



The City of Coral Gables

Historical Resources Department

January 27, 2014

Susana Menendez Revocable Trust
c/o Juan Carlos Menendez
2622 Country Club Prado
Coral Gables, FL 33134

Re: Certificate of Appropriateness

Dear Mr. Menendez:

This letter is to confirm the results of the review by the Historical Resources Department. On January 27, 2014 an application for a Standard Certificate of Appropriateness was approved by the Historical Resources Department for exterior paint on the property at 2622 Country Club Prado, a local historic landmark. Because the work does not significantly alter the character of the existing historic structure, the matter was deemed appropriate for administrative review.

The proposed work does not destroy or detract from the integrity of the historic building, and is minimal in impact, which is entirely consistent with the Secretary of the Interior's Standards for Rehabilitation. Therefore, a Standard Certificate of Appropriateness is issued.

Please be advised that any changes or alterations to the approved plans will need to be submitted to this office for a revision to the Certificate of Appropriateness. Should you have any questions regarding this matter please do not hesitate to contact the office.

Sincerely,

A handwritten signature in black ink, appearing to read "Kara Kautz", is written over a white rectangular background.

Kara N. Kautz
Assistant Historic Preservation Officer

Enclosed: Certificate of Appropriateness

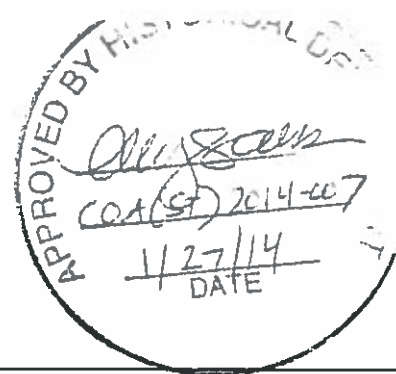
cc: **File COA(ST)2014-007**
Chairman, Historic Preservation Board
Walter Foeman, City Clerk
Jane Tompkins, Development Services Director
Manny Lopez, Acting Building Director
Virginia Goizueta, Plans Processor Lead

HISTORICAL RESOURCES DEPARTMENT - HISTORIC PRESERVATION DIVISION 405 BILTMORE WAY, CORAL GABLES, FLORIDA 33134

Development Services Department
405 Biltmore Way, Third Floor
Coral Gables, Florida 33134
Tel: 305-460-5235
Fax: 305-460-5261
www.coralgables.com



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Permit Application



ALL OF THE FOLLOWING MUST BE COMPLETED BY APPLICANT ACCORDING TO FS 713.35

Date: 1/27/14	Permit Type: ☒ Building PAINTING	Master Permit #: ZN14012786
Permit Change: ☒	Electrical	Project Information: ☒
Change of Contractor	Mechanical	Commercial:
Permit Extension	Plumbing	Residential:
Permit Renewal	Misc.	Linear Feet: ☒
Permit Revision	App. Date:	Square Feet: ☒
Permit Supplement		Value of Work: 2000 ² ☒

DESCRIPTION OF WORK (PRINT):
HOUSE - BM 2154 - TD [C] [18]
VANILLA ICE CREAM
TRIM - WHITE
PRESSURE WASH

PROPERTY LOCATION:
Address: 2422 COMITY CLUB PRADO
Folio #:
Lot: Block:
Subdivision:
Plat book: Page:

PROPERTY OWNER:
Name: SIBANA MORALES INC TRUST
Address: 2422 COMITY CLUB PRADO
City/State/Zip: CO FL 33134
Telephone No.: 305-439-7526

CONTRACTOR NAME:
Address:
City/State/Zip:
License No.: Telephone No.:

ARCHITECT:
Name:
Address:

ENGINEER:
Name:
Address:

BONDING:
Name:
Address:

MORTGAGE LENDER:
Name:
Address:

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES BOILERS, HEATERS TANKS, AND AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING OUR NOTICE OF COMMENCEMENT.

The Historical Resources Department's approval is required prior to the issuance of a demolition permit.

Signature of Owner: *[Signature]*

STATE OF FLORIDA)
SS)
COUNTY OF MIAMI-DADE)

Sworn to or affirmed and subscribed before me this 27 day of JAN, in the year 2014
by JUAN CARLOS MORALES who has taken an oath and is
personally known to me or has produced REAL ID LICENSE as
identification.

DAYRON GARCIA
Notary Public - State of Florida
My Comm. Expires Dec 17, 2017
Commission # FF 059461
Bonded Through National Notary Assoc.

Notary Public

Signature of Qualifier: _____

STATE OF FLORIDA)
SS)
COUNTY OF MIAMI-DADE)

Sworn to or affirmed and subscribed before me this ____ day of _____, in the year 20____
by _____ who has taken an oath and is
personally known to me or has produced _____ as
identification.

My Commission Expires: _____

Notary Public

RECEIVED
OFFICE OF CORAL GABLES
HISTORICAL RESOURCES
JAN 27 AM 10:03



CERTIFICATE OF APPROPRIATENESS
APPLICATION
OF CORAL GABLES HISTORIC PRESERVATION DIVISION

1.

2622 Country Club PRADO

Building Address

Historic name of building (if any)

District Name (if any)

11 thru 13

14

Sec D Rev PL

Legal Description: Lot(s)

Block(s)

Section

SUSANA Menendez REVOLUCION TRUST

2622 country club PRADO CG, FL 33134

Owner's Name

Street Address

Zip Code

Phone No.

e-mail: JCMenendez2@MJFconstruction.com

JUAN C. Menendez

2622 country club PRADO CG, FL 33134

305-439-7526

Applicant's Name

Street Address

Zip Code

Phone/Fax

e-mail: JCMenendez2@MJFconstruction.com

Contractor/Arch./Engineer's Name

Street Address

Zip Code

Phone/Fax

e-mail:

2.

PLEASE INDICATE THE CATEGORY WHICH DESCRIBES THE PROPOSED WORK:

☐ Minor Alterations ☐ New Construction ☐ Addition ☐ Rehabilitation
☐ Demolition ☒ Other:

3.

Will the work proposed require a variance from the Zoning Code?

☒ NO ☐ YES, from section(s)

Attach the requested variance language to this form

4.

Has this property been qualified as a Coral Gables Cottage? ☒ NO

☐ YES (attach a copy of qualification sheet)

5.

This request is: ☒ new ☐ result of a violation ☐ a revision to a previous submittal ☐ a revision to a previously approved COA

Case File:

Case File:

6.

WORK PROPOSED: Brief narrative of work to be performed.

EXTERIOR PAINT - BENJAMIN MOORE 2154-70

"VANILLA ICE CREAM" TRIM: WHITE

There is a processing fee. Payment must be included with the application. Please make check payable to the City of Coral Gables. Applications for ad valorem tax relief must be filed on a separate application form prior to construction.

Supplementary information (where applicable) shall be provided:*

☐ Floor Plan(s) (with dimensions) ☐ Elevations(s) (with dimensions) ☐ Mailing list & 3 sets of labels
Before/After Before/After VARIANCES/DEMOLITIONS
☐ 18 yrs or younger) ☐ Color/Material Sample ☐ Letter of Intent ☐ Regular size ☐ Reduced Plans 11x17
(Orig + 16 copies) Board review (16 swatches) Board review (16 copies) 1 signed/sealed set Board review 2 sign/seal + 14 reg.
Signal) Non-Board review (1 set) Non-Board review (1 copy) Non-Board review (1 set)
Architects ☐ CD with electronic ☐ Fee due to ☐ Other
Submittals copies of drawings/photos variances/violations

Application scheduled for a hearing unless received in completed form by the established due date (subject to staff review).
Application filed only when a completed application form is submitted together with the necessary supplemental materials.
All information must be collated into the correct number of packets and clearly labeled.
Representative **MUST** attend hearing and present his/her proposal to the Board.
Zoning analysis for proposed changes **MUST** be obtained and submitted with this application (see attached form).
Signage on the public side of the structure must be applied to the building no less than ten days from the hearing date.
Board recommendation **MUST** be obtained prior to the submission of any Certificate of Appropriateness application.
The Historic Preservation Board will act on completed applications only. Decisions made by the Board may be appealed to the City within 10 days after the ruling is made. If there is no appeal or Commission action, the Historic Preservation Board

Menendez

, as Owner of Lot(s) 11 thru 13

(Print Owner's Name)

Block(s) 14

Section

Sec D Rev PL

do hereby authorize the

filing of this application.

(Owner's Signature)

(Date)

My signature affirms and certifies that I/we understand and will comply with the provisions and regulations of the City of Coral Gables Historic Preservation Ordinance as amended from time to time. It further certifies that any statements made in the application, documents attached to the application, and plans submitted herewith are true to the best of my/our knowledge and belief. Further, I/we understand that the application, attachments and fees become part of the Official Records of the Historic Preservation Division and are not returnable. The above signed consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this application and/or presentation to the Historic Preservation Board. Applicants seeking approval of alterations, demolitions and/or new construction acknowledge that the City may erect signs on the subject property, which state the proposed action and the date of the Historic Preservation Board meeting.



DATE RECEIVED:

1/27/14

CASE FILE:

COA(9)/2014-007

EDEN FILE:

POTENTIAL HPB MEETING:

CITY OF CORAL GABLES
HISTORICAL RESOURCES DEPARTMENT
HISTORIC PRESERVATION DIVISION
2327 SALZEDO STREET, 2ND FLOOR
CORAL GABLES, FLORIDA 33134
Phone: (305) 460-5090/5093/5094/5096
Fax: (305) 460-5097
e-mail: historicalresources@coralgables.com

* A drawing set must include a site plan, floor plan(s), and elevations of all facades with sufficient dimensions to conduct a preliminary Zoning Analysis. The purpose of the preliminary Zoning Analysis is to identify possible variances and is not intended to replace any review required as part of the permitting process. The drawings must illustrate the existing conditions and the proposed changes separately. Contextual drawings or photographs of the neighboring properties must also be included. The Department staff may request additional drawings and documents as needed. Requests for Special Certificates of Appropriateness for demolition and/or that require variance(s) must include a certified mailing list, a map, and three sets of mailing labels (1000-foot radius) and the required fee. * It is the responsibility of the applicant to provide sufficient illustrations to convey the intended scope of work.



The City of Coral Gables

Historical Resources Department

February 5, 2014

Susana Menendez Revocable Trust
c/o Juan Carlos Menendez
2622 Country Club Prado
Coral Gables, FL 33134

Re: Certificate of Appropriateness

Dear Mr. Menendez:

This letter is to confirm the results of the review by the Historical Resources Department. On January 30, 2014 an application for a Standard Certificate of Appropriateness was approved by the Historical Resources Department for the installation of impact-resistant windows and one door and the replacement of two existing windows with French doors on the property at 2622 Country Club Prado, a local historic landmark. Because the work does not significantly alter the character of the existing historic structure, the matter was deemed appropriate for administrative review.

The proposed work does not destroy or detract from the integrity of the historic building, and is minimal in impact, which is entirely consistent with the Secretary of the Interior's Standards for Rehabilitation. Therefore, a Standard Certificate of Appropriateness is issued.

Please be advised that any changes or alterations to the approved plans will need to be submitted to this office for a revision to the Certificate of Appropriateness. Should you have any questions regarding this matter please do not hesitate to contact the office.

Sincerely,

A handwritten signature in black ink, appearing to read "Kara Kautz", is written over a horizontal line.

Kara N. Kautz
Assistant Historic Preservation Officer

Enclosed: Certificate of Appropriateness

cc: **File COA(ST)2014-010**
Chairman, Historic Preservation Board
Walter Foeman, City Clerk
Jane Tompkins, Development Services Director
Manny Lopez, Acting Building Director
Virginia Goizueta, Plans Processor Lead

HISTORICAL RESOURCES DEPARTMENT - HISTORIC PRESERVATION DIVISION - 405 BILTMORE WAY, CORAL GABLES, FLORIDA 33134

Inspection Schedule for
Scheduled for
WINDOW / DOOR REPLACEMENT

Permit# BL-14-02-1737 Address 2622 COUNTRY CLUB PRADO Owner's Name SUSANA MENENDEZ TRS SUSANA MEN

Job Description
RESIDENTIAL HISTORICAL** IMPACT (53) WINDOWS WHITE FRAME CLEAR GLASS \$100,000

Contractor PRESTIGE WINDOW & SOLAR License # CBC1251687
Contact Name CRISTINA E SCAVUZZO Contact Telephone Number (305) 827-1935

Master Permit#:
Type: hi773 FINAL HISTORICAL (BLDG PERMIT) Time: 12:03

Notes:

Contact:

Phone:

Comments: COA(ST) 2014-010

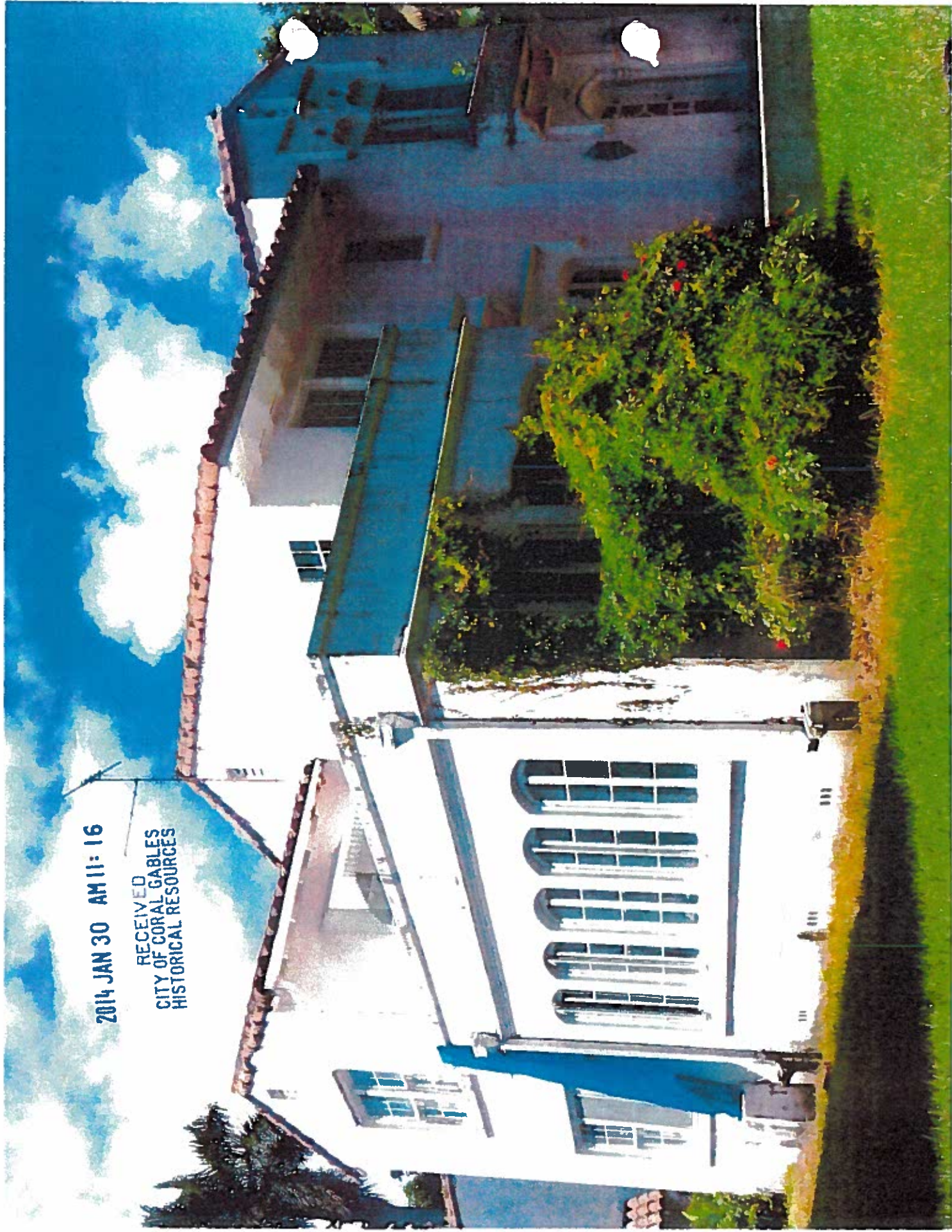
Approved ☒ Rejected ☐ Cancelled ☐ PA ☐ Re-inspection Fee ☐ OK for TCO ☐ Waived ☐

Inspector's Signature: Dona Spain ID #: _____ Scheduled Start Date: _____

Inspector's Name: DONA SPAIN Inspector's Telephone Number: _____

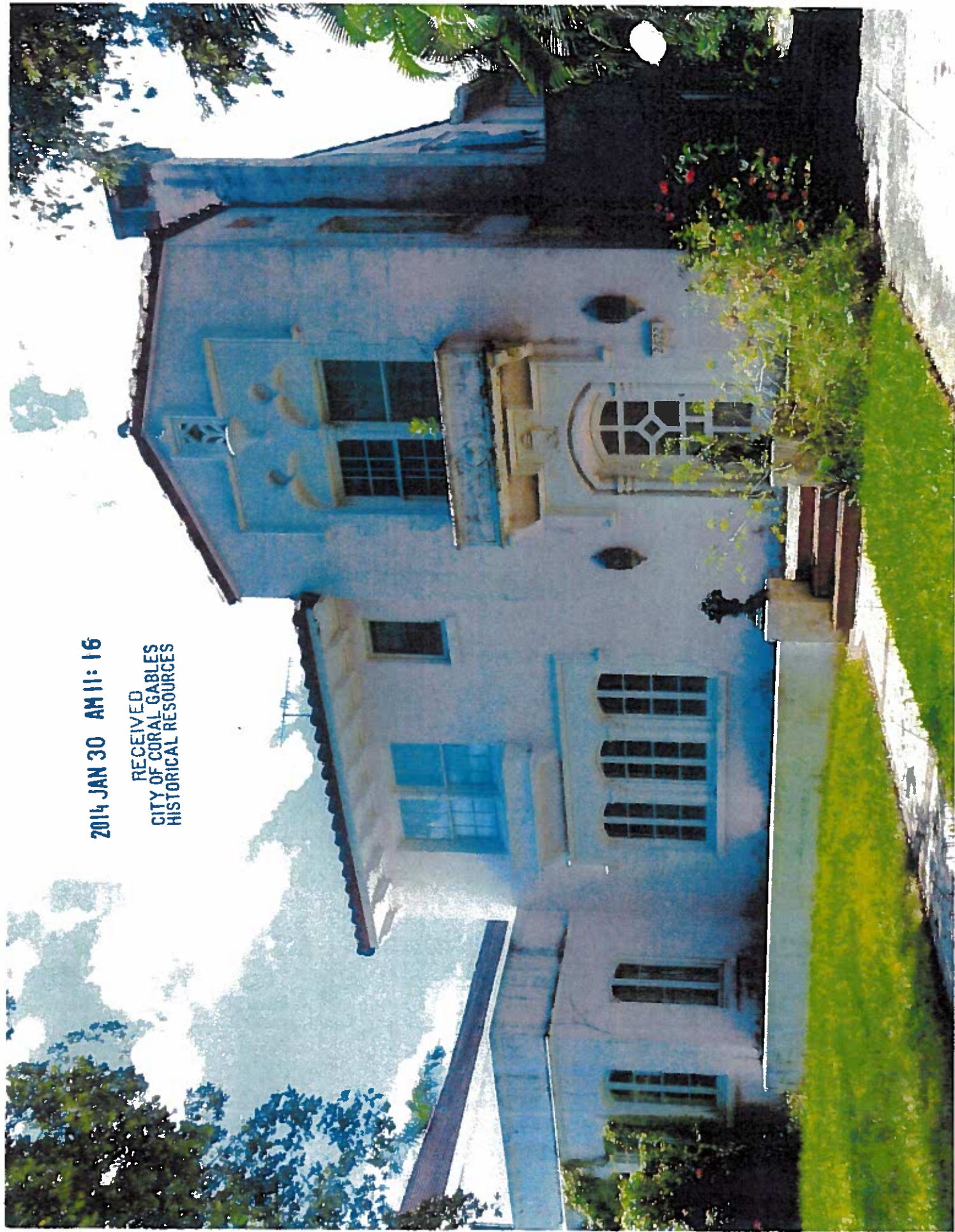
2014 JAN 30 AM 11:16

RECEIVED
CITY OF CORAL GABLES
HISTORICAL RESOURCES



2014 JAN 30 AM 11:16

RECEIVED
CITY OF CORAL GABLES
HISTORICAL RESOURCES





CERTIFICATE OF APPROPRIATENESS

APPLICATION
CITY OF CORAL GABLES - HISTORIC PRESERVATION DIVISION

2622 Country Club Prado

Building Address: 11 thru 13 Historic name of building (if any): 14 District Name (if any): SecD Rev PL

Legal Description: Lot(s) Block(s) Section

SUSANA Menendez Revocable Trust 2622 Country Club Prado CG, FL 33134

Owner's Name: SUSANA Menendez Street Address: 2622 Country Club Prado CG, FL 33134 Zip Code: 33134 Phone No.: 305-439-7526
e-mail: JCMenendez@MJFConstruction.com

JUAN C. Menendez 2622 Country Club Prado CG, FL 33134 305-439-7526

Applicant's Name: JUAN C. Menendez Street Address: 2622 Country Club Prado CG, FL 33134 Zip Code: 33134 Phone/Fax: 305-439-7526
e-mail: JCMenendez@MJFConstruction.com

Contractor/Arch./Engineer's Name: Street Address: Zip Code: Phone/Fax:

2. PLEASE INDICATE THE CATEGORY WHICH DESCRIBES THE PROPOSED WORK:

Minor Alterations New Construction Addition Rehabilitation
Demolition Other:

3. Will the work proposed require a variance from the Zoning Code?

☒ NO ☐ YES, from section(s) Attach the requested variance language to this form

4. Has this property been qualified as a Coral Gables Cottage? ☐ NO ☐ YES (attach a copy of qualification sheet)

5. This request is: ☐ new ☐ result of a violation ☐ a revision to a previous submittal ☐ a revision to a previously approved COA Case File: Case File:

6. WORK PROPOSED: Brief narrative of work to be performed.

Window Replacement

7. Variance requests require a processing fee. Payment must be included with the application. Please make check payable to the City of Coral Gables. Applications for ad valorem tax relief must be filed on a separate application form prior to construction.

8. The following supplementary information (where applicable) shall be provided:*

Site Plan (with dimensions) Before/After Floor Plan(s) (with dimensions) Before/After Elevations(s) (with dimensions) Before/After Mailing list & 3 sets of labels VARIANCES/DEMOLITIONS
Photos Survey (5 yrs or younger) Color/Material Sample Letter of Intent Regular size Reduced Plans 11x17
Labeled Board review (1 Orig + 16 copies) Board review (16 swatches) Board review (16 copies) 1 signed/sealed set Board review 2 sign/seal + 14 reg.
2 per page Non-Board (1 original) Non-Board review (1 set) Non-Board review (1 copy) Non-Board review (1 set)
Copy of Board of Architects Comments/Recommendations CD with electronic copies of drawings/photos Fee due to variances/violations Other

- Application will not be scheduled for a hearing unless received in completed form by the established due date (subject to staff review).
- Applications will be accepted only when a completed application form is submitted together with the necessary supplemental materials.
- All drawings & supporting information must be collated into the correct number of packets and clearly labeled.
- Applicant or his/her representative **MUST** attend hearing and present his/her proposal to the Board.
- Preliminary Zoning Analysis for proposed changes **MUST** be obtained and submitted with this application (see attached form).
- A paint sample visible from the public side of the structure must be applied to the building no less than ten days from the hearing date.
- Board of Architects recommendation **MUST** be obtained prior to the submission of any Certificate of Appropriateness application.
- The Historic Preservation Board will act on completed applications only. Decisions made by the Board may be appealed to the City Commission no later than **10 days** after the ruling is made. If there is no appeal or Commission action, the Historic Preservation Board decision shall be final.

9. I, JUAN C. Menendez, as Owner of Lot(s) 11 thru 13

(Print Owner's Name)

Block(s) 14, Section SecD Rev PL do hereby authorize the

filing of this application.

(Owner's Signature)

(Date)

My signature affirms and certifies that I/we understand and will comply with the provisions and regulations of the City of Coral Gables Historic Preservation Ordinance as amended from time to time. It further certifies that any statements made in the application, documents attached to the application, and plans submitted herewith are true to the best of my/our knowledge and belief. Further, I/we understand that the application, attachments and fees become part of the Official Records of the Historic Preservation Division and are not returnable. The above signed consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this application and/or presentation to the Historic Preservation Board. Applicants seeking approval of alterations, demolitions and/or new construction acknowledge that the City may erect signs on the subject property, which state the proposed action and the date of the Historic Preservation Board meeting.



DATE RECEIVED: 1/30/14
CASE FILE: COA (ST) 2014-00
EDEN FILE:
POTENTIAL IMPD MEETING:

CITY OF CORAL GABLES
HISTORICAL RESOURCES DEPARTMENT
HISTORIC PRESERVATION DIVISION
2327 SALZEDO STREET, 2ND FLOOR
CORAL GABLES, FLORIDA 33134
Phone: (305) 460-5090/5093/5094/5096
Fax: (305) 460-5097
e-mail: historicalresources@coralgables.com

* A drawing set must include a site plan, floor plan(s), and elevations of all facades with sufficient dimensions to conduct a preliminary Zoning Analysis. The purpose of the preliminary Zoning Analysis is to identify possible variances and is not intended to replace any review required as part of the permitting process. The drawings must illustrate the existing conditions and the proposed changes separately. Contextual drawings or photographs of the neighboring properties must also be included. The Department staff may request additional drawings and documents as needed. Requests for Special Certificates of Appropriateness for demolition and/or that require variance(s) must include a certified mailing list, a map, and three sets of mailing labels (1000-foot radius) and the required fee. * It is the responsibility of the applicant to provide sufficient illustrations to convey the intended scope of work.

Component	Weight	Volume
Water	10.00	10.00
Alcohol	10.00	10.00
Acetic Acid	10.00	10.00
Hydrochloric Acid	10.00	10.00
Sulfuric Acid	10.00	10.00
Nitric Acid	10.00	10.00
Phosphoric Acid	10.00	10.00
Silicic Acid	10.00	10.00
Carbon Dioxide	10.00	10.00
Oxygen	10.00	10.00
Nitrogen	10.00	10.00
Hydrogen	10.00	10.00
Ammonia	10.00	10.00
Sodium Chloride	10.00	10.00
Potassium Chloride	10.00	10.00
Calcium Chloride	10.00	10.00
Magnesium Chloride	10.00	10.00
Iron Chloride	10.00	10.00
Copper Chloride	10.00	10.00
Mercury Chloride	10.00	10.00
Lead Chloride	10.00	10.00
Barium Chloride	10.00	10.00
Strontium Chloride	10.00	10.00
Calcium Sulfate	10.00	10.00
Magnesium Sulfate	10.00	10.00
Iron Sulfate	10.00	10.00
Copper Sulfate	10.00	10.00
Mercury Sulfate	10.00	10.00
Lead Sulfate	10.00	10.00
Barium Sulfate	10.00	10.00
Strontium Sulfate	10.00	10.00
Calcium Phosphate	10.00	10.00
Magnesium Phosphate	10.00	10.00
Iron Phosphate	10.00	10.00
Copper Phosphate	10.00	10.00
Mercury Phosphate	10.00	10.00
Lead Phosphate	10.00	10.00
Barium Phosphate	10.00	10.00
Strontium Phosphate	10.00	10.00
Calcium Nitrate	10.00	10.00
Magnesium Nitrate	10.00	10.00
Iron Nitrate	10.00	10.00
Copper Nitrate	10.00	10.00
Mercury Nitrate	10.00	10.00
Lead Nitrate	10.00	10.00
Barium Nitrate	10.00	10.00
Strontium Nitrate	10.00	10.00
Calcium Carbonate	10.00	10.00
Magnesium Carbonate	10.00	10.00
Iron Carbonate	10.00	10.00
Copper Carbonate	10.00	10.00
Mercury Carbonate	10.00	10.00
Lead Carbonate	10.00	10.00
Barium Carbonate	10.00	10.00
Strontium Carbonate	10.00	10.00
Calcium Oxide	10.00	10.00
Magnesium Oxide	10.00	10.00
Iron Oxide	10.00	10.00
Copper Oxide	10.00	10.00
Mercury Oxide	10.00	10.00
Lead Oxide	10.00	10.00
Barium Oxide	10.00	10.00
Strontium Oxide	10.00	10.00
Calcium Hydroxide	10.00	10.00
Magnesium Hydroxide	10.00	10.00
Iron Hydroxide	10.00	10.00
Copper Hydroxide	10.00	10.00
Mercury Hydroxide	10.00	10.00
Lead Hydroxide	10.00	10.00
Barium Hydroxide	10.00	10.00
Strontium Hydroxide	10.00	10.00
Calcium Fluoride	10.00	10.00
Magnesium Fluoride	10.00	10.00
Iron Fluoride	10.00	10.00
Copper Fluoride	10.00	10.00
Mercury Fluoride	10.00	10.00
Lead Fluoride	10.00	10.00
Barium Fluoride	10.00	10.00
Strontium Fluoride	10.00	10.00
Calcium Bromide	10.00	10.00
Magnesium Bromide	10.00	10.00
Iron Bromide	10.00	10.00
Copper Bromide	10.00	10.00
Mercury Bromide	10.00	10.00
Lead Bromide	10.00	10.00
Barium Bromide	10.00	10.00
Strontium Bromide	10.00	10.00
Calcium Iodide	10.00	10.00
Magnesium Iodide	10.00	10.00
Iron Iodide	10.00	10.00
Copper Iodide	10.00	10.00
Mercury Iodide	10.00	10.00
Lead Iodide	10.00	10.00
Barium Iodide	10.00	10.00
Strontium Iodide	10.00	10.00
Calcium Selenide	10.00	10.00
Magnesium Selenide	10.00	10.00
Iron Selenide	10.00	10.00
Copper Selenide	10.00	10.00
Mercury Selenide	10.00	10.00
Lead Selenide	10.00	10.00
Barium Selenide	10.00	10.00
Strontium Selenide	10.00	10.00
Calcium Telluride	10.00	10.00

EXPOSURE ADJUSTMENTS 9.

CONCENTRATION	0.66 M
WAVELENGTH	18
WAVELENGTH	1.6
WAVELENGTH	2.5

ADDITIONAL INFORMATION: 2.5

EXPOSURE ADJUSTMENTS 9.

SCOPE OF WORK

GENERAL NOTES:

- RAMMS ENGINEERING, INC.

REVISIONS	BY:
-----------	-----

BY:

DRAWN BY: JPH JPH

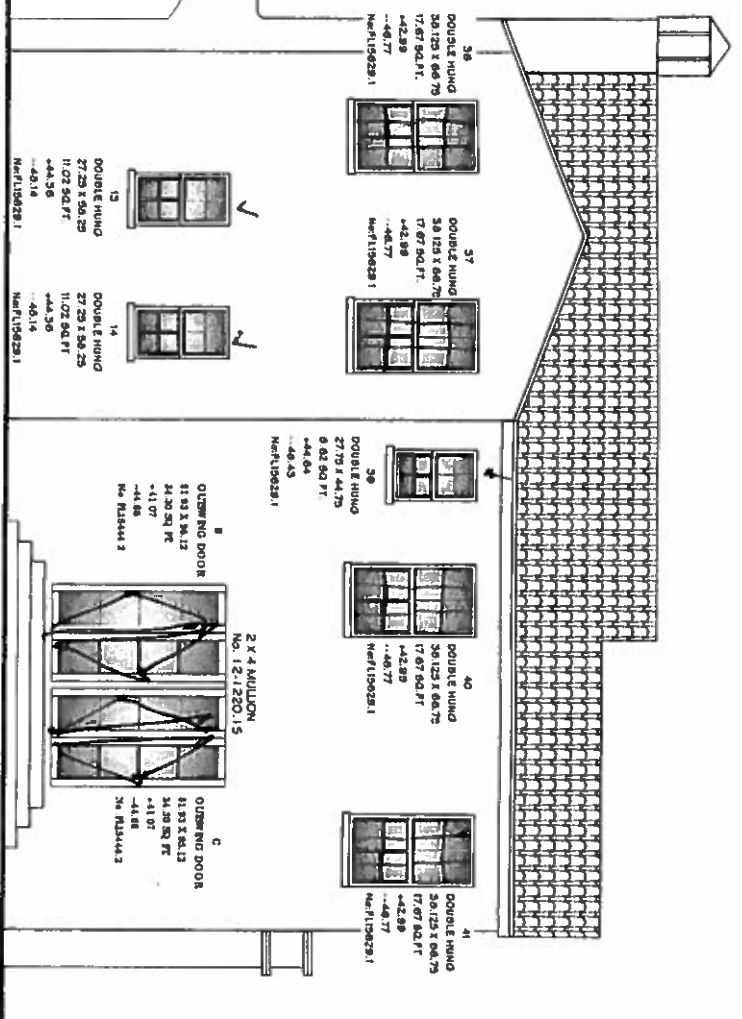
WIS

7

11

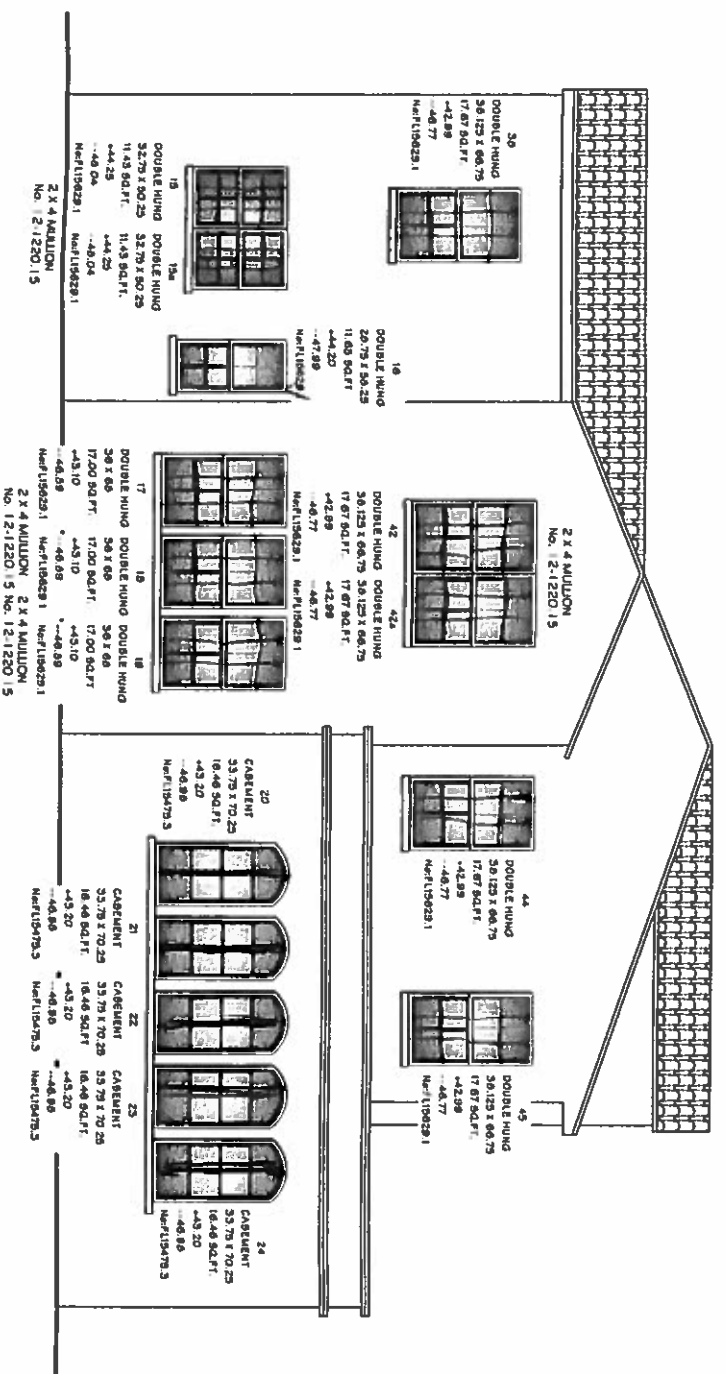
SCALE = 1/4" = 1'-0"

JUN 2009
R.S.M.



WEST ELEVATION

SCALE = 1/4" = 1'-0"



LOAD TABLE FOR WINDOWS

HEIGHT	DEPTH	WIDTH	WEIGHT
15" - 20"	24" - 30"	48" - 60"	60 LB.

ASHTRAY HEIGHT ADJUSTMENTS

HEIGHT	DEPTH	WIDTH	WEIGHT
15" - 20"	24" - 30"	48" - 60"	60 LB.

LOAD TABLE FOR WINDOWS

HEIGHT	DEPTH	WIDTH	WEIGHT
15" - 20"	24" - 30"	48" - 60"	60 LB.

ASHTRAY HEIGHT ADJUSTMENTS

HEIGHT	DEPTH	WIDTH	WEIGHT
15" - 20"	24" - 30"	48" - 60"	60 LB.

Technical drawing of a table showing dimensions and labels. The table is rectangular with a width of 1600 mm and a depth of 750 mm. The drawing includes labels for 'CLEARANCE', 'HEIGHT', 'WIDTH', 'DEPTH', and 'LOAD TABLE FOR DOORS'. The table is shown in a perspective view with a black arrow pointing to the right.

Label	Value
CLEARANCE	800 mm
HEIGHT	750 mm
WIDTH	1600 mm
DEPTH	750 mm

LOAD TABLE FOR DOORS

HEIGHT ADJUSTMENT

74

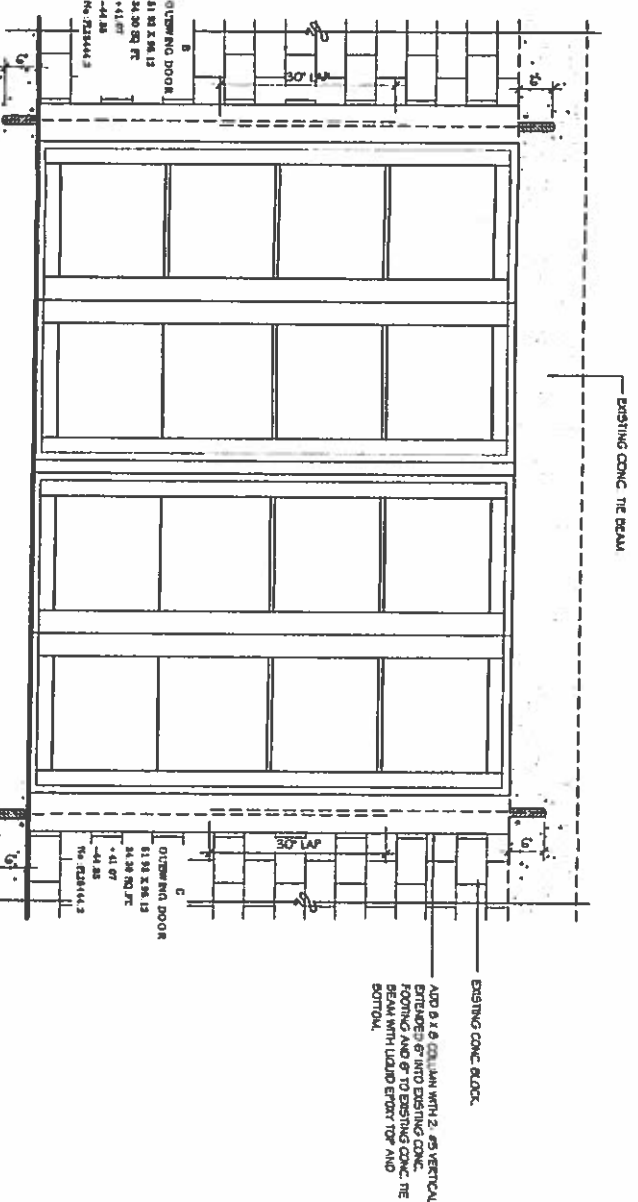
NAME	DESCRIPTION	WIDTH	HEIGHT	DO F.	POS. PRESSURE	INT. PRESSURE	ZONE	APPL. Ø
					P.S.F.	P.S.F.		
1	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0620.3
2	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0620.4
3	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0620.5
4	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0620.6
5	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0620.7
6	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0620.8
7	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0620.9
8	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0621.0
9	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0621.1
10	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0621.2
11	DOUBLE HUNG	31.9	66.3	6.08	44.04	-46.80	INT.	P.F.0621.3
12	DOUBLE HUNG	31.9	66.3	6.08	44.04	-46.80	INT.	P.F.0621.4
13	DOUBLE HUNG	31.9	66.3	6.08	44.04	-46.80	INT.	P.F.0621.5
14	DOUBLE HUNG	31.9	66.3	6.08	44.04	-46.80	INT.	P.F.0621.6
15	DOUBLE HUNG	31.9	66.3	6.08	44.04	-46.80	INT.	P.F.0621.7
16	DOUBLE HUNG	31.9	66.3	6.08	44.04	-46.80	INT.	P.F.0621.8
17	DOUBLE HUNG	31.9	66.3	6.08	44.04	-46.80	INT.	P.F.0621.9
18	DOUBLE HUNG	31.9	66.3	6.08	44.04	-46.80	INT.	P.F.0622.0
19	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0622.1
20	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0622.2
21	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0622.3
22	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0622.4
23	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0622.5
24	CASEMENT	32.8	70.3	16.40	43.20	-46.80	INT.	P.F.0622.6
25	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0622.7
26	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0622.8
27	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0622.9
28	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0623.0
29	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0623.1
30	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0623.2
31	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0623.3
32	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0623.4
33	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0623.5
34	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0623.6
35	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0623.7
36	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0623.8
37	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0623.9
38	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0624.0
39	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0624.1
40	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0624.2
41	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0624.3
42	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0624.4
43	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0624.5
44	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0624.6
45	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0624.7
46	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0624.8
47	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0624.9
48	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0625.0
49	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0625.1
50	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0625.2
51	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0625.3
52	DOUBLE HUNG	32.8	66.3	6.08	44.04	-46.80	INT.	P.F.0625.4

ALIAS	DESCRIPTION	WIDTH	HEIGHT	TOTL AREA	POS PRESSURE P.S.F.	NEG PRESSURE P.S.F.	ZONE	APPL & REMARKS
A	SURFING DOCK	34.93	32.37	225.97	0.25	-46.35	INT	4.5000
B	SURFING DOCK	51.73	9.8	24.50	41.27	-44.96	INT	7.5000
C	SURFING DOCK	51.92	15.2	34.30	41.27	-44.96	INT	7.5000

SCOPE OF WORK

GENERAL NOTES

- | | |
|--|---|
| <ul style="list-style-type: none"> ● CUSTOM COLLECTION ALUMINUM CLAD DOUBLE HUNG WINDOW. ACCEPTANCE NO. F156923.1 ● CUSTOM COLLECTION ALUMINUM CLAD OPERABLE WINDOW. ACCEPTANCE NO. F156923.5 ● CUSTOM COLLECTION ALUMINUM CLAD WOOD OUTSLING PIANO CASE (BLENDED) ACCEPTANCE NO. F156944.2 ● CUSTOM CLAD PERO CASHEMENT WINDOW ACCEPTANCE NO. F156942.5 | <ol style="list-style-type: none"> 1. POSITION (0-23) NORTH STRUCTURE. 2. PROBLEMS  3. 175 MPH WIND ZONE. 4. ASCE 7-10 WIND CODE. 5. RISK CATEGORY II BUILDING AND STRUCTURES. 6. CP = .05. 7. FLORIDA BUILDING CODE 2010. 8. BASED ON INSURANCE AGENT AS SHOWN. 9. CONTRIBUTOR TO VERIFY ALL DIMENSIONS. |
|--|---|



RAMMS ENGINEERING, INC.

NORTH ELEVATION SCALE = 1/4" = 1'-0"



The City of Coral Gables

Historical Resources Department
February 19, 2014

Susana Menendez Revocable Trust
c/o Juan Carlos Menendez
2622 Country Club Prado
Coral Gables, FL 33134

Re: Certificate of Appropriateness

Dear Mr. Menendez:

This letter is to confirm the results of the review by the Historical Resources Department. On February 14, 2014 an application for a Standard Certificate of Appropriateness was approved by the Historical Resources Department for interior remodeling (kitchen, master bathroom, existing bedroom 2/new walk-in closet, and alterations to the existing Jack-and-Jill bathroom) on the property at 2622 Country Club Prado, a local historic landmark. Because the work does not significantly alter the character of the existing historic structure, the matter was deemed appropriate for administrative review.

The proposed work does not destroy or detract from the integrity of the historic building, and is minimal in impact, which is entirely consistent with the Secretary of the Interior's Standards for Rehabilitation. Therefore, a Standard Certificate of Appropriateness is issued.

Please be advised that any changes or alterations to the approved plans will need to be submitted to this office for a revision to the Certificate of Appropriateness. Should you have any questions regarding this matter please do not hesitate to contact the office.

Sincerely,

A handwritten signature in cursive script, appearing to read "Kara N. Kautz".

Kara N. Kautz
Assistant Historic Preservation Officer

Enclosed: Certificate of Appropriateness

cc: File COA(ST)2014-015
Chairman, Historic Preservation Board
Walter Foeman, City Clerk
Jane Tompkins, Development Services Director
Charles Wu, Assistant Development Services Director
William Miner, Building Director
Virginia Goizueta, Plans Processor Lead

CITY OF CORAL GABLES HISTORIC PRESERVATION CERTIFICATE OF APPROPRIATENESS

SITE ADDRESS/LOCATION: 2622 Country Club Prado

LEGAL DESCRIPTION: Lots 11 thru 13 Blk 14, Coral Gables Sec D Rev PL
PB 25-74

CASE FILE NUMBER: COA(ST) 2014-015

CERTIFICATE TYPE: X STANDARD SPECIAL

DECISION BY: X STAFF

 HISTORIC PRESERVATION BOARD

ACTION DATE: February 14, 2014

ACTION: X APPROVE DENY

 APPROVE W/CONDITIONS

Conditions:

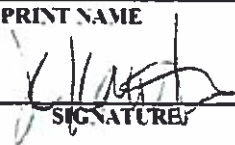
EXPIRATION DATE: February 14, 2016

Kara Kautz

PRINT NAME

Asst. Historic Preservation Officer

TITLE


SIGNATURE

Feb 19, 2014
DATE

CERTIFICATE OF APPROPRIATENESS

APPLICATION

CITY OF CORAL GABLES - HISTORIC PRESERVATION DIVISION

1. **2622 Country Club PRADO**

Building Address 11 thru 13	Historic name of building (if any) 14	District Name (if any) Sec D Rev PL
Legal Description: Lot(s) SUSANA Menendez REVOCABLE TRUST	Block(s) 2622 COUNTRY CLUB PRADO CG, FL 33134	Section CG, FL 33134
Owner's Name e-mail: JCMenendez2@MJFConstruction.com	Street Address JUAN C. Menendez 2622 Country Club Prado CG, FL 33134	Zip Code 305-439-7526
Applicant's Name e-mail: JCMenendez2@MJFConstruction.com	Street Address JUAN C. Menendez 2622 Country Club Prado CG, FL 33134	Phone/Fax 305-439-7526
Contractor/Arch./Engineer's Name e-mail:	Street Address	Zip Code Phone/Fax

2. PLEASE INDICATE THE CATEGORY WHICH DESCRIBES THE PROPOSED WORK:

☐ Minor Alterations	☐ New Construction	☐ Addition	☐ Rehabilitation
☐ Demolition	☐ Other: _____		

3. Will the work proposed require a variance from the Zoning Code?

☒ NO ☐ YES, from section(s) _____

Attach the requested variance language to this form

4. Has this property been qualified as a Coral Gables Cottage? ☐ NO ☐ YES (attach a copy of qualification sheet)

5. This request is: ☐ new ☐ result of a violation ☐ a revision to a previous submittal ☐ a revision to a previously approved COA

6. WORK PROPOSED: Brief narrative of work to be performed.

Interior renovations

7. Variance requests require a processing fee. Payment must be included with the application. Please make check payable to the City of Coral Gables. Applications for ad valorem tax relief must be filed on a separate application form prior to construction.

8. The following supplementary information (where applicable) shall be provided:*

☐ Site Plan (with dimensions) Before/After	☐ Floor Plan(s) (with dimensions) Before/After	☐ Elevations(s) (with dimensions) Before/After	☐ Mailing list & 3 sets of labels VARIANCES/DEMOLITIONS
☐ Photos Labeled 2 per page	☐ Survey (5 yrs or younger) Board review (1 Orig + 16 copies) Non-Board (1 original)	☐ Color/Material Sample Board review (16 swatches) Non-Board review (1 set)	☐ Letter of Intent Board review (16 copies) Non-Board review (1 copy)
☐ Copy of Board of Architects Comments/Recommendations	☐ CD with electronic copies of drawings/photos	☐ Fee due to variances/violations	☐ Regular size 1 signed/sealed set Board review 2 sign/seal + 14 reg. Non-Board review (1 set)
☐ Reduced Plans 11x17 Board review 2 sign/seal + 14 reg. Non-Board review (1 set)			

- Application will not be scheduled for a hearing unless received in completed form by the established due date (subject to staff review).
- Applications will be accepted only when a completed application form is submitted together with the necessary supplemental materials.
- All drawings & supporting information must be collated into the correct number of packets and clearly labeled.
- Applicant or his/her representative **MUST** attend hearing and present his/her proposal to the Board.
- Preliminary Zoning Analysis for proposed changes **MUST** be obtained and submitted with this application (see attached form).
- A paint sample visible from the public side of the structure must be applied to the building no less than ten days from the hearing date.
- Board of Architects recommendation **MUST** be obtained prior to the submission of any Certificate of Appropriateness application.
- The Historic Preservation Board will act on completed applications only. Decisions made by the Board may be appealed to the City Commission no later than **10 days** after the ruling is made. If there is no appeal or Commission action, the Historic Preservation Board decision shall be final.

9. I, **JUAN C. Menendez**, as Owner of Lot(s) **11 thru 13**

(Print Owner's Name)

Block(s) **14**, Section **Sec D Rev PL** do hereby authorize the

filing of this application.

[Signature]

(Owner's Signature)

(Date)

My signature affirms and certifies that I/we understand and will comply with the provisions and regulations of the City of Coral Gables Historic Preservation Ordinance as amended from time to time. It further certifies that any statements made in the application, documents attached to the application, and plans submitted herewith are true to the best of my/our knowledge and belief. Further, I/we understand that the application, attachments and fees become part of the Official Records of the Historic Preservation Division and are not returnable. The above signed consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this application and/or presentation to the Historic Preservation Board. Applicants seeking approval of alterations, demolitions and/or new construction acknowledge that the City may erect signs on the subject property, which state the proposed action and the date of the Historic Preservation Board meeting.

STAFF USE ONLY



DATE RECEIVED: **02/14/2014**
CASE FILE: **COA (ST) 2014-015**
EDEN FILE: _____
POTENTIAL HPB MEETING: _____

CITY OF CORAL GABLES
HISTORICAL RESOURCES DEPARTMENT
HISTORIC PRESERVATION DIVISION
2327 SALZEDO STREET, 2ND FLOOR
CORAL GABLES, FLORIDA 33134
Phone: (305) 460-5090/5093/5094/5096
Fax: (305) 460-5097
e-mail: historicalresources@coralgables.com

* A drawing set must include a site plan, floor plan(s), and elevations of all facades with sufficient dimensions to conduct a preliminary Zoning Analysis. The purpose of the preliminary Zoning Analysis is to identify possible variances and is not intended to replace any review required as part of the permitting process. The drawings must illustrate the existing conditions and the proposed changes separately. Contextual drawings or photographs of the neighboring properties must also be included. The Department staff may request additional drawings and documents as needed. Requests for Special Certificates of Appropriateness for demolition and/or that require variance(s) must include a certified mailing list, a map, and **three** sets of mailing labels (1000-foot radius) and the required fee. * It is the responsibility of the applicant to provide sufficient illustrations to convey the intended scope of work.

REVISED: March 15, 2012

X:\Forms\COApp-March2012.doc

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- [illegible]

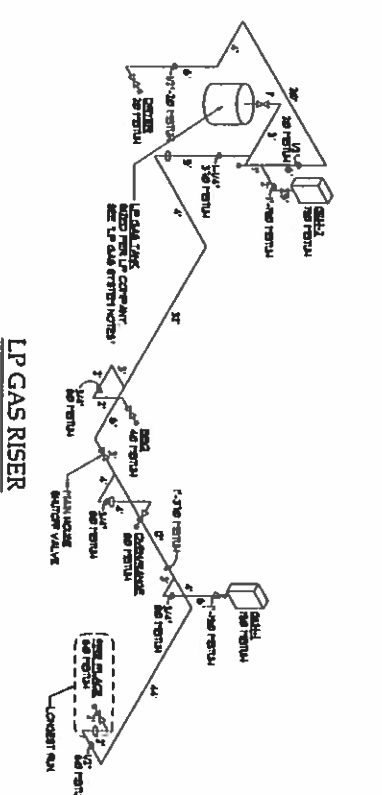
95 TANKLESS SERIES

Available in 10, 15, 20, 25, 30, 35, 40, 45, 50, 55, 60, 65, 70, 75, 80, 85, 90, 95, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000, 1010, 1020, 1030, 1040, 1050, 1060, 1070, 1080, 1090, 1100, 1110, 1120, 1130, 1140, 1150, 1160, 1170, 1180, 1190, 1200, 1210, 1220, 1230, 1240, 1250, 1260, 1270, 1280, 1290, 1300, 1310, 1320, 1330, 1340, 1350, 1360, 1370, 1380, 1390, 1400, 1410, 1420, 1430, 1440, 1450, 1460, 1470, 1480, 1490, 1500, 1510, 1520, 1530, 1540, 1550, 1560, 1570, 1580, 1590, 1600, 1610, 1620, 1630, 1640, 1650, 1660, 1670, 1680, 1690, 1700, 1710, 1720, 1730, 1740, 1750, 1760, 1770, 1780, 1790, 1800, 1810, 1820, 1830, 1840, 1850, 1860, 1870, 1880, 1890, 1900, 1910, 1920, 1930, 1940, 1950, 1960, 1970, 1980, 1990, 2000, 2010, 2020, 2030, 2040, 2050, 2060, 2070, 2080, 2090, 2100, 2110, 2120, 2130, 2140, 2150, 2160, 2170, 2180, 2190, 2200, 2210, 2220, 2230, 2240, 2250, 2260, 2270, 2280, 2290, 2300, 2310, 2320, 2330, 2340, 2350, 2360, 2370, 2380, 2390, 2400, 2410, 2420, 2430, 2440, 2450, 2460, 2470, 2480, 2490, 2500, 2510, 2520, 2530, 2540, 2550, 2560, 2570, 2580, 2590, 2600, 2610, 2620, 2630, 2640, 2650, 2660, 2670, 2680, 2690, 2700, 2710, 2720, 2730, 2740, 2750, 2760, 2770, 2780, 2790, 2800, 2810, 2820, 2830, 2840, 2850, 2860, 2870, 2880, 2890, 2900, 2910, 2920, 2930, 2940, 2950, 2960, 2970, 2980, 2990, 3000, 3010, 3020, 3030, 3040, 3050, 3060, 3070, 3080, 3090, 3100, 3110, 3120, 3130, 3140, 3150, 3160, 3170, 3180, 3190, 3200, 3210, 3220, 3230, 3240, 3250, 3260, 3270, 3280, 3290, 3300, 3310, 3320, 3330, 3340, 3350, 3360, 3370, 3380, 3390, 3400, 3410, 3420, 3430, 3440, 3450, 3460, 3470, 3480, 3490, 3500, 3510, 3520, 3530, 3540, 3550, 3560, 3570, 3580, 3590, 3600, 3610, 3620, 3630, 3640, 3650, 3660, 3670, 3680, 3690, 3700, 3710, 3720, 3730, 3740, 3750, 3760, 3770, 3780, 3790, 3800, 3810, 3820, 3830, 3840, 3850, 3860, 3870, 3880, 3890, 3900, 3910, 3920, 3930, 3940, 3950, 3960, 3970, 3980, 3990, 4000, 4010, 4020, 4030, 4040, 4050, 4060, 4070, 4080, 4090, 4100, 4110, 4120, 4130, 4140, 4150, 4160, 4170, 4180, 4190, 4200, 4210, 4220, 4230, 4240, 4250, 4260, 4270, 4280, 4290, 4300, 4310, 4320, 4330, 4340, 4350, 4360, 4370, 4380, 4390, 4400, 4410, 4420, 4430, 4440, 4450, 4460, 4470, 4480, 4490, 4500, 4510, 4520, 4530, 4540, 4550, 4560, 4570, 4580, 4590, 4600, 4610, 4620, 4630, 4640, 4650, 4660, 4670, 4680, 4690, 4700, 4710, 4720, 4730, 4740, 4750, 4760, 4770, 4780, 4790, 4800, 4810, 4820, 4830, 4840, 4850, 4860, 4870, 4880, 4890, 4900, 4910, 4920, 4930, 4940, 4950, 4960, 4970, 4980, 4990, 5000, 5010, 5020, 5030, 5040, 5050, 5060, 5070, 5080, 5090, 5100, 5110, 5120, 5130, 5140, 5150, 5160, 5170, 5180, 5190, 5200, 5210, 5220, 5230, 5240, 5250, 5260, 5270, 5280, 5290, 5300, 5310, 5320, 5330, 5340, 5350, 5360, 5370, 5380, 5390, 5400, 5410, 5420, 5430, 5440, 5450, 5460, 5470, 5480, 5490, 5500, 5510, 5520, 5530, 5540, 5550, 5560, 5570, 5580, 5590, 5600, 5610, 5620, 5630, 5640, 5650, 5660, 5670, 5680, 5690, 5700, 5710, 5720, 5730, 5740, 5750, 5760, 5770, 5780, 5790, 5800, 5810, 5820, 5830, 5840, 5850, 5860, 5870, 5880, 5890, 5900, 5910, 5920, 5930, 5940, 5950, 5960, 5970, 5980, 5990, 6000, 6010, 6020, 6030, 6040, 6050, 6060, 6070, 6080, 6090, 6100, 6110, 6120, 6130, 6140, 6150, 6160, 6170, 6180, 6190, 6200, 6210, 6220, 6230, 6240, 6250, 6260, 6270, 6280, 6290, 6300, 6310, 6320, 6330, 6340, 6350, 6360, 6370, 6380, 6390, 6400, 6410, 6420, 6430, 6440, 6450, 6460, 6470, 6480, 6490, 6500, 6510, 6520, 6530, 6540, 6550, 6560, 6570, 6580, 6590, 6600, 6610, 6620, 6630, 6640, 6650, 6660, 6670, 6680, 6690, 6700, 6710, 6720, 6730, 6740, 6750, 6760, 6770, 6780, 6790, 6800, 6810, 6820, 6830, 6840, 6850, 6860, 6870, 6880, 6890, 6900, 6910, 6920

[illegible]

WATER HEATER NOTES

1. REMOVE WATER SECTION AT EACH WATER HEATER PAN TO ENSURE ADEQUATE WATER CIRCULATION IN WATER HEATER AND TO PREVENT BACKFLOW OF WATER INTO
2. REMOVE WATER SECTION FROM ORIGINAL PAN ONLY, SEE FIGURE 2, DRAIN 1" DRAIN 1" WATER TO ADEQUATE DRAINAGE TO BAY OR OVER THE BOARD (TYP)
3. 1" RECOMMENDED WATER COLLECTION PAN AND WATER DRAIN DRAIN TO PAN (TYP)
4. 1" LINE DRAIN PAN OCCASIONALLY TO DRAINAGE, ABOUT DRAIN PUMPING DOWN (TYP)
5. WATER HEATER PAN MUST BE RECALLED FROM RECALLED INSPECTIONS TO 1" DRAINAGE SECTION AS

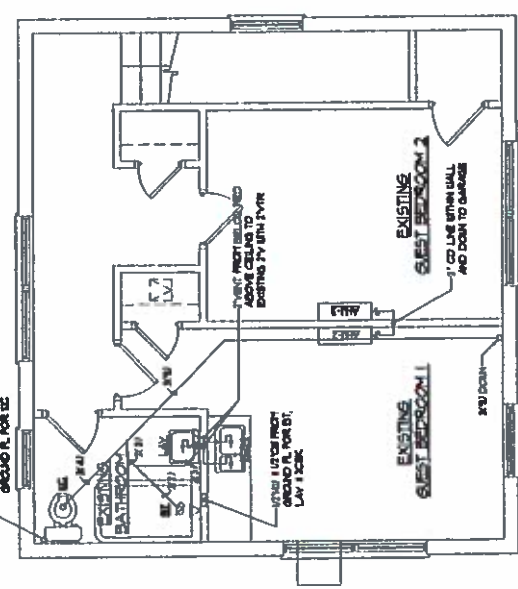
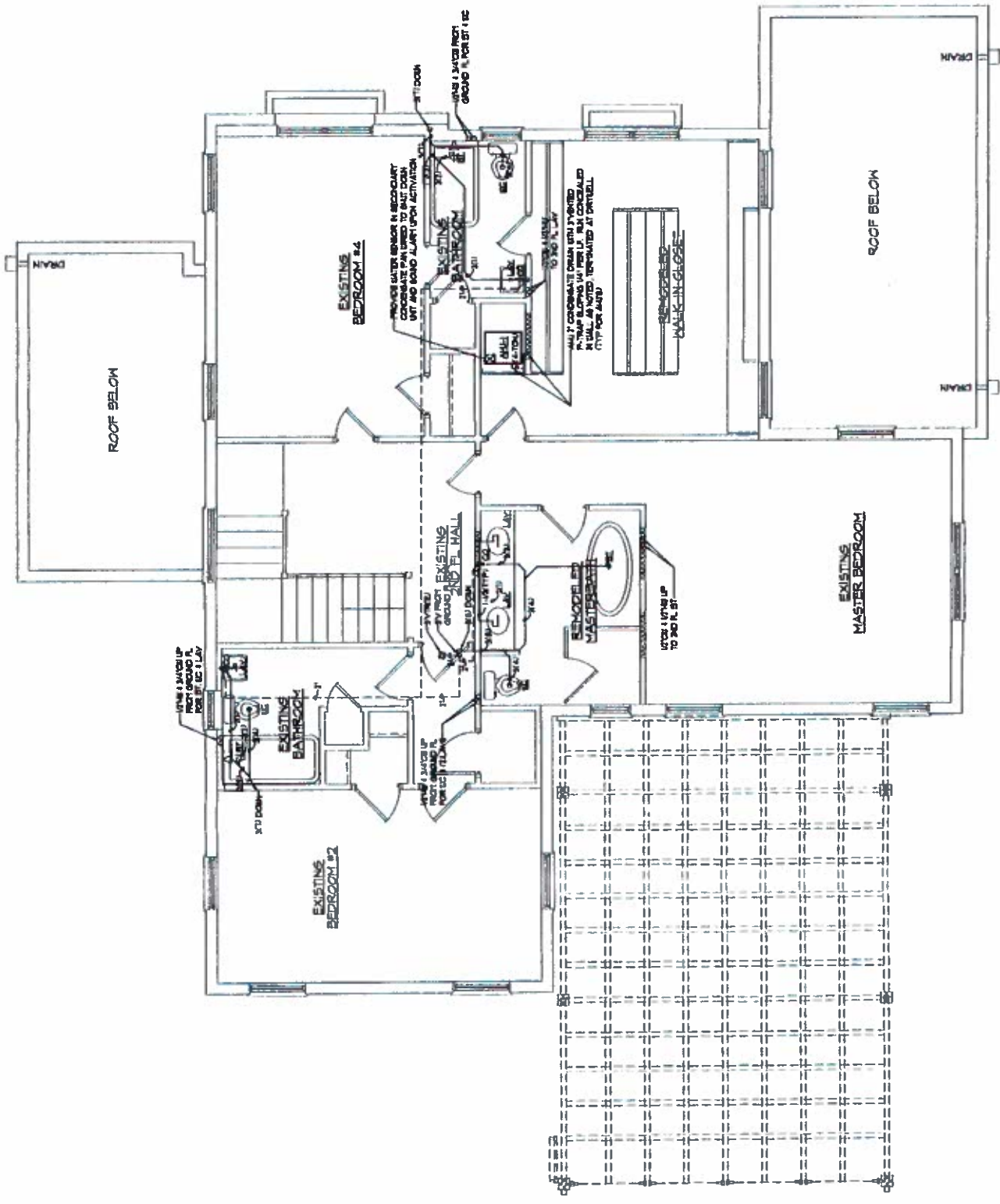
[illegible][illegible]

EQUIPMENT		WHEEL
LOAD WITH WEIGHING GEAR - 1 KING LOAD	360	
OPTION	30	
20000	40	
OVERWEIGHT	60	
PERM. PLACE	60	
TOTAL LOAD	560	

[illegible][illegible]

1. **COMPANY INFORMATION**—Enter the company name, address, telephone number, fax number, e-mail address, and website address. If the company is a subsidiary of another company, enter the name of the parent company. If the company is a joint venture, enter the names of the other companies. If the company is a partnership, enter the names of the partners. If the company is a sole proprietorship, enter the name of the owner. If the company is a corporation, enter the name of the corporation. If the company is a limited liability company (LLC), enter the name of the LLC. If the company is a limited partnership (LP), enter the name of the LP. If the company is a limited liability partnership (LLP), enter the name of the LLP. If the company is a limited liability company (LLC), enter the name of the LLC. If the company is a limited partnership (LP), enter the name of the LP. If the company is a limited liability partnership (LLP), enter the name of the LLP.

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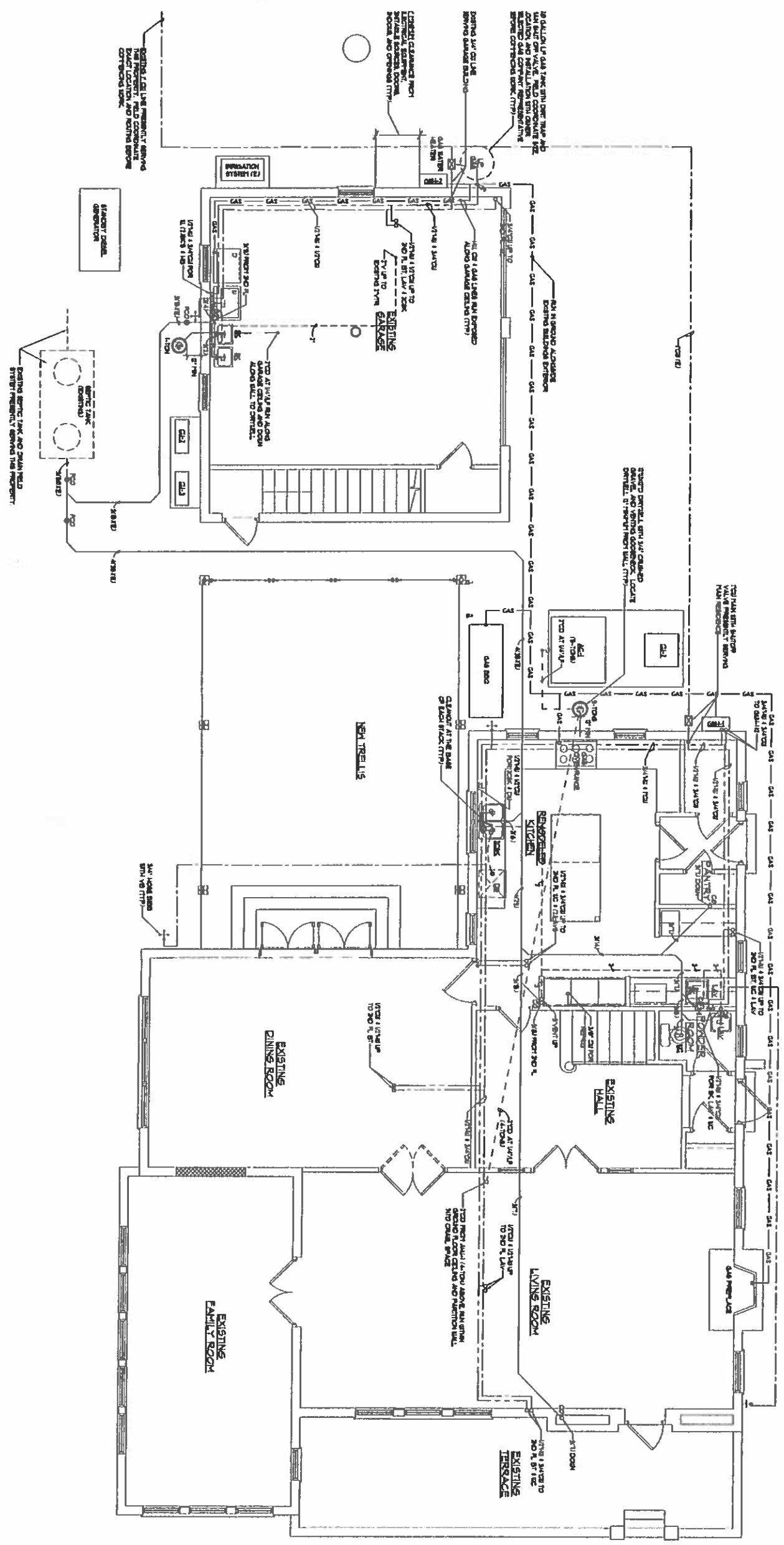


↑ SECOND FLOOR - PLUMBING

SCALE: 1/4" = 1'-0"



EXISTING CARPORT



GROUND FLOOR - PLUMBING
SCALE: 1/4" = 1'-0"

NE

DATE: FEB
SCALE: A'
DRAWN:
CHECKED:
JOB NO.:

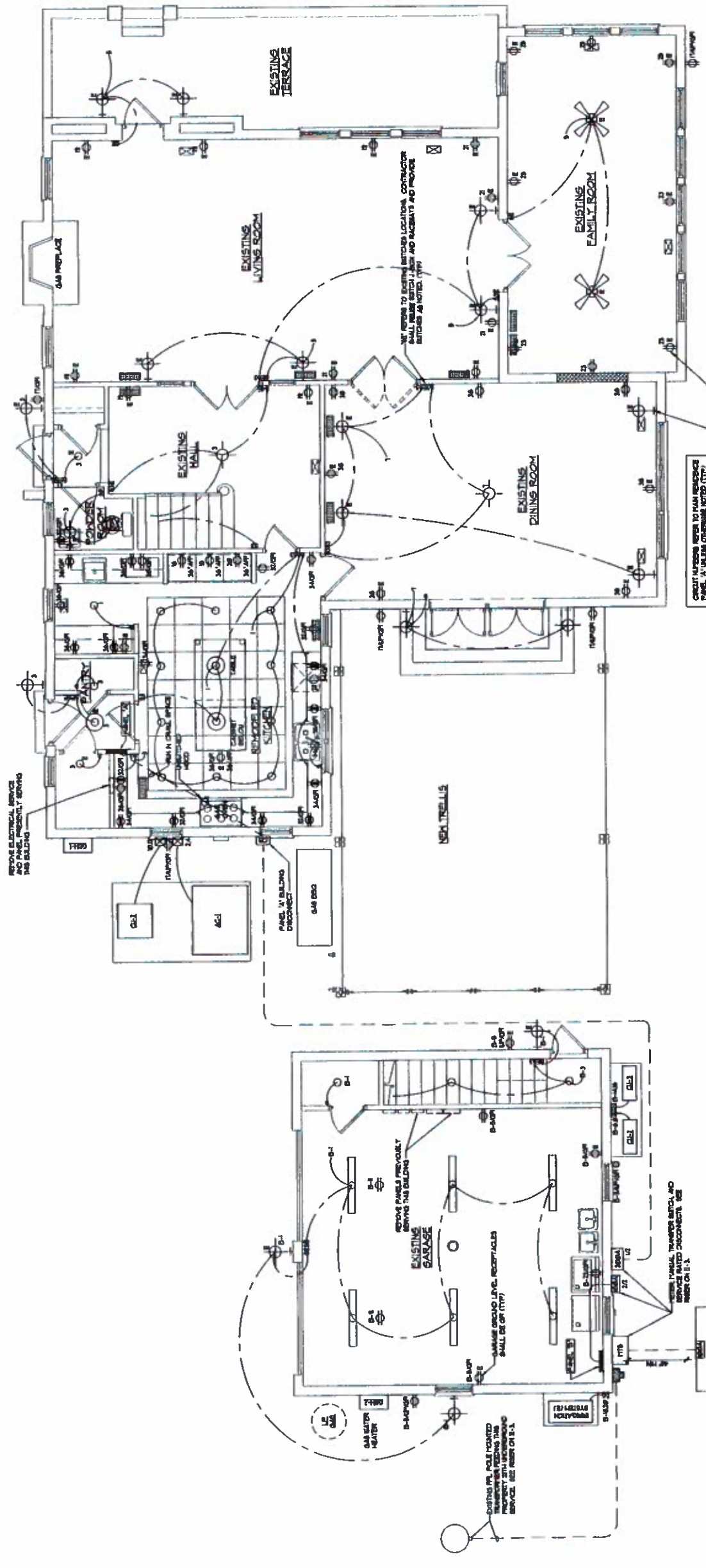
Architectural floor plan of the second floor of a house. The plan shows the layout of existing rooms and proposed modifications. Key areas include:

- EXISTING GUEST BEDROOM 1**: Located in the upper left corner.
- EXISTING GUEST BEDROOM 2**: Located in the upper middle section.
- EXISTING BATHROOM**: Located in the upper right corner.
- EXISTING BEDROOM #2**: Located in the middle right section.
- EXISTING BEDROOM #4**: Located in the lower right corner.
- EXISTING MASTER BEDROOM**: Located in the lower middle section.
- REMODELLED MASTER BEDROOM**: Located in the lower left corner.
- 2ND FL. HALL**: A central hallway connecting the rooms.
- ROOF BELOW**: A large area on the right side of the plan, indicating a roof area below the floor level.
- DRAIN**: A designated area for drainage, located near the roof area.

The plan is dated 10/1/10 and includes a note about the plan being a duplicate of the first floor plan.

EXISTING CARPORT

EXISTING CARPORT



SEE ELECTRICAL SPEC. ALL 120-VOLT 15 AMP BRANCH CIRCUITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC). ALL BRANCH CIRCUITS SHALL BE PROTECTED BY A 15 AMP CIRCUIT BREAKER OR FUSE. ALL BRANCH CIRCUITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC). ALL BRANCH CIRCUITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC).

GROUND FLOOR - ELECTRICAL

SCALE: 1/4" = 1'-0"

PARTIAL - DURABLE

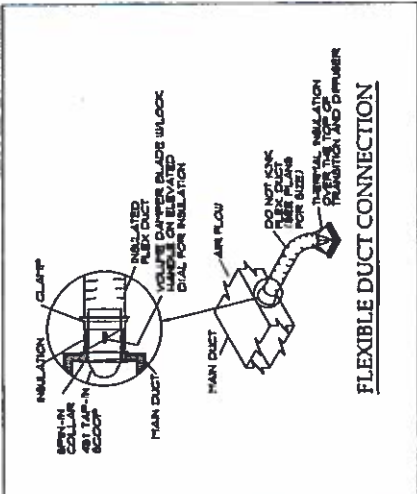
- 22 FILTERS, RECULAMAY TYPE LOCATED IN AIR HANDLER ON 4TH FLOOR
FURNISH ONE (1) OF EACH SET TO

- 24 CONTRACTOR SHALL MAKE ALL NECESSARY EXPLANATORY, EDITING AND REVISIONS AS NECESSARY FOR THE PROPER EXECUTION OF THIS

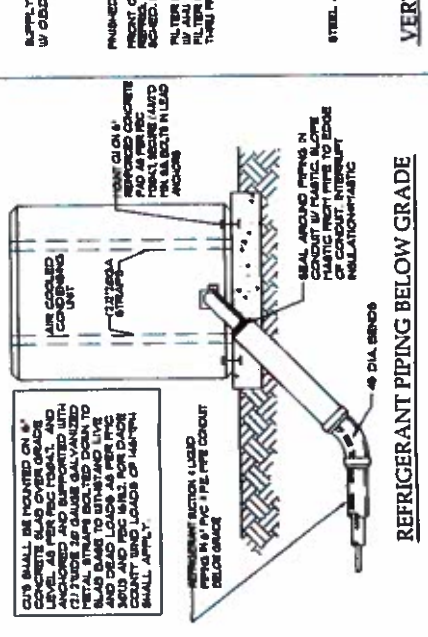
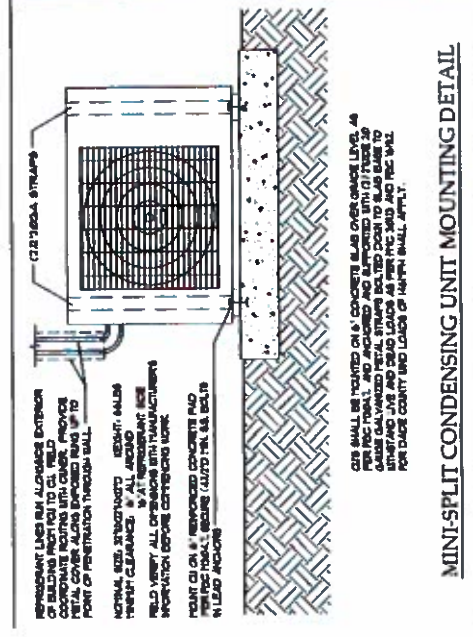
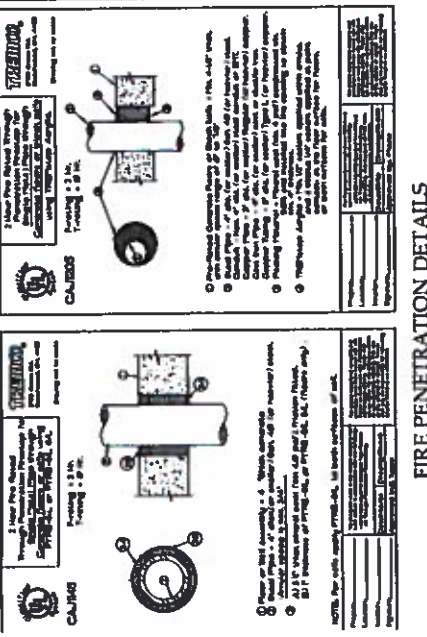
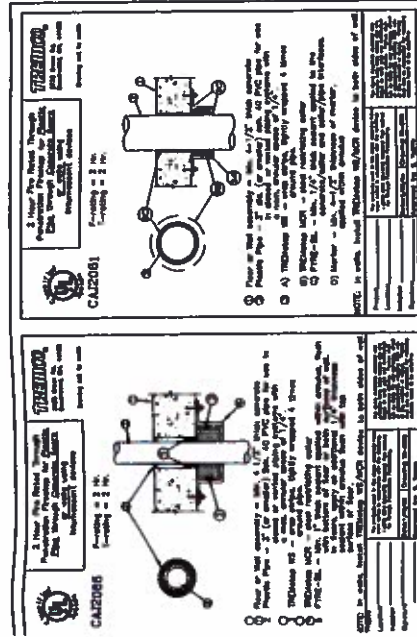
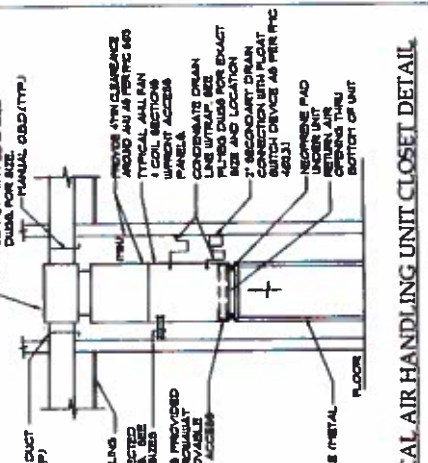
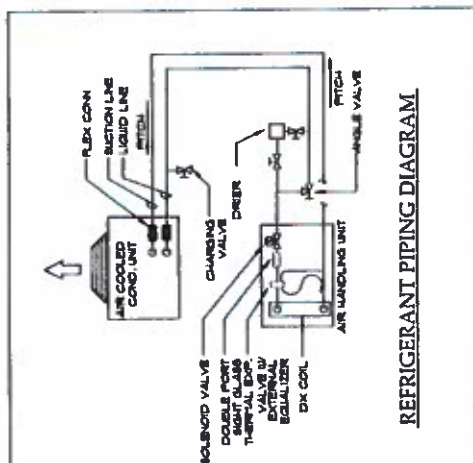
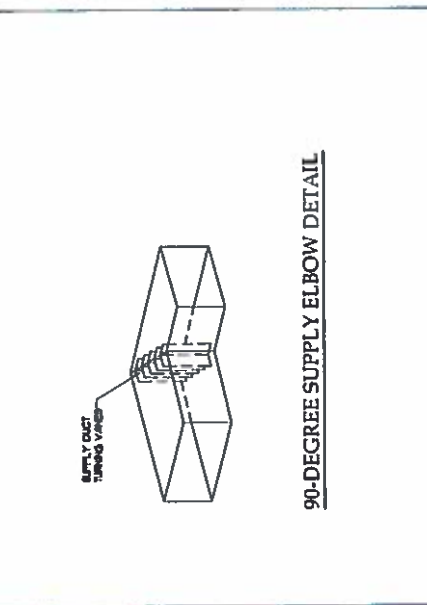
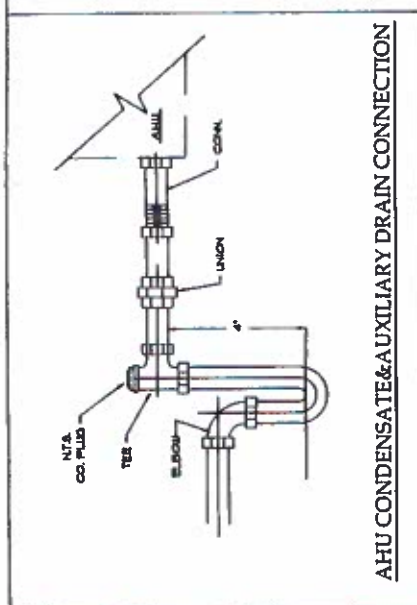
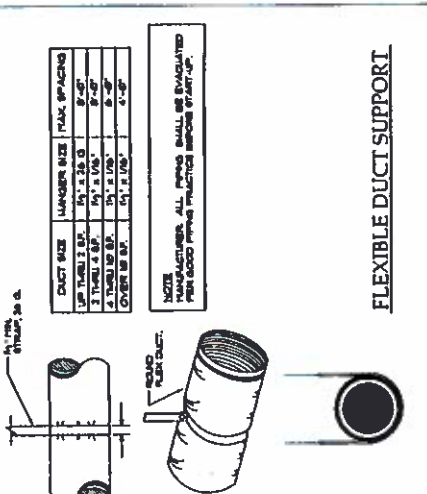
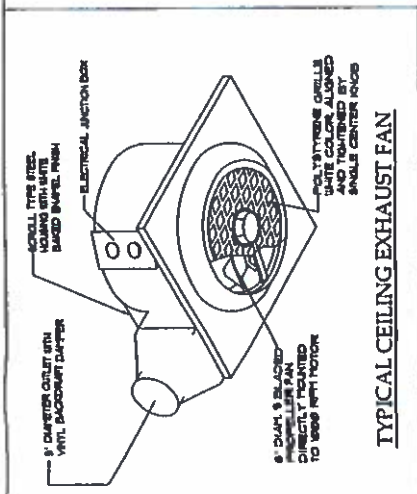
HVAC DESIGN	YES	NO
DUCT SYSTEM		
DUCT MATERIAL		
DUCT INSULATION		
DUCT SUPPORTS		
DUCT ACCESSORIES		
DUCT CONTROLS		

EXHAUST FAN SCHEDULE
1. EXHAUST FAN SHALL BE APPROVED BY THE CITY OF MIAMI.
2. EXHAUST FAN SHALL BE APPROVED BY THE CITY OF MIAMI.
3. EXHAUST FAN SHALL BE APPROVED BY THE CITY OF MIAMI.
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PACKAGE AC UNIT SCHEDULE
1. PACKAGE AC UNIT SHALL BE APPROVED BY THE CITY OF MIAMI.
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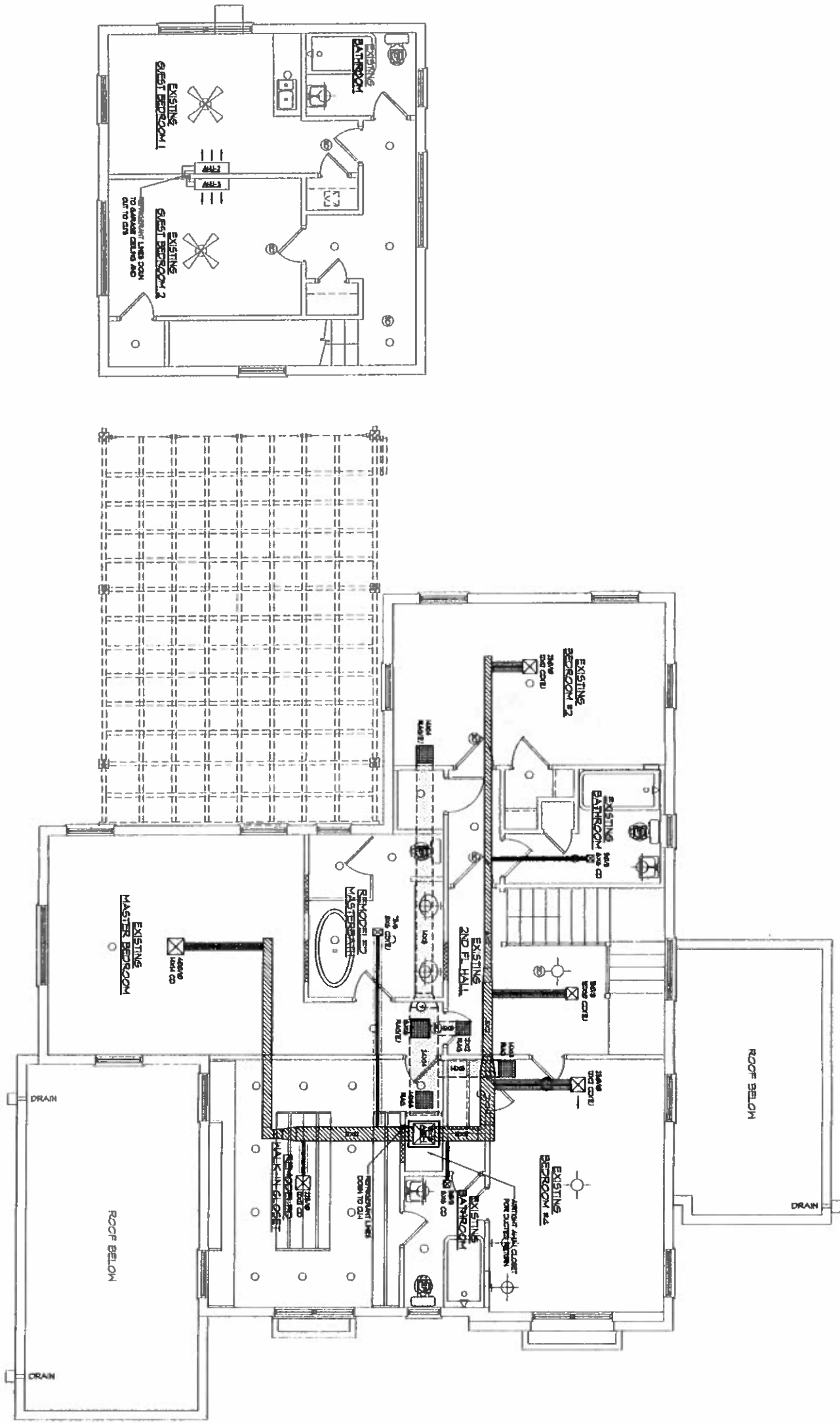


INTERIOR REMODELING AND TRELLIS
2622 COUNTRY CLUB PRADO

NE
Narsio Engin
Consultants
Mechanical • E.E.
CA 62774
Orlando Hwy
P.O. Box 96
Tampa, FL 33611
W. 305-413-7
narsio@nec-engine
www.nec-engine

DATE: FEB
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AC-



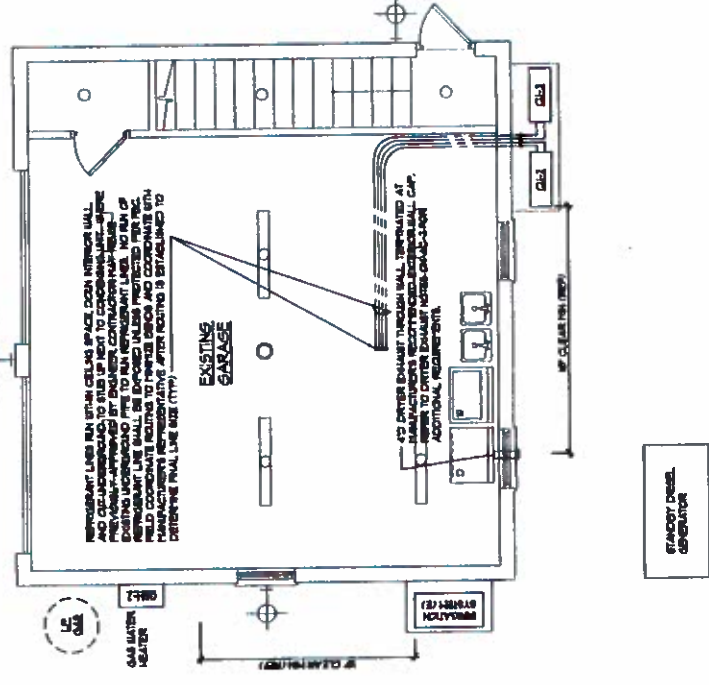
SECOND FLOOR - HVAC
SCALE: 1/4" = 1'-0"

EXISTING AC UNITS REPLACEMENT
WORK CONSISTS OF REMOVING EXISTING AC UNITS FROM MAIN HOUSE AND AC UNITS IN GARAGE BUILDING WITH NEW THROUGH ROOF PENETRATIONS AS NOTED ON DRAWING. CONTRACTOR SHALL PROVIDE FOR ALL AIR SEAL COMPONENTS AS NOTED ON DRAWING. REMOVING EXISTING GARAGE FLOOR AND SECOND FLOOR CEILING SHALL BE REMOVED. CONTRACTOR SHALL PROVIDE FOR ALL AIR SEAL COMPONENTS AS NOTED ON DRAWING. CONTRACTOR SHALL PROVIDE FOR ALL AIR SEAL COMPONENTS AS NOTED ON DRAWING. CONTRACTOR SHALL PROVIDE FOR ALL AIR SEAL COMPONENTS AS NOTED ON DRAWING.

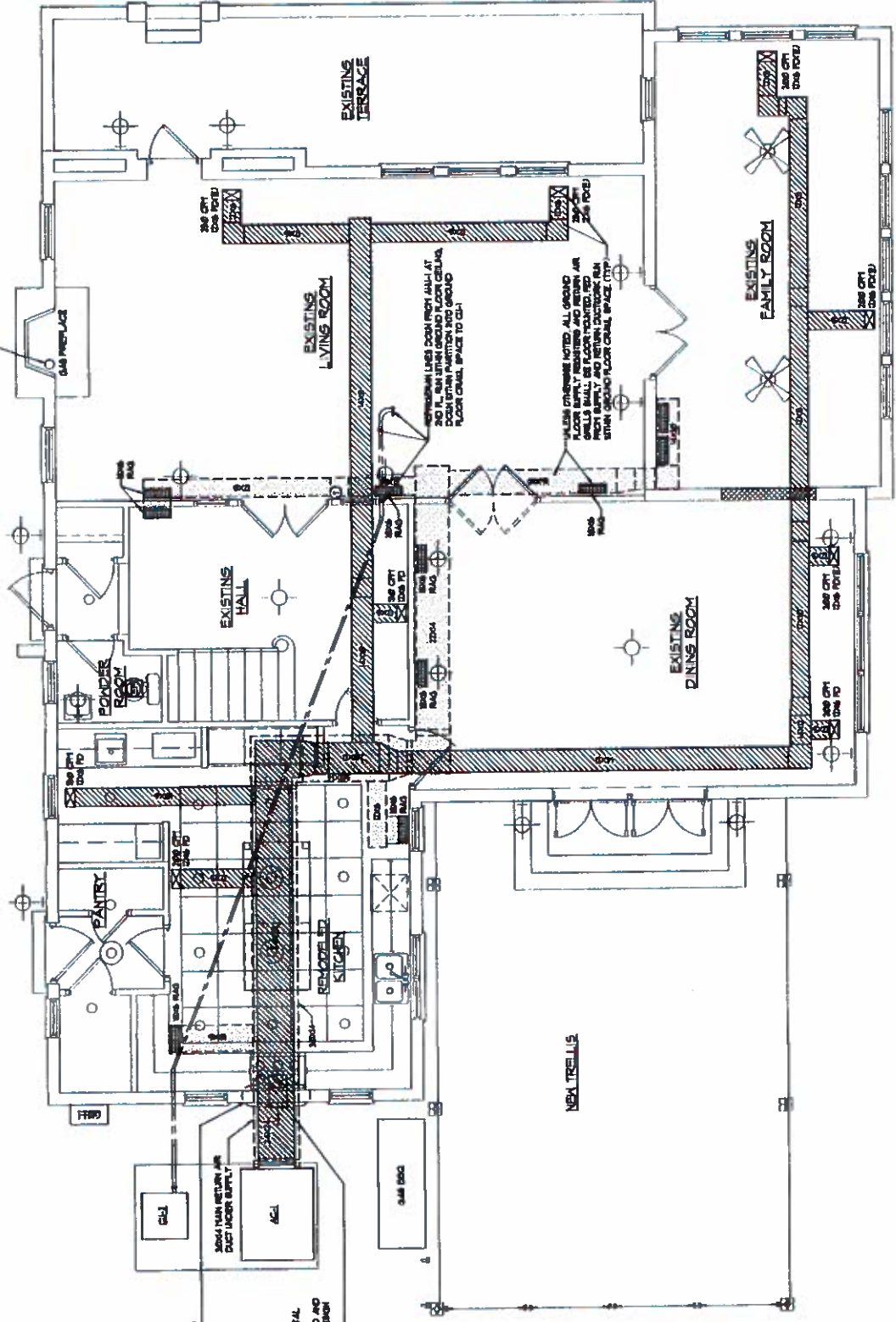
GROUND FLOOR AC-1 DUCTWORK
1. SUPPLY AND RETURN DUCTWORK FOR GROUND FLOOR SHALL BE INSTALLED PER THE FOLLOWING:
a. SUPPLY DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:
b. RETURN DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:
c. DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:
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v. DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:
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x. DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:
y. DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:
z. DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:

HVAC NOTES
1. SEE ALL NOTES AND SPECIFICATIONS FOR ALL HVAC WORK.
2. ALL HVAC WORK SHALL BE INSTALLED PER THE FOLLOWING:
a. SUPPLY DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:
b. RETURN DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:
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z. DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:

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x. DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:
y. DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:
z. DUCTWORK SHALL BE INSTALLED PER THE FOLLOWING:



REPLACE WITH:
1. 1/2" THICK GLASS BLOCK DOOR TO EXISTING TERRACE.
2. 1/2" THICK GLASS BLOCK DOOR TO EXISTING TERRACE.
3. 1/2" THICK GLASS BLOCK DOOR TO EXISTING TERRACE.
4. 1/2" THICK GLASS BLOCK DOOR TO EXISTING TERRACE.
5. 1/2" THICK GLASS BLOCK DOOR TO EXISTING TERRACE.
6. 1/2" THICK GLASS BLOCK DOOR TO EXISTING TERRACE.
7. 1/2" THICK GLASS BLOCK DOOR TO EXISTING TERRACE.
8. 1/2" THICK GLASS BLOCK DOOR TO EXISTING TERRACE.
9. 1/2" THICK GLASS BLOCK DOOR TO EXISTING TERRACE.
10. 1/2" THICK GLASS BLOCK DOOR TO EXISTING TERRACE.



GROUND FLOOR - HVAC

SCALE: 1/4" = 1'-0"

DATE:	FEB 3, 2011
SCALE:	AS NOTED
DRAWN:	MS/1
CHECKED:	C
JOB NO.:	4

NEC
Naranjo Engineering
Consultants LLC
Mechanical • Electrical
CA 92774
Orlando Naranjo PE
Florida Reg #63442
7194 SW 47th Street
Miami, FL 33155
W: 305-432-7616
www.NECEngineers.com

INTERIOR REMODELING AND TRELLIS
2622 COUNTRY CLUB PRADO
CORAL CABLES FL
CORAL CABLES FL

KILDDJIAN
ARCHITECTS - PLANNING
1108 OBISPO AVENUE
CORAL GABLES, FL 33134
TEL (305) 726 3746

VALID

KILDI

- ARCHITECTS**
PETER KALE
 LICENSE No.:
 T100 0815P
 CORAL CA
 TELEPHONE: (714) 441-1111
- REVISIONS:**



A

A

- ARCHITECTS**
PETER KALE
 LICENSE NO.:
 7100 OBPB
 CORAL CA
- TELEPHONE:** (305) 455-1111
- REVISIONS:**

- ARCHITECTS**
PETER ROLIC
 LICENSE NO. :
 1108 0858P
 CORAL GABLES, FL 33134
- TELEPHONE :** (305) 442-1108
- REVIEWS :**

1

- 



A

A

1

- ARCHITECTS**
PETER JOLIC
LICENSE No. 1

1

- REVISIONS : _____
- HEALTHPHONE : 1-800-368-7263

WALL TYPE DESIGNATION: 2014 FEB 14 AM 8:20

RECEIVED
CITY OF CORAL GABLES
HISTORICAL RESOURCES

TYPE	SECTION	DESCRIPTION
1	1	EXISTING INTERIOR WALLS TO BE DEMOLISHED
2	2	NEW INTERIOR WALLS TO BE DEMOLISHED
3	3	EXISTING CONCRETE BLOCK WALL TO REMAIN
4	4	EXISTING PARTITION TO BE DEMOLISHED
5	5	EXISTING CONCRETE TO BE DEMOLISHED

DEMOLITION NOTES:

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE WORK SITE PRIOR TO BID AND BECOME FAMILIAR WITH THE SCOPE OF THE WORK INVOLVED UNDER THIS CONTRACT.

THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR THE HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK.

SALVAGE MATERIALS, APPLIANCES, AND EQUIPMENT EXCEPT AS NOTED OTHERWISE, SHALL REMAIN THE PROPERTY OF THE OWNER AFTER REMOVAL FROM THEIR PRESENT LOCATION. MATERIALS AND EQUIPMENT TO BE RE-USED SHALL BE TREATED WITH CARE AND RE-INSTALLED AS SHOWN.

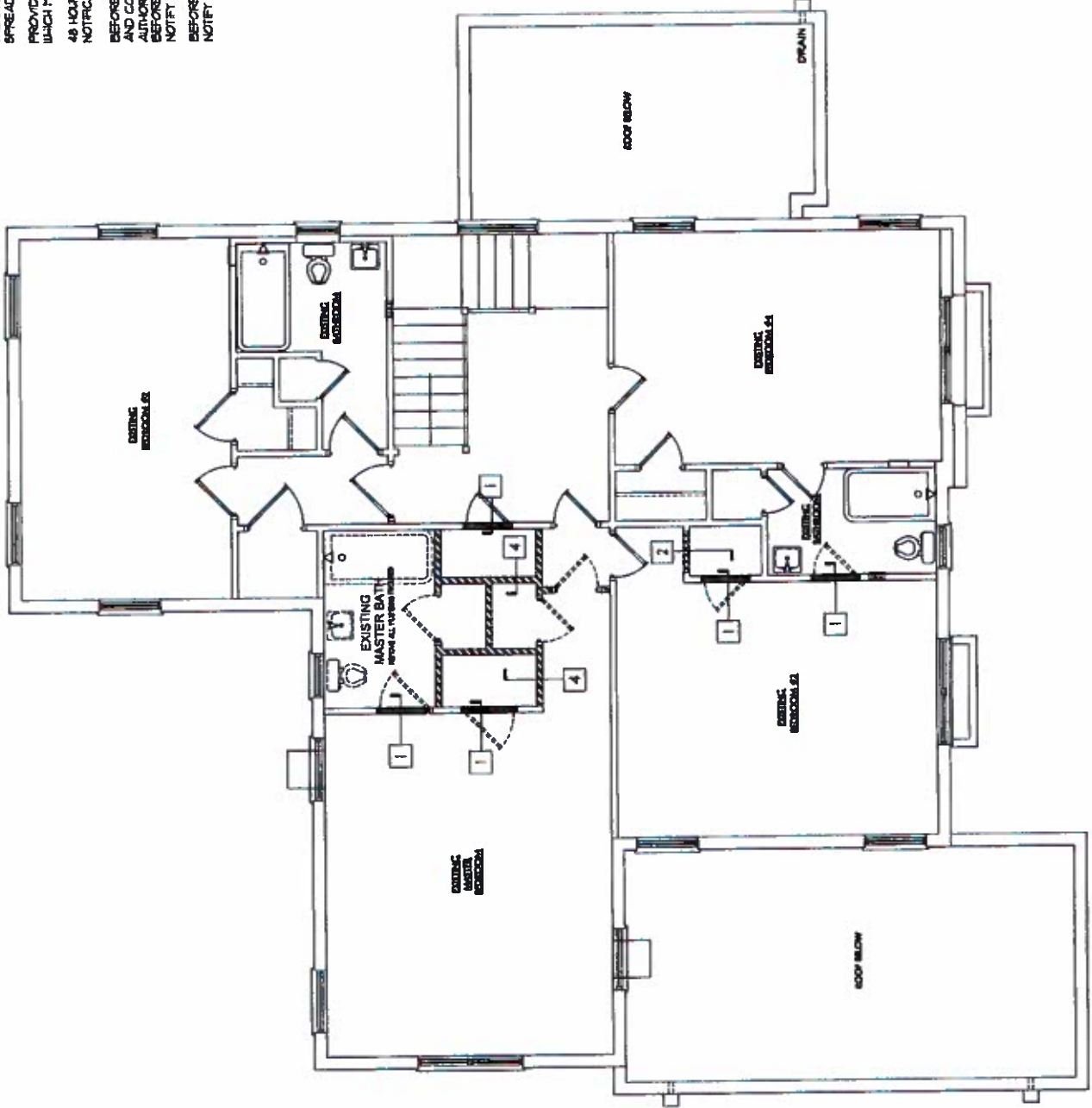
ALL WORK COMPLETED OR OTHERWISE PERFORMED SHALL BE PROPERLY PROTECTED AND MADE SAFE AT ALL TIMES. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AND PROVIDE ALL FENCE, BARRICADES, ETC. AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY AND AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THIS WORK. THE CONTRACTOR SHALL REPAIR AT HIS OWN COST ANY DAMAGE TO THE FINISHES OR ADJACENT WORK CAUSED BY THIS OPERATION.

PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL INTEGRITY OF AFFECTED PORTION OF PROJECT FROM DAMAGE TO THE DIRT RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT SPREAD OF DUST IN THE SURROUNDING AREA.

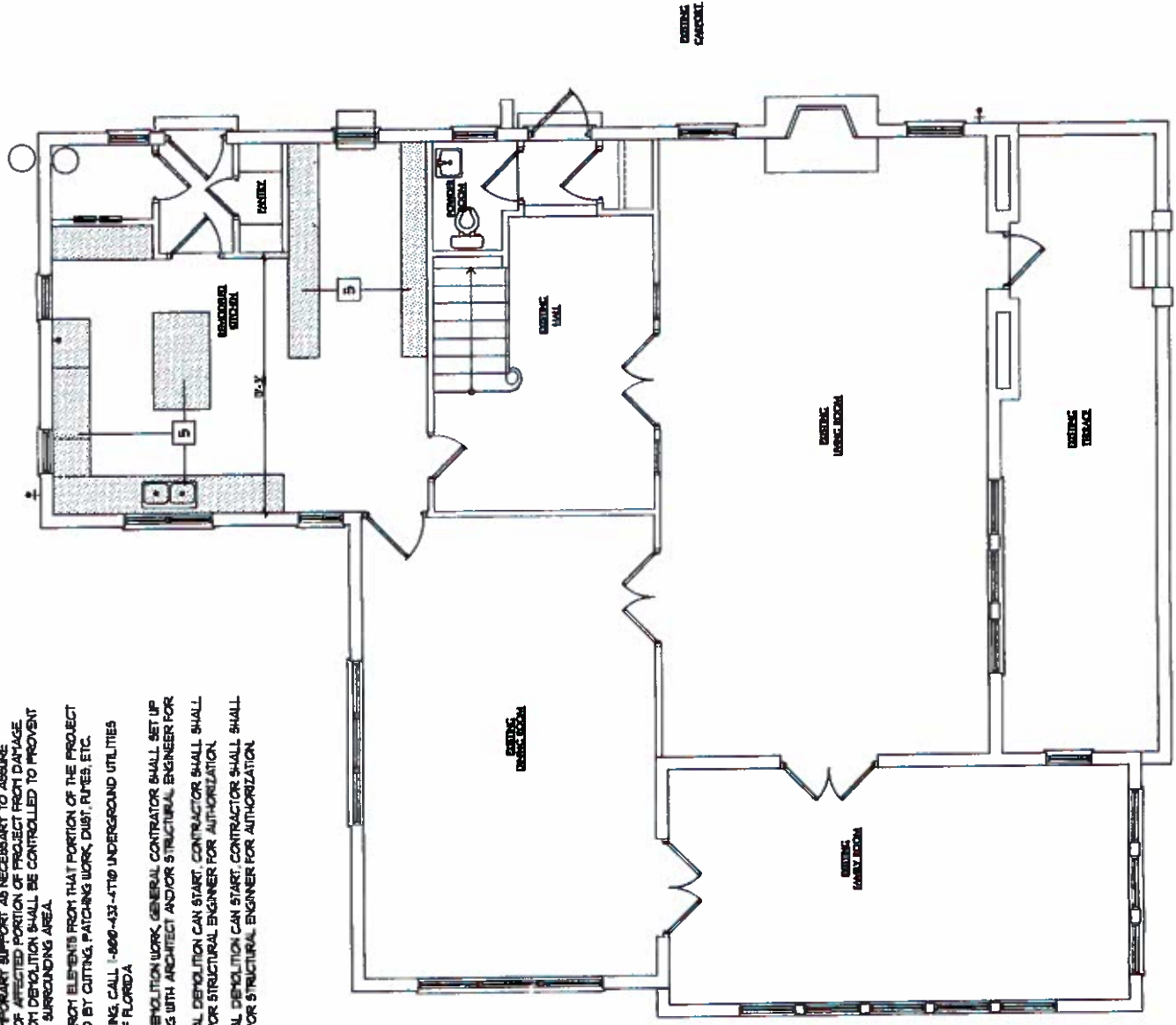
PROVIDE PROTECTION FROM ELEMENTS FROM THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING, PATCHING WORK, DUST, RUTS, ETC.

48 HOURS BEFORE DIGGING, CALL 1-800-433-4710 UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA.

BEFORE COMMENCING DEMOLITION WORK, GENERAL CONTRACTOR SHALL SET UP AND CONDUCT A MEETING WITH ARCHITECT AND/OR STRUCTURAL ENGINEER FOR APPROVAL OF DEMOLITION METHOD. CONTRACTOR SHALL NOTIFY ARCHITECT AND/OR STRUCTURAL ENGINEER FOR AUTHORIZATION. BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL SHALL NOTIFY ARCHITECT AND/OR STRUCTURAL ENGINEER FOR AUTHORIZATION.



SECOND FLOOR DEMOLITION PLAN 1/4"=1'-0"



FIRST FLOOR DEMOLITION PLAN 1/4"=1'-0"



The City of Coral Gables

Historical Resources Department

April 10, 2014

Susana Menendez Revocable Trust
c/o Juan Carlos Menendez
2622 Country Club Prado
Coral Gables, FL 33134

Re: Certificate of Appropriateness

Dear Mr. Menendez:

This letter is to confirm the results of the review by the Historical Resources Department. On April 10, 2014 an application for a Standard Certificate of Appropriateness was approved by the Historical Resources Department for the installation of a gas generator, BBQ area, brick paver deck and aluminum gate on the property at 2622 Country Club Prado, a local historic landmark. Because the work does not significantly alter the character of the existing historic structure, the matter was deemed appropriate for administrative review.

The proposed work does not destroy or detract from the integrity of the historic building, and is minimal in impact, which is entirely consistent with the Secretary of the Interior's Standards for Rehabilitation. Therefore, a Standard Certificate of Appropriateness is issued.

Please be advised that any changes or alterations to the approved plans will need to be submitted to this office for a revision to the Certificate of Appropriateness. Should you have any questions regarding this matter please do not hesitate to contact the office.

Sincerely,

A handwritten signature in dark ink, appearing to read "Kara N. Kautz", is written over a light blue horizontal line.

Kara N. Kautz
Assistant Historic Preservation Officer

Enclosed: Certificate of Appropriateness

cc: File COA(ST)2014-037
Chairman, Historic Preservation Board
Walter Foeman, City Clerk
Jane Tompkins, Development Services Director
Charles Wu, Assistant Development Services Director
William Miner, Building Director
Virginia Goizueta, Plans Processor Lead

CERTIFICATE OF APPROPRIATENESS
APPLICATION
CITY OF CORAL GABLES - HISTORIC PRESERVATION DIVISION

1.

2422 COUNTRY CLUB PRADO

Building Address

Historic name of building (if any)

District Name (if any)

66 SEC D 11th/13

14

D

Legal Description: Lot(s)

Block(s)

Section

JUAN A Merenda Revocable Trust 2422 COUNTRY CLUB PRADO

Owner's Name

Street Address

Zip Code

Phone No.

e-mail: jmerenda@WJFconstruction.com

JUAN C. Merenda same as owner

Applicant's Name

Street Address

Zip Code

Phone/Fax

e-mail:

Contractor/Arch./Engineer's Name

Street Address

Zip Code

Phone/Fax

e-mail:

2.

PLEASE INDICATE THE CATEGORY WHICH DESCRIBES THE PROPOSED WORK:

☐ Minor Alterations ☐ New Construction ☐ Addition ☐ Rehabilitation
☐ Demolition ☒ Other: REVISION - BL14021737

3.

Will the work proposed require a variance from the Zoning Code?

☐ NO ☐ YES, from section(s)

Attach the requested variance language to this form

4.

Has this property been qualified as a Coral Gables Cottage? ☐ NO ☐ YES (attach a copy of qualification sheet)

5.

This request is: ☐ new ☐ result of a violation ☐ a revision to a previous submittal ☐ a revision to a previously approved COA
Case File: Case File:

6.

WORK PROPOSED: Brief narrative of work to be performed.

DECK - GENERATOR - BBQ - GAS LINE & gate

7.

Variance requests require a processing fee. Payment must be included with the application. Please make check payable to the City of Coral Gables. Applications for ad valorem tax relief must be filed on a separate application form prior to construction.

8.

The following supplementary information (where applicable) shall be provided:*

☐ Site Plan (with dimensions) Before/After ☐ Floor Plan(s) (with dimensions) Before/After ☐ Elevations(s) (with dimensions) Before/After ☐ Mailing list & 3 sets of labels VARIANCES/DEMOLITIONS
☐ Photos Labeled 2 per page ☐ Survey (5 yrs or younger) Board review (1 Orig + 16 copies) Non-Board (1 original) ☐ Color/Material Sample Board review (16 swatches) Non-Board review (1 set) ☐ Letter of Intent Board review (16 copies) Non-Board review (1 copy) ☐ Regular size 1 signed/sealed set ☐ Reduced Plans 11x17 Board review 2 sign/seal + 14 reg. Non-Board review (1 set)
☐ Copy of Board of Architects Comments/Recommendations ☐ CD with electronic copies of drawings/photos ☐ Fee due to variances/violations ☐ Other

STAFF USE ONLY

- Application will not be scheduled for a hearing unless received in completed form by the established due date (subject to staff review).
- Applications will be accepted only when a completed application form is submitted together with the necessary supplemental materials.
- All drawings & supporting information must be collated into the correct number of packets and clearly labeled.
- Applicant or his/her representative **MUST** attend hearing and present his/her proposal to the Board.
- Preliminary Zoning Analysis for proposed changes **MUST** be obtained and submitted with this application (see attached form).
- A paint sample visible from the public side of the structure must be applied to the building no less than ten days from the hearing date.
- Board of Architects recommendation **MUST** be obtained prior to the submission of any Certificate of Appropriateness application.
- The Historic Preservation Board will act on completed applications only. Decisions made by the Board may be appealed to the City Commission no later than **10 days** after the ruling is made. If there is no appeal or Commission action, the Historic Preservation Board decision shall be final.

9.

I, JUAN C. Merenda, as Owner of Lot(s) 11 to 13

(Print Owner's Name)

Block(s) 14, Section D do hereby authorize the

filing of this application.

(Owner's Signature)

(Date)

My signature affirms and certifies that I/we understand and will comply with the provisions and regulations of the City of Coral Gables Historic Preservation Ordinance as amended from time to time. I further certifies that any statements made in the application, documents attached to the application, and plans submitted herewith are true to the best of my/our knowledge and belief. Further, I/we understand that the application, attachments and fees become part of the Official Records of the Historic Preservation Division and are not returnable. The above signed consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this application and/or presentation to the Historic Preservation Board. Applicants seeking approval of alterations, demolitions and/or new construction acknowledge that the City may erect signs on the subject property, which state the proposed action and the date of the Historic Preservation Board meeting.



DATE RECEIVED: 7/10/14
CASE FILE: COA(57)2014-037
EDEN FILE:
POTENTIAL HPB MEETING:

CITY OF CORAL GABLES
HISTORICAL RESOURCES DEPARTMENT
HISTORIC PRESERVATION DIVISION
2327 SALZEDO STREET, 2ND FLOOR
CORAL GABLES, FLORIDA 33134
Phone: (305) 460-5090/5093/5094/5096
Fax: (305) 460-5097
e-mail: historicalresources@coralgables.com

* A drawing set must include a site plan, floor plan(s), and elevations of all facades with sufficient dimensions to conduct a preliminary Zoning Analysis. The purpose of the preliminary Zoning Analysis is to identify possible variances and is not intended to replace any review required as part of the permitting process. The drawings must illustrate the existing conditions and the proposed changes separately. Contextual drawings or photographs of the neighboring properties must also be included. The Department staff may request additional drawings and documents as needed. Requests for Special Certificates of Appropriateness for demolition and/or that require variance(s) must include a certified mailing list, a map, and **three** sets of mailing labels (1000-foot radius) and the required fee. * It is the responsibility of the applicant to provide sufficient illustrations to convey the intended scope of work.

TELEPHONE: (305) 726-3749

TELEVISIONS

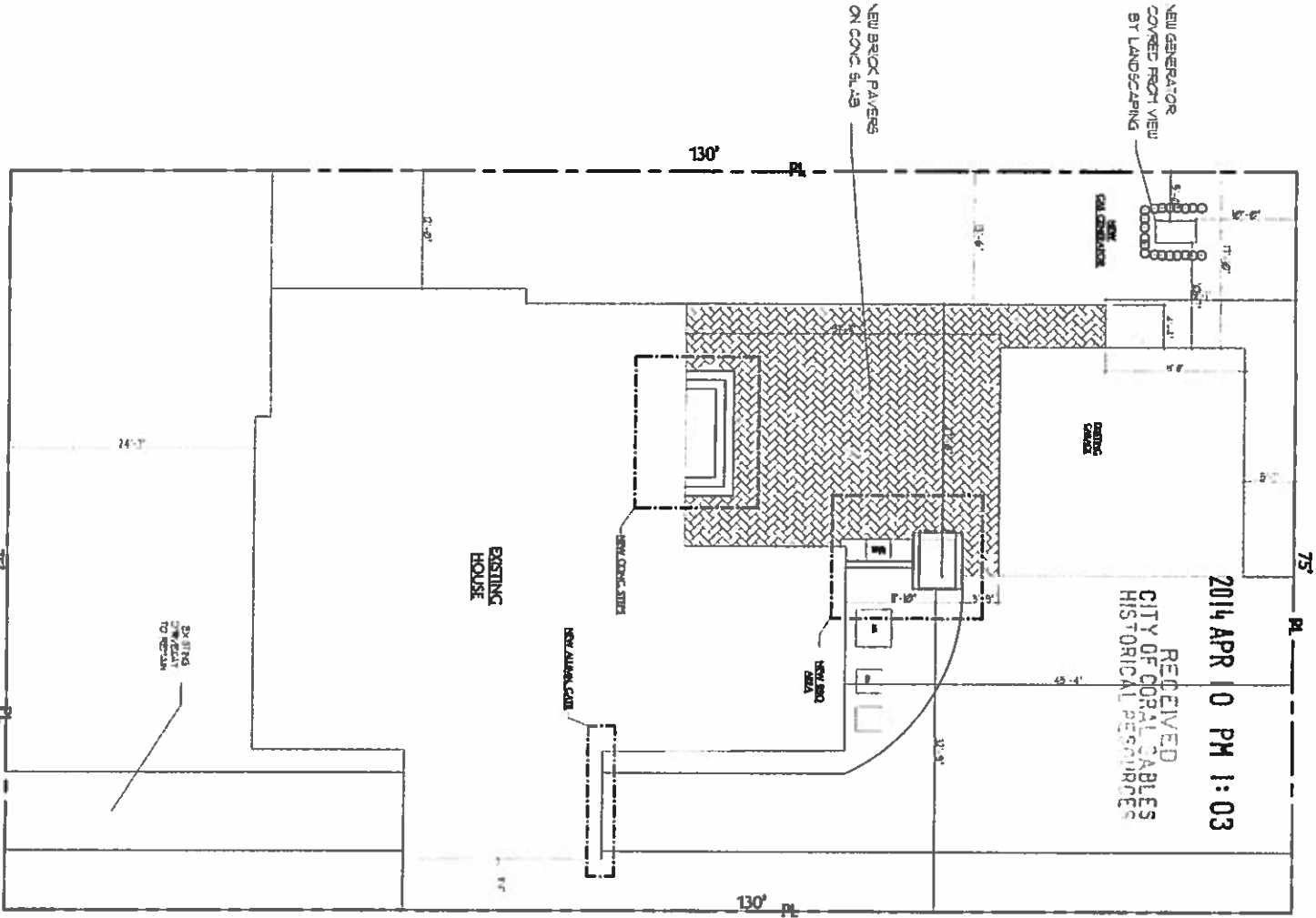
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11.5

TE: MARCH 10, 2011
AL: 16 = 100

SITE PLAN

ALUMN. GATE DETAIL



SITE PLAN

10-11-81

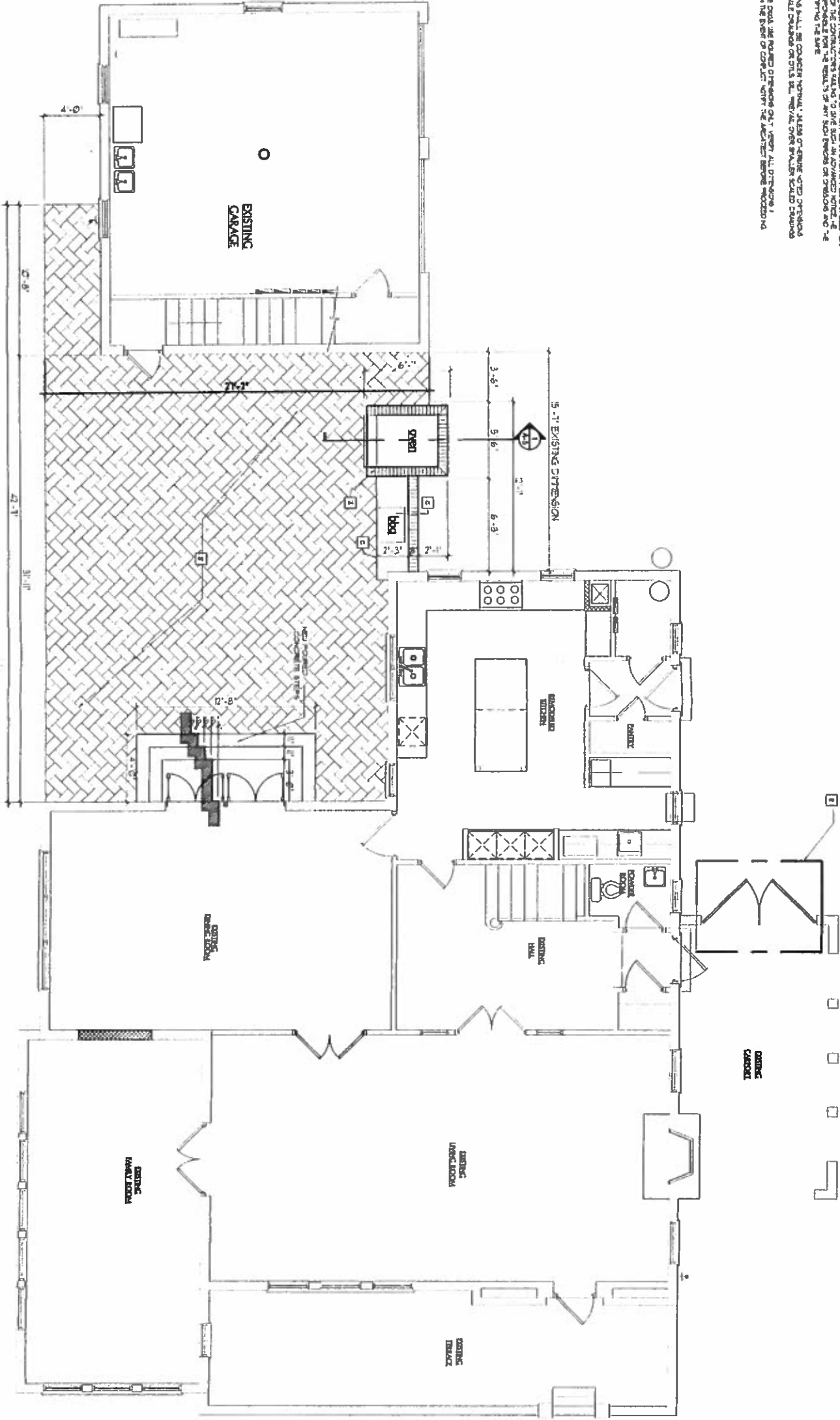
INTERIOR REMODELING
2622 COUNTRY CLUB PRADO
CORAL GABLES FL

GENERAL NOTES:

1. OWNER TO OBTAIN ALL NECESSARY PERMITS AND ALL THE NECESSARY CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS.
2. ALL DIMENSIONS SHALL BE CONSIDERED NORMAL. ALL DIMENSIONS SHALL BE CONSIDERED NORMAL. ALL DIMENSIONS SHALL BE CONSIDERED NORMAL. ALL DIMENSIONS SHALL BE CONSIDERED NORMAL.
3. ALL DIMENSIONS SHALL BE CONSIDERED NORMAL. ALL DIMENSIONS SHALL BE CONSIDERED NORMAL. ALL DIMENSIONS SHALL BE CONSIDERED NORMAL. ALL DIMENSIONS SHALL BE CONSIDERED NORMAL.
4. CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS.

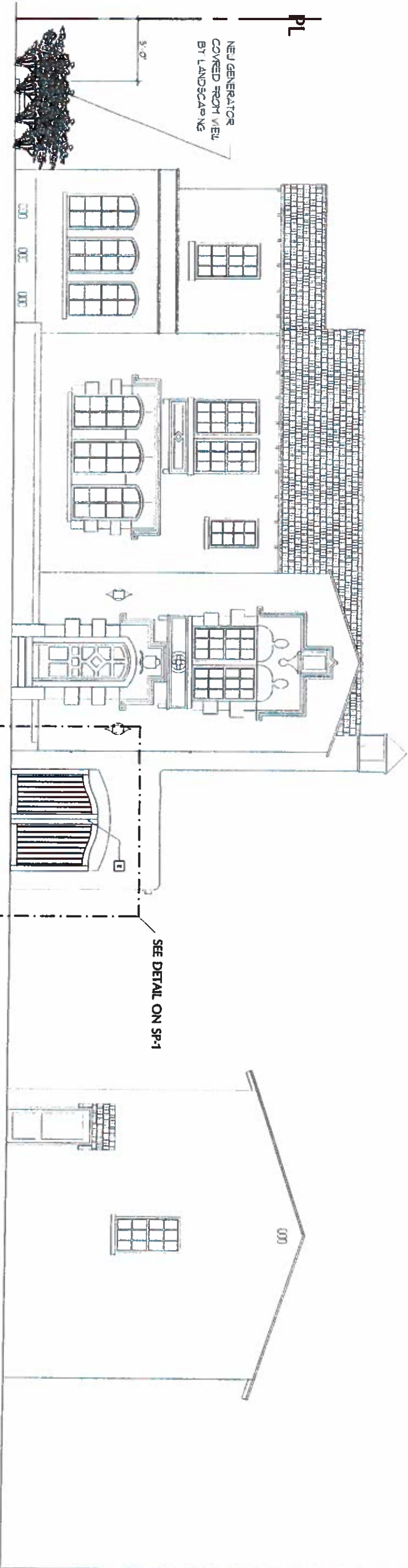
LEGEND:

- 1. 1/4" = 1'-0"
- 2. 1/4" = 1'-0"
- 3. 1/4" = 1'-0"
- 4. 1/4" = 1'-0"
- 5. 1/4" = 1'-0"



FIRST FLOOR PLAN

1/4"=1'-0"

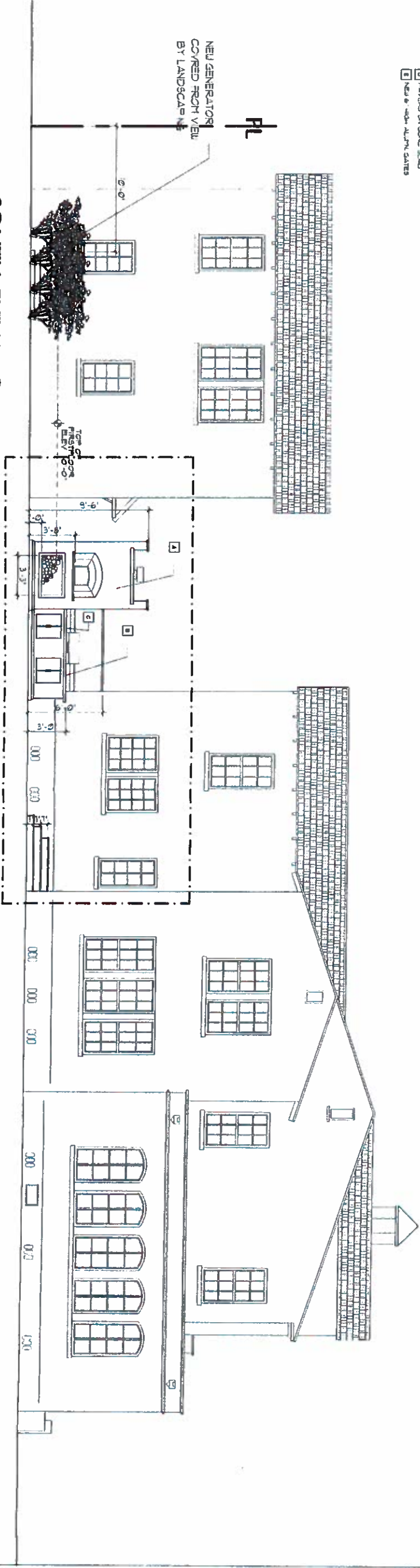


EAST ELEVATION
(UNALTERED)

EAST ELEVATION
(UNALTERED)

1/4"=1'-0"

- LEGEND:
- 1 1000 BURNING OAK
 - 2 36" x 48" COUNTER
 - 3 GRANITE COUNTER TOP
 - 4 PLASTER ON CONG. SLAB
 - 5 NEW 6" x 10" ALUM. CLATES



SOUTH ELEVATION
(UNALTERED)

1/4"=1'-0"