



LHD 2016-018  
December 15, 2016

Historical Resources &  
Cultural Arts

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CORAL GABLES  
FLORIDA 33134

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**STAFF REPORT  
LOCAL HISTORIC DESIGNATION  
FOR THE PROPERTY AT  
501 ARAGON AVENUE  
CORAL GABLES, FLORIDA**

**Folio Number:** 03-4108-001-1650

**Legal Description:** Lots 13 and 14, Block 10, Coral Gables Section "B," according to the Plat thereof, as recorded in Plat Book 5, at Page 111 of the Public Records of Miami-Dade County, Florida.

**Original Permit No.:** 5779

**Date of Original Permit:** November 16, 1938

**Original Architect:** Leroy K. Albert

**Original Owner:** J. J. Kingsley

**Original Builder:** Stobs Brothers, Inc.

**Present Owner:** Marilyn S. Hallman

**Present Use:** Residential

**Building Type:** One-story, Minimal Traditional style

**Site Characteristics:** The property consists of two lots located on the northwest corner of the intersection of Hernando Street and Aragon Avenue. The primary façade faces south onto Aragon Avenue. The lot size is approximately 11,000 square feet.

**SUMMARY STATEMENT OF SIGNIFICANCE**

Constructed in 1938-39, the residence at 501 Aragon Avenue is significant as an example of the Minimal Traditional architectural style. The building exhibits the trend towards austere designs which was both appropriate to the lean economic climate of the 1930s and 1940s and also indicative of the shift from the City's predominant Mediterranean Revival style to a more diverse architectural vocabulary. The property has maintained its historic integrity and continues to contribute to the historic architectural fabric of the City.

### CRITERIA FOR SIGNIFICANCE

#### Architectural Significance

Article 3, Section 3-1103 of the Coral Gables Zoning Code--*Criteria for designation of historic landmarks or historic districts*--states that to qualify for designation as a local historic landmark individual properties must have significant character, interest or value as part of the historical, cultural, archaeological, aesthetic, or architectural heritage of the City, state or nation.

The single-family residence at 501 Aragon Avenue is eligible as a local historic landmark based on its **Architectural Significance (Criteria B)**. For designation, a property must only meet **one (1)** of the criteria outlined in the Code. As discussed below, 501 Aragon Avenue meets **two (2)** criteria of architectural significance. Specifically, it

1. *Portrays the environment in an era of history characterized by one (1) or more distinctive architectural style;*
2. *Embodies those distinguishing characteristics of an architectural style, or period, or method of construction;*

### HISTORIC CONTEXT

Coral Gables' developmental history is divided broadly into three major historical periods:

- Coral Gables' Initial Planning and Development/Florida Land Boom (Prior to the Hurricane of 1926),
- Aftermath of the 1926 Hurricane/Great Depression and New Deal/Wartime Activity (1927-1944),
- and Post World War II and Modern periods (1945-1963).

The permitting and construction of the single-family home at 501 Aragon Avenue occurred during the City's Great Depression/New Deal Era. It is built in the Minimal Traditional style and is indicative of the housing trend across the nation as well as the interpretation of the style in Coral Gables.

In the aftermath of the 1929 Wall Street Crash, the economy in Florida declined steeply. Between 1929 and 1933, one hundred forty-eight (148) state and national banks in Florida collapsed. By 1933, approximately one out of four Floridians was receiving some type of public relief and assistance. As the decade wore on relief measures expanded under the direction of the New Deal administration of Franklin Delano Roosevelt. As people adjusted to a new way of life their priorities and aesthetic changed. This was reflected in all aspects of life including the types of homes that were built.

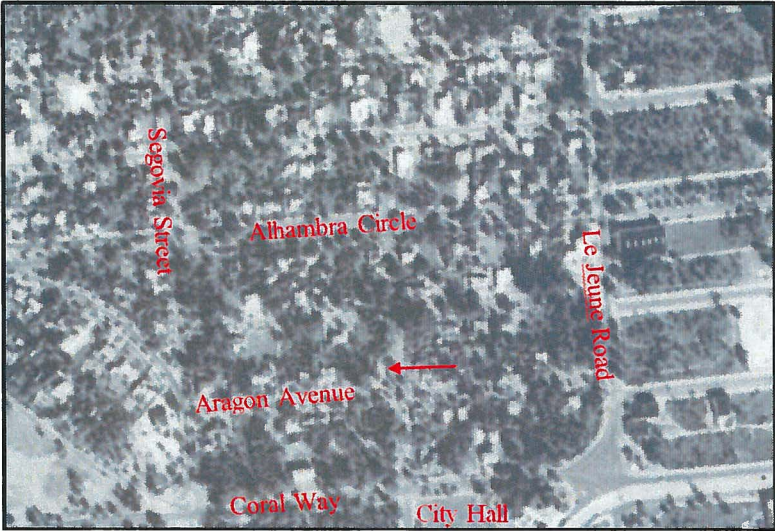
In Coral Gables the dire downturn in the economy, coming so closely on the heels of the devastating Hurricane of 1926, had a drastic impact on new construction. Not only did the number of new houses greatly decrease but the types and style of the homes also changed (see Attachment A: Coral Gables City Permits Issued 1925-43). For example, the dollar value of permits issued in 1926 was \$13,402,012. Permits steadily declined over the next few years and plummeted to \$71,605 in 1931. Recovery was slow. Permit dollar values rose approximately \$1,000,000 in 1936 where it held steady for several years. 501 Aragon Avenue was permitted on November 16, 1938. During this year only 244 permits were issued by the City of Coral Gables

for \$1,087,450 of construction work. Of the 244 permits issued in 1938, only 112 were for single-family residences. Historic structure surveys of sections of Coral Gables (i.e., North Gables Section, Flagler Section) conducted by Janus Research indicates that the predominant architectural style in Coral Gables continued to be Mediterranean Revival through the 1920s but when the construction of new began to rise in the late 1930s the Minimal Traditional and masonry vernacular styles were more common.

The Minimal Traditional style was a popular house style that emerged during the New Deal era. The homes were small (2-3 bedrooms) and affordable for working and middle-class families. It remained a prevalent style until the early 1950s, when it was supplanted by the Ranch style. In the 1930s, Minimal Traditional single-family homes appeared throughout the country as architectural journals and magazines promoted it. Its simplicity was a subtle response to the economic hardships of the Depression and the ornate styles of the 1920s. Minimal Traditional homes combined a restrained combination of features from earlier house styles while adhering to the burgeoning modern aesthetic of subtle ornamentation and streamlined homes. The homes were well-built, often using modern materials (i.e., plywood, modern cement mixtures) and methods (i.e., solar). This style also focused on practicality and included the emerging trend of attached garages. These were usually a subordinate element unlike later styles where the garage became more prominent. Nationally, common influences on the Minimal Traditional style homes tended to be Colonial Revival, Arts and Crafts, and Tudor styles. The Minimal Traditional style was flexible and embraced elements of previous styles. This led to area-specific and sometimes architect-specific variations.

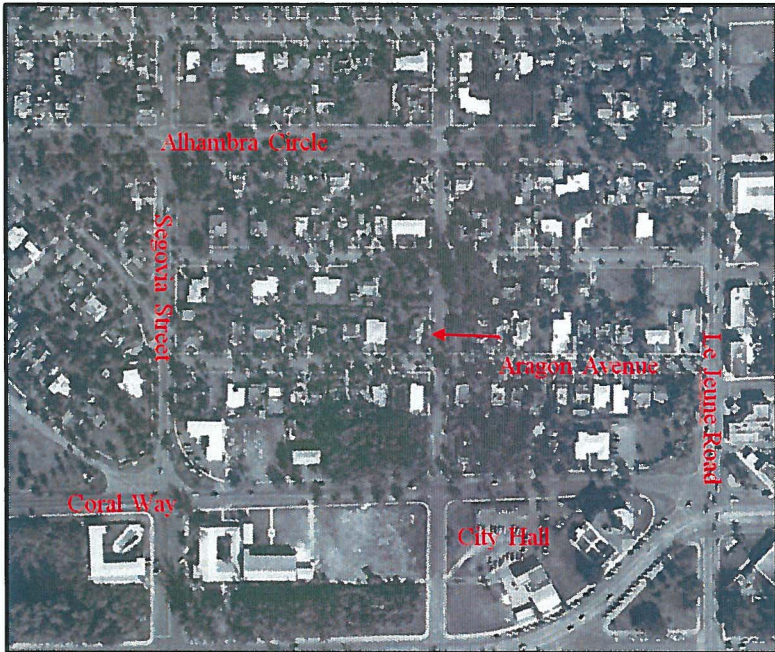
In Coral Gables, by the mid-1930s there was a distinct departure from the ornamented and picturesque Mediterranean Revival style that had defined the City's early architecture. Minimal Traditional houses in Coral Gables often reflected this precursor style as well as the dominant regional style of Art Deco. Specifically, Minimal Traditional style homes in Coral Gables tended to reflect Mediterranean Revival style influences with features such as barrel tile roofs or arched main entrances. Art Deco influences included corner windows, eyebrow hoods, and geometric detailing. Typically, Minimal Traditional homes were one-story with low or moderate roof pitches, prominent exterior chimneys, integral garages, and vents in the gable ends.

The residence at 501 Aragon Avenue is located within the subdivision platted as Coral Gables Section "B." The plat for the subdivision is dated January 1922. As the name Section "B" implies, this subdivision was part of the community's earliest planning. As such, by 1938 there was already a substantial amount of development surrounding 501 Aragon Avenue (Figure 1). It is interesting to note the lack of development at this time of the commercial properties to the east of LeJeune Road. Construction boomed again in Coral Gables following the conclusion of World War II (Figure 2). New residences infilled the remaining vacant lots surrounding 501 Aragon Avenue, and by 1963 the surrounding area was virtually built out (Figure 3 and 4).



**Figure 1: December 20, 1938 Aerial Photograph Showing Development Immediately Surrounding 501 Aragon Avenue**

*Courtesy of Aerial Photography: Florida Collection, University of Florida, George A. Smathers Libraries*



**Figure 2: 1954 Aerial Photograph Showing Development Immediately Surrounding 501 Aragon Avenue**

*Courtesy of Coral Gables Historical Resources and Cultural Arts Department*



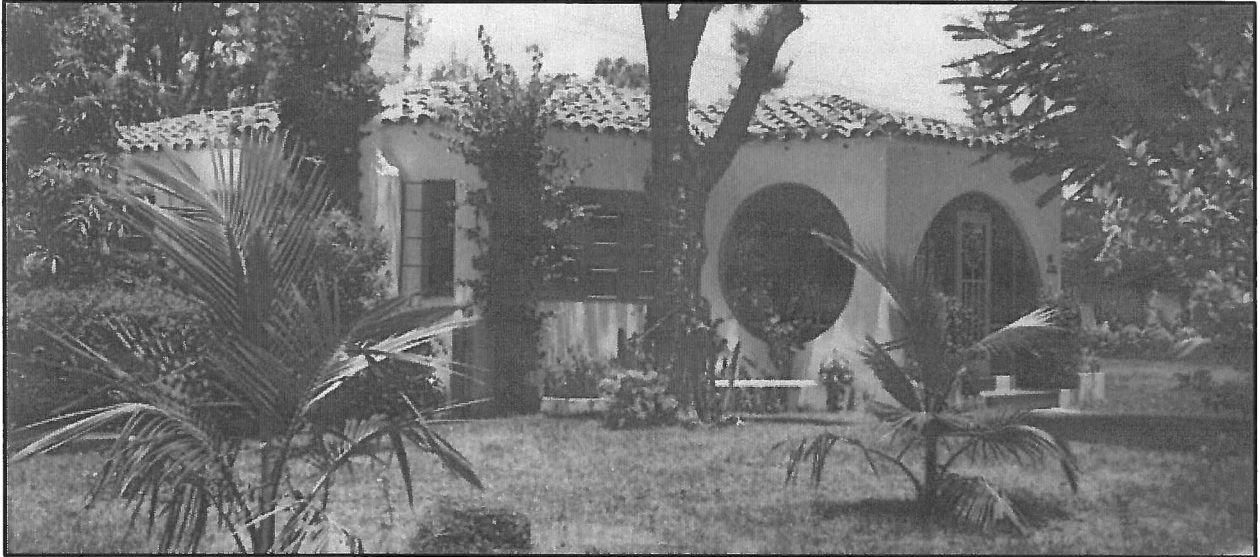
**Figure 3: 1963 Aerial Photograph Showing Development Immediately Surrounding 501 Aragon Avenue**  
*Courtesy of Aerial Photography: Florida Collection, University of Florida, George A. Smathers Libraries*



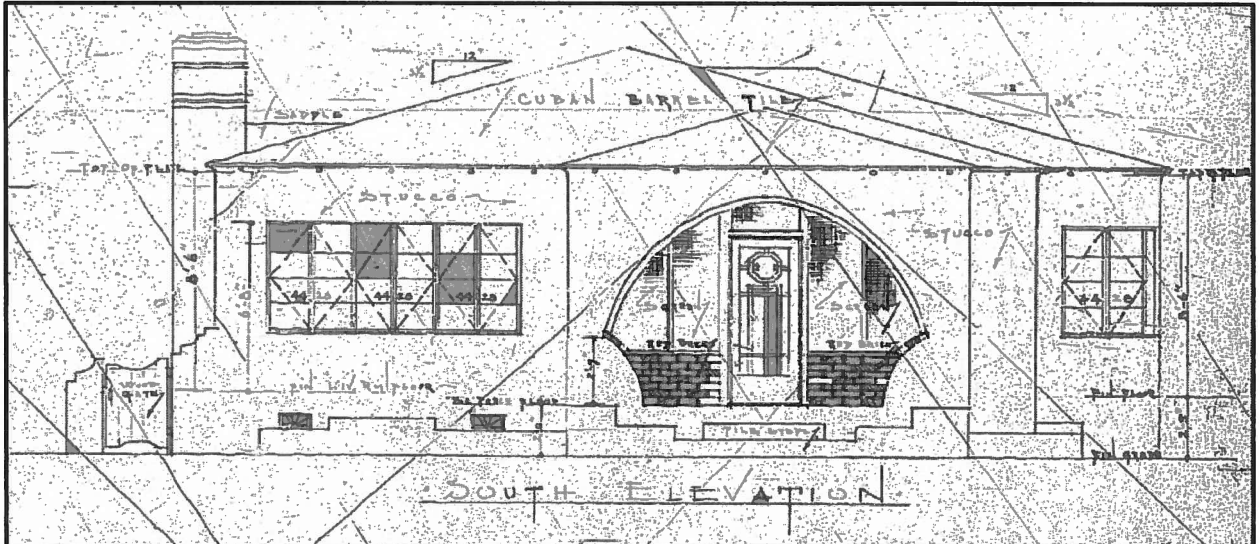
**Figure 4: Aerial Photograph Showing Current Context for 501 Aragon Avenue**  
*Courtesy of Miami-Dade County Property Appraiser*

**SIGNIFICANCE ANALYSIS AND DESCRIPTION**

The residence at 501 Aragon Avenue is significant as an example of the Minimal Traditional style with Mediterranean Revival and Art Deco influences. Designed in 1938 by architect Leroy K. Albert, this single-family home represents the distinct blend of styles and regional influences in Coral Gables. (See Attachment B: Permit #5779 drawings)



**Figure 5: Front Elevation (North): Historic Photo, c. 1940s**



**Figure 6: Front (South) Elevation, Permit #5779 Drawings - 1938,  
Leroy K. Albert, Architect**

The residence at 501 Aragon Avenue is a one-story, three bedroom single-family home with a garage that reflects the leaner economic times in which it was constructed and embodies the characteristics of the Minimal Traditional style. As was typical of Minimal Traditional homes, the garage (shown on the original plans as an open carport), while attached, reads as a subordinate portion of the home and is not visible from the front facade.

The residence exhibits the blending of the regional influences of the Mediterranean Revival and Art Deco styles. The ornament on the house is minimal and restrained. The focal point is found at the highly detailed front entrance porch which protrudes from the front façade which gives it prominence. The entrance to the porch is through a semi-circular arch supported by smaller convex quarter-circle shoulders and a low wall of red brick. The east and west facades of the front porch feature identical full-circle openings with three horizontal rows of red brick within the bottom of the circle (to match the height of the red brick detail on the front façade). Originally a screened porch with wood supports and a wooden screen door, wrought iron security bars were installed in 1988. The roof does not have a pronounced overhang which adds to the home's simplicity. Other detailing can be found in the smooth stucco exterior finish, the horizontal score lines at the chimney, the built-in planters, the recessed and projecting planes, the circular attic vents at the cornice, and the corner window. As is indicative of the Minimal Traditional style, decorative features are simplified and lack the more elaborate complexities found in the City's earlier architecture.

Minimal Traditional style features of the residence at 501 Aragon Avenue include:

- one-story in height
- attached, subordinate garage
- smooth stucco exterior finish
- low-pitched hipped, barrel tile roof (currently an "S" tile)
- lack of roof overhang and curved stucco cornice
- elevated floor over a crawlspace
- groups of recessed large-paned casement windows
- corner window
- dominant chimney with Art Deco detailing
- built-in planters
- circular openings
- red brick detailing
- wing wall with wooden gate

In the subsequent decades few changes have occurred to the character-defining features of the home at 501 Aragon Avenue. It retains a high degree of historical integrity and is a significant example of Coral Gables' expression of the Minimal Traditional style. Hence, it is considered to be an integral component of the historic collection of City's built environment.

#### **Extant Exterior Description**

The single-family residence at 501 Aragon Avenue sits on two lots on the northwest corner of the intersection of Aragon Avenue and Hernando Street. The front façade faces south onto Aragon Avenue and the east façade faces Hernando Street. The house is almost completely contained on Lot 13 (the corner lot) with only the wooden gate, concrete block gate post, and a small portion of the chimney encroaching into Lot 14.



**Figure 7: Front (South) Elevation, December 2016**

The one-story residence is irregularly-shaped in plan and originally permitted as a three bedroom, two bath home with a screened entry porch at the front (south) facade. The home is built of masonry block covered in smooth stucco. Living spaces are housed under a series of low, hipped two-piece barrel tile roofs with no overhang and a curved stucco cornice. The window sizes of the original home vary minimally and the original steel casements are intact. The windows are recessed and devoid of projecting masonry sills. The garage is attached to the north side of the house and features a shed roof that seamlessly integrates with the slope of the roof of the house. The original ribbon strips of the driveway remain at the east side of the property (off of Hernando Street) although the center grass strip has been filled with concrete. The most dominant feature of the home is the entrance porch on the front façade with its circular openings, brickwork, and built-in planters.



**Figure 8: Front (South) Elevation, December 2016**



The front (north) elevation features the off-center front entry porch projecting from the front façade of the residence. The front entry porch is the most detailed and highly articulated feature of the home. A large semi-circular arch is supported by smaller convex quarter-circle shoulders and a low wall of red brick. Circular or semi-circular openings for screened porches were a popular detail found in residences of the time period. In this case, the arch was employed on a screened porch at the entry to the residence giving needed detail to an otherwise simplistic façade. A single wide step is inset between symmetrical two-tier built-in planters at the west and east corners of the porch. To the right of the entry porch is another built-in planter that wraps around the corner to the east façade. The planter terminates in a higher raised corner at its north end.



**Figure 9: Built-in Planter Detail at East side of Entry Porch, December 2016**

Recessed to the west of the entry porch is a window opening housing a triple casement window topped with a metal awning (added in 1968). Another two-tier built-in planter is found below the casement windows. The chimney on the west façade is clearly visible on the front (south) elevation and is detailed with a series of stucco score lines

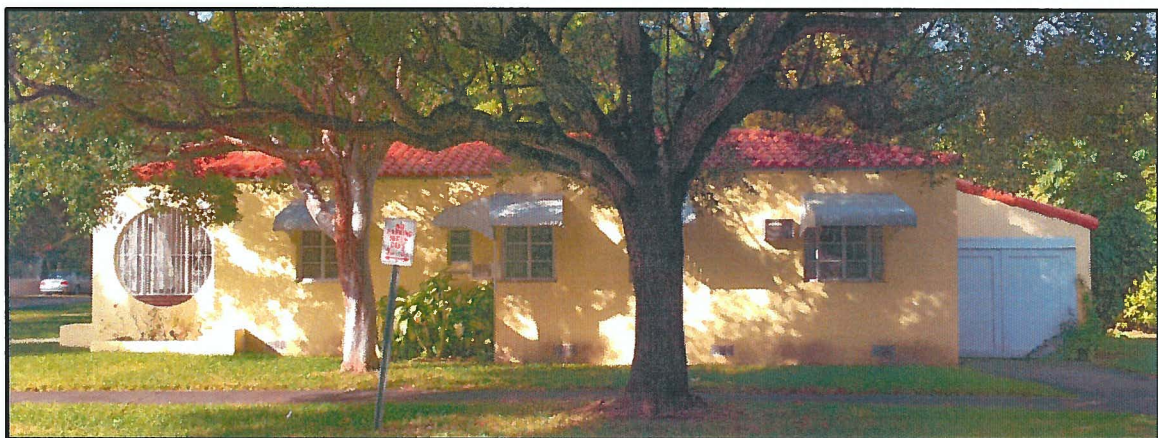


**Figure 10: Detail of Chimney, Front (South) Elevation, December 2016**

A small wing wall extends from the southwest corner of the residence. It steps down with a convex quarter circle to become the post for a wooden gate. A small freestanding concrete block gate post / wall segment sits west of the gate and repeats the convex quarter circle motif.

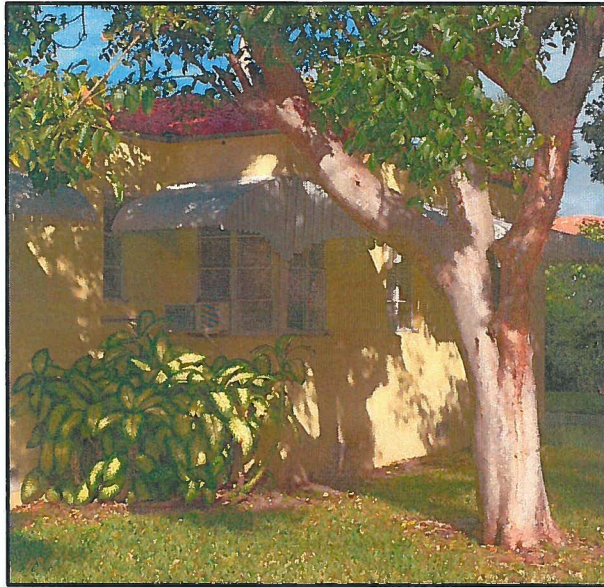


**Figure 11: Detail of Wing Wall and Gate, Front (South) Elevation, December 2016**



**Figure 12: East Elevation, December 2016**

The east façade of the residence is comprised of a series of projecting planes that step out toward the east. The attached garage recesses back again and is clearly a subordinate appendage to the residence. Ornamentation on this elevation is limited to the circular opening and built-in planter found at the entry porch and the corner window.



**Figure 13: Detail of Corner Window, East Elevation, December 2016**

Window openings, each holding a pair of casement windows, are identically sized with the exception of a smaller bathroom window and the addition of small sidelites to the northernmost window. The front of the attached garage is visible recessed approximately 5'-6" from the northeast corner of the residence. A pair of simple wooden doors provide access to the garage. The garage was shown on the original permit drawings as an open porte cochere. It is unknown when the garage was enclosed and garage doors installed. A building permit issued in 1988 (See Attachment C: Permit # A69332) includes replacing the garage doors on the east side of the garage and also removing existing doors on the west side of the garage and blocking up the opening. No work was indicated for the north elevation of the garage and it is shown on the 1988 permit drawings as it exists today.



**Figure 14: Rear (North) Elevation, October 2016**  
*Photograph submitted with Historic Significance Request*

The rear (north) elevation consists of the rear façade of the residence and the side façade of the attached garage. The rear elevation of the residence features one casement window tucked into the corner. The garage façade is devoid of ornamentation and also features a single window opening. Because the plan of the house is irregularly shaped, there is no rear elevation of the body of the house per se, but rather exposed corners as the massing projects (See Figure 15).



**Figure 15: West Elevation, October 2016**  
*Photograph submitted with Historic Significance Request*

Like the east façade, the west façade is also a series of projecting planes. At the north end, the garage extends to the west, truncating the shed roof. The original permit plans indicate that the small space between the carport/garage and the house was intended to be roofed with a 5” concrete canopy providing covered passage between the two areas. At some point a small shed roofed enclosure was constructed. The 1988 permit includes the installation of wrought iron in this location, but with a different configuration. The 1988 permit shows the shed roof, but it is drawn as if existing already. To the south, the opening of the original rear screened porch has been enclosed. The remainder of this elevation consists of a pair of casement windows and a pair of French doors with a concrete eyebrow above and simple concrete steps below. At the southern end of this elevation, the living room projects out toward the west. The projecting façade is symmetrically composed of two single casement windows flanking the wide projecting chimney base.

### **Additions / Alterations**

Comparison of permit drawings and historic photographs with the extant home demonstrates the high degree of integrity this home as retained over the years. No structural additions have been made to the residence and alterations have been minimal as well. The alterations primarily include the enclosure of the carport and rear screened porch, the wrought iron installation in 1988, the removal of the wood members at the front entry porch, and the construction of the shed roofed enclosure to the rear. Other minor alterations include reroofing, painting, sewer connection, and installation of metal awnings.

### **OWNERSHIP HISTORY**

Note: Deeds prior to 1950 have not been located. The ownership history for this time period is based on numerous sources including R. L. Polk City Directories (available from 1926-65), building permits, realtor notes, other records on file with the City of Coral Gables and the Miami-Dade County Clerk.

Original Owner      J. J. Kingsley

According to the City of Coral Gables building permit register, J. J. Kingsley was the owner of 501 Aragon Avenue when permit #5779 was issued in 1938 for the construction of the residence. The permit drawings are a bit more descriptive and indicate the owners were **J. Jessica and Jessie Evelyn Kingsley**. Research uncovered little about the Kingsleys or the familial relationship between the two women. The real estate card on file with the City indicates that Jessie Kingsley owned Lot 13 and the east ½ of Lot 14 while Jessica Kingsley owned the west ½ of Lot 14. Jessie Kingsley (1895-197) married George Fowler in 1941. Jessica Kingsley (1867-1950) was a school teacher. In 1952 a quit claim deed was filed by the First Presbyterian Church of Miami that deeded the west ½ of Lot 14 to Jessie Kingsley Fowler and George Fowler. It is presumed that Jessica willed the ½ of Lot 14 to the Church upon her death in 1950.

In 1962, the property was sold to **Frank Adam and Evelyn A. Suss**. Mr. Suss (born 1889) was a salesman from Minnesota. He married Evelyn Mystrom in 1920 and their only daughter Marilyn was born in 1927. Marilyn Suss married Benjamin P. Hallman in 1946. They later divorced in 1977. Evelyn and Frank Suss both died in 1987 – she in July and he in December. Prior to his death, Frank Suss deeded the property to his daughter Marilyn S. Hallman, the current owner of the property.

#### ARCHITECT



**Leroy K. Albert** was the architect responsible for the design of 501 Aragon Avenue. Leroy Kreider Albert was born on September 26, 1910 in Lebanon, Pennsylvania. His parents relocated to Miami, Florida in 1920 and Albert subsequently graduated from the University of Miami (School of Architecture) in 1933 and the University of Florida (Bachelor of Science Degree in Architecture) in 1937.

**Figure 16: Leroy K. Albert, AIA**

Photo courtesy of [History of Dade County, Florida](#), 1949

Albert opened his architectural firm in Coral Gables in 1937, which he maintained until 1943 when he entered military service overseas with the 29<sup>th</sup> Engineer Photomapping Battalion in the Philippine Islands. After being honorably discharged in 1946, he returned to Coral Gables and continued his architectural practice. That same year, Albert was admitted into the American Institute of Architects. During his tenure in Coral Gables, Albert served on the Board of Architects (1947-52 and 1954-55), and the Coral Gables Association of Architects (Secretary-Treasurer 1948-50). Albert closed his Coral Gables office in 1964. In 1967 Albert relocated to Ames, Iowa to work as Associate Architect for Iowa State University. Leroy Albert passed away on March 30, 1999 and is buried, alongside his wife Nora, in Florida National Cemetery.

Although Leroy Albert-designed single-family residences are included in several Local Historic Districts as Contributing Resources throughout the City, including the Obispo Avenue Historic District and the Castile Avenue Historic District, this property is the first proposed for individual landmark designation.

**STAFF RECOMMENDATION**

The purpose of historic designation within the City of Coral Gables is defined in Article 3, Section 3-1101 of the Coral Gables Zoning Code as,

“to promote the educational, cultural, and economic welfare of the public by preserving and protecting historic structures or sites, portions of structures, groups of structures, manmade or natural landscape elements, works of art, or integrated combinations thereof, which serve as visible reminders of the history and cultural heritage of the City, region, state or nation.”

It is the intent of the Coral Gables Zoning Code to recognize all buildings which possess “significant character, interest or value as part of the historical, cultural, archaeological, aesthetic, or architectural heritage of the City, state or nation” qualify for designation as a local historic landmark (Coral Gables Zoning Code, Article 3, Section 3-1103). To that end, the eligibility for designation as a local historic landmark is defined by the Coral Gables Zoning Code as meeting **one (1)** (or more) of the criteria stipulated in Article 3, Section 3-1103.

Constructed in 1938-39, the property at 501 Aragon Avenue (legally described as Lots 13 and 14, Block 10, Coral Gables Section “B,” PB 5-111) is significant to the City of Coral Gables’ history based on the following **two (2)** criteria found in the Coral Gables Zoning Code, Article 3, Section 3-1103:

Criteria B. Architectural Significance:

1. Portrays the environment in an era of history characterized by one (1) or more distinctive architectural styles;
2. Embodies those distinguishing characteristics of an architectural style, or period, or method of construction.

**Staff finds the following:**

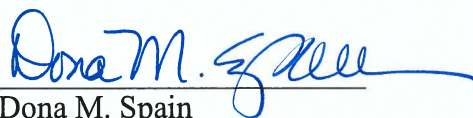
The property located at **501 Aragon Avenue** is significant to the City of Coral Gables history based on:

**ARCHITECTURAL SIGNIFICANCE**

**Therefore Staff recommends the following:**

A motion to **APPROVE** the Local Historic Designation of the property at **501 Aragon Avenue** (legally described as Lots 13 and 14, Block 10, Coral Gables Section “B,” according to the Plat thereof, as recorded in Plat Book 5, at Page 111 of the Public Records of Miami-Dade County, Florida) based on its architectural significance.

Respectfully submitted,



Dona M. Spain  
Historic Preservation Officer

**Bibliography**

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<https://www.lakeworth.org/files/files/business%20tab/historic/College%20Park%20Design%20Guidelines.pdf>
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- Building Microfilm Records for 501 Aragon Avenue, Development Services Department, Microfilm Division, Coral Gables, Florida.
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- City of Coral Gables Historical Resources and Cultural Arts Department. "Report of the City of Coral Gables Historical Resources and Cultural Arts Department to the Historic Preservation Board on the Designation of the Property at 516 Navarre Avenue." On file, City of Coral Gables Historical Resources and Cultural Arts Department, Coral Gables, Florida.
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- Miami-Dade County Clerk, Country Record's Records Search website  
Accessed online at: <http://www.miami-dadeclerk.com/public-records/default.asp>
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- Real Estate Records for 501 Aragon Avenue, Historical Resources and Cultural Arts Department, Coral Gables, Florida.  
<http://www.ancestry.com/>

**REVIEW GUIDE**

**Definition:**

The Review Guide comprises of some of the extant and character-defining features, which contribute to the overall significance of the structure and/or district.

Character-defining features are the visual and physical features that give a building its identity and distinctive character. They may include the overall building shape, its materials, craftsmanship, decorative details, features, and aspects of its site and environment.

**Use:**

The Review Guide may be used to address the impact that additions, modifications, alterations and/or renovations may have on the historic structure and site.

The Review guide may also inform appropriate new construction in an historic district, neighborhood, or streetscape.

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Property Address:	501 Aragon Avenue
Lot Description:	corner lots
Date of Construction:	1938-39
Use:	single-family residence
Style:	Minimal Traditional
Construction Material:	concrete block covered with stucco
Stories:	one-story
Roof Types and Materials:	hipped; cap-and pan barrel tile (currently "S" tile)
Photographs Year:	2016

Note: Access was not provided to the property while the designation report was being prepared. Photos contained within this Review Guide were either taken from the public right-of-way, submitted with the Historical Significance Request, or obtained from the real estate listing.



**CHARACTER-DEFINING FEATURES INCLUDE:**

- One-story in height
- Smooth stucco finish
- Elevated floor over a crawlspace
- Circular openings
- red brick detailing
- Low-pitched hipped, barrel tile roof (currently an “S” tile)
- Wing wall with wooden gate
- Casement windows
- Curved stucco cornice at roof
- Lack of roof overhang
- Recessed and projecting planes
- Built-in planters
- Dominant chimney with Art Deco detailing
- Corner window
- Attached, subordinate garage



**Front Elevation (South)**



Front Elevation (South) Looking Northeast



Front Elevation (South)



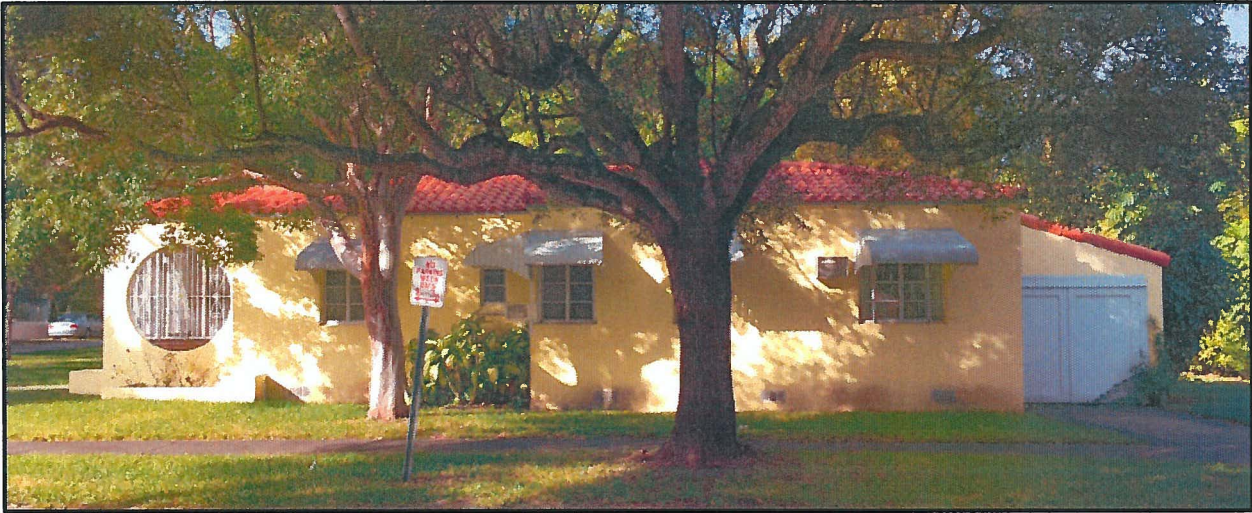
**Front Elevation (South), Built-in Planter**



**Front Elevation (South)**



Front Elevation (South) Looking Southwest



Side Elevation (East)



**East Elevation, Built-in Planter**



**Side Elevation (East)**



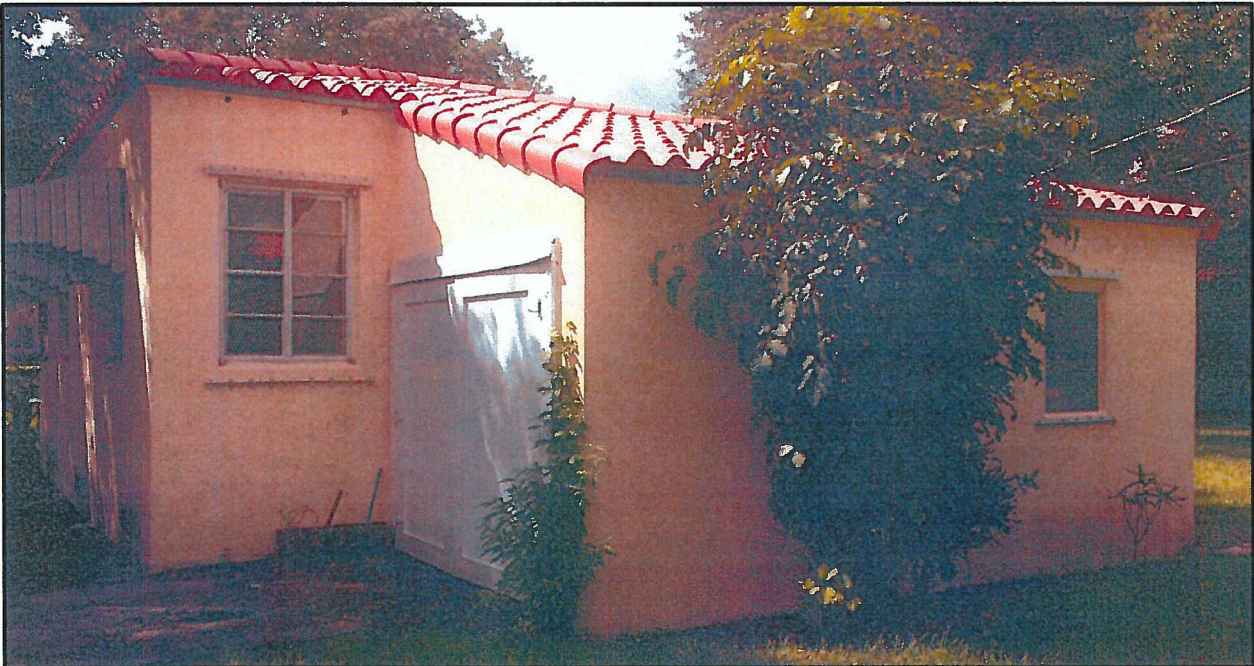
Side Elevation (East)



Side Elevation (East)



Side Elevation (East) Looking Southwest



North Elevation - Photograph Submitted with Historic Significance Request

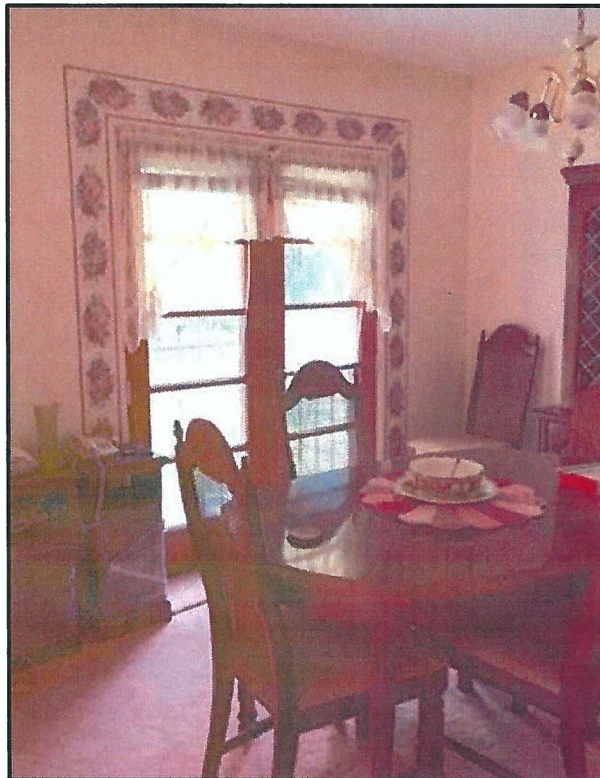


**Side Elevation (West) - Photograph Submitted with Historic Significance Request**



**Side Elevation (West)**





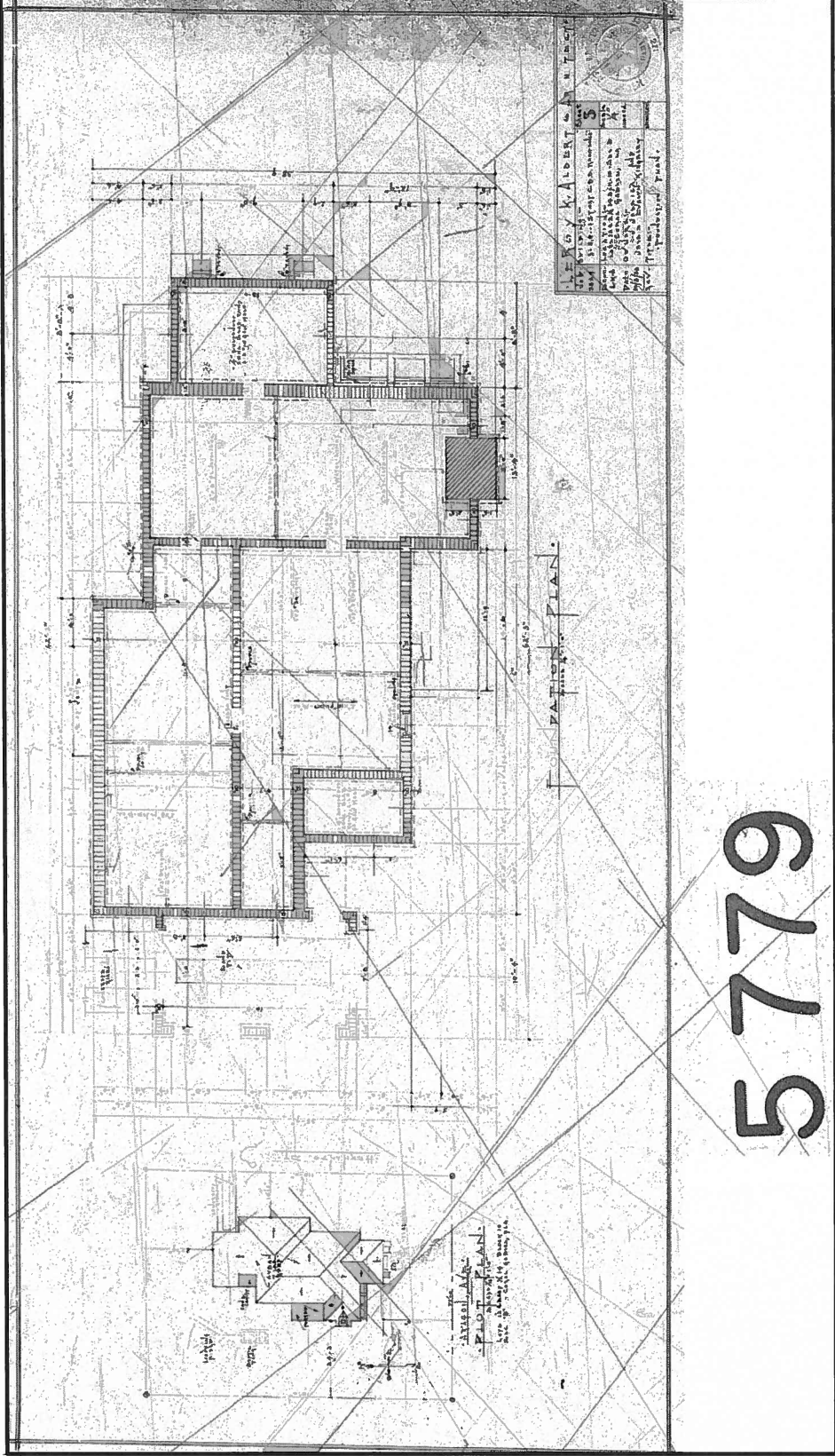
**French Doors at Side Elevation (West) – Listing Photograph**  
[http://www.zillow.com/homedetails/501-Aragon-Ave-Coral-Gables-FL-33134/43911424\\_zpid/](http://www.zillow.com/homedetails/501-Aragon-Ave-Coral-Gables-FL-33134/43911424_zpid/)

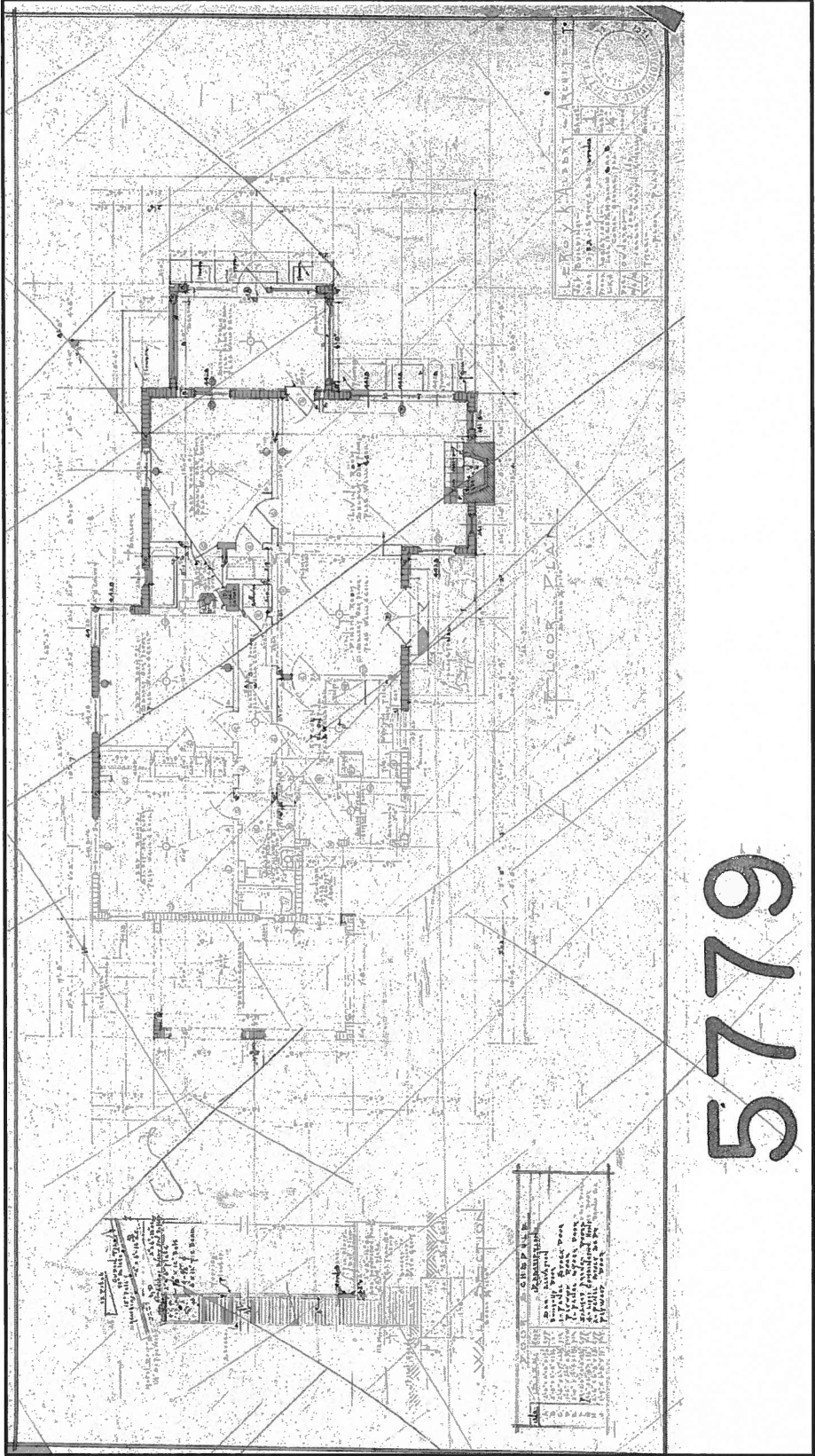
## ATTACHMENT A: Coral Gables City Permits Issued 1925-43

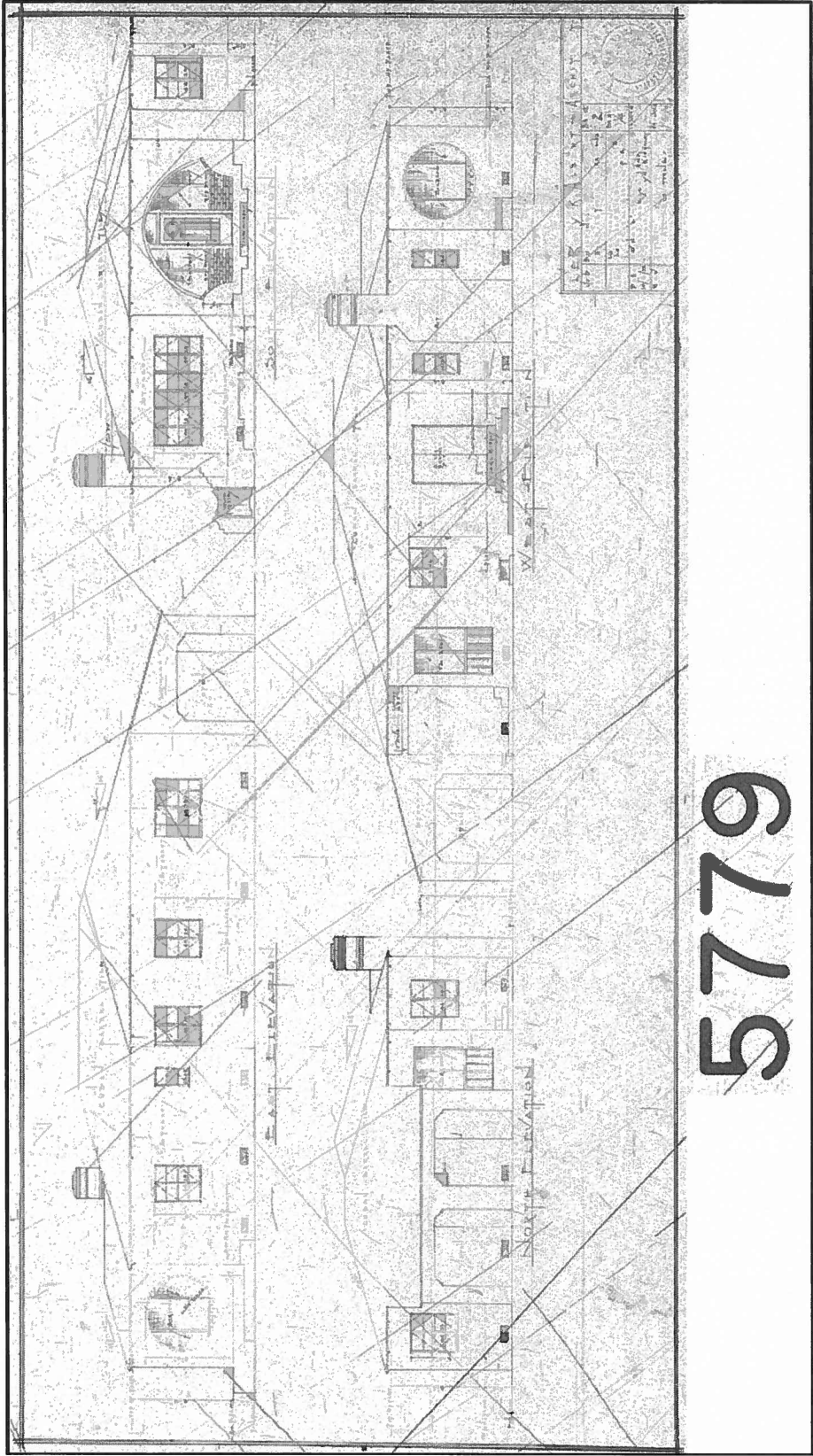
(Information Obtained from Early Permit Books)

<u>Year</u>	<u>Dollar Value of Permits Issued</u>	<u># of Permits Issued</u>
1925	\$25,890,515	
1926	\$13,402,012	
1927	\$2,602,900	
1928	\$868,340	
1929	\$973,925	134 (29 C.B.S. Single family Residences)
1930	\$286,895	
1931	\$132,719	
1932	\$71,605	
1933	\$164,393	
1934	\$477,554	
1935	\$496,677	121 (39 C.B.S. Single family Residences, 3 Coral Rock single family residences)
1936	\$1,365,930	315 (116 C.B.S. Single family Residences)
1937	\$1,222,595	227 (96 C.B.S. Single family Residences)
1938	\$1,087,450	244 (112 C.B.S. Single family Residences)
1939	\$1,195,998	368 (120 C.B.S. Single family Residences)
1940	\$1,750,645	668 (177 C.B.S. Single family Residences)
1941	\$1,481,771	565 (127 C.B.S. Single Family Residences)
1942	\$ 705,988	206 (11 C.B.S. Single Family Residences)
1943	\$132,944	255 (0 C.B.S. Single Family Residences)

ATTACHMENT B: Permit #5779, 1938

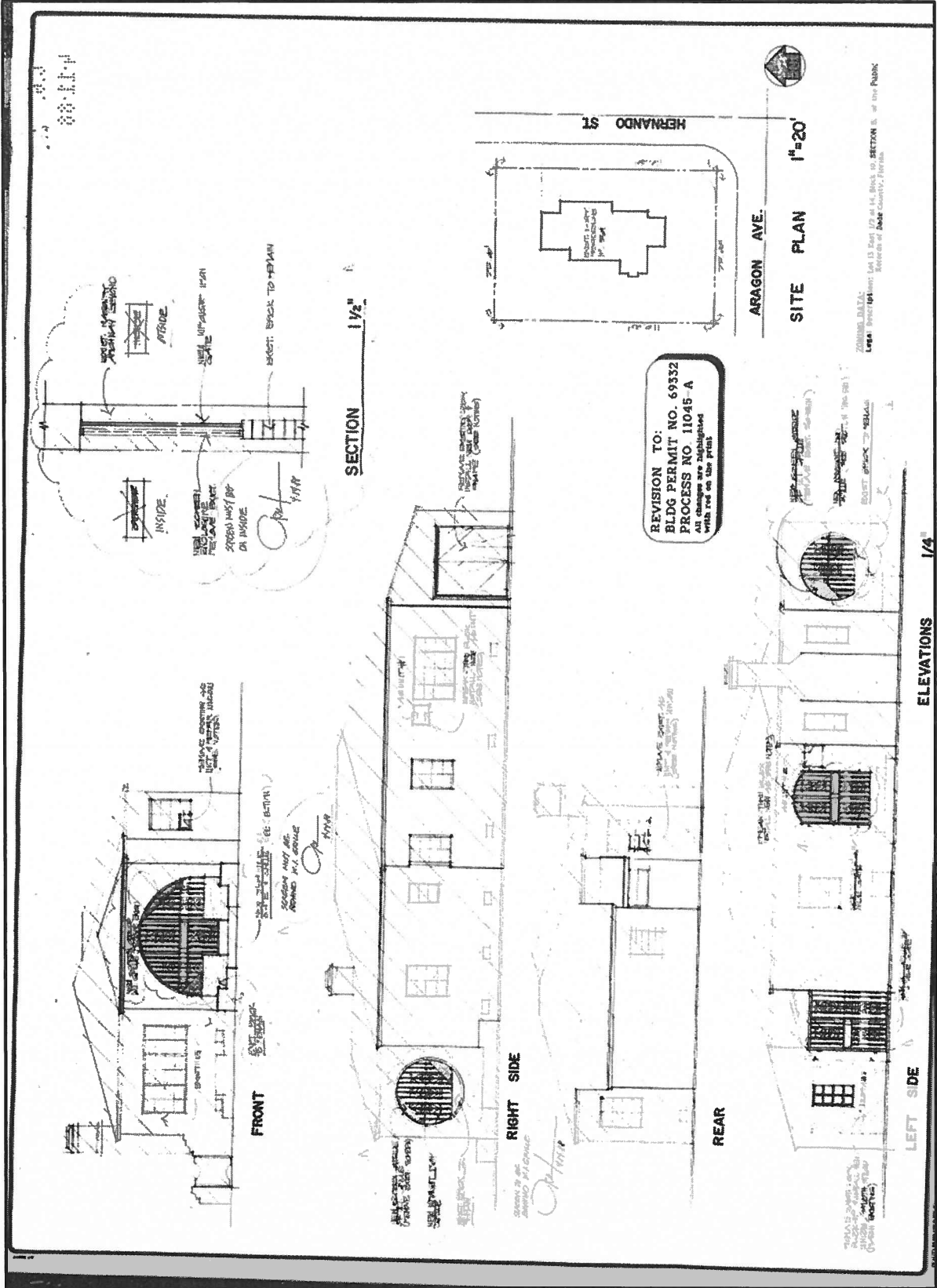




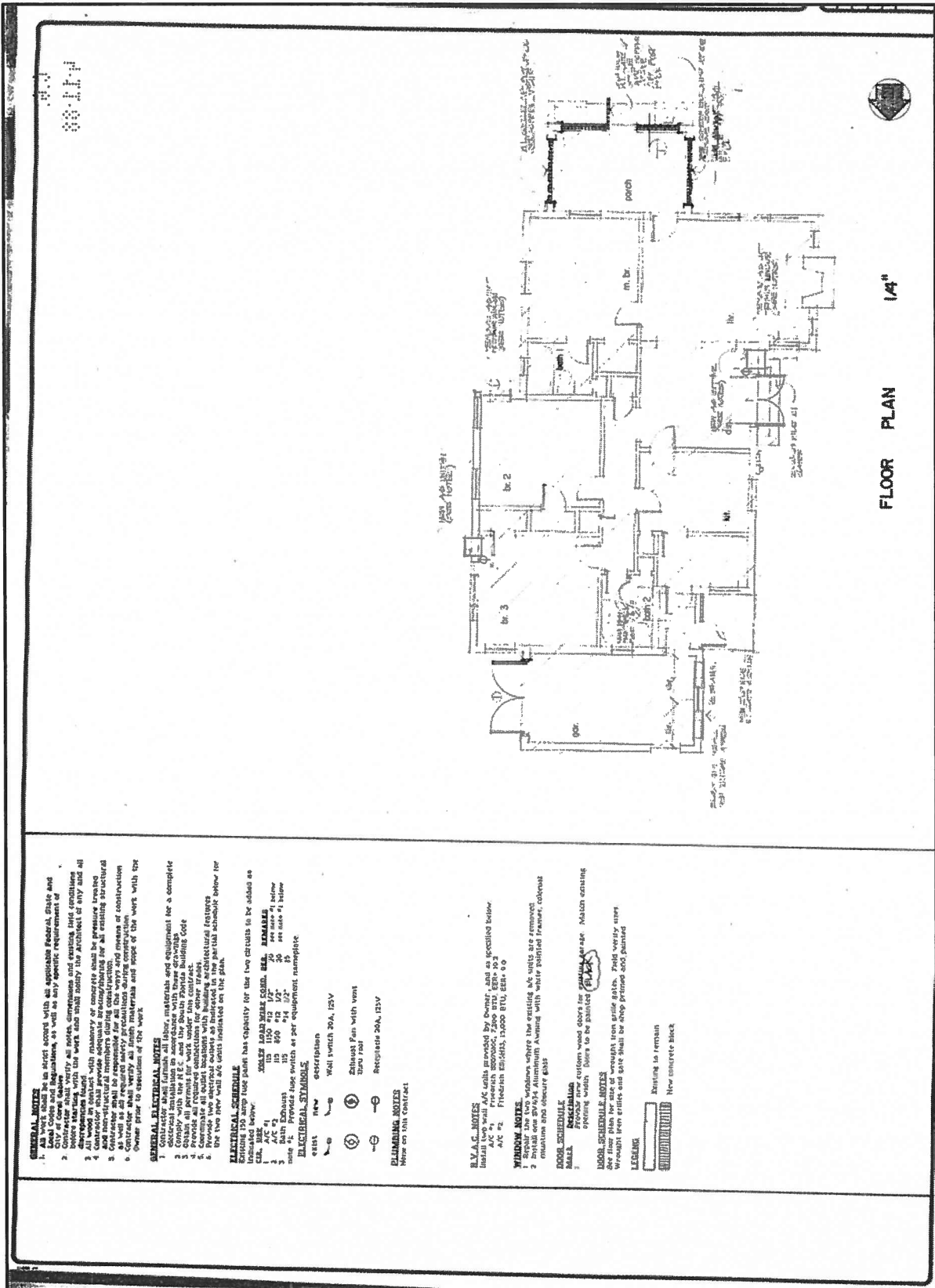


5779

**ATTACHMENT C: Permit #A69332, 1988**



FORMER DATA:  
LOCAL PERMIT 1041101161 L&L City LP 12 of 14, Block 10, SECTION 6, of the PLATS  
Revised in 2016 County of Florida



FLOOR PLAN 1/4"

**GENERAL NOTES**

- All work shall be in strict accord with all applicable Federal, State and Local codes and regulations as well as any specific requirements of the City of Cape Girardeau.
- Contractor shall verify all loads, dimensions and existing field conditions before commencing work. The work shall comply with the architect's and all applicable codes.
- Contractor shall be responsible for obtaining all necessary permits.
- Contractor shall coordinate with masonry or concrete shall be pressure treated and non-structural members during construction.
- Contractor shall be responsible for all the work and means of construction as well as all necessary materials.
- Contractor shall verify all finish materials and scope of the work with the owner prior to execution of the work.

**GENERAL ELECTRICAL NOTES**

- Provide all materials and equipment for a complete electrical installation.
- Comply with the N.E.C. and the South Florida Building Code.
- Provide all required conduits for this contract.
- Provide all required conduits for this contract.
- Provide all required conduits for this contract.
- Provide all required conduits for this contract.
- Provide all required conduits for this contract.

**ELECTRICAL SCHEDULE**

QTY	DESCRIPTION	UNIT	PRICE
1	150 AMP MAIN PANEL	EA	
1	200 AMP MAIN PANEL	EA	
1	300 AMP MAIN PANEL	EA	
1	400 AMP MAIN PANEL	EA	
1	500 AMP MAIN PANEL	EA	
1	600 AMP MAIN PANEL	EA	
1	750 AMP MAIN PANEL	EA	
1	1000 AMP MAIN PANEL	EA	
1	1250 AMP MAIN PANEL	EA	
1	1500 AMP MAIN PANEL	EA	
1	2000 AMP MAIN PANEL	EA	
1	2500 AMP MAIN PANEL	EA	
1	3000 AMP MAIN PANEL	EA	
1	3500 AMP MAIN PANEL	EA	
1	4000 AMP MAIN PANEL	EA	
1	4500 AMP MAIN PANEL	EA	
1	5000 AMP MAIN PANEL	EA	
1	5500 AMP MAIN PANEL	EA	
1	6000 AMP MAIN PANEL	EA	
1	6500 AMP MAIN PANEL	EA	
1	7000 AMP MAIN PANEL	EA	
1	7500 AMP MAIN PANEL	EA	
1	8000 AMP MAIN PANEL	EA	
1	8500 AMP MAIN PANEL	EA	
1	9000 AMP MAIN PANEL	EA	
1	9500 AMP MAIN PANEL	EA	
1	10000 AMP MAIN PANEL	EA	

**ELECTRICAL SYMBOLS**

① NEW  
 ○ EXISTING

WALL SWITCH 20A, 125V  
 CIRCUIT BREAKER WITH VENT  
 RECEPTACLE 20A, 125V

**ELECTRICAL NOTES**

1. All work shall be in strict accord with all applicable Federal, State and Local codes and regulations as well as any specific requirements of the City of Cape Girardeau.

2. Contractor shall verify all loads, dimensions and existing field conditions before commencing work. The work shall comply with the architect's and all applicable codes.

3. Contractor shall be responsible for obtaining all necessary permits.

4. Contractor shall coordinate with masonry or concrete shall be pressure treated and non-structural members during construction.

5. Contractor shall be responsible for all the work and means of construction as well as all necessary materials.

6. Contractor shall verify all finish materials and scope of the work with the owner prior to execution of the work.

**PLUMBING NOTES**

1. All work shall be in strict accord with all applicable Federal, State and Local codes and regulations as well as any specific requirements of the City of Cape Girardeau.

2. Contractor shall verify all loads, dimensions and existing field conditions before commencing work. The work shall comply with the architect's and all applicable codes.

3. Contractor shall be responsible for obtaining all necessary permits.

4. Contractor shall coordinate with masonry or concrete shall be pressure treated and non-structural members during construction.

5. Contractor shall be responsible for all the work and means of construction as well as all necessary materials.

6. Contractor shall verify all finish materials and scope of the work with the owner prior to execution of the work.

**WOODWORK NOTES**

1. All woodwork shall be in strict accord with all applicable Federal, State and Local codes and regulations as well as any specific requirements of the City of Cape Girardeau.

2. Contractor shall verify all loads, dimensions and existing field conditions before commencing work. The work shall comply with the architect's and all applicable codes.

3. Contractor shall be responsible for obtaining all necessary permits.

4. Contractor shall coordinate with masonry or concrete shall be pressure treated and non-structural members during construction.

5. Contractor shall be responsible for all the work and means of construction as well as all necessary materials.

6. Contractor shall verify all finish materials and scope of the work with the owner prior to execution of the work.

**DOOR SCHEDULE**

QTY	DESCRIPTION	UNIT	PRICE
1	150 AMP MAIN PANEL	EA	
1	200 AMP MAIN PANEL	EA	
1	300 AMP MAIN PANEL	EA	
1	400 AMP MAIN PANEL	EA	
1	500 AMP MAIN PANEL	EA	
1	600 AMP MAIN PANEL	EA	
1	750 AMP MAIN PANEL	EA	
1	1000 AMP MAIN PANEL	EA	
1	1250 AMP MAIN PANEL	EA	
1	1500 AMP MAIN PANEL	EA	
1	2000 AMP MAIN PANEL	EA	
1	2500 AMP MAIN PANEL	EA	
1	3000 AMP MAIN PANEL	EA	
1	3500 AMP MAIN PANEL	EA	
1	4000 AMP MAIN PANEL	EA	
1	4500 AMP MAIN PANEL	EA	
1	5000 AMP MAIN PANEL	EA	
1	5500 AMP MAIN PANEL	EA	
1	6000 AMP MAIN PANEL	EA	
1	6500 AMP MAIN PANEL	EA	
1	7000 AMP MAIN PANEL	EA	
1	7500 AMP MAIN PANEL	EA	
1	8000 AMP MAIN PANEL	EA	
1	8500 AMP MAIN PANEL	EA	
1	9000 AMP MAIN PANEL	EA	
1	9500 AMP MAIN PANEL	EA	
1	10000 AMP MAIN PANEL	EA	

**LEGEND**

Existing is remain  
 New concrete block