and 60 Edgewater Drive, Coral Gables, FL
File No.: 24L-126

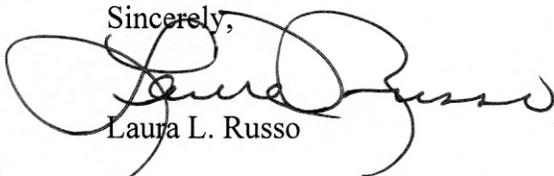
Dear Ms. Garcia,

Our office represents The Gables Club Condominium Association, Inc. We submit this DRC application for review of a proposed structure that will house the new cooling system for the 2 high rise residential towers. The existing geothermal cooling system is failing and needs to be replaced.

The proposed 2 story building to be located in the NW corner of the property is 2,500 square feet in size. It will be setback 43.5 feet from the front property line and 10 feet from the west property line. The cooling system building cannot be pushed further back to match the residential towers front line because existing domestic water, fire protection and sprinkler piping systems are underground in that location along with a fire hydrant above ground.

Should you require additional information, please do not hesitate to call me.

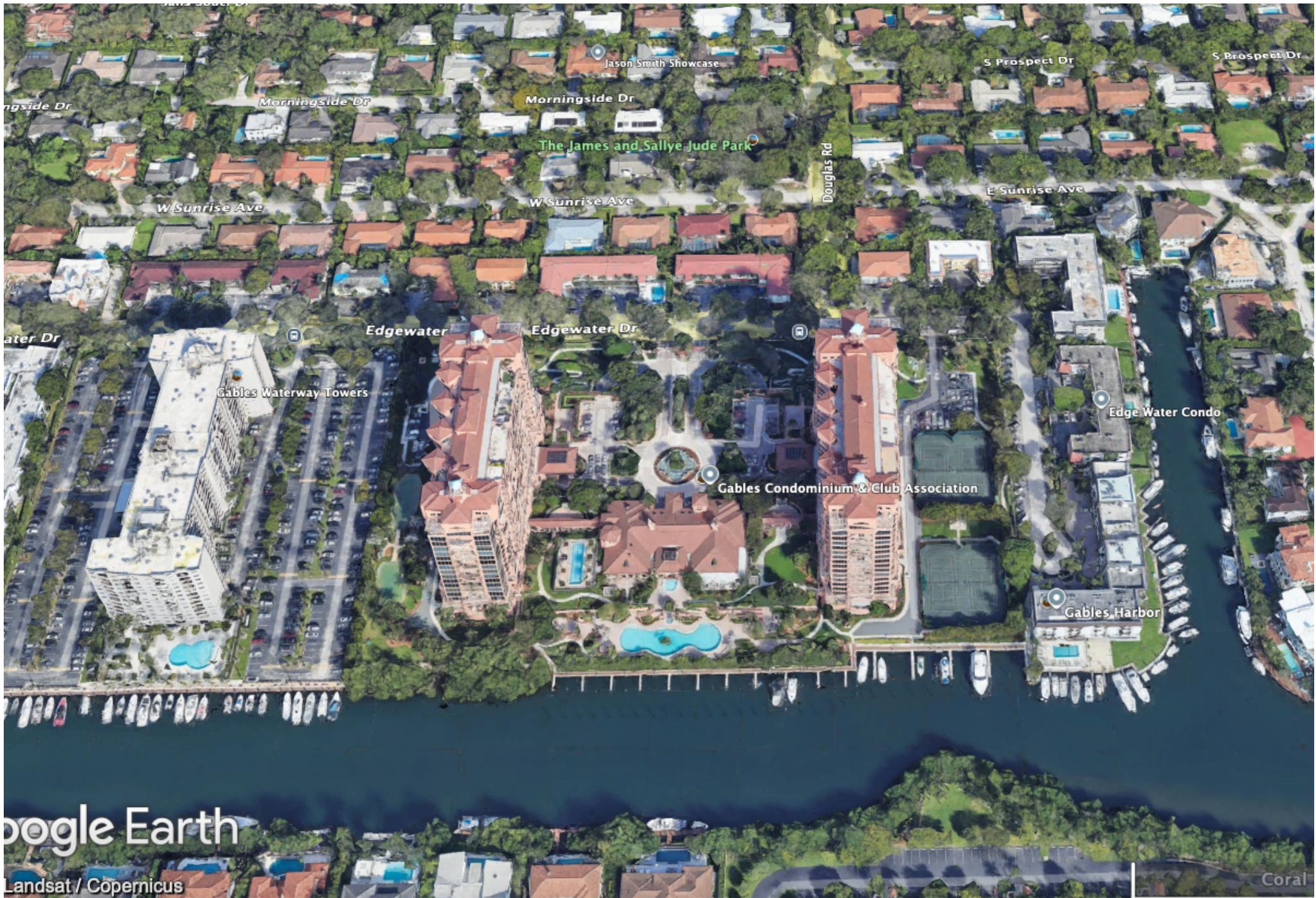
Sincerely,



Laura L. Russo

LLR/jp

Cc: Jorge Averhoff, The Gables Club
Burton Hersch, Architect



Google Earth

Landsat / Copernicus

Coral

PROJECT

Cooling Building at Gables Club Condo

10 EDGEWATER DRIVE
CORAL GABLES, FL 33133

OWNER

**THE GABLES CLUB
CONDOMINIUM AND CLUB
ASSOCIATION**

10 EDGEWATER DRIVE
CORAL GABLES, FL 33133

Master Drawing Index

Architectural

SHEET	SHEET NAME
A-000	Cover Sheet
A-001	Notes and Standards
A-002	Site Context Photographs
A-003	Survey
AS-101	Site Plan
AS-102	Existing And Proposed Site Plan
A-101	Floor Plan
A-201	Building Elevations
A-202	Building Elevations
A-300	Wall Sections
A-301	Wall Sections
A-400	Louvers And Gate Details
A-500	Details
A-900	Isometrics



Location Map N.T.S.

Legal Description

10 EDGEWATER DRIVE SUITE #6 CORAL GABLES, FL 33133

FOLIO NUMBER: 03-4129-066-0001

STRUCTURAL ENGINEER

ARCHITECT

MEP ENGINEER



SEAL/SIGNATURE/DATE

BURTON H. HERSH, AIA AR9040
 VANESSA I. ESTRADA, AIA AR93717
 JOSE A. SARMIENTO, AIA AR97362

PROGRESS SET 09/16/25

Scope of work
 NEW ENCLOSURE TO HOUSE COOLING TOWER

CONSULTANTS
CIVIL ENGINEER

STRUCTURAL ENGINEER

MEP ENGINEER
COMPANY NAME

LANDSCAPE ARCHITECT
COMPANY NAME

SEAL/SIGNATURE/DATE

BURTON H. HERSH, AIA AR9040
VANESSA I. ESTRADA, AIA AR93717
JOSE A. SARMIENTO, AIA AR97362

PROJECT
**Cooling Building at
Gables Club Condo**
10 EDGEWATER DRIVE
CORAL GABLES, FL 33133
OWNER
THE GABLES CLUB
CONDOMINIUM AND CLUB
ASSOCIATION
10 EDGEWATER DRIVE
CORAL GABLES, FL 33133

DISTRIBUTION	DATE
PROGRESS SET	09.03.25
PROGRESS SET	09.16.25

PROJECT NO. 25002.00

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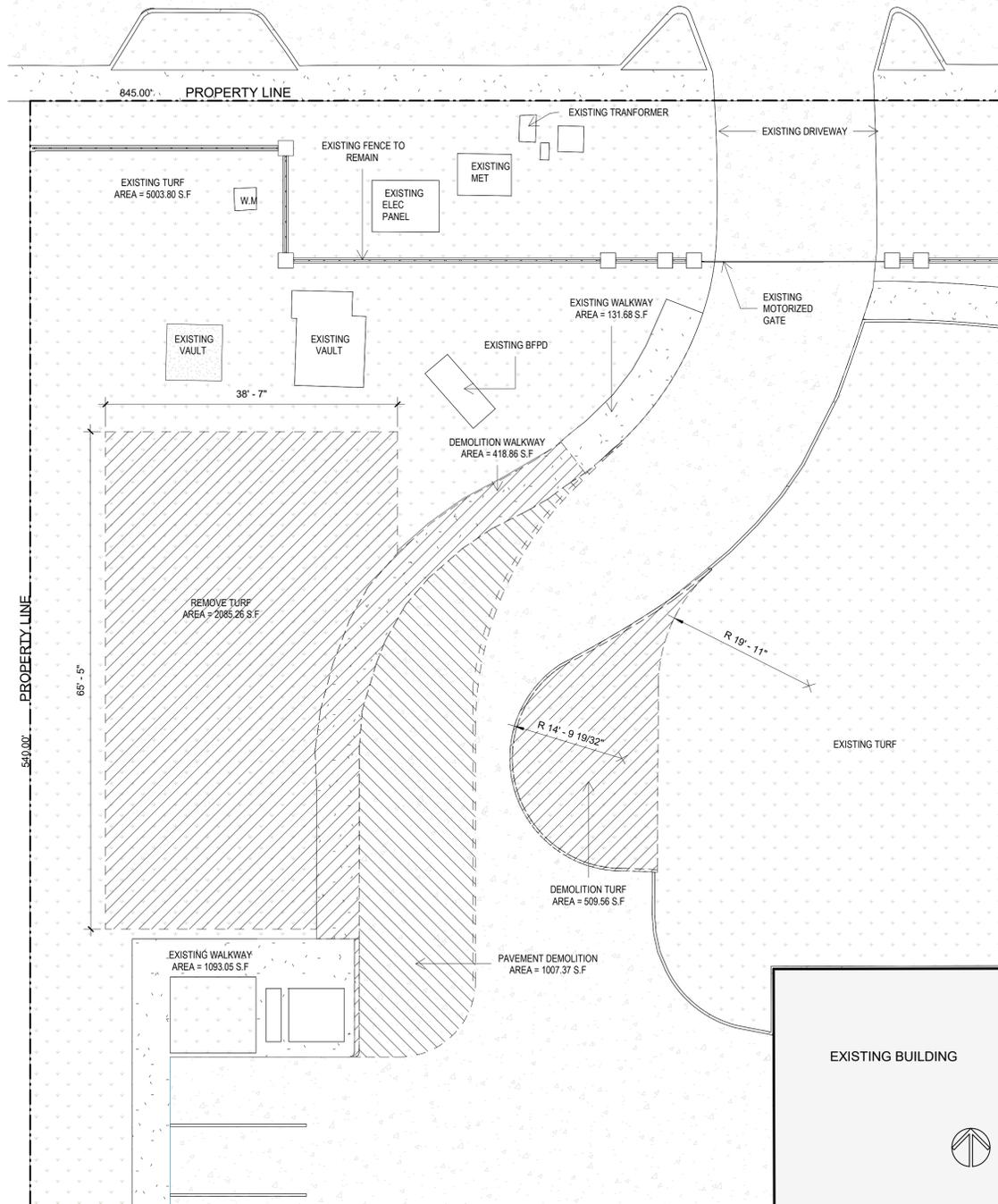
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1" = 10'-0"

SHEET TITLE:

**Existing And
Proposed
Site Plan**

AS-102

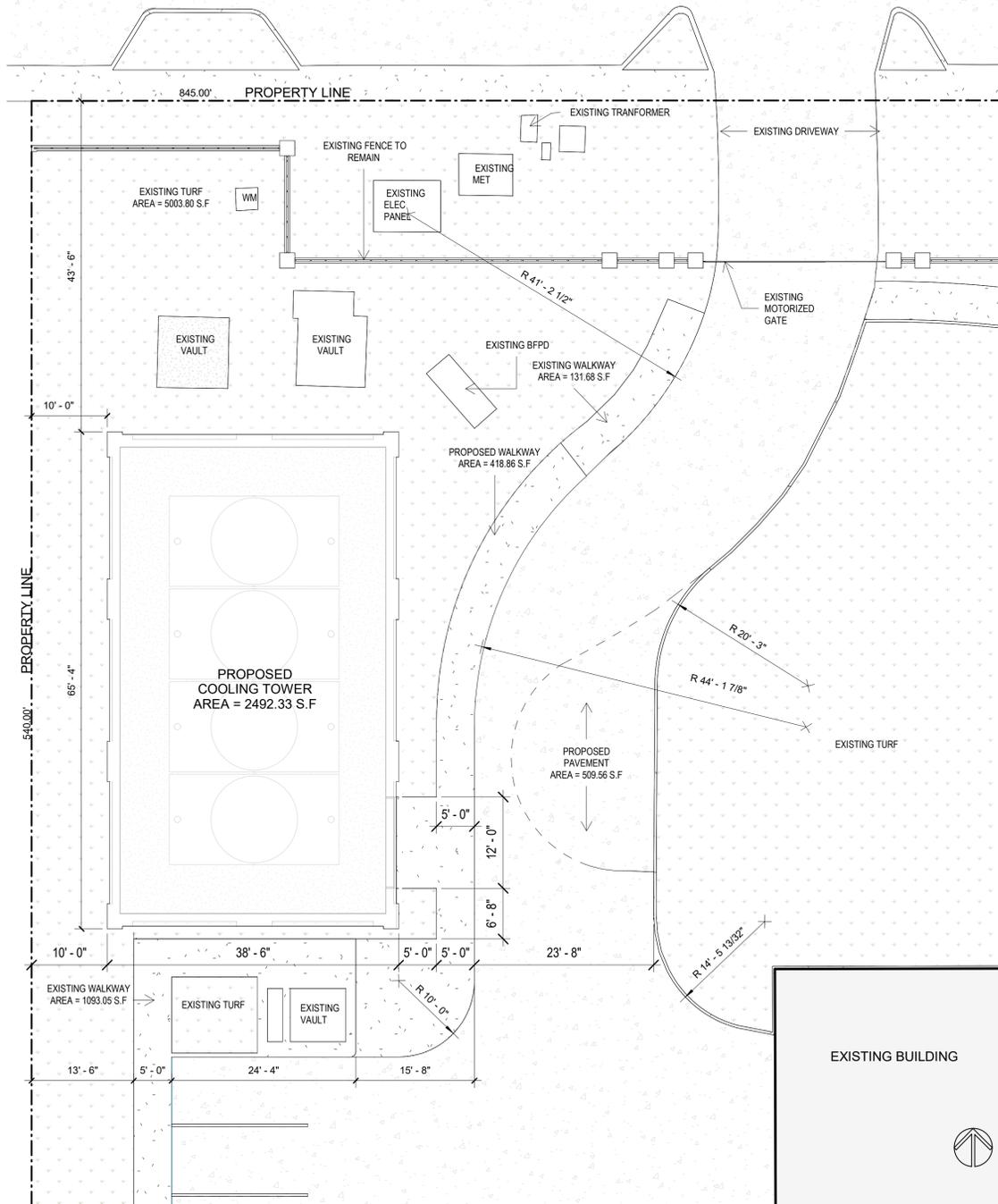
SHEET 05 OF 13



Existing Demo Site Plan

DEMOLITION LEGEND

EXISTING TURF TO BE REMOVED	
EXISTING ASPHALT DRIVEWAY TO BE DEMOLISHED	
EXISTING CONCRETE WALKWAY TO BE DEMOLISHED	
EXISTING TURF TO REMAIN	
EXISTING ASPHALT DRIVEWAY TO REMAIN	
EXISTING CONCRETE WALKWAY TO REMAIN	



Proposed Site Plan

DEMOLITION NOTES

- (Miami-Dade County & City of Coral Gables)
- Permitting & Approvals**
Secure all required permits through the Miami-Dade Permitting & Inspection Center and the City of Coral Gables Development Services Department prior to initiating site work. If the property is within a historic district, obtain Historic Preservation Board approval.
 - Utility Coordination**
Coordinate with utility providers prior to excavation. Confirm locations of existing underground utilities via Sunshine 811 and obtain utility clearance documentation.
 - Site Cleaning & Turf Removal**
Remove existing turf, vegetation, and organic debris within the approved limits of disturbance. Dispose of materials per Miami-Dade environmental guidelines. Protect adjacent landscaping and public right-of-way during operations.
 - Topsoil Stripping & Subgrade Preparation**
Strip topsoil to a depth of 4"-6" or as directed by geotechnical recommendations. Excavate subgrade to required depth per structural plans. Compact subgrade to 95% Standard Proctor Density or as specified by engineering documentation.
 - Erosion Control & Safety Measures**
Install silt fencing, inlet protection, and other erosion control measures prior to disturbance. Maintain throughout construction. Erect temporary construction fencing per Coral Gables code to secure the site and minimize visual impact.
 - Inspection & Documentation**
Schedule required inspections with both jurisdictions before placing fill, gravel base, or concrete. Display all permits on-site and maintain access for inspectors. Notify the Miami-Dade Building Official of final inspection requirements.
- If you're coordinating with a contractor like Solid Foundations, they're well-versed in local compliance and can help streamline the prep phase. Want to build this into a full checklist or proposal draft?

CONSULTANTS
CIVIL ENGINEER

STRUCTURAL ENGINEER

MEP ENGINEER
COMPANY NAME

LANDSCAPE ARCHITECT
COMPANY NAME

SEAL/SIGNATURE/DATE

BURTON H. HERSH, AIA AR9040
VANESSA I. ESTRADA, AIA AR93717
JOSE A. SARMIENTO, AIA AR97362

PROJECT
**Cooling Building at
Gables Club Condo**
10 EDGEWATER DRIVE
CORAL GABLES, FL 33133
OWNER
**THE GABLES CLUB
CONDOMINIUM AND CLUB
ASSOCIATION**
10 EDGEWATER DRIVE
CORAL GABLES, FL 33133

DISTRIBUTION	DATE
PROGRESS SET	09.03.25
PROGRESS SET	09.16.25

PROJECT NO. 25002.00

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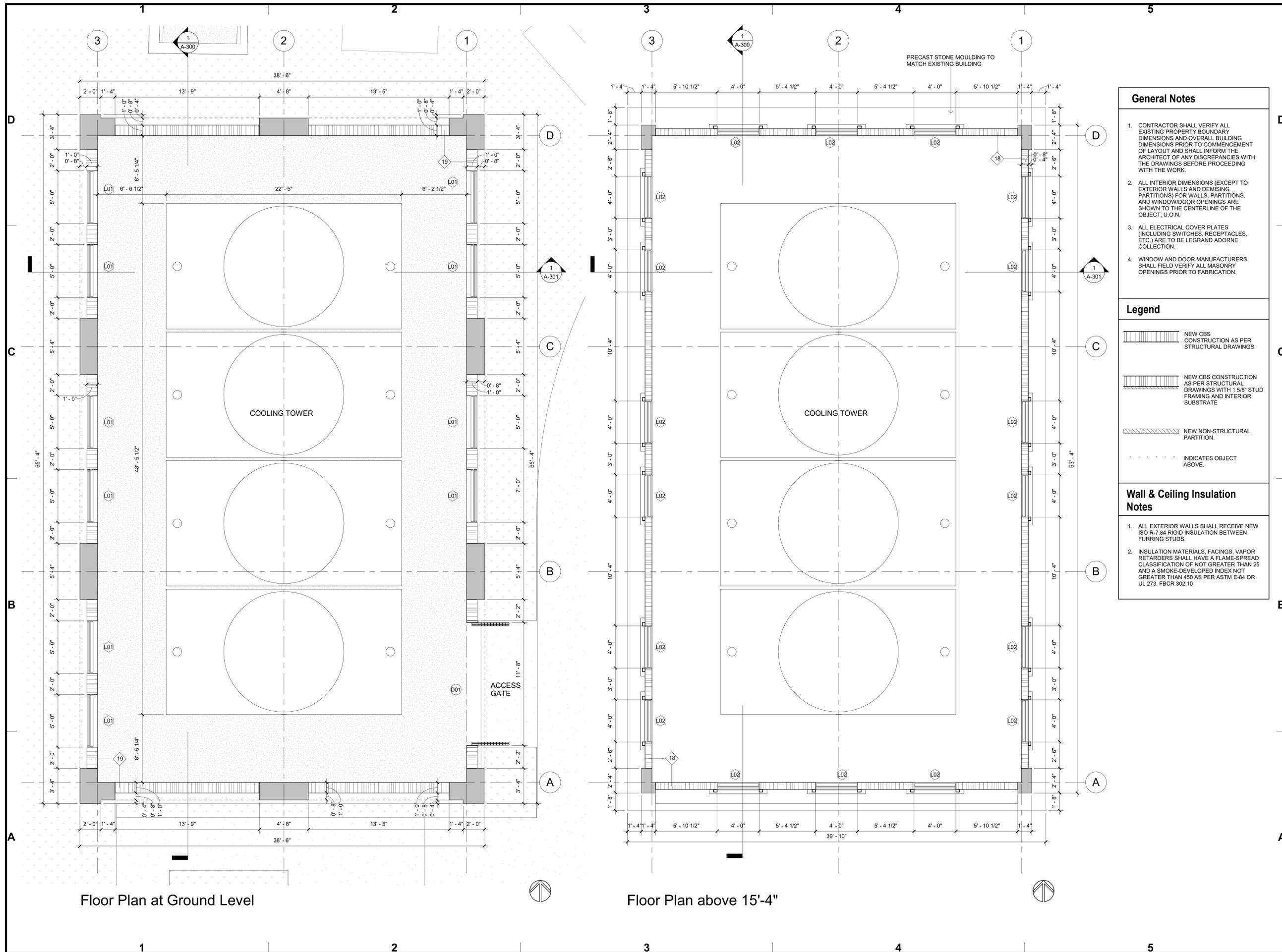
DRAWING SCALE:
1/4" = 1'-0"

SHEET TITLE:

Floor Plan

A-101

SHEET 06 OF 13



General Notes

- CONTRACTOR SHALL VERIFY ALL EXISTING PROPERTY BOUNDARY DIMENSIONS AND OVERALL BUILDING DIMENSIONS PRIOR TO COMMENCEMENT OF LAYOUT AND SHALL INFORM THE ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- ALL INTERIOR DIMENSIONS (EXCEPT TO EXTERIOR WALLS AND DEMISING PARTITIONS) FOR WALLS, PARTITIONS, AND WINDOW/DOOR OPENINGS ARE SHOWN TO THE CENTERLINE OF THE OBJECT, U.O.N.
- ALL ELECTRICAL COVER PLATES (INCLUDING SWITCHES, RECEPTACLES, ETC.) ARE TO BE LEGRAND ADORNE COLLECTION.
- WINDOW AND DOOR MANUFACTURERS SHALL FIELD VERIFY ALL MASONRY OPENINGS PRIOR TO FABRICATION.

Legend

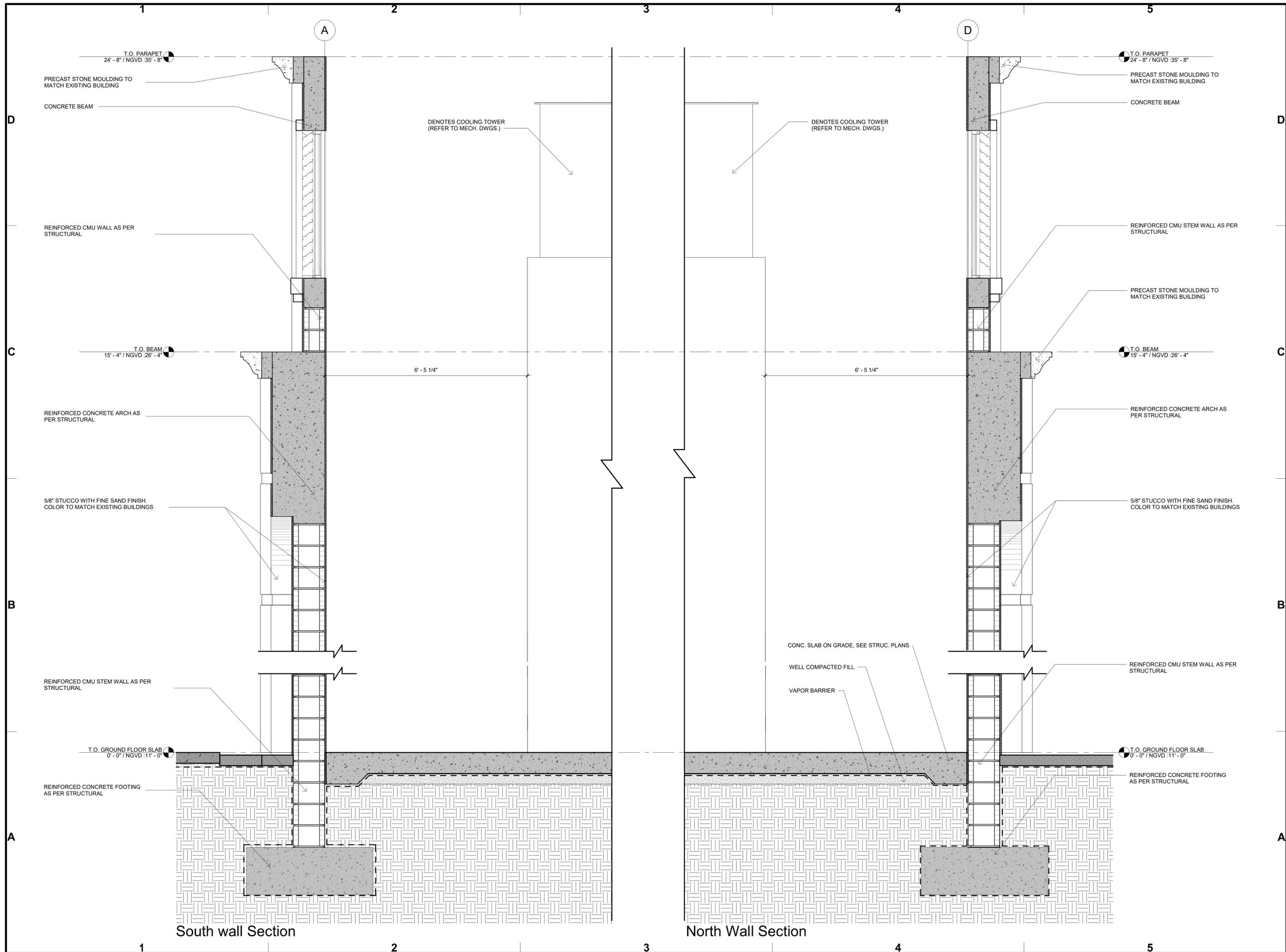
- NEW CBS CONSTRUCTION AS PER STRUCTURAL DRAWINGS
- NEW CBS CONSTRUCTION AS PER STRUCTURAL DRAWINGS WITH 1 5/8" STUD FRAMING AND INTERIOR SUBSTRATE
- NEW NON-STRUCTURAL PARTITION.
- INDICATES OBJECT ABOVE.

Wall & Ceiling Insulation Notes

- ALL EXTERIOR WALLS SHALL RECEIVE NEW ISO R-7.84 RIGID INSULATION BETWEEN FURRING STUDS.
- INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273. FBCR 302.10

Floor Plan at Ground Level

Floor Plan above 15'-4"



CONSULTANTS
CIVIL ENGINEER

STRUCTURAL ENGINEER

MEP ENGINEER
COMPANY NAME

LANDSCAPE ARCHITECT
COMPANY NAME

SEALED/SIGNATURE/DATE

BURTON H. HERSH, AIA AR9040
VANESSA I. ESTRADA, AIA AR93717
JOSE A. SARMIENTO, AIA AR97362

PROJECT
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OWNER
THE GABLES CLUB
CONDOMINIUM AND CLUB
ASSOCIATION
10 EDGEWATER DRIVE
CORAL GABLES, FL 33133

DISTRIBUTION	DATE
PROGRESS SET	09.03.25
PROGRESS SET	09.16.25

PROJECT NO. 25002.00

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DRAWING SCALE:
NTS

SHEET TITLE:

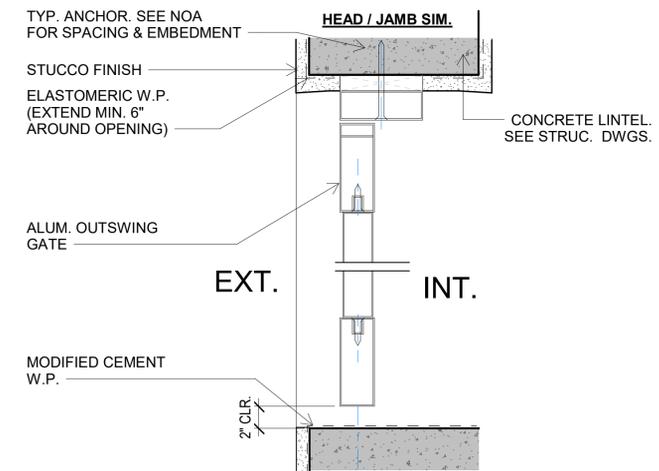
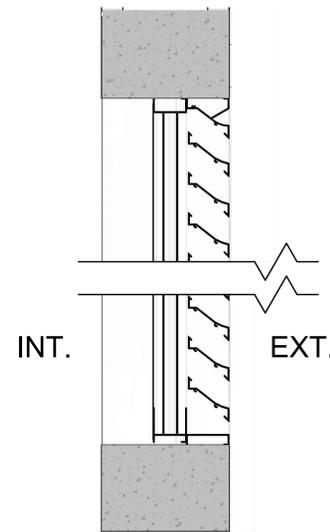
**Louvers
And Gate
Details**

A-400

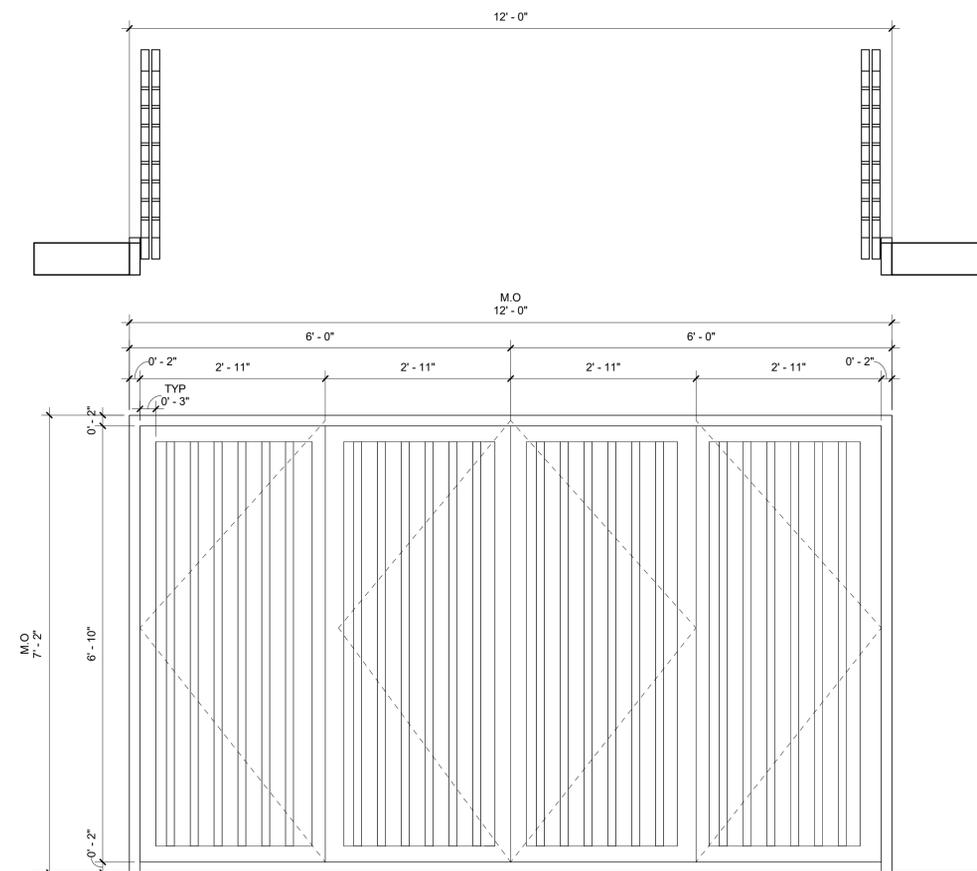
SHEET 11 OF 13

LOUVER SCHEDULE

TYPE MARK	ROUGH HEIGHT	ROUGH WIDTH	HEAD HEIGHT	SILL HEIGHT	DESCRIPTION	COMMENTS	NOA OR PRODUCT APPROVAL
L01	6' - 6"	5' - 0"			RUSKIN ACL1245D STATIONARY ACOUSTICAL LOUVER	OR APPROVED EQUAL	NOA: 23-1116.07
L02	4' - 8"	4' - 0"			RUSKIN ACL645D STATIONARY ACOUSTICAL LOUVER	OR APPROVED EQUAL	NOA: 23-1116.10



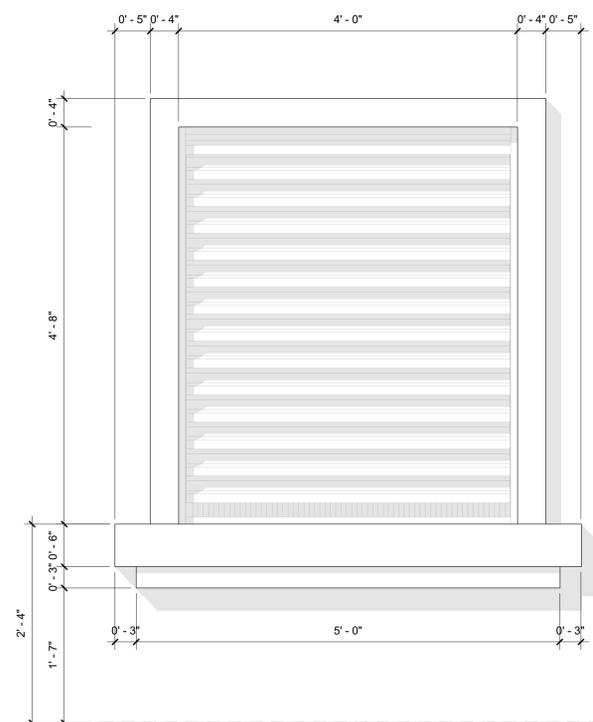
Gate Detail



Gate 01



Louver 01



Louver 02

LOUVER GENERAL NOTES

- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ARCHITECTS APPROVAL PRIOR TO ORDERING LOUVER.
- ALL NEW LOUVER AND DOORS TO HAVE COUNTY APPROVED. CONTRACTOR TO SUBMIT FOR PRODUCT APPROVALS.
- VERIFY ALL ROUGH OPENING DIMENSIONS ON-SITE PRIOR TO LOUVER FABRICATION.

Art of Public Places

The Gables Club Condominium, Inc. will pay the Arts in Public Places fee.



LOBBYIST REGISTRATION CERTIFICATE
CITY OF CORAL GABLES
CITY CLERK'S OFFICE

405 Biltmore Way - Coral Gables, FL 33134
 305-460-5210 cityclerk@coralgables.com

LOBBYIST NAME: Laura L. Russo

LOBBYIST ADDRESS: 2334 Ponce De Leon Boulevard, Suite 240, Coral Gables, FL 33134

PRINCIPAL NAME: Gables Condominium and Club Association, Inc.

PRINCIPAL ADDRESS: 10 Edgewater Drive, Coral Gables, FL 33133

PRINCIPAL ISSUE: House cooling tower for A/C system

REGISTERED DATE: 9/3/2025

EXPIRATION DATE: 12/31/2025

State of Florida, City of Coral Gables
 I HEREBY CERTIFY, that the foregoing is an official copy
 of a lobbyist record electronically filed in this office.

This 3rd day of September AD 2025

Billy Y Urquia, City Clerk

OATH

I do solemnly swear that all facts contained on this Annual Lobbyist Registration form and principal are true and correct; and that I have read and am familiar with the Ordinance 2017-44 of the Code of



LOBBYIST REGISTRATION
CERTIFICATE
CITY OF CORAL GABLES
CITY CLERK'S OFFICE

405 Biltmore Way - Coral Gables, FL 33134
305-460-5210 cityclerk@coralgables.com

LOBBYIST NAME: Burton Hersh

LOBBYIST ADDRESS: 130 Miracle Mile, Coral Gables, FL 33134

PRINCIPAL NAME: Burton Hersh

PRINCIPAL ADDRESS: 130 Miracle Mile, Coral Gables, FL 33134

PRINCIPAL ISSUE: Gables Condo Club needs a new cooling tower building.

REGISTERED DATE: 11/5/2025

EXPIRATION DATE: 12/31/2025

State of Florida, City of Coral Gables

I HEREBY CERTIFY, that the foregoing is an official copy
of a lobbyist record electronically filed in this office.

This 5th day of November AD 2025

A handwritten signature in black ink, appearing to read "B. Y. Urquia". The signature is fluid and cursive, with a long, sweeping underline that extends to the right.

Billy Y Urquia, City Clerk

OATH

I do solemnly swear that all facts contained on this Annual Lobbyist Registration form and principal are true and correct; and that I have read and am familiar with the Ordinance 2017-44 of the Code of City of Coral Gables.