

SALADRIGAS RESIDENCE
936 CASTILE AVENUE, CORAL GABLES, FLORIDA 33134

ARCHITECT
RVL ARCHITECTURE + DESIGN, P.A.
13280 S.W. 131 ST. · SUITE 107 · MIAMI, FLORIDA 33186 PH (305) 529-1080 FAX (786) 227-6884

STRUCTURAL ENGINEER

JUAN FERNANDEZ-BARQUIN, P.E.
2520 NW 97TH AVENUE · SUITE 240 · DORAL, FLORIDA 33172 PH (786)336-0881 FAX (786)336-0884

MEP ENGINEER

MAQUEIRA ENGINEERS, INC.
7487 S.W. 50 TH TERRACE MIAMI, FLORIDA 33155 PH (305) 669-5595 FAX (305) 669-5596

RECEIVED
CITY OF CORAL GABLES
HISTORICAL RESOURCES
2021 JUN 10 AM 2:31

SECTION 09200 - GYPSUM WALLBOARD SYSTEMS
PART 1 - GENERAL

1.01 SUMMARY

A. Section Includes:

- 1. Gypsum wall partition, insulation of subboard and taping and joint treatment.
- 2. Insulation in stud partitions and lined ceiling and concrete walls.
- 3. Additional strengthening of steel studs at braced and ceiling locations, and additional taping, nailing and joint treatment for lines for the installation of work which is to be concealed by gypsum board insulation.
- 4. Construction of the work and cooperation with other trades to finish and protect the work.
- 5. Walling (new equipment and furniture, using girdes and equipment furnished by the trades involved).

1.02 REFERENCES

A. Gypsum Construction Handbook, 1987 Edition, published by US Gypsum Company.

1.03 QUALITY ASSURANCE

A. Manufacturer:

- 1. Vertical, Harsco 10" on 16" studs, unless strip equal to horizontal.
- 2. Horizontal, Manufacture of a straight line from corner to corner of any wall, 1/4" if strip is to one side only 1/8" if both sides.

PART 2 - PRODUCTS

A. Gypsum Wall Partition, Ceiling, Blending Products

1. Gypsum Wall Partition, Ceiling, Blending Products, or US Gypsum.

1.02 MATERIALS

A. Subboard: Standard tapered edge (thickness indicated on plans) except in locations where other thickness is indicated in the schedule. Subboard shall be installed on framing as long as practical to minimize end joints. Where the rating is required or where indicated on the drawings:

- B. Studs and Runners: 25 gals. galvanized steel channel studs, cold formed and painted on both sides. (25 gals. galvanized steel studs indicated on the drawings).
- C. Framing for Hollow Walls with 1/2" Insulation: C-type studs, cold formed and painted on both sides. (C-type studs indicated on the drawings).
- D. Studs and Runners: 25 gals. galvanized steel channel studs, cold formed and painted on both sides. (25 gals. galvanized steel studs indicated on the drawings).

1.03 FABRICATION

A. Subboard: Standard tapered edge (thickness indicated on plans) except in locations where other thickness is indicated in the schedule. Subboard shall be installed on framing as long as practical to minimize end joints. Where the rating is required or where indicated on the drawings:

- B. Studs and Runners: 25 gals. galvanized steel channel studs, cold formed and painted on both sides. (25 gals. galvanized steel studs indicated on the drawings).
- C. Framing for Hollow Walls with 1/2" Insulation: C-type studs, cold formed and painted on both sides. (C-type studs indicated on the drawings).
- D. Studs and Runners: 25 gals. galvanized steel channel studs, cold formed and painted on both sides. (25 gals. galvanized steel studs indicated on the drawings).

1.04 INSTALLATION

A. Subboard: Standard tapered edge (thickness indicated on plans) except in locations where other thickness is indicated in the schedule. Subboard shall be installed on framing as long as practical to minimize end joints. Where the rating is required or where indicated on the drawings:

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- D. Studs and Runners: 25 gals. galvanized steel channel studs, cold formed and painted on both sides. (25 gals. galvanized steel studs indicated on the drawings).

1.05 FINISHES

A. Subboard: Standard tapered edge (thickness indicated on plans) except in locations where other thickness is indicated in the schedule. Subboard shall be installed on framing as long as practical to minimize end joints. Where the rating is required or where indicated on the drawings:

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1.06 GENERAL REQUIREMENTS

A. Subboard: Standard tapered edge (thickness indicated on plans) except in locations where other thickness is indicated in the schedule. Subboard shall be installed on framing as long as practical to minimize end joints. Where the rating is required or where indicated on the drawings:

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- D. Studs and Runners: 25 gals. galvanized steel channel studs, cold formed and painted on both sides. (25 gals. galvanized steel studs indicated on the drawings).

SECTION 09200 - PAINTING
PART 1 - GENERAL

1.01 SUMMARY

A. Section Includes:

- 1. Painting interior and exterior surfaces.
- 2. Painting exterior surfaces.
- 3. Painting interior surfaces.
- 4. Painting exterior surfaces.

1.02 REFERENCES

A. General Painting Handbook, 1987 Edition, published by US Gypsum Company.

1.03 QUALITY ASSURANCE

A. Manufacturer:

- 1. Vertical, Harsco 10" on 16" studs, unless strip equal to horizontal.
- 2. Horizontal, Manufacture of a straight line from corner to corner of any wall, 1/4" if strip is to one side only 1/8" if both sides.

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SECTION 09200 - PAINTING
PART 2 - PRODUCTS

2.01 SUMMARY

A. Section Includes:

- 1. Painting exterior surfaces.
- 2. Painting interior surfaces.
- 3. Painting exterior surfaces.
- 4. Painting interior surfaces.

2.02 REFERENCES

A. General Painting Handbook, 1987 Edition, published by US Gypsum Company.

2.03 QUALITY ASSURANCE

A. Manufacturer:

- 1. Vertical, Harsco 10" on 16" studs, unless strip equal to horizontal.
- 2. Horizontal, Manufacture of a straight line from corner to corner of any wall, 1/4" if strip is to one side only 1/8" if both sides.

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SECTION 09200 - PAINTING
PART 3 - EXECUTION

3.01 SUMMARY

A. Section Includes:

- 1. Painting exterior surfaces.
- 2. Painting interior surfaces.
- 3. Painting exterior surfaces.
- 4. Painting interior surfaces.

3.02 REFERENCES

A. General Painting Handbook, 1987 Edition, published by US Gypsum Company.

3.03 QUALITY ASSURANCE

A. Manufacturer:

- 1. Vertical, Harsco 10" on 16" studs, unless strip equal to horizontal.
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RVL ARCHITECTURE • DESIGN

1300 N. 10th Street Suite 701
 Phoenix, AZ 85001-2724
 (602) 305-5295 • Fax: (602) 305-5296

CONTRACT

DATE: **12/04/2010**

PROJECT: **986 CASTLE AVENUE CORRAL GABLES FL 33134**

DRAWING TITLE: **PERMIT SET**

SCALE: **AS NOTED**

DATE: **12/04/2010**

PROJECT NUMBER: **1418**

DRAWING NUMBER: **1418**

PROJECT NAME:

986 CASTLE AVENUE CORRAL GABLES FL 33134

IMPROVEMENTS

OWNER:

Jorge & Kathina Saladrigas

Jorge & Kathrina Saladrigas Residence

936 Castile Avenue
Coral Gables, Florida 33134

ZONING AND DATA

ZONING DISTRICT: (SFR) - SINGLE FAMILY RESIDENTIAL DISTRICT
NET LAND AREA: 11,247 S.F.

EXISTING RESIDENCE SIZE:		NEW CONSTRUCTION SIZE:	
A/C	NON A/C	A/C	NON A/C
GROUND FLOOR	2372 s.f.	206 s.f.	2578 s.f.
SECOND FLOOR	202 s.f.		202 s.f.
GARAGE		619 s.f.	619 s.f.
TOTAL	2574 s.f.	825 s.f.	619 s.f.
SUDTOTAL		TOTAL	
3399 s.f.		132 s.f.	
		412 s.f.	

NEW CONSTRUCTION SIZE:		TOTAL	
A/C	NON A/C	A/C	NON A/C
GROUND FLOOR	45 s.f.	132 s.f.	132 s.f.
SECOND FLOOR	280 s.f.	132 s.f.	412 s.f.
GARAGE			
TOTAL	325 s.f.	219 s.f.	544 s.f.
SUDTOTAL		TOTAL	
3943 s.f.		3943 s.f.	

GROUND AREA COVERAGE	
EXISTING GROUND AREA COVERAGE	3197 s.f.
NEW GROUND AREA COVERAGE	132 s.f.
TOTAL GROUND AREA COVERAGE	3329 s.f.
ALLOWED LOT COVERAGE	3936 s.f.
SETBACKS MAIN BUILDING	
REQUIRED/ALLOWED:	EXISTING:

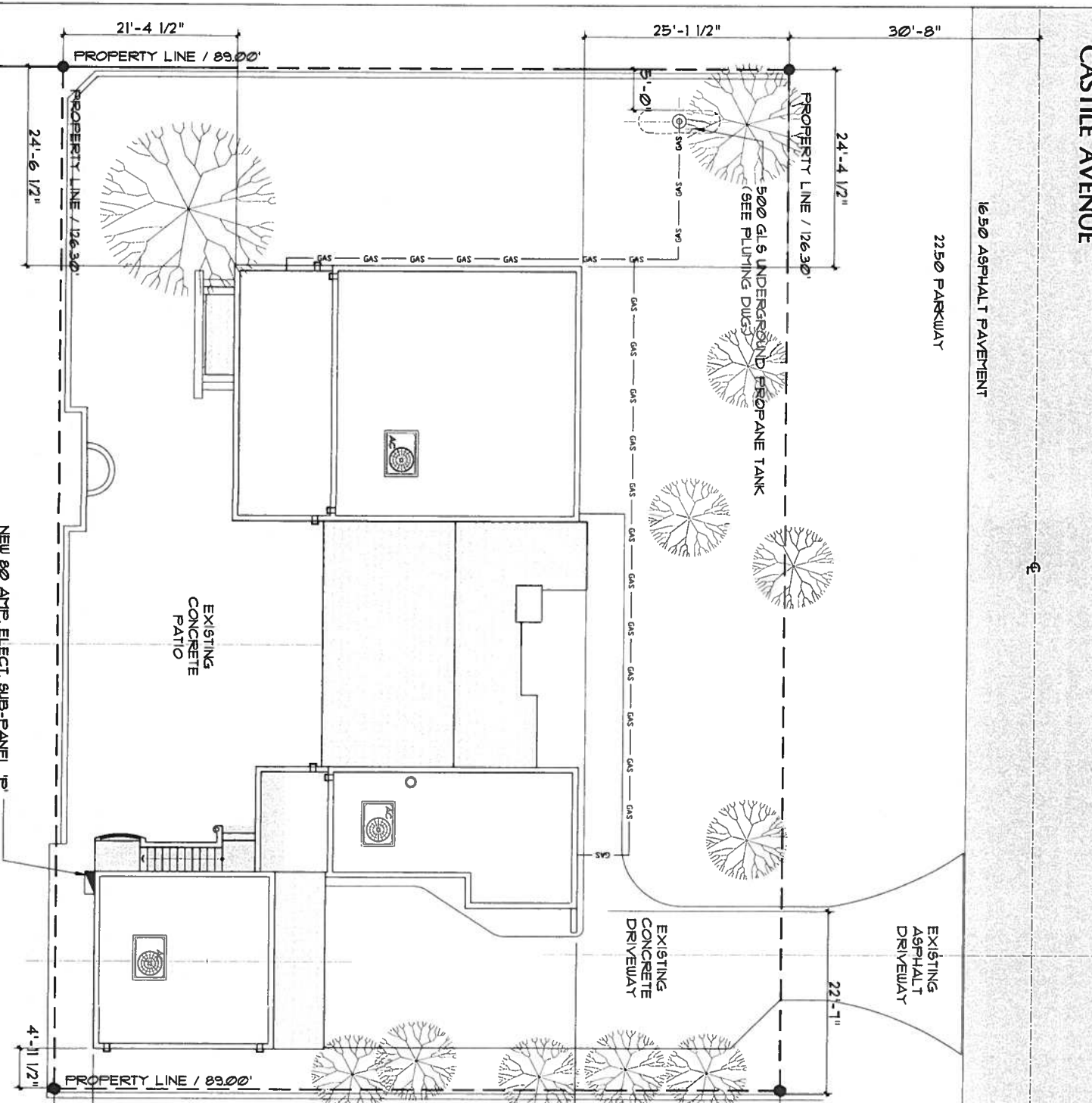
SETBACKS MAIN BUILDING	
REQUIRED/ALLOWED:	EXISTING:
FRONT	25'-1"
SIDES:	(20% OF LOT WIDTH - 100)
	MIN. TOTAL + 10'-0" / MAX 20'-0"

LEGAL DESCRIPTION	
EAST SIDE	22'-0"
WEST SIDE	24'-6"
REAR	21'-4"
EAST SIDE	4'-11"
REAR	4'-9"
HEIGHT	21'-4" (PROPOSED)

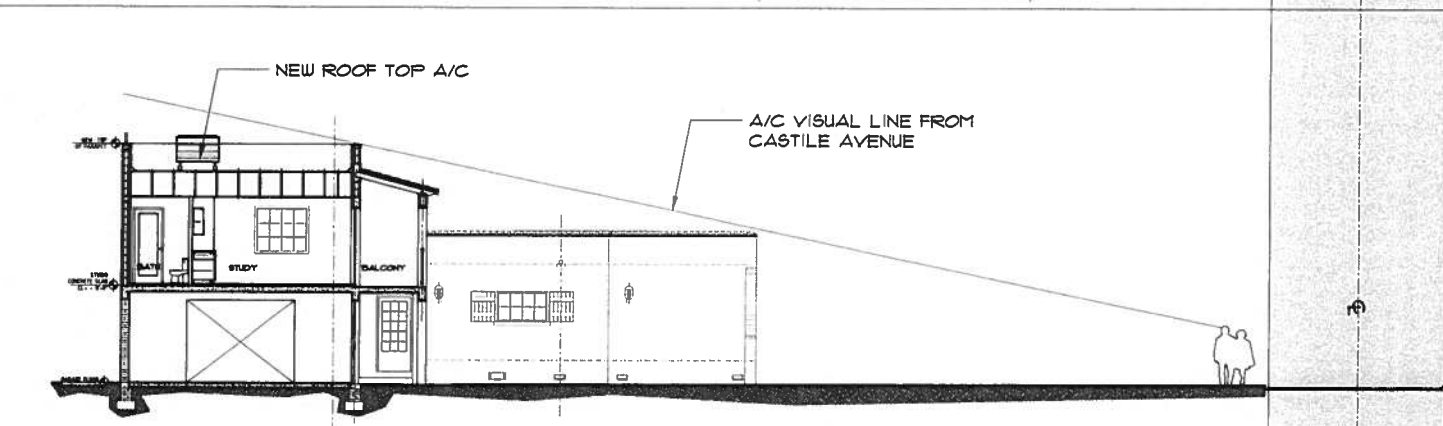
LOT 8, OF PEACOCK RE-SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 35, AT PAGE 60, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA

PROJECT DATA

SITE PLAN



STREET SITE VIEW STUDY



RVL
ARCHITECTURE + DESIGN

1280 SW 105th STREET, SUITE 107
Miami, FL 33196
(305) 525-1900 • (305) 785-277-4884
A4-0002754

STATE OF FLORIDA
MAYOR VICKI WEAVER
COMMISSIONER
STATE OF FLORIDA
MAYOR VICKI WEAVER
COMMISSIONER

PROJECT NAME:
**SALADRIGAS
RESIDENCE**

936 CASTILE AVENUE
CORAL GABLES
FL 33134

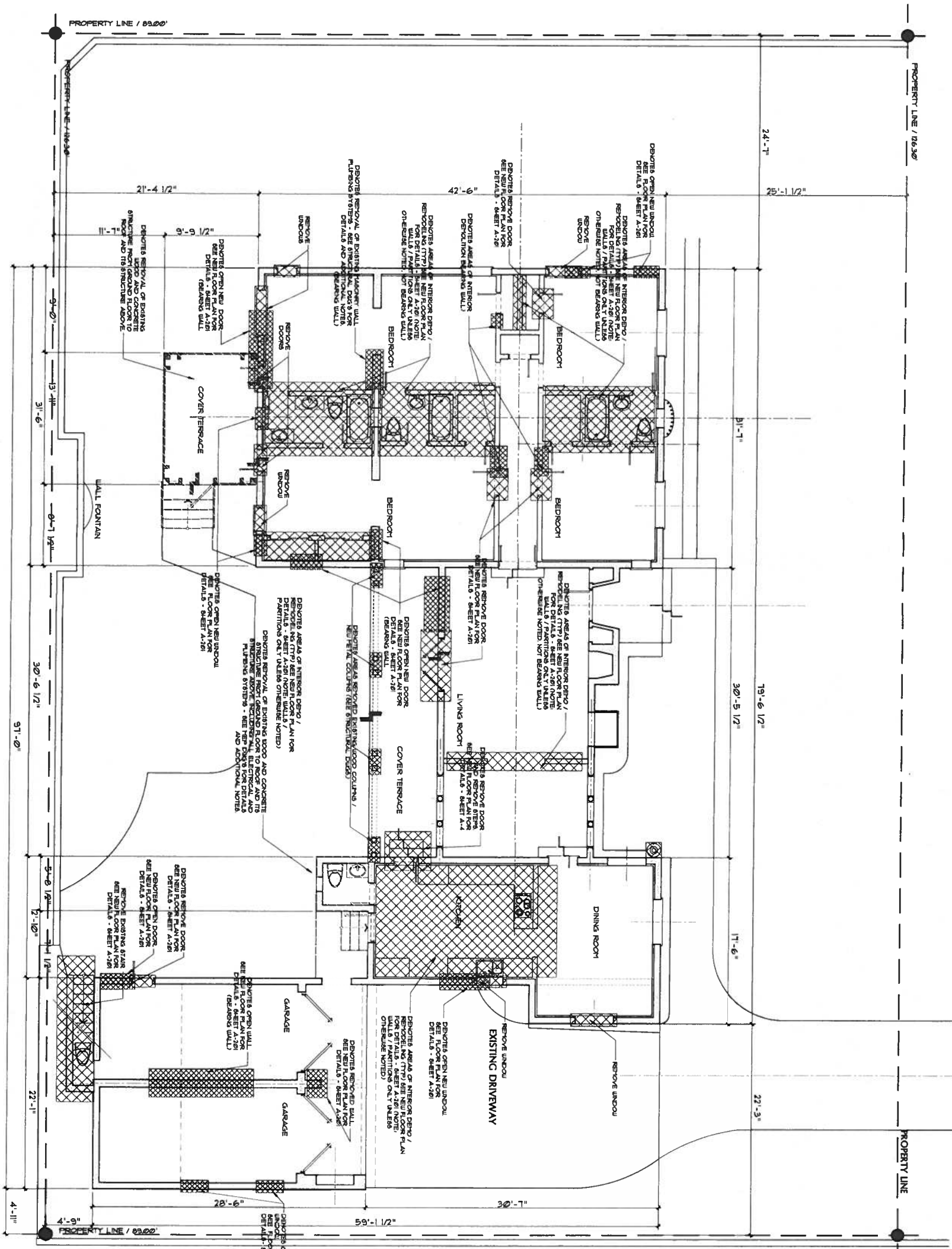
OWNER:
**Jorge & Kathrina
Saladrigas**

REVISIONS:
NO. DATE REVISION:
DRAWING TITLE:
**ZONING DATA
SITE PLAN**
PROJECT NAME:
PERMIT SET

SCALE: 3/16" = 1'-0"
ISSUE DATE: 12-04-18
DRAWN BY: EC (APPROVED BY: BL)
PROJECT NUMBER: 1418
JOB PROJECT NUMBER:
SHEET NUMBER:
A-101
SHEET COUNT



- 1 ALL CONSTRUCTION/DEMOLITION SHALL BE DONE IN ACCORDANCE WITH THE LOCAL BUILDING CODE, LATEST EDITION AND THE LOCAL, STATE AND FEDERAL GOVERNING BODY'S STANDARDS FOR DEMOLITION.
- 2 ALL CONSTRUCTION/DEMOLITION SHALL BE DONE TO ENSURE MINIMAL INTERFERENCE WITH PUBLIC AND BUILDER'S DAILY OPERATIONS.
- 3 THE PURPOSE OF THESE DRAWINGS ARE TO CONVEY THE OVERALL SCOPE OF THE WORK AND THEY ARE NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL GOVERNING BODY'S STANDARDS FOR DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL GOVERNING BODY'S STANDARDS FOR DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL GOVERNING BODY'S STANDARDS FOR DEMOLITION.
- 4 THE OWNER RETAINS THE BEST RIGHT OF SALVAGE ON ALL ITEMS SCHEDULED FOR DEMOLITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL ITEMS TO BE SALVAGED WITH THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL GOVERNING BODY'S STANDARDS FOR DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL GOVERNING BODY'S STANDARDS FOR DEMOLITION.
- 5 THE INCLUDED PLANS, ELEVATIONS AND SECTIONS SHALL BE USED TO DETERMINE THE SCOPE OF THE ORIGINAL BUILDING FOR REFERENCE TO ASSIST THE CONTRACTOR IN DETERMINING THE SCOPE OF THIS CONTRACT. IN SOME CASES CONDITIONS MAY BE INDICATED IN THESE DRAWINGS THAT MAY NOT BE INDICATED IN ADDITIONAL AND/OR CHANGES ETC. THAT HAVE BEEN MADE BY THE OWNER SINCE THE STRUCTURE WAS BUILT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS DETERMINING THE SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS DETERMINING THE SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS DETERMINING THE SCOPE OF WORK.
- 6 THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING CONSTRUCTION AND SYSTEMS, WHICH ARE INTENDED TO REMAIN AND/OR INDICATED TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL GOVERNING BODY'S STANDARDS FOR DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL GOVERNING BODY'S STANDARDS FOR DEMOLITION.
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B DEMOLITION NOTES

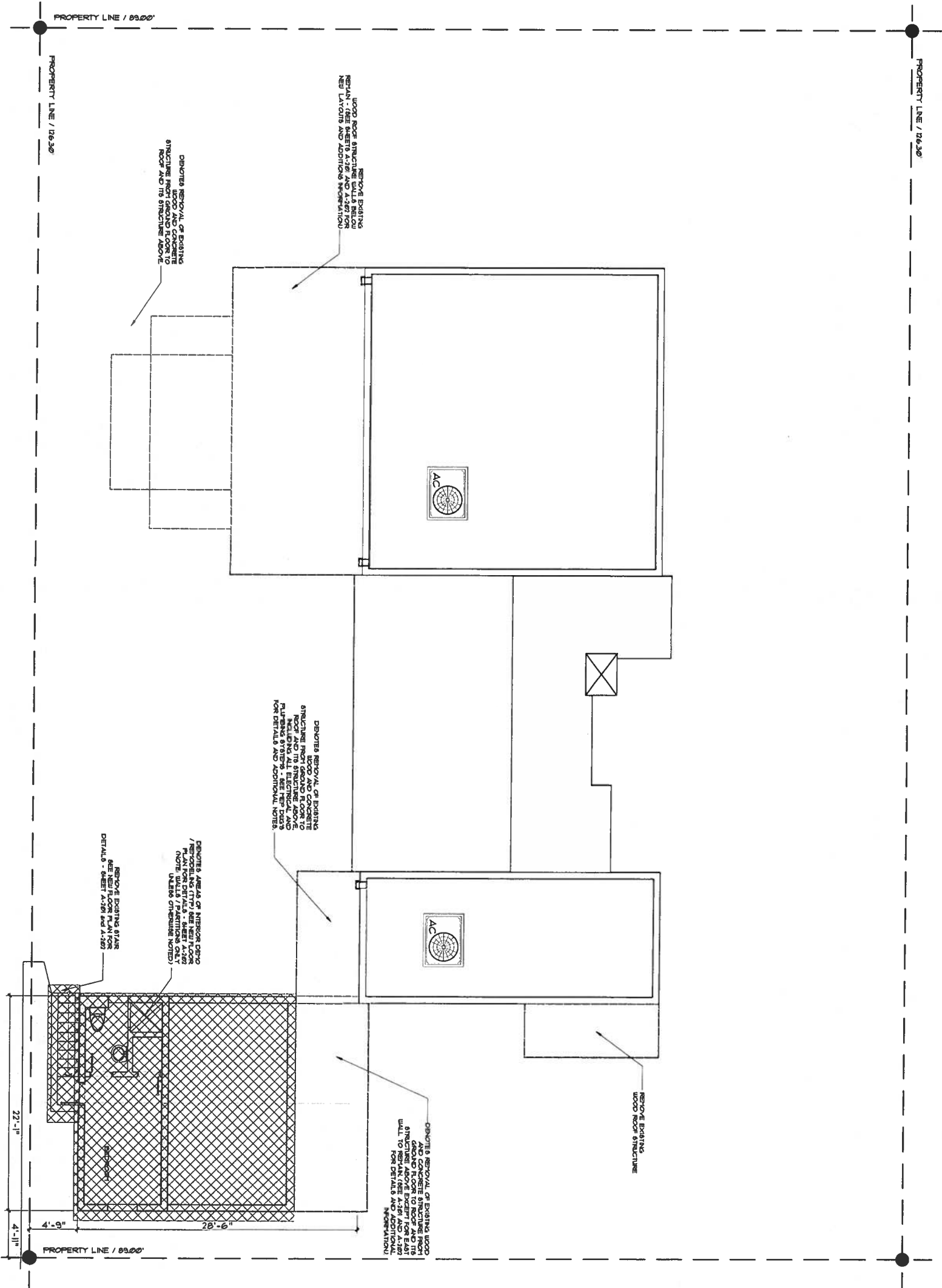
A EXISTING GROUND FLOOR PLAN / DEMOLITION PLAN

<p>12345 SW 1ST STREET SUITE 107 Miami, FL 33156 (305) 525-9800 • (305) 272-5884 A0000724</p>		<p>RVL ARCHITECTURE + DESIGN</p>	
<p>OWNER: Jorge & Kathina Saladrigas</p>		<p>PROJECT NAME: SALADRIGAS RESIDENCE IMPROVEMENTS</p>	
<p>DRAWING TITLE: EXISTING GROUND FLOOR PLAN</p>		<p>PROJECT NUMBER: A-102</p>	
<p>SCALE: 1/4" = 1'-0"</p>		<p>ISSUE DATE: 12-04-2018</p>	
<p>DRAWN BY: EG</p>		<p>APPROVED BY: BL</p>	
<p>PROJECT NUMBER: 1418</p>		<p>DATE: REVISION:</p>	
<p>SHEET NUMBER: A-102</p>		<p>SHEET COUNT: 1</p>	



1. ALL CONSTRUCTION/DEMOLITION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE, LATEST EDITION AND LOCAL, ALL APPLICABLE CITY, COUNTY, AND STATE AND/OR GOVERNING BODY'S STANDARDS FOR DEMOLITION.
2. ALL CONSTRUCTION/DEMOLITION SHALL BE DONE TO ENSURE MINIMAL INTERFERENCE WITH PUBLIC AND BUILDING'S DAILY OPERATIONS.
3. THE PURPOSE OF THESE DRAWINGS ARE TO CONVEY THE OVERALL SCOPE OF THE WORK AND THEY ARE NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS AND REGULATIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS AND REGULATIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS AND REGULATIONS.
4. THE OWNER RETAINS THE FIRST RIGHT OF SALE/LEASE ON ALL ITEMS SCHEDULED FOR DEMOLITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL ITEMS OF THE SCHEDULE WITH THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS AND REGULATIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS AND REGULATIONS.
5. THE INCLUDED PLANS, ELEVATIONS AND SECTIONS HAVE BEEN PREPARED BY THE ARCHITECT AND THE ORIGINAL BUILDING FOR REFERENCE TO ASSIST THE CONTRACTORS IN DETERMINING THE SCOPE OF THIS CONTRACT. IN SOME CASES CONDITIONS MAY BE IN CONFLICT WITH THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD PRIOR TO BIDDING AND CONSTRUCTION. THESE DRAWINGS ARE TO BE USED AS A GUIDE ONLY. ANY ADDITIONS AND/OR CHANGES, ETC. THAT HAVE BEEN MADE BY THE OWNER SINCE THE STRUCTURE WAS BUILT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD PRIOR TO BIDDING AND CONSTRUCTION. THESE DRAWINGS ARE TO BE USED AS A GUIDE ONLY.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING CONSTRUCTION AND SYSTEMS, WHICH ARE TO REMAIN AND/OR INDICATED TO BE REMOVED. AS BEING DEMOLISHED OR SALVAGED AND/OR RETURNED TO THE OWNER ARE TO REMAIN AND BE PROTECTED TO THE EXTENT OF THE GENERAL CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD PRIOR TO BIDDING AND CONSTRUCTION. THESE DRAWINGS ARE TO BE USED AS A GUIDE ONLY.
7. THE CONTRACTOR SHALL PAY FOR AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS AND REGULATIONS.
8. THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO OBTAIN ALL NECESSARY PERMITS, APPROVALS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS AND REGULATIONS.
9. UTILITY DISCONNECTS SHALL BE PERFORMED IN CONFORMANCE WITH THE POLICIES AND PROCEDURES OF THE SERVING UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS AND REGULATIONS.

- A EXISTING SECOND FLOOR PLAN / ROOF PLAN/ DEMOLITION PLAN
- B DEMOLITION NOTES



RVL
ARCHITECTURE + DESIGN

1200 SW 9TH STREET SUITE 107
MIAMI FL 33136
(305) 525-9800 • (305) 527-8894
M44000734

PROJECT NAME:
SALADRIGAS RESIDENCE IMPROVEMENTS

936 CASTLE AVENUE
CORAL GABLES
FL 33134

OWNER:
Jorge & Kathrina Saladrigas

PROJECT NAME:
EXISTING SECOND FLOOR PLAN PERMIT SET

SCALE: 1/4" = 1'-0"

SHEET DATE: 12-04-2018

DRAWN BY: EIC

PROJECT NUMBER: 1418

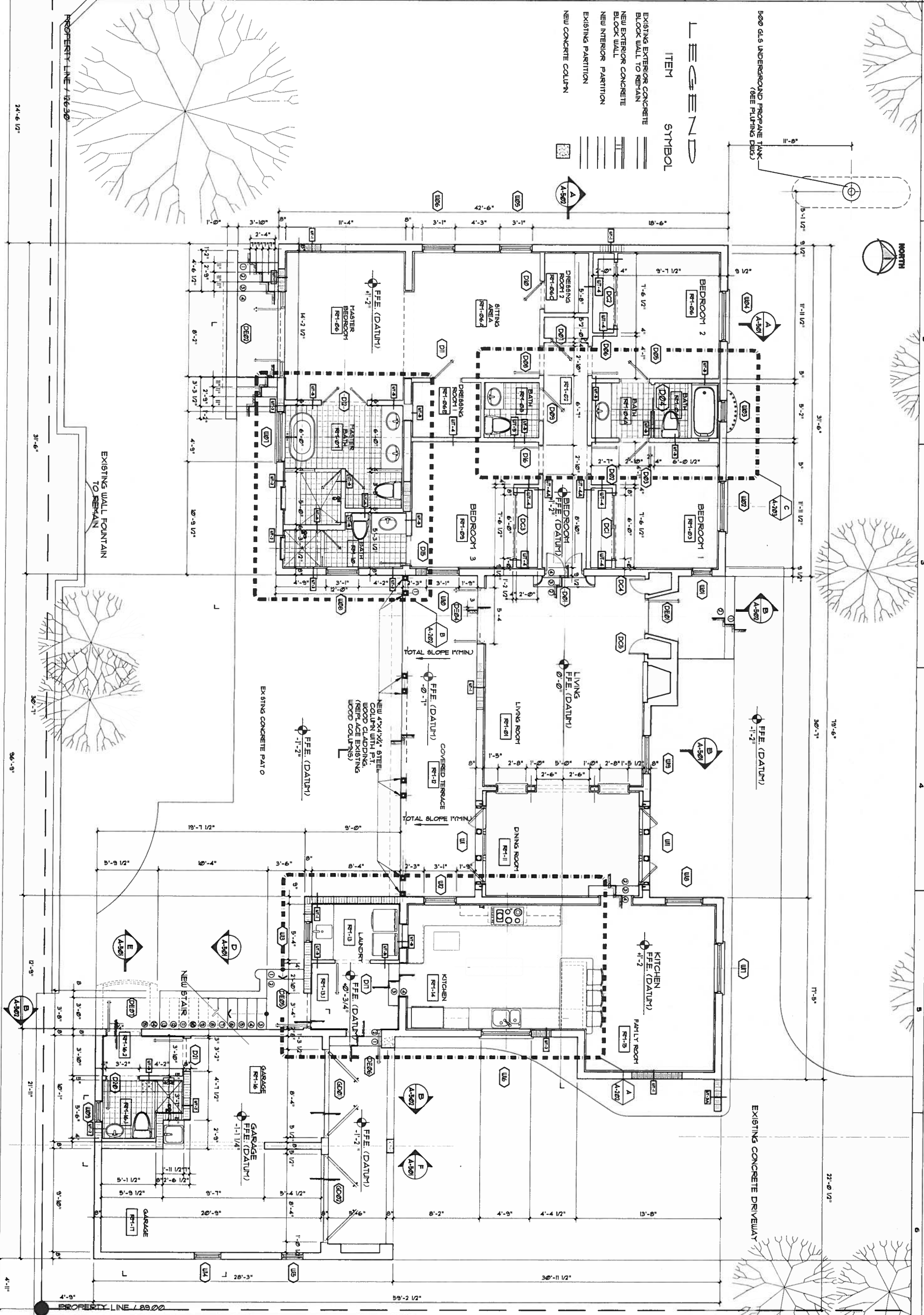
A-103

SHEET COUNT

A PROPOSED GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

LEGEND

ITEM	SYMBOL
EXISTING EXTERIOR CONCRETE BLOCK WALL TO REMAIN	[Symbol]
NEW EXTERIOR CONCRETE BLOCK WALL	[Symbol]
NEW INTERIOR PARTITION	[Symbol]
EXISTING PARTITION	[Symbol]
NEW CONCRETE COLUMN	[Symbol]



RVL
ARCHITECTURE + DESIGN

12800 SW 98TH STREET, SUITE 107
MIAMI, FL 33156
(305) 555-1800 • (305) 765-2724
MAD0002734

PROJECT NAME
SALADRIGAS RESIDENCE

936 CASTLE AVENUE
CORAL GABLES
FL 33134

OWNER
Jorge & Kathrina Saladrigas

CONSULTANTS
STATE OF FLORIDA
REGISTERED ARCHITECTS

NO. DATE REVISION

DRAWING TITLE
PROPOSED GROUND FLOOR PLAN

PROJECT PHASE
PERMIT SET

SCALE: 1/4" = 1'-0"

DATE: 12-04-2015

DRAWN BY: EC (APPROVED BY: BL)

PROJECT NUMBER: 1418

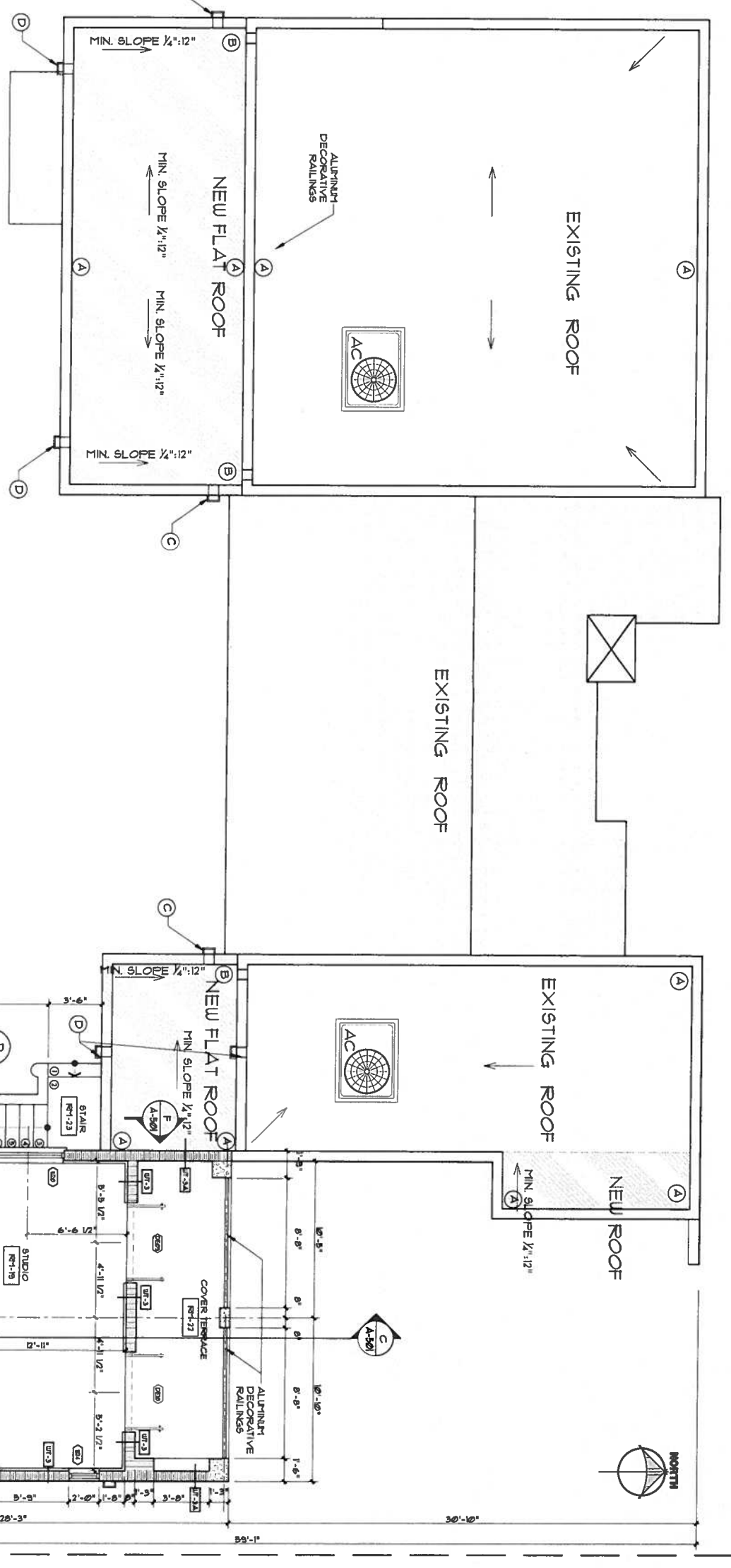
W/O PROJECT NUMBER:

SHEET NUMBER: **A-201**

SHEET COUNT: 20

ROOF LEGEND

ITEM	SYMBOL
EXISTING ROOF HIGH POINT ELEVATION	(A)
EXISTING ROOF LOW POINT ELEVATION	(B)
NEW 4"x4" COPPER DOWNSPOUT	(C)
NEW 4"x4" DECORATIVE OVER FLOOR SIMILAR TO EXISTING	(D)



NEW FLAT ROOF - TYPE 1

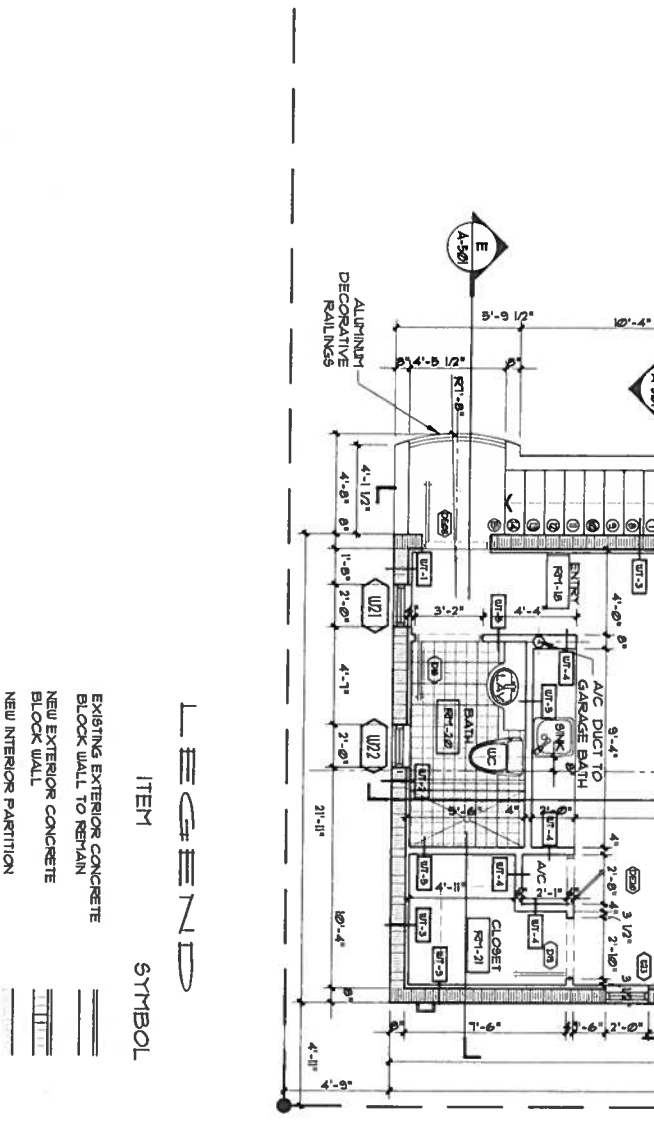
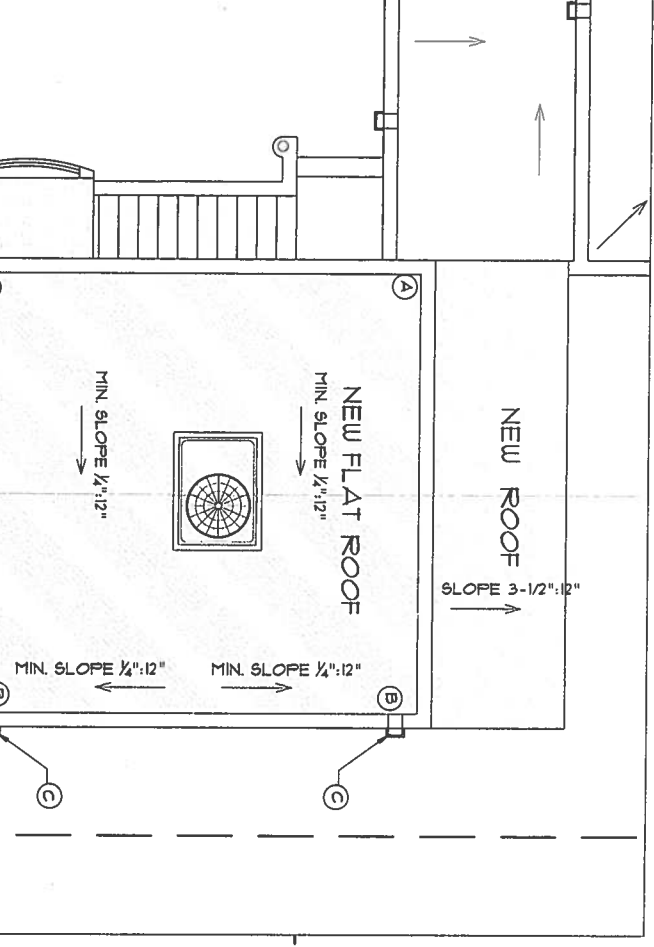
Firestone
Nalibla Deck
888 Cool System Specifications
20 YEAR RED SHIELD

The Simple Assembly System is a proven, long-lasting, waterproofing system for flat roofs. It consists of a Firestone Nalibla Deck, Firestone 888 Cool System, and Firestone 20 Year Red Shield.

Deck Preparation:
1. Remove all existing roof coverings.
2. Repair all structural damage.
3. Prime the deck with Firestone Primer.

Installation:
1. Roll out the Nalibla Deck.
2. Apply the 888 Cool System.
3. Apply the 20 Year Red Shield.

Notes:
- All materials must be stored in a dry, well-ventilated area.
- Installation should be done in a dry, clear weather.
- Minimum temperature for installation is 40°F.



ROOF - TYPE 2

CLAY BARREL TILES TO BE INSTALLED ACCORDING TO MANUFACTURE RECOMMENDATIONS OVER 90" MINERAL FELT HOT TAPPED OVER 30" BASE FIBERGLASS FELT TIN CAPPED 1/2" OC STAGGERED IN FIELD AND 6" OC AT LAPPS TO COMPLY WITH FLORIDA BUILDING CODE 2014

SECOND FLOOR ROOF PLAN

SCALE: 1/4" = 1'-0"

SECOND FLOOR PLAN & GROUND FLOOR ROOF PLAN

SCALE: 1/4" = 1'-0"

LEGEND

ITEM	SYMBOL
EXISTING EXTERIOR CONCRETE	(Symbol)
BLOCK WALL TO REMAIN	(Symbol)
NEW EXTERIOR CONCRETE	(Symbol)
BLOCK WALL	(Symbol)
NEW INTERIOR PARTITION	(Symbol)
EXISTING PARTITION	(Symbol)
NEW CONCRETE COLUMN	(Symbol)

RVL ARCHITECTURE + DESIGN
1000 SW 1ST STREET, SUITE 107
MIAMI, FL 33136
(305) 525-1800 • (786) 272-4884
ARCH0000724

CONSULTANTS:
STATE OF FLORIDA
REGISTERED ARCHITECTS

OWNER:
Jorge & Kathrina Saladrigas

PROJECT NAME:
SALADRIGAS RESIDENCE IMPROVEMENTS

ADDRESS:
936 CASTLE AVENUE
CORAL GABLES, FL 33134

DATE:
1418

SCALE:
1/4" = 1'-0"

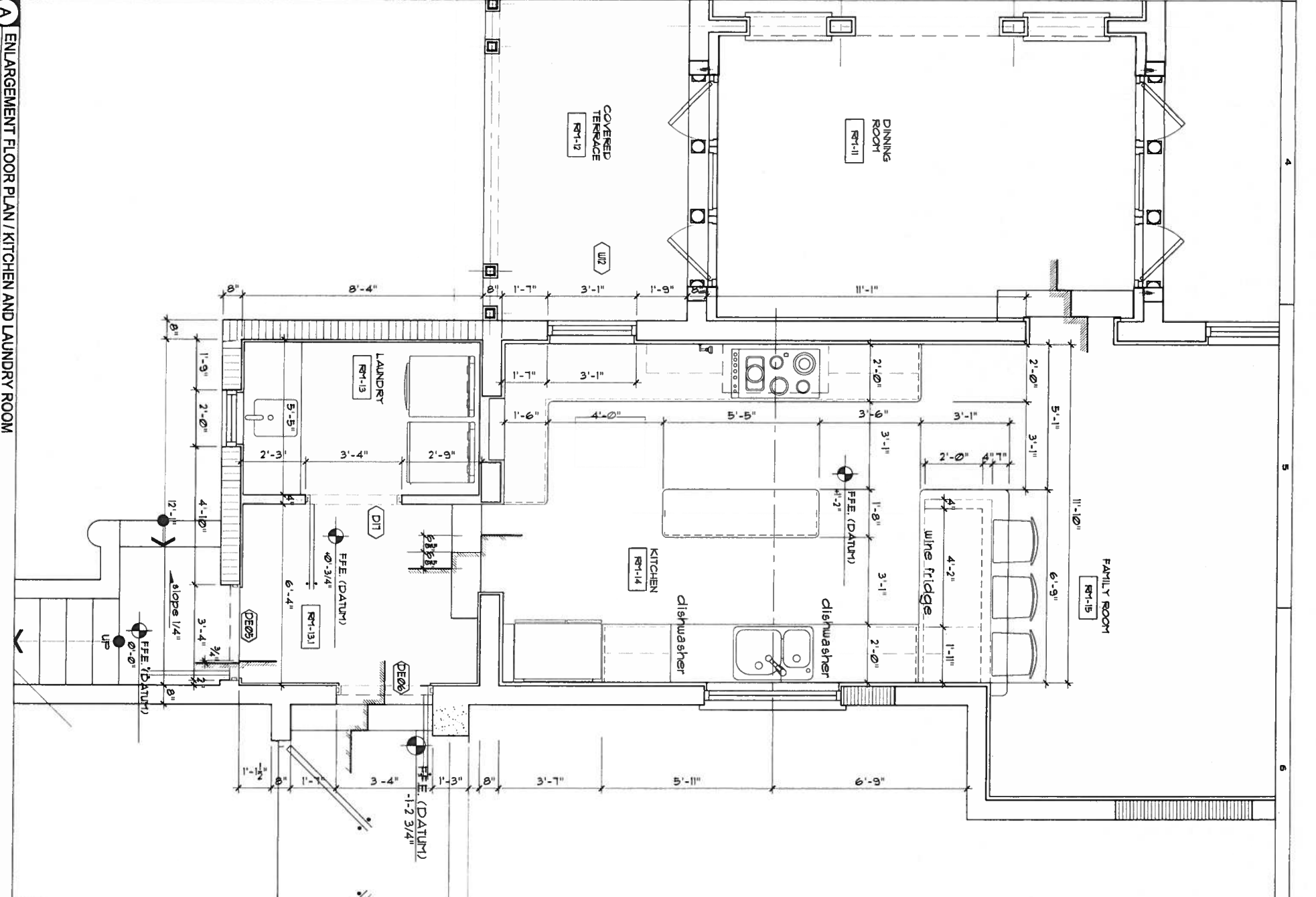
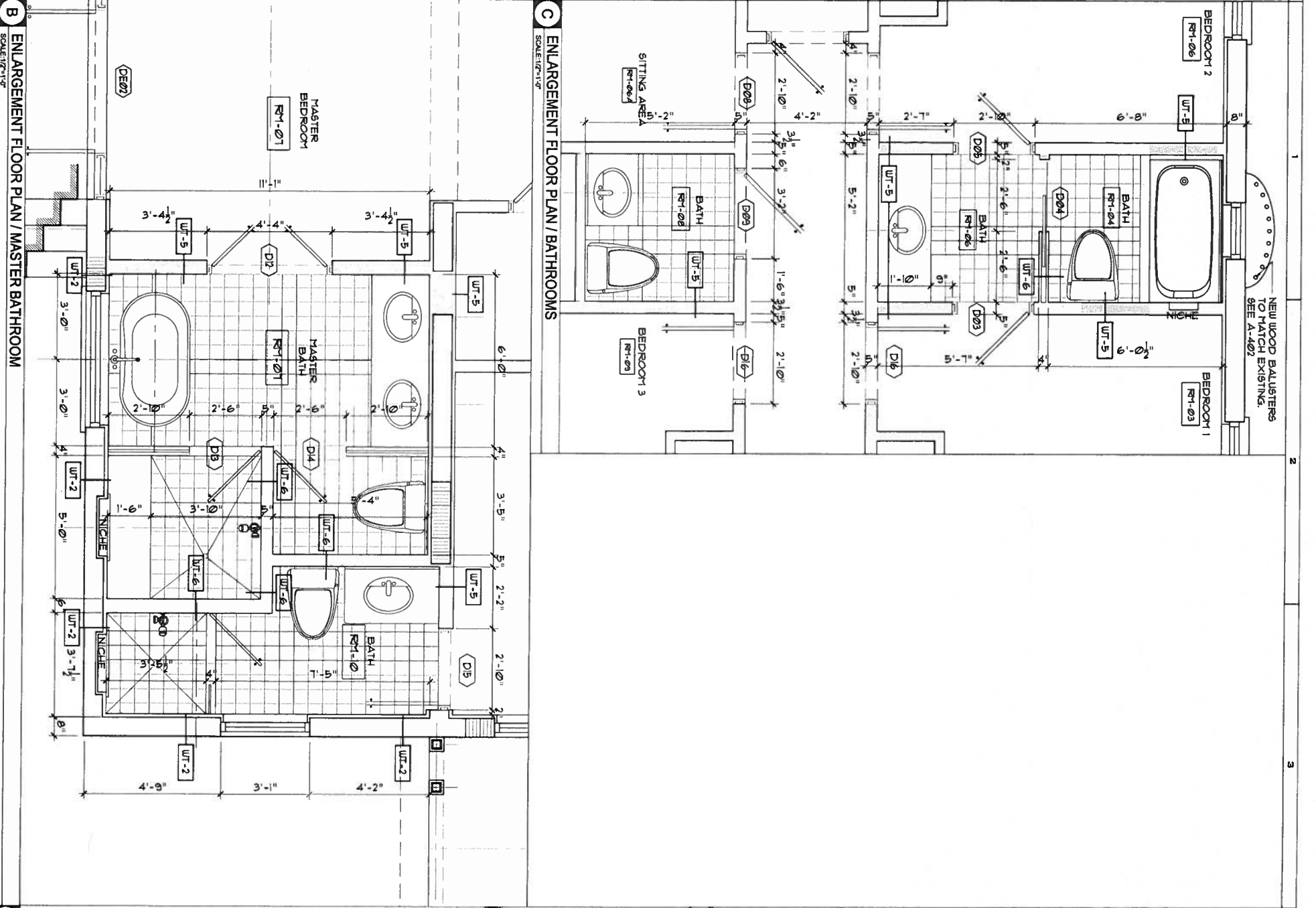
ISSUE DATE:
1418

PROJECT NUMBER:
1418

SHEET NUMBER:
A-202

SHEET COUNT:
SHEET COUNT

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RVL
ARCHITECTURE • DESIGN

1080 SW 35TH STREET, SUITE 202
MIAMI, FL 33135
(305) 555-1800 • (305) 785-2748/4884
44-0002734

REGISTERED ARCHITECT
STATE OF FLORIDA
CORAL GABLES, FLORIDA

PROJECT NAME:
SALADRIGAS RESIDENCE

936 CASTLE AVENUE
CORAL GABLES
FL 33134

OWNER:
Jorge & Kathina Saladrigas

REVISIONS

NO.	DATE	REVISION

DRAWING TITLE:
ENLARGEMENT FLOOR PLAN

PROJECT NAME:
PERMIT SET

SCALE:
1/8" = 1'-0"

ISSUE DATE:
13-06-2015

DRAWN BY:
EG

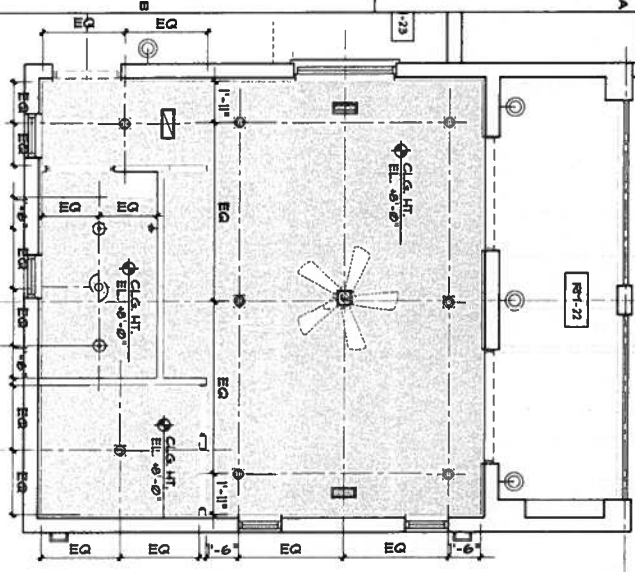
PROJECT NUMBER:
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PROJECT NUMBER:
1418

SHEET NUMBER:
A-203

SHEET COUNT:
SHEET 001/10

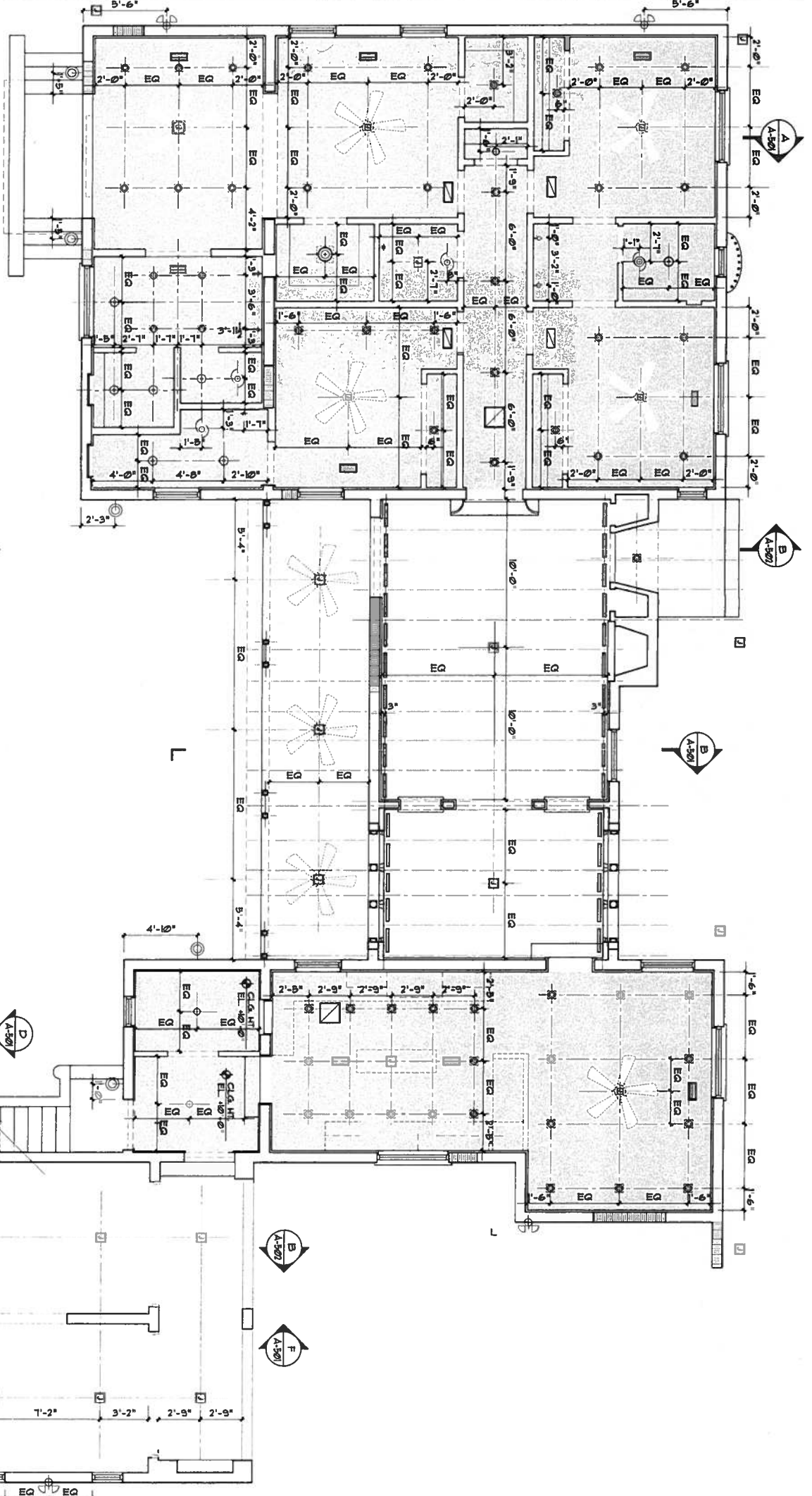
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B REFLECTED CEILING PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"

ITEM	SYMBOL
EXISTING EXPOSED RAFTER	
GYPSUM WALL BOARD CEILING CEILING HEIGHT AT 9'-0" AFF (UNLESS OTHERWISE NOTED)	
CEILING FAN	
DIRECTIONAL HI-HAT FIXTURE	
CEILING MOUNTED LIGHT FIXTURE (BY QUERER)	
CEILING MOUNTED LIGHT FIXTURE - EXTRACTOR / THERMAL	
WALL MOUNTED LIGHT FIXTURE (BY OWNER)	
HI-HAT FIXTURE	
EXTERIOR FLOOD LIGHT FIXTURE	
JUNCTION BOX	
WALL JUNCTION BOX	
A/C DIFFUSER	
A/C RETURN	
EXHAUST FAN	
LED LINEAR LIGHTING	

B CEILING LEGEND
SCALE: 1/4" = 1'-0"



A REFLECTED CEILING PLAN - GROUND FLOOR
SCALE: 1/4" = 1'-0"

RVL
ARCHITECTURE • DESIGN

1280 SW 30ST STREET SUITE 107
MIRAGE FL 33196
(407) 255-8000 • (407) 786-27-6884
AA0002734

PROJECT NAME:
SALADRIGAS RESIDENCE

936 CASTLE AVENUE
CORAL GABLES
FL 33134

OWNER:
Jorge & Kathrina
Saladrigas

DATE: _____
REVISION: _____

NO. DATE REVISION

DRAWING TITLE:
REFLECTED CEILING PLAN

PROJECT NUMBER:
PERMIT SET

SCALE: 1/4" = 1'-0"

SHEET DATE: 12-04-2015

DRAWN BY: EC (APPROVED BY: BL)

PROJECT NUMBER: 1418

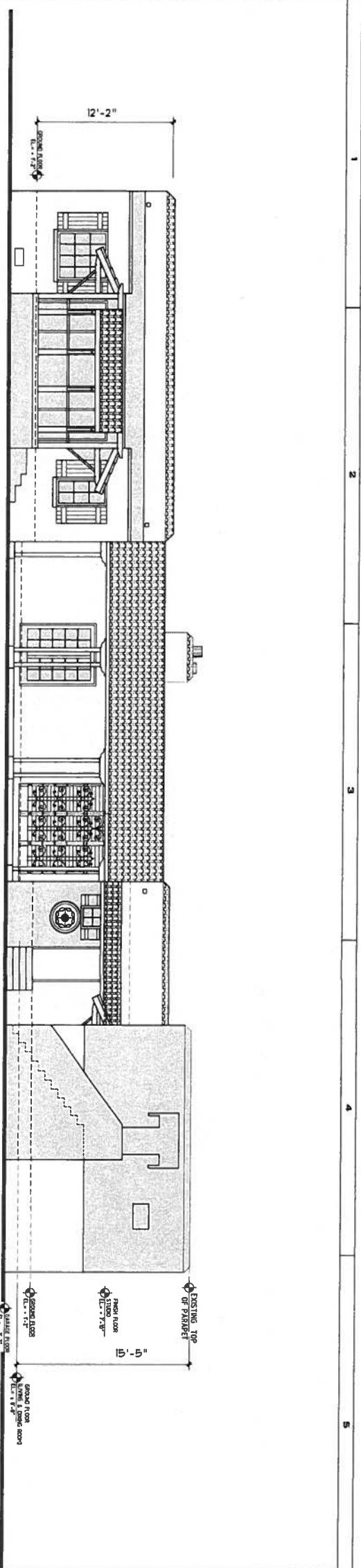
NO. PROJECT NUMBER

SHEET NUMBER

A-301

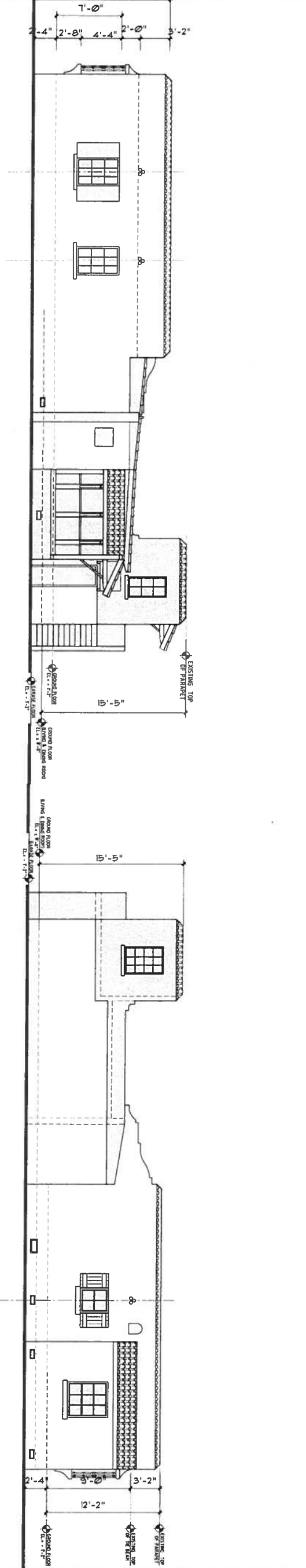
SHEET COUNT

CONSULTANTS:
O BERT LON, STATE OF FL ARCHITECT
O NECTOR VEGA, STATE OF FL ARCHITECT



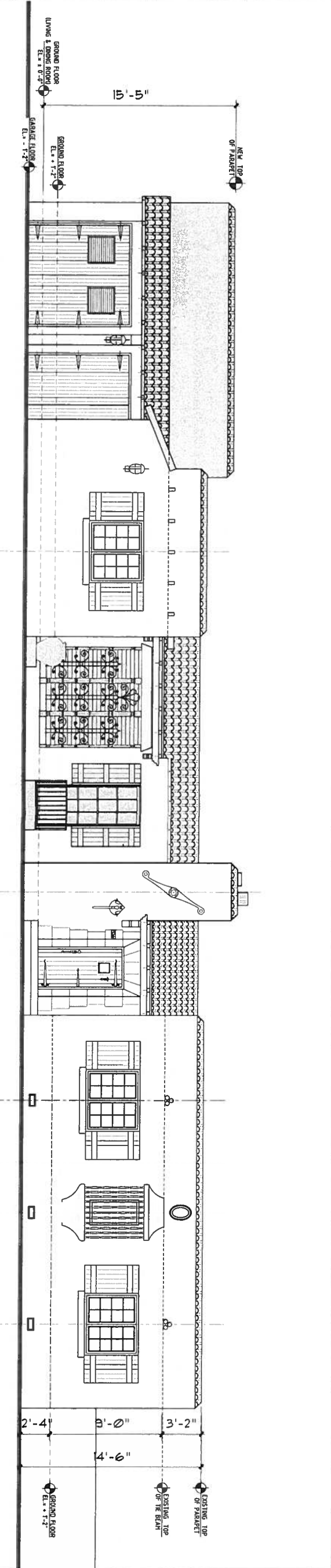
D EXISTING SOUTH ELEVATION
SCALE 3/16" = 1'-0"

E LEGEND
SCALE N.T.S.



B EXISTING WEST ELEVATION
SCALE 3/16" = 1'-0"

C EXISTING EAST ELEVATION
SCALE 3/16" = 1'-0"



A EXISTING NORTH ELEVATION - MAIN ELEVATION
SCALE 3/16" = 1'-0"

RVL
ARCHITECTURE • DESIGN

13280 SW 85TH STREET SUITE 107
MIAMI FL 33186
(305) 575-1000 • (305) 786-277-6804
AA-000734

OWNER:
Jorge & Katrina
Saladrigas

PROJECT NAME:
**SALADRIGAS
RESIDENCE**

936 CASTLE AVENUE
CORAL GABLES
FL 33134

IMPROVEMENTS

NO.	DATE	REVISION

DRAWING TITLE:
**EXISTING
ELEVATIONS**

PROJECT NAME:
PERMIT SET

SCALE:
3/16" = 1'-0"

ISSUE DATE:
12-04-2018

DRAWN BY:
BC

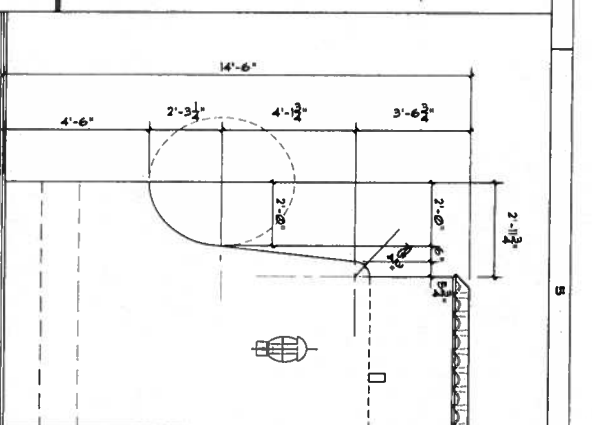
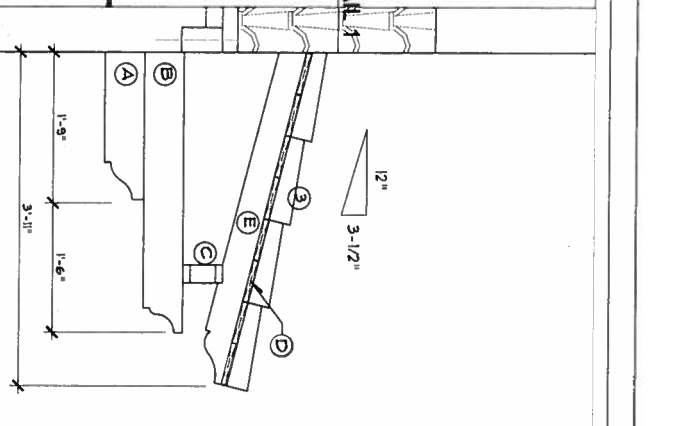
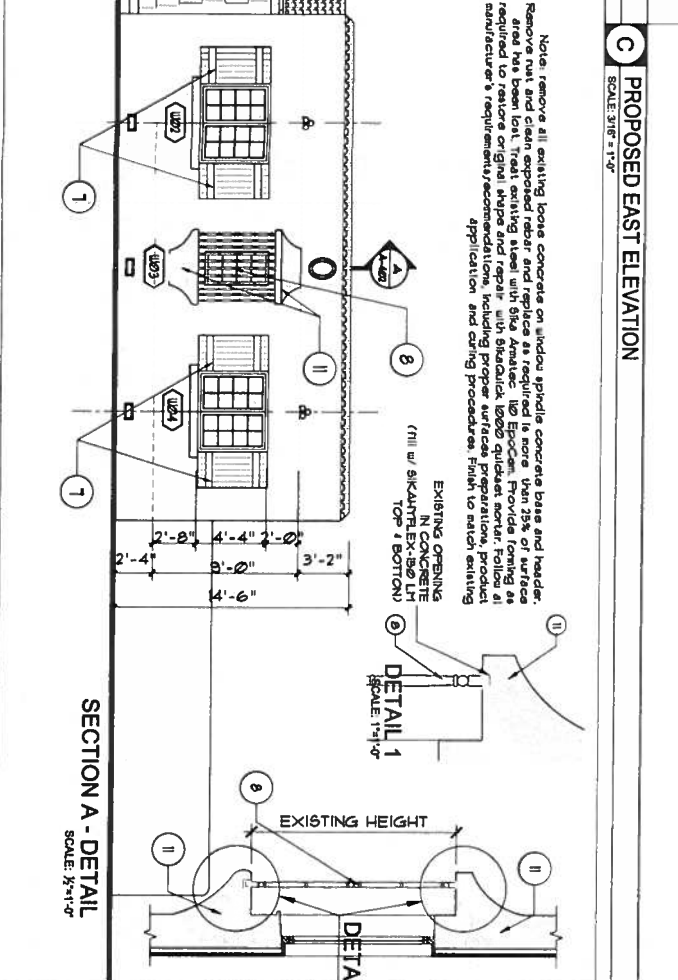
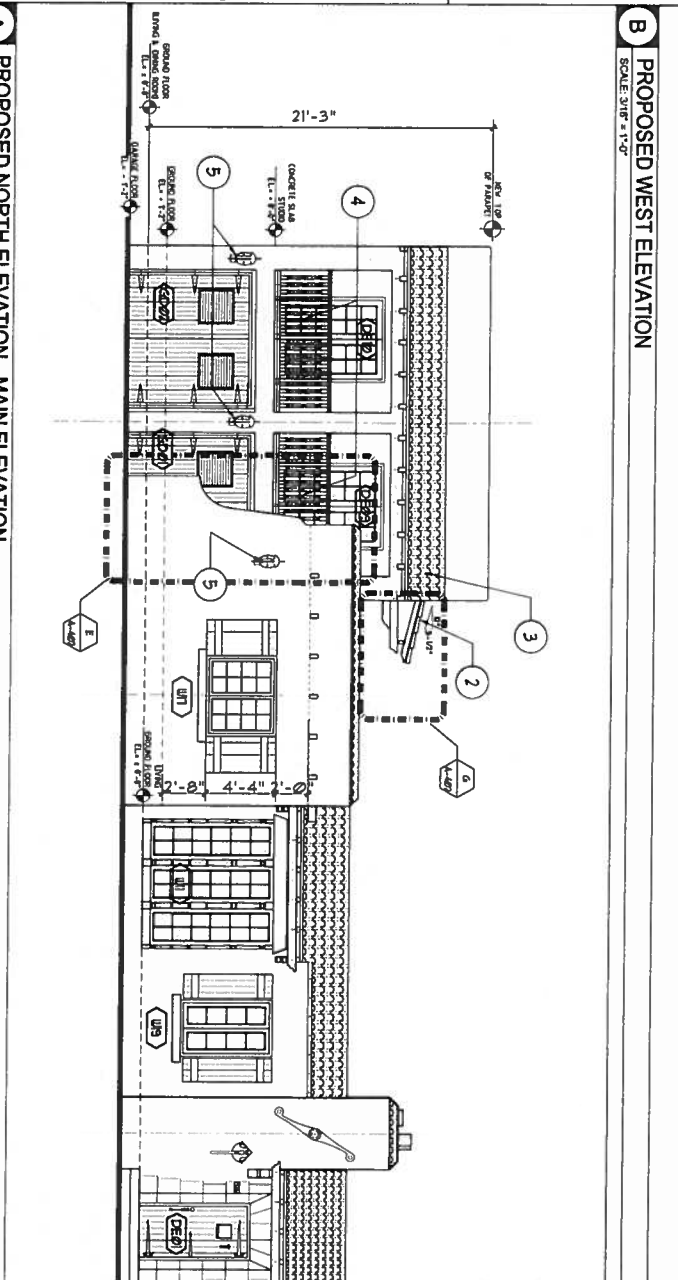
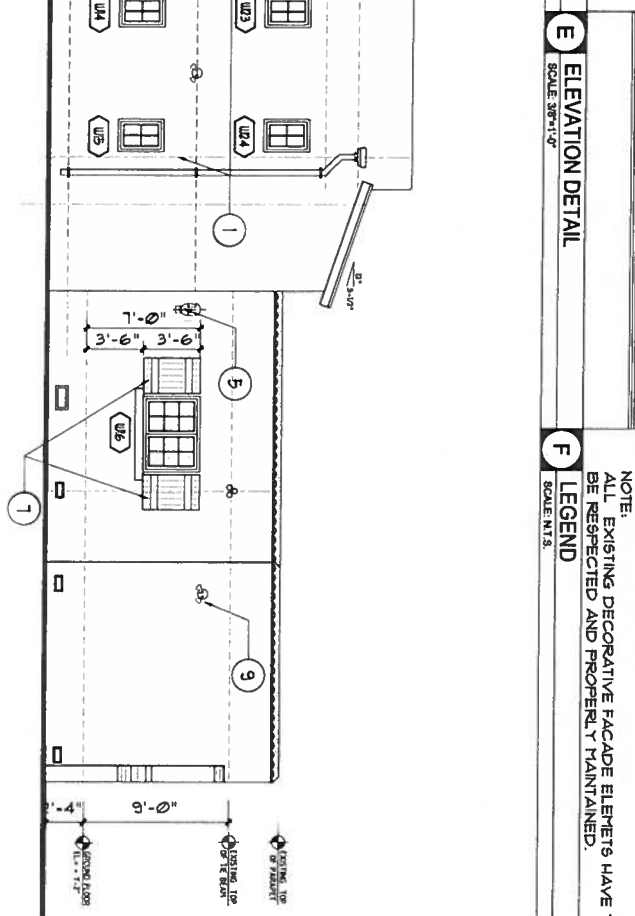
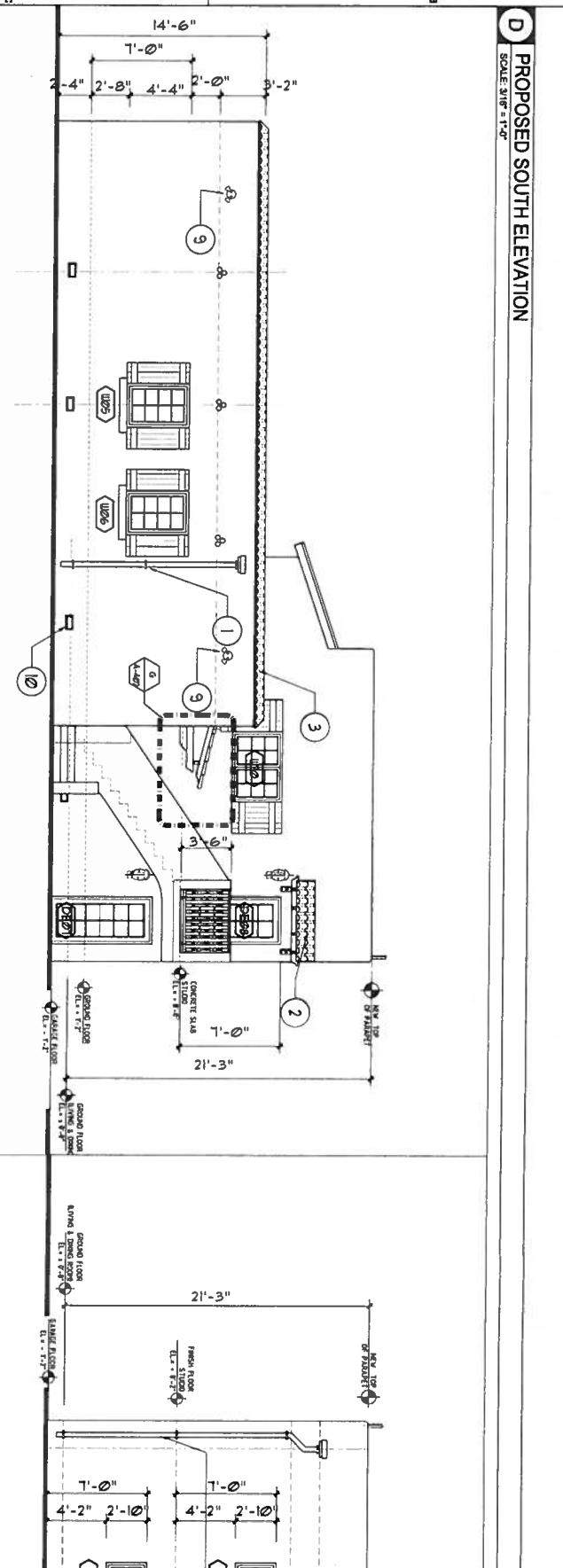
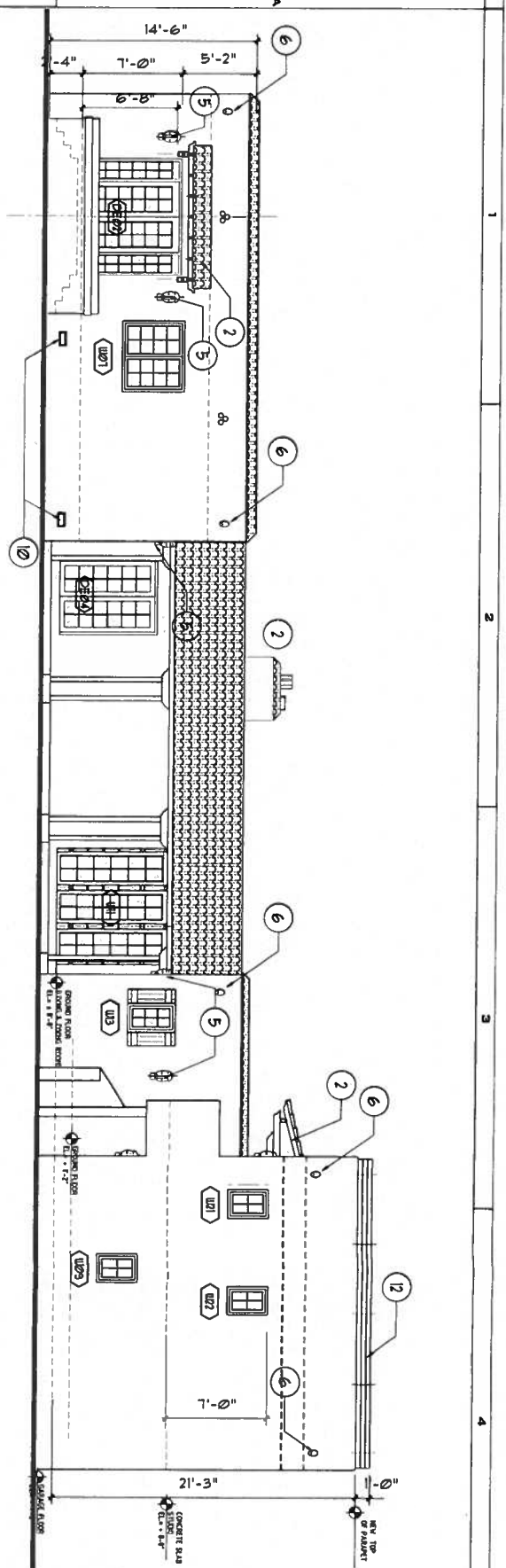
APPROVED BY:
BILL

PROJECT NUMBER:
1418

1000 PROJECT NUMBER:

SHEET NUMBER:
A-401

SHEET COUNT:



- F LEGEND**
SCALE: N.T.S.
- 1 COPPER DOWNSPOUT
 - 2 EYEBROW ROOF WOOD CANOPY
 - 3 WOOD BEAM (4"X6 X11'-9")
 - 4 WOOD BEAM (4"X6 X3'3")
 - 5 WOOD BEAM (SEE STRUCT. DWG)
 - 6 T & G
 - 7 WOOD BEAM (4"X2"X4'2" @ 16" O.C.
 - 8 SPANISH TILE TO BE INSTALLED ACCORDING TO THE FBC & MANUFACTURER RECOMMENDATIONS.
 - 9 ALUMINUM ANODIZE BRONZE DECORATIVE RAILINGS
 - 10 SCANCES WALL LAMP
 - 11 DECORATIVE OVERFLOW SCUPPER TO MACH EXISTING
 - 12 DECORATIVE WOOD SHUTTER TO MATCH EXISTING
 - 13 NEW TEAK SPINDLE / COLUMN FEATURE TO MATCH EXISTING
 - 14 FLOOD LIGHTS
 - 15 RELOCATED FLOOR VENTS - 12"X8"
 - 16 EXISTING ARCHITECTURAL FEATURE TO RESTORED
 - 17 ALUMINUM ANODIZE BRONZE SARE GUARD (3 STRIPS - 3K"X4"X21'-0" @ 4" O.C.)
- NOTE:
ALL EXISTING DECORATIVE FACADE ELEMENTS HAVE TO BE RESPECTED AND PROPERLY MAINTAINED.

RVL ARCHITECTURE • DESIGN

2200 SW 30TH STREET SUITE 207
MIAMI, FL 33135
(305) 225-3100
444002724

STATE OF FLORIDA
COUNTY OF DADE
REGISTERED ARCHITECT
R. ANDERSON
0000000000

PROJECT NAME:
SALADRIGAS RESIDENCE IMPROVEMENTS

OWNER:
Jorge & Kathrina Saladrigas

936 CASTLE AVENUE
CORAL GABLES
FL 33134

REVISIONS:

NO.	DATE	REVISION

DRAWING TITLE:
NEW ELEVATIONS PERMIT SET

PROJECT NUMBER:
1418

SCALE:
3/16" = 1'-0"

ISSUE DATE:
12/04/2018

DRAWN BY:
EC

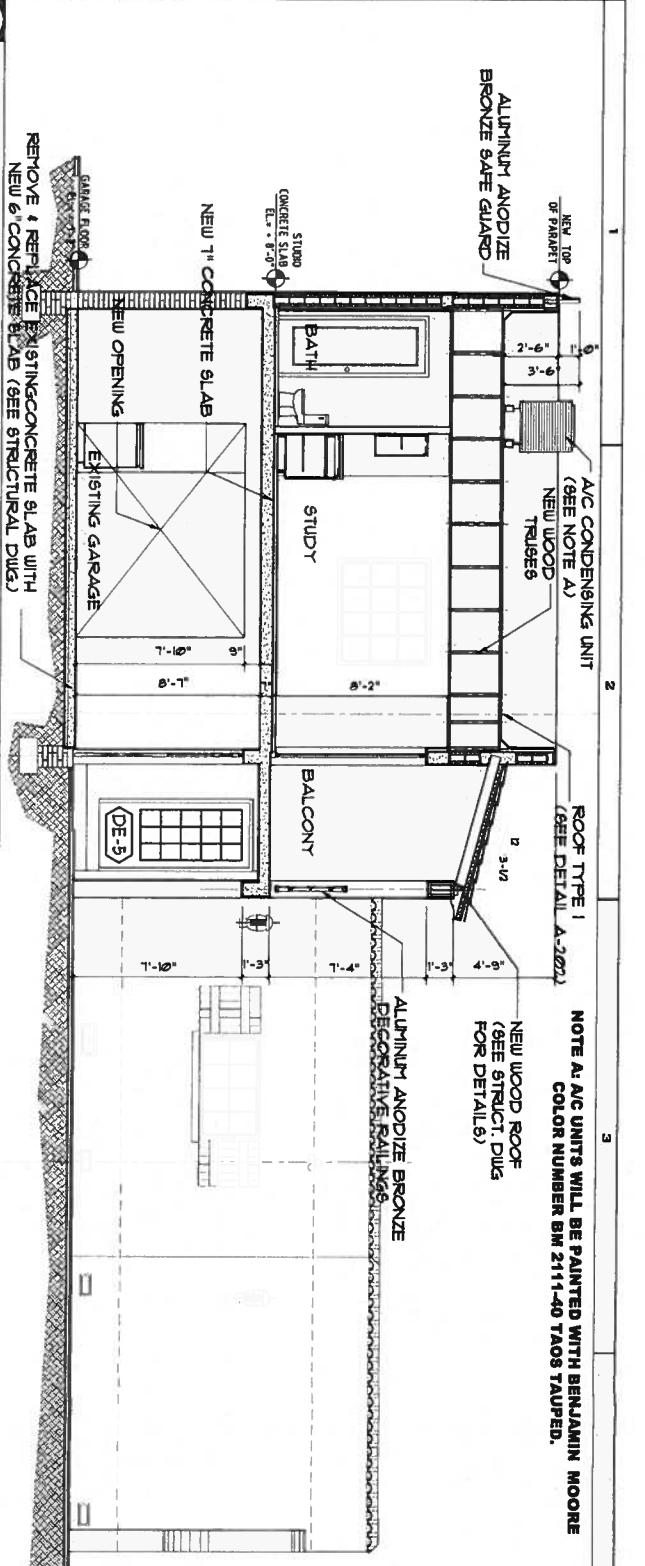
APPROVED BY:
BL

PROJECT NUMBER:
1418

DATE:
12/04/2018

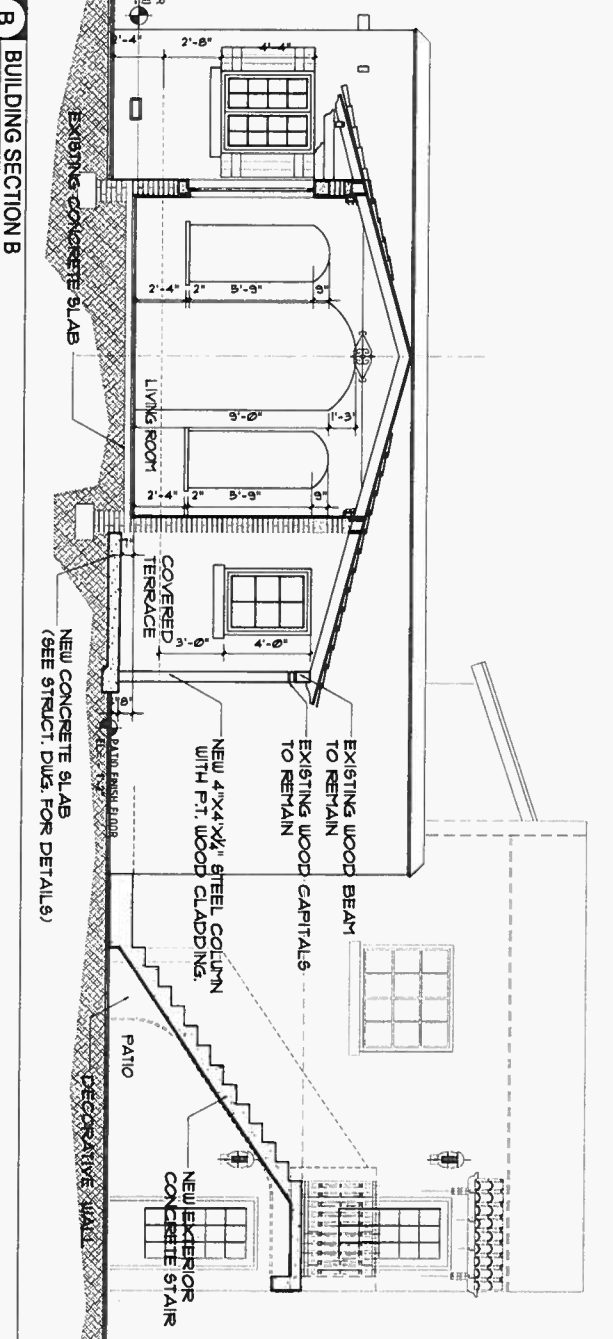
A-402

SHEET COUNT

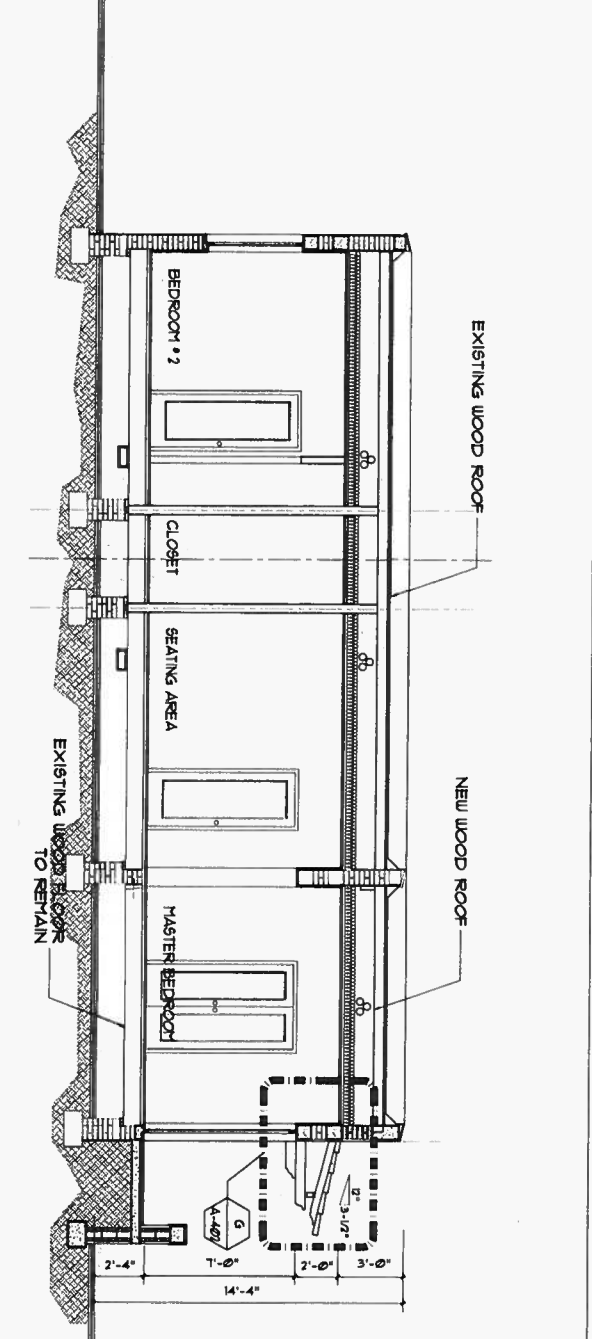


C BUILDING SECTION C
SCALE: 1/4" = 1'-0"

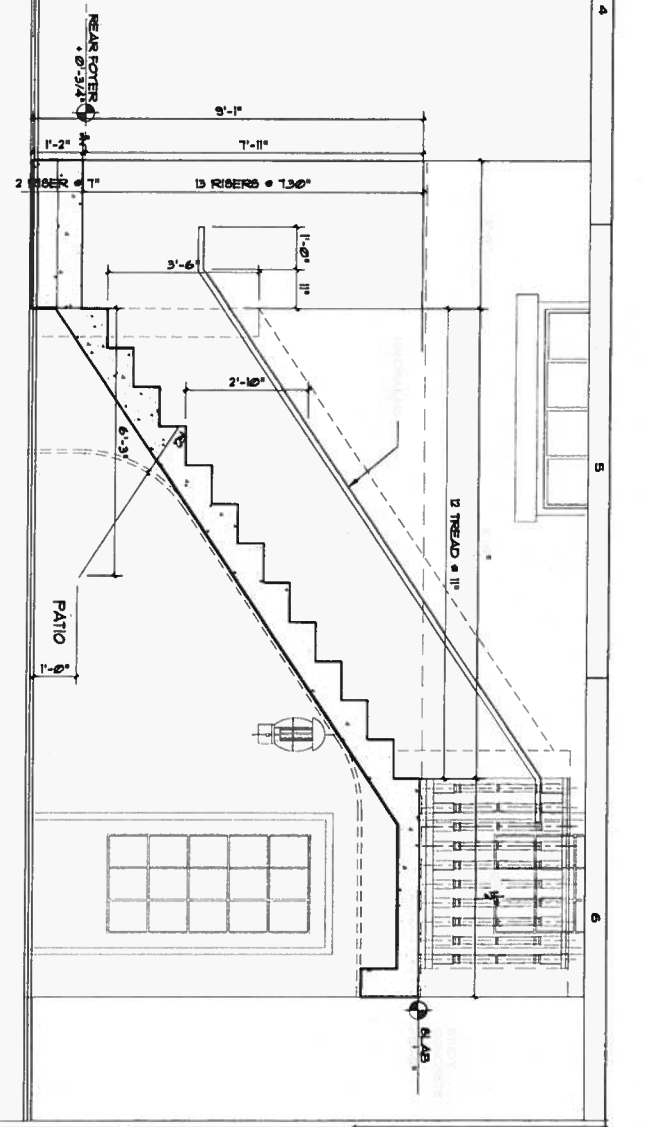
NOTE A: AC UNITS WILL BE PAINTED WITH BENJAMIN MOORE COLOR NUMBER BM 2111-40 TAOS TAUPED.



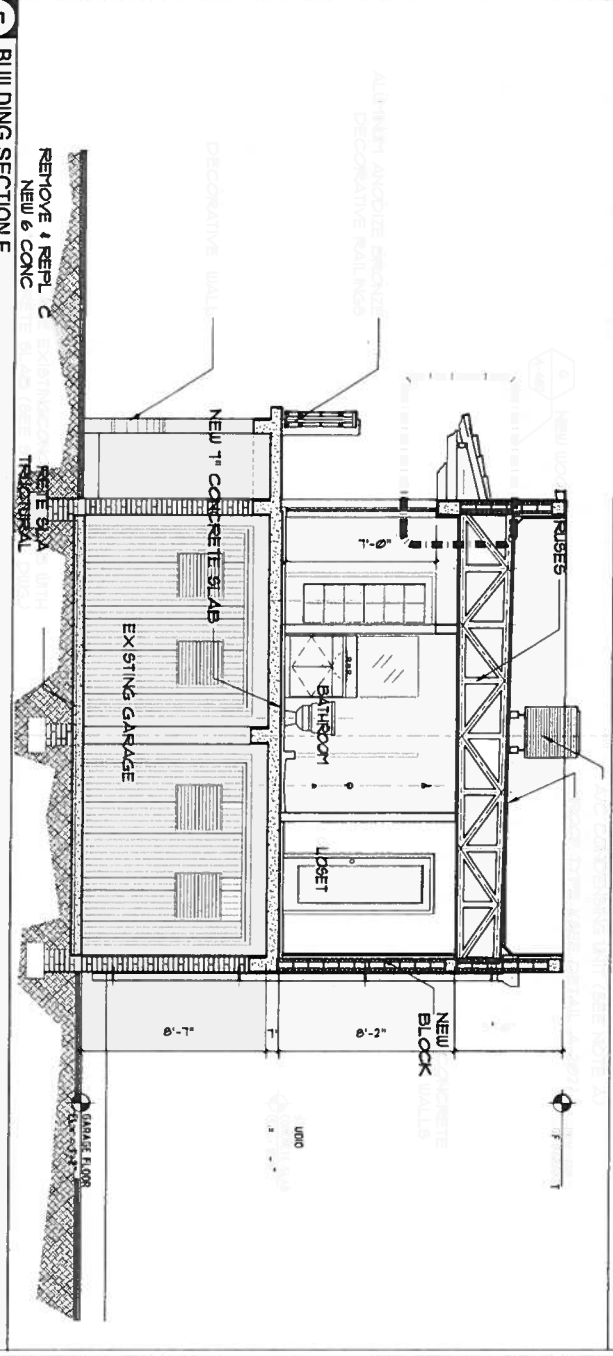
B BUILDING SECTION B
SCALE: 1/4" = 1'-0"



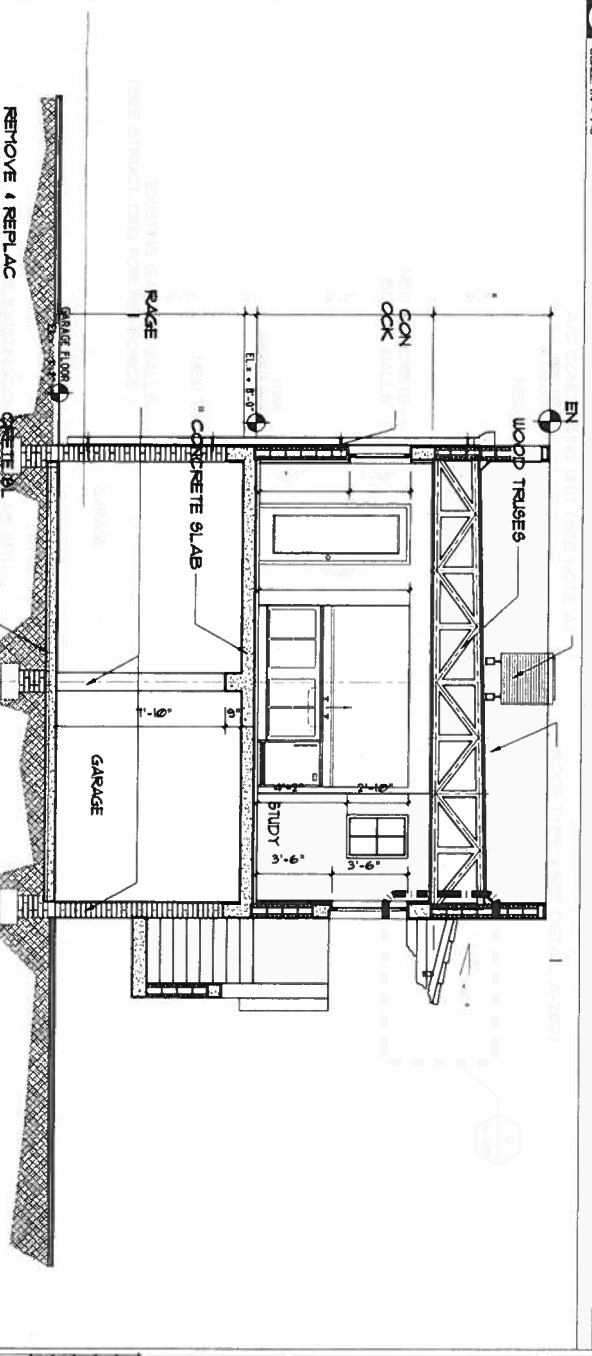
A BUILDING SECTION A
SCALE: 1/4" = 1'-0"



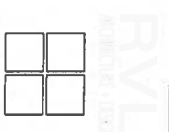
EXTERIOR STUDY STAIR



E BUILDING SECTION E
SCALE: 1/4" = 1'-0"



D BUILDING SECTION D
SCALE: 1/4" = 1'-0"



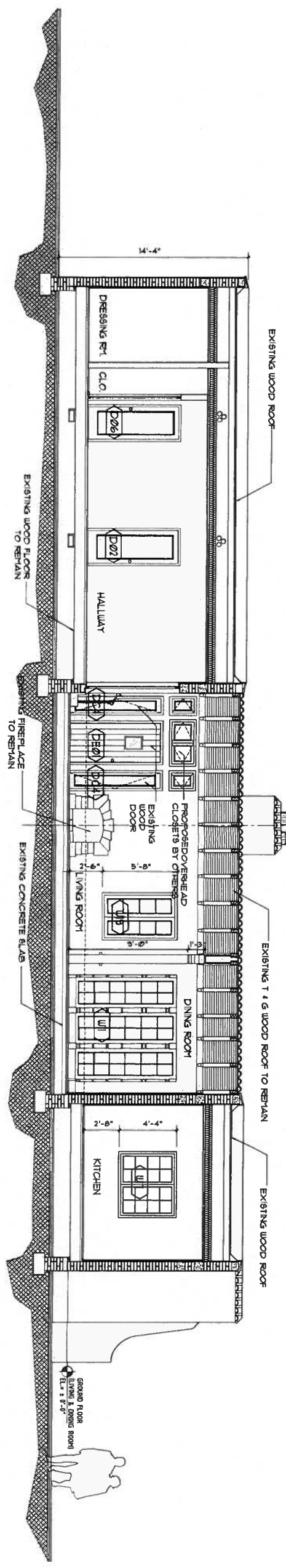
SALADRIGAS RESIDENCE

IMPROVEMENTS

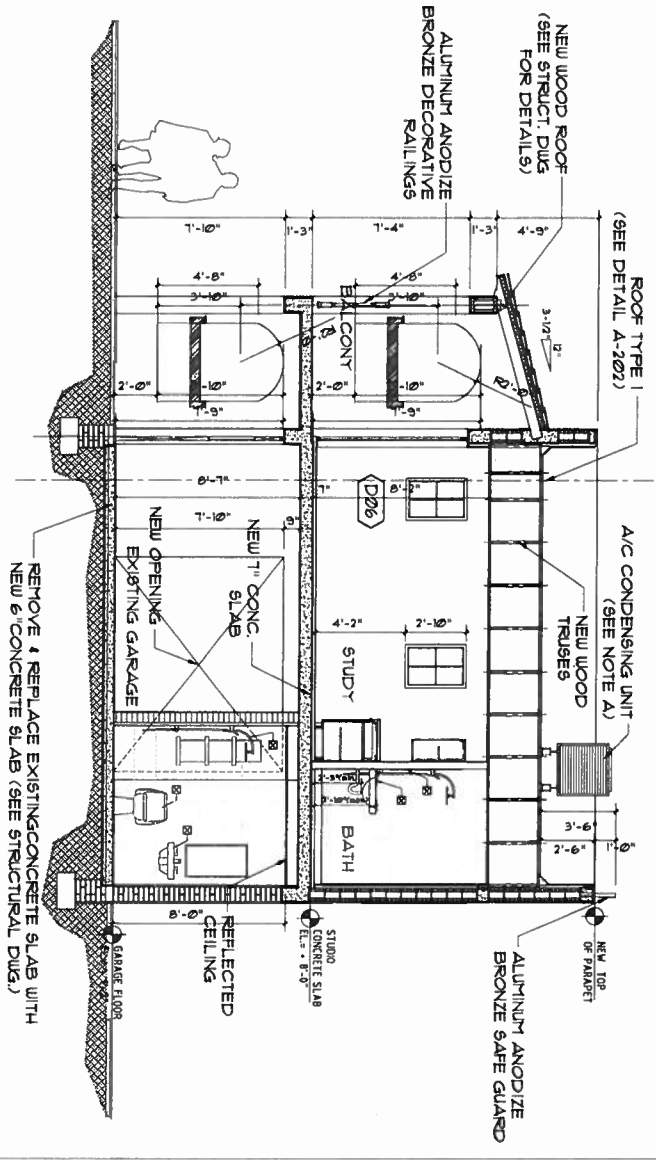
Joseph & Katherine Saladrigas

BUILDING SECTIONS

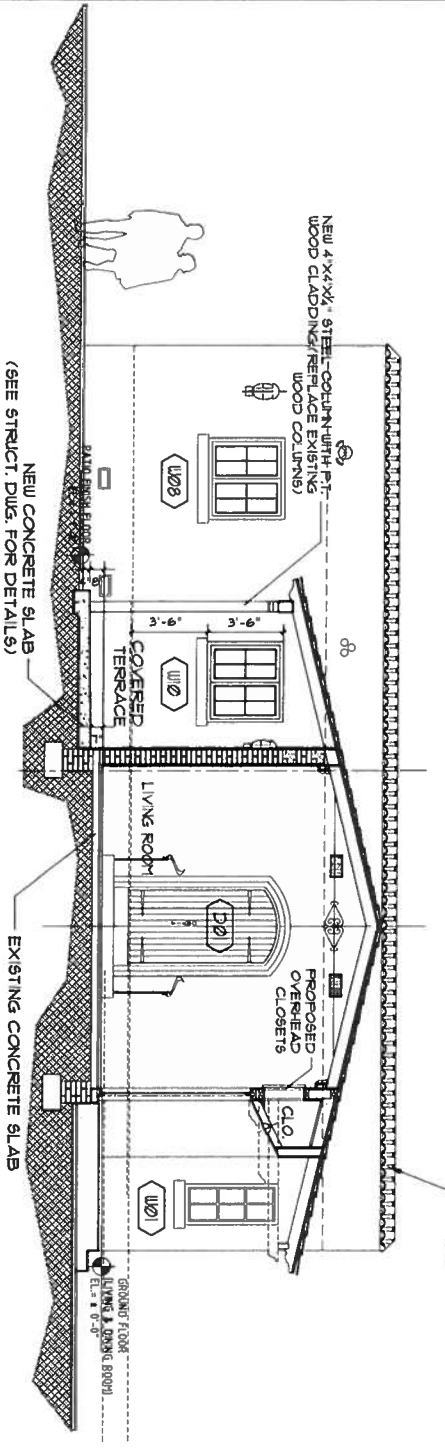
A-501



A BUILDING SECTION H
SCALE: 3/16" = 1'-0"



B BUILDING SECTION F
SCALE: 1/4" = 1'-0"



C BUILDING SECTION G
SCALE: 1/4" = 1'-0"

D NOTE AND LEGENDS
SCALE: 1/4" = 1'-0"

NOTE A: A/C UNITS WILL BE PAINTED WITH BENJAMIN MOORE COLOR NUMBER BM 2111-40 TAOS TAUPED.

E NOT IN USED
SCALE: 1/4" = 1'-0"

RVL
ARCHITECTURE + DESIGN

2200 SW 130TH STREET SUITE 107
MIAMI, FL 33186
(305) 525-3800
FAX (305) 527-4894
A40002724

STATE OF FLORIDA
REGISTERED ARCHITECT
R. V. L. ARCHITECTURE + DESIGN
CORPORATION
107 SW 130TH STREET SUITE 107
MIAMI, FL 33186

SALADRIGAS RESIDENCE

936 CASTLE AVENUE
CORAL GABLES
FL 33134

IMPROVEMENTS

OWNER:
Jorge & Kathina
Saladrigas

REVISIONS

NO.	DATE	REVISION

DRAWING TITLE:
BUILDING SECTIONS

PROJECT NAME:
PERMIT SET

SCALE:
1/4" = 1'-0"

ISSUE DATE:
12-04-2018

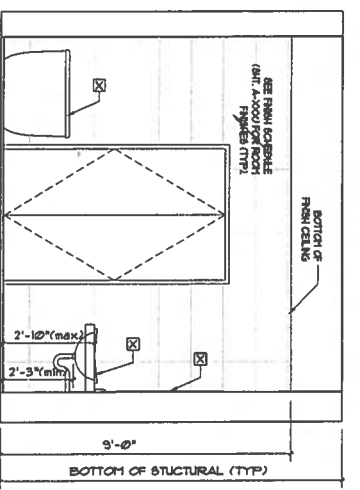
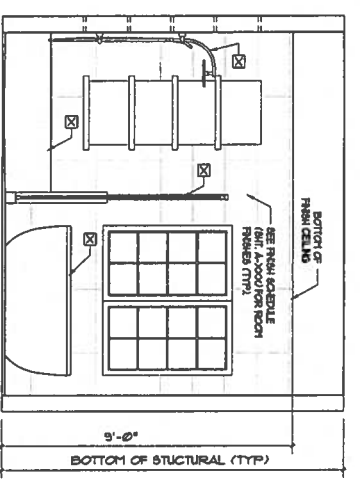
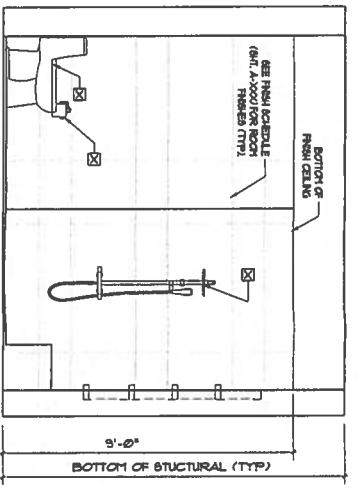
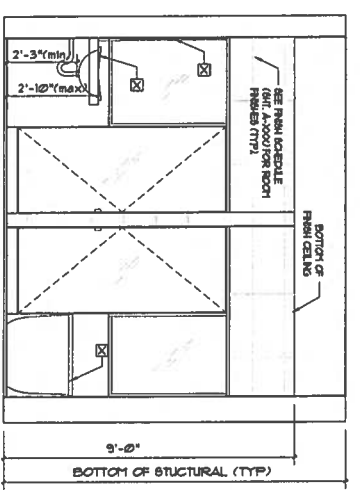
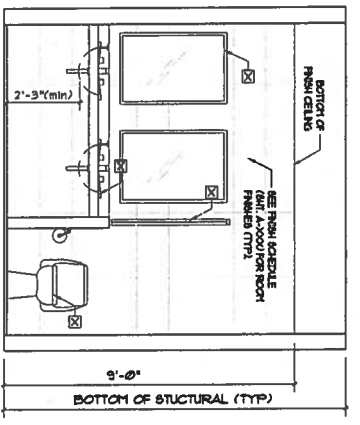
DRAWN BY:
MC

PROJECT NUMBER:
1418

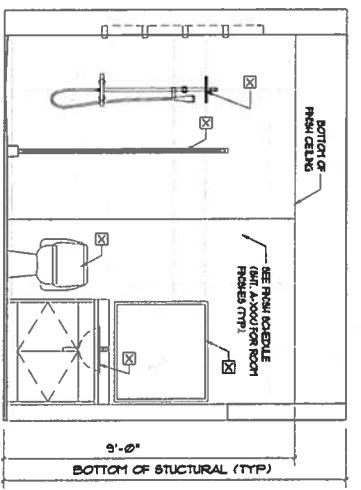
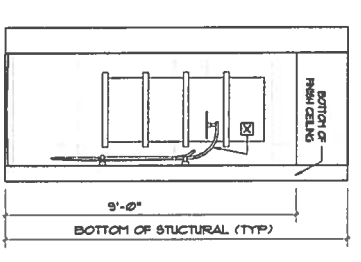
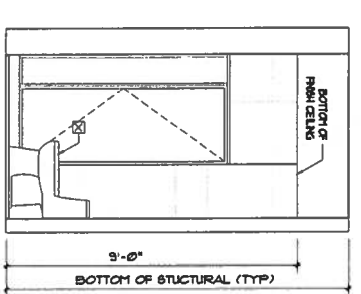
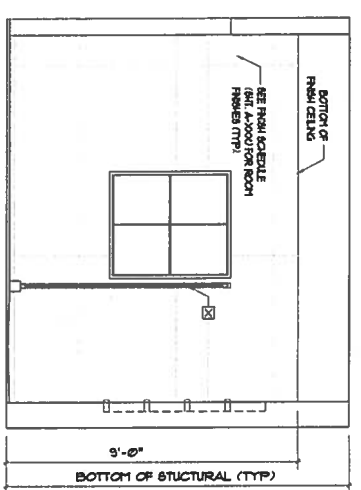
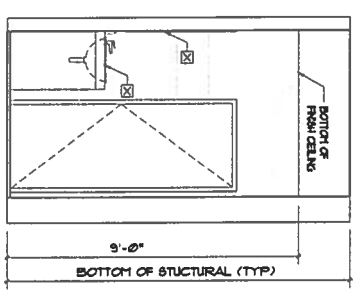
WDO PROJECT NUMBER:

SHEET NUMBER:
A-502

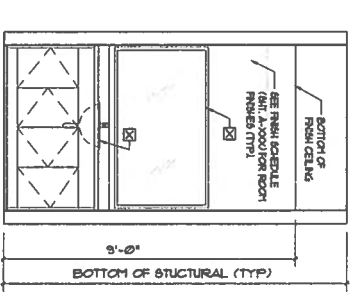
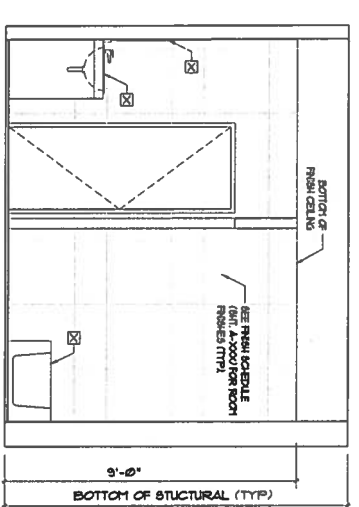
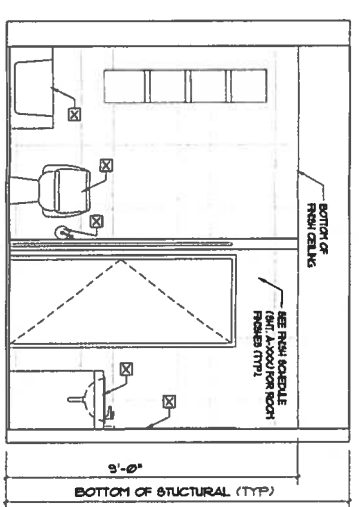
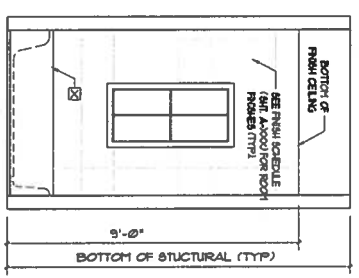
SHEET COUNT:



A MASTER BATH (No. 07) INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



B BEDROOM 1 & 2 BATH (No. 04 & 04A) INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



D OPEN
SCALE: 3/8" = 1'-0"

C BEDROOM 3 BATH (No. 10) INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"

RVL
ARCHITECTURE + DESIGN

1280 SW 135TH STREET SUITE 207
MIAMI FL 33186
(305) 557-1080 • (1) 786-227-6804
A440007234

SCALE: 1/4" = 1'-0"

ISSUE DATE: 12-04-2018

DRAWN BY: MJC

PROJECT NUMBER: 1418

PROJECT NAME: PERMIT SET

PROJECT PHASE: INTERIOR ELEVATIONS

DRAWING TITLE: PERMIT SET

NO. DATE REVISION:

OWNER: Jorge & Kathrina Saladrigas

PROJECT NAME: SALADRIGAS RESIDENCE

936 CASTLE AVENUE
CORAL GABLES
FL 33134

IMPROVEMENTS

CONSULTANTS: BEST URBAN STATE OF FL ARCHITECTS
REGISTERED ARCHITECTS
CONSULTANTS

A-701
SHEET COUNT

INTERIOR DOOR SCHEDULE

D#	ROOM NAME	ROOM NUMBER	TYPE	SIZE			UNDERCUT MATERIAL	FINISH	LABEL	SOLID CORE	HOLLOW CORE	LOUVERED	FLUSH	SOLID WOOD	SLIDING	BIFOLD	BYPASS	SCL. ACTING	DBL. ACTING	CLASS TYPE	OVERHEAD	ASTRAGAL	FRAME		DET	THR	REMARKS			
				PAIR	WIDTH	HEIGHT																	THICKNESS	MATERIAL				FINISH	PANIC HARDWARE	
D01	CORRIDOR	02	H	2'-6"	6'-10"	1-3/4"		PAINT																				ORIGINAL DOOR TO REFINISH		
D02	BEDROOM 1	03	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D03	BEDROOM 1	04	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D04	BEDROOM 1	04	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D05	BEDROOM 1	04	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D06	BEDROOM 2	06	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D07	CLOSET CORRIDOR	02	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D08	MASTER BEDROOM	06A	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D09	BATHROOM #2	08	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D10	DRESSING ROOM 2	08B	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D11	DRESSING ROOM 1	08C	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D12	MASTER BATHROOM	07	G	2'-6"	6'-10"	1-3/4"		PAINT																						
D13	MASTER BATHROOM/SHOWER	07	K	2'-6"	6'-10"	1-3/4"		PAINT																						
D14	MASTER BATHROOM/TOILET	07	K	2'-6"	6'-10"	1-3/4"		PAINT																						
D15	BATHROOM #3	09	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D16	BATHROOM #3	09	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D17	REAR PORCH	13	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D18	BATHROOM #4	20	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D19	BATHROOM #5	21	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D20	CLOSET	16	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D21	GARAGE HALL	16	E	2'-6"	6'-10"	1-3/4"		PAINT																						
D22	BEDROOM 1	03	J	3'-0"	6'-10"	1-3/4"		PAINT																						
D23	BEDROOM 2	09	J	3'-0"	6'-10"	1-3/4"		PAINT																						
D24	BEDROOM 3	09	J	3'-0"	6'-10"	1-3/4"		PAINT																						
D25	LIVING ROOM	01	E	3'-0"	6'-10"	1-3/4"		PAINT																						

EXTERIOR DOOR SCHEDULE

D#	ROOM NAME	ROOM NUMBER	TYPE	SIZE	FINISH	REMARKS
E001	MAIN DOOR	01	A	2'-6" x 6'-10"	1-3/4"	ORIGINAL DOOR TO REFINISH
E002	MASTER BEDROOM	01	C	2'-6" x 6'-10"	1-3/4"	U-FACTOR 0.60
E003	NOT USED					U-FACTOR 0.60
E004	LIVING ROOM	06	B	2'-6" x 6'-10"	1-3/4"	U-FACTOR 0.60
E005	REAR PORCH	13	D	3'-0" x 6'-10"	1-3/4"	U-FACTOR 0.60
E006	REAR PORCH	13	D	3'-0" x 6'-10"	1-3/4"	U-FACTOR 0.60
E007	GARAGE HALLWAY	16	D	3'-0" x 6'-10"	1-3/4"	U-FACTOR 0.60
E008	STUDIO / HAN ENTRANCE	18	D	2'-6" x 6'-10"	1-3/4"	U-FACTOR 0.60
E009	STUDIO / TERRACE	18	C	2'-6" x 6'-10"	1-3/4"	U-FACTOR 0.60
E010	STUDIO / TERRACE	18	C	2'-6" x 6'-10"	1-3/4"	U-FACTOR 0.60
E011	GARAGE DOOR	16	I	4'-0" x 7'-0"	1-3/4"	U-FACTOR 0.60
E012	GARAGE DOOR	16	I	4'-0" x 7'-0"	1-3/4"	U-FACTOR 0.60
E013	GARAGE DOOR	16	I	4'-0" x 7'-0"	1-3/4"	U-FACTOR 0.60

INTERIOR FINISH SCHEDULE

FLOOR LEVEL	ROOM NAME	ROOM NUMBER	SIZE	ROOF		BASE		WALLS				CEILING	REMARKS
				MATERIAL	FINISH	MATERIAL	FINISH	NORTH	SOUTH	EAST	WEST		
1ST	LIVING ROOM	01	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	CORRIDOR	02	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	BEDROOM 1	03	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	BEDROOM 2	06	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	BEDROOM 3	09	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	MASTER BEDROOM	06A	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	DRESSING ROOM 1	08C	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	DRESSING ROOM 2	08B	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	REAR PORCH	13	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	KITCHEN	04	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	FAMILY ROOM	05	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	GARAGE HALLWAY	16	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	GARAGE BATHROOM	17	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	GARAGE 2	18	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	ENTRY	01	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	STUDIO	18	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	BEDROOM	03	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	CLOSET	16	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	COVERED BALCONY	16	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
1ST	EXTERIOR STAIRS	16	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60
2ND	COVERED BALCONY	16	EXISTING TILE TO REFINISH	EXISTING TILE TO REFINISH	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	WOOD	SEE NOTE 3	U-FACTOR 0.60

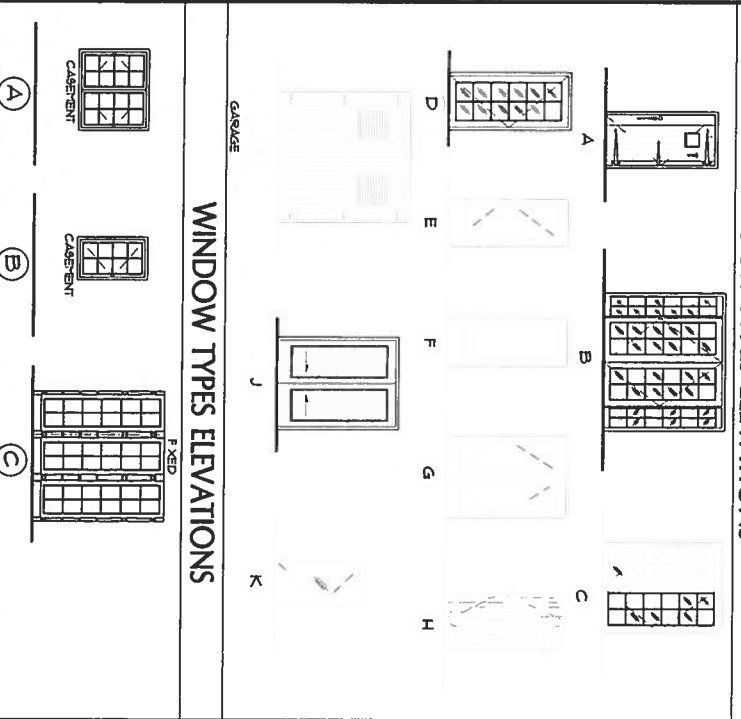
WINDOW SCHEDULE

LEVEL	NO.	CODE	W	H	TYPE	MATERIAL	EGRESS	FINISH	REMARKS
GROUND FLOOR	U001	CABINET	2'-0"	4'-4"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U002	CABINET	4'-8"	4'-4"	A	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U003	CABINET	2'-0"	3'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U004	CABINET	4'-8"	4'-4"	A	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U005	CABINET	3'-1"	4'-4"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U006	CABINET	4'-8"	3'-6"	A	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U007	CABINET	3'-1"	4'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U008	CABINET	2'-0"	3'-6"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U009	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U010	CABINET	3'-1"	4'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U011	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U012	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U013	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U014	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U015	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U016	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U017	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U018	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U019	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U020	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U021	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U022	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U023	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
GROUND FLOOR	U024	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
SECOND FLOOR	U025	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
SECOND FLOOR	U026	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
SECOND FLOOR	U027	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
SECOND FLOOR	U028	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
SECOND FLOOR	U029	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
SECOND FLOOR	U030	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
SECOND FLOOR	U031	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
SECOND FLOOR	U032	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
SECOND FLOOR	U033	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60
SECOND FLOOR	U034	CABINET	2'-0"	2'-0"	B	ALTY-GLB			U-FACTOR 0.60

HARDWARE

ITEM	DESCRIPTION	REMARKS
A	2 HR PIN	UD WOOD
B	1 1/2 HR PIN	FNT + PAINT
C	3/4 HR PIN	HTL + METAL
D	ALUM. AL. ADJUSTERS	GLASS W/ASS
E	SLIG SLIDING	SLIG SLIDING

DOOR TYPES ELEVATIONS



GENERAL NOTES

- NOTE 1: 9" ZIE TYPE AND FINISH CERAMIC + PORCELAIN TILES WILL BE SELECTED BY OWNERS
- NOTE 2: ALL DOOR AND WINDOW SHALL BE IMPACT RESISTANT TO MATCH EXISTING
- NOTE 3: ALL EXTERIOR DOORS + Sidelights SHALL BE CATEGORY 1 SAFETY GLAZING/ GLASS ADJACENT TO TUBS AND SHOWERS COMPARTMENTS MUST BE CATEGORY 1 SAFETY GLAZING (FAC 2009 R402.2.1) UNLESS OTHERWISE NOTED
- NOTE 4: SEE EXTERIOR FINISHES ON PROJECT / EXTERIOR AREAS

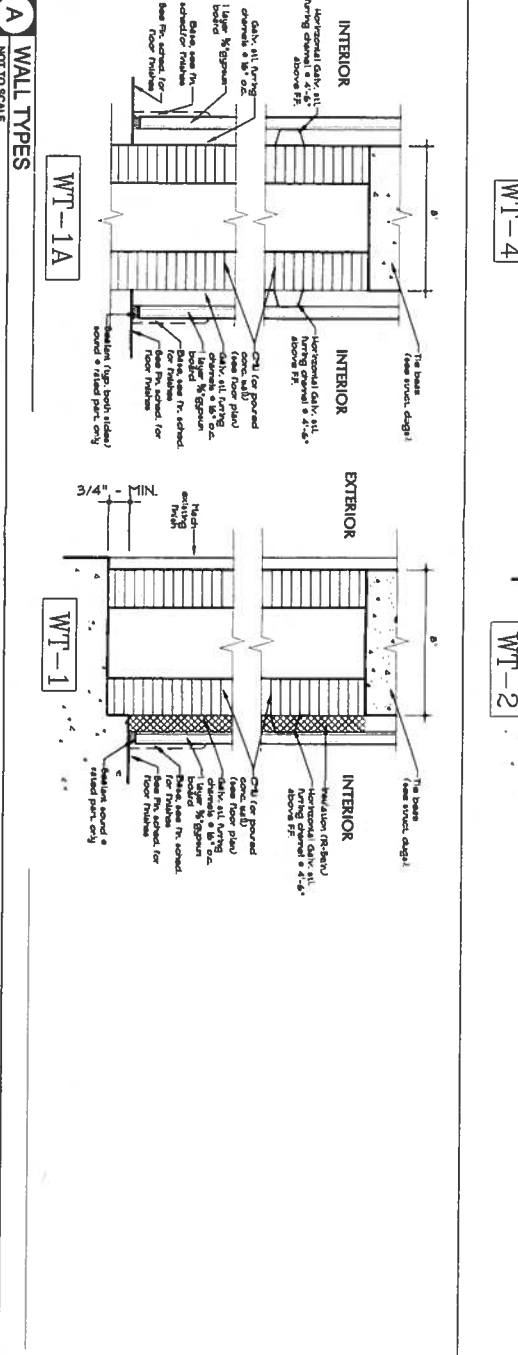
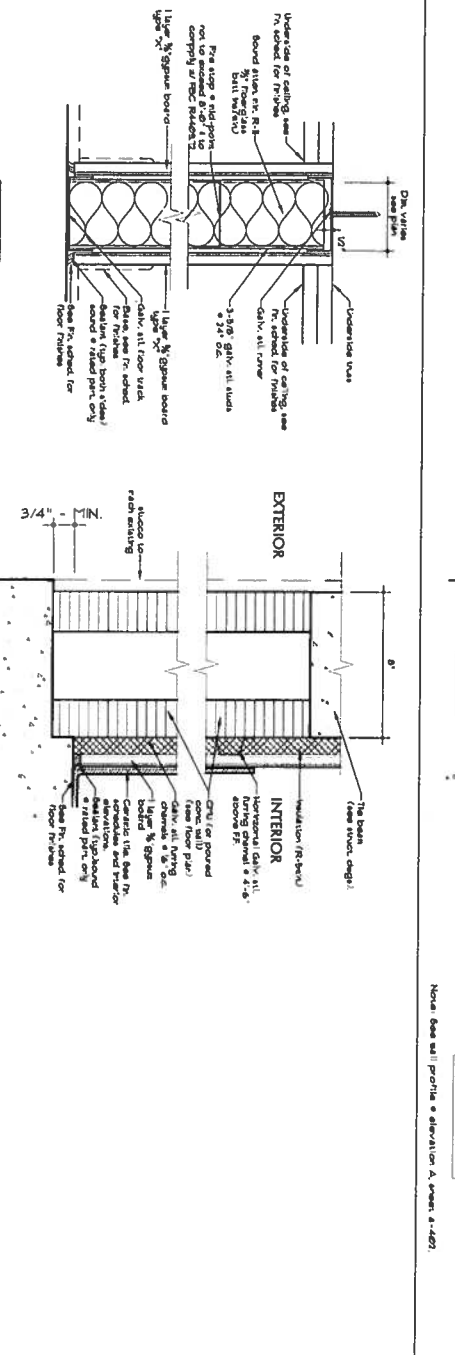
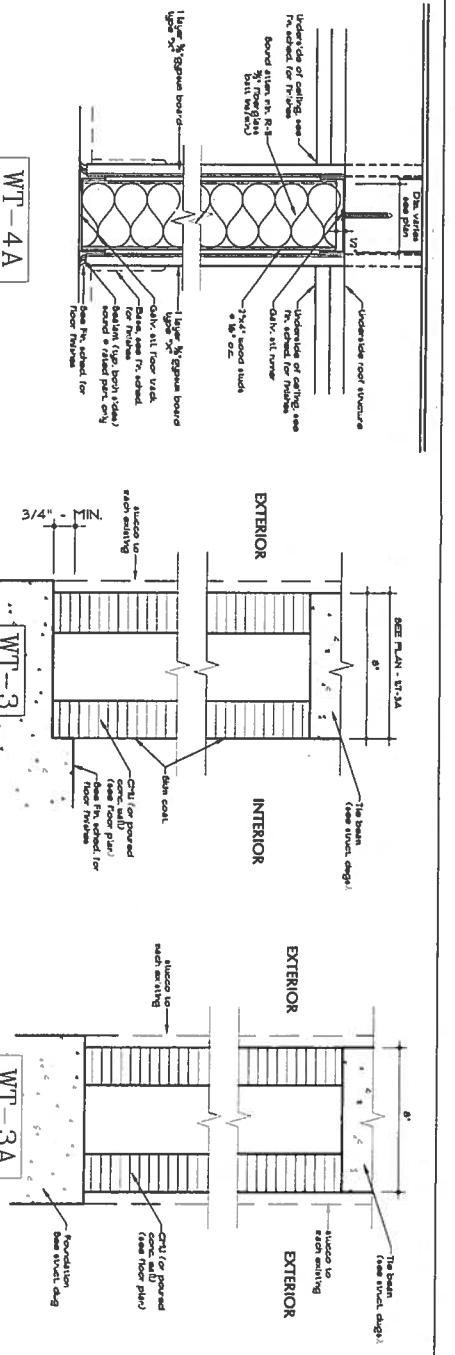
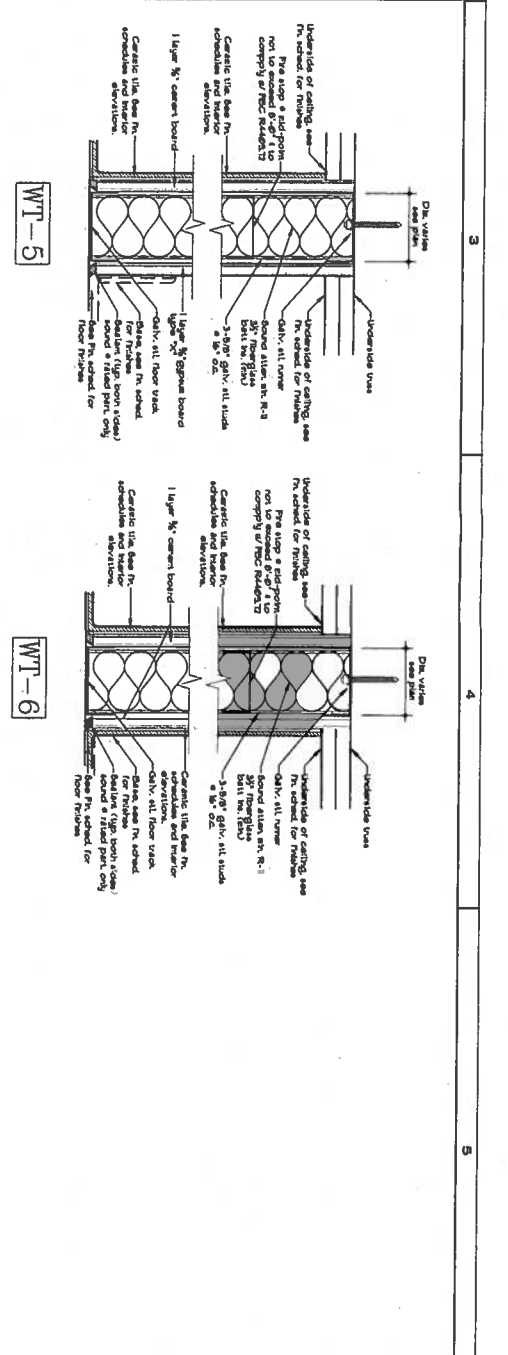
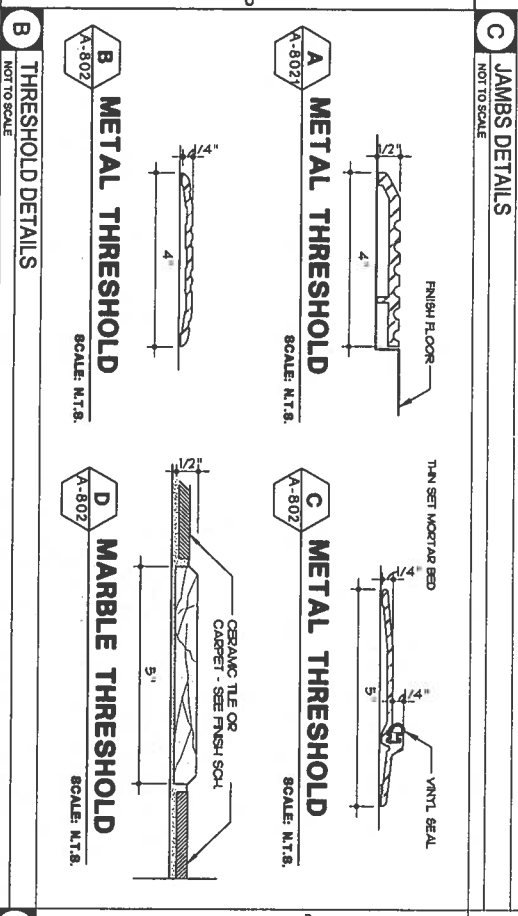
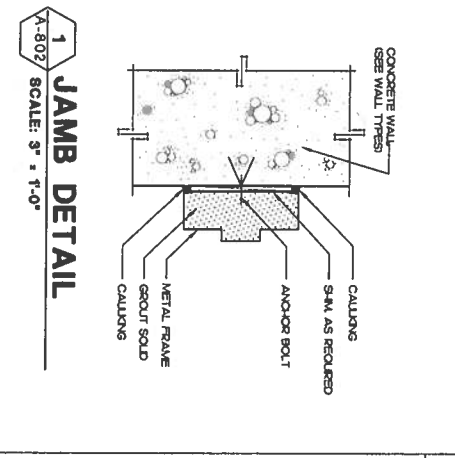
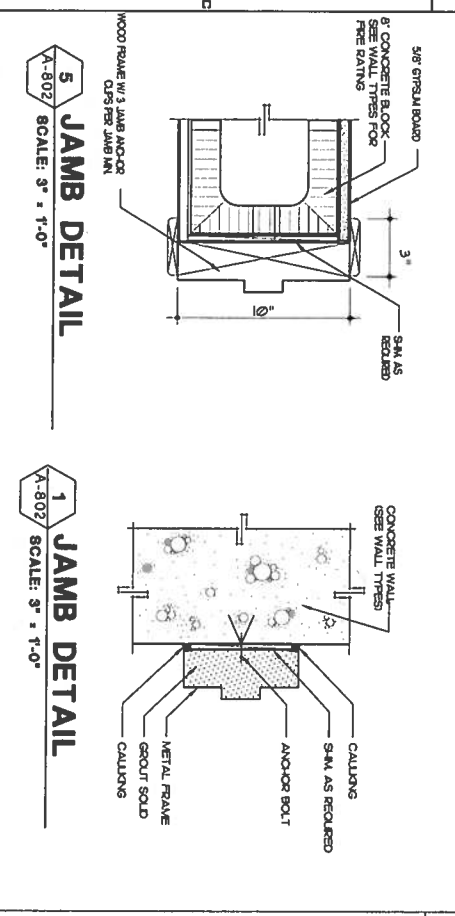
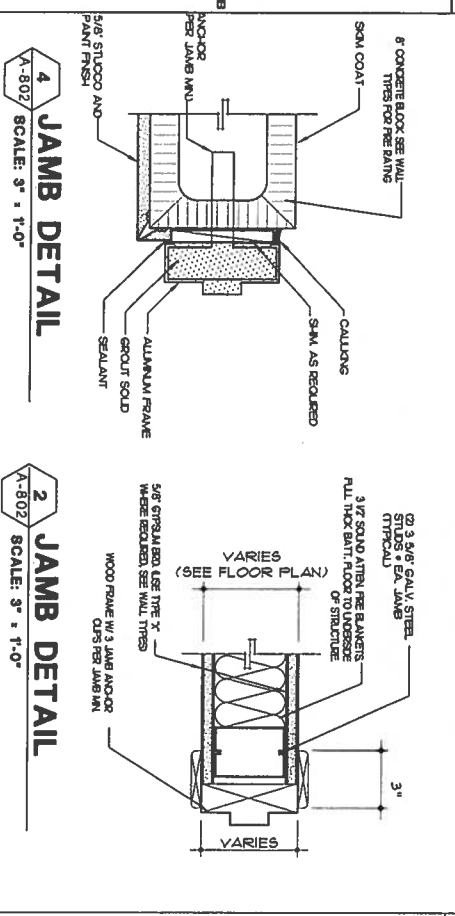
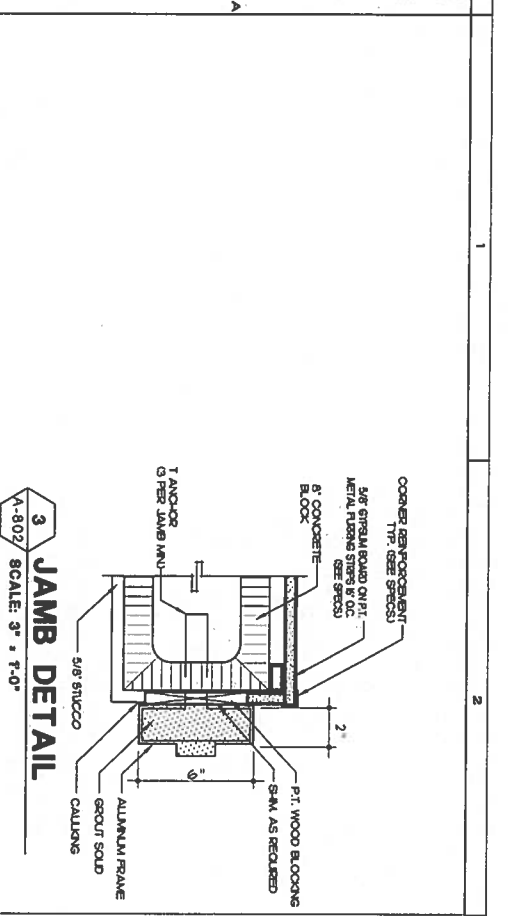
RVL
ARCHITECTURE + DESIGN

1000 SW 30TH STREET SUITE 207
MIAMI, FL 33135
(305) 529-3100
444002734

PROJECT NAME
SALADRIGAS RESIDENCE

936 CASTLE AVENUE
CORAL GABLES
FL 33134

OWNER
<



<p>OWNER: Jorge & Kathina Saladrigas</p>	<p>PROJECT NAME: SALADRIGAS SALADRIGAS RESIDENCE</p>	<p>CONTRACTOR: D BERTON, STATE OF FLORIDA D BERTON, STATE OF FLORIDA</p>
<p>ADDRESS: 936 CASTLE AVENUE CORAL GABLES FL 33134</p>	<p>DATE: 1418</p>	<p>SCALE: AS NOTED</p>
<p>DESIGNED BY: RVL ARCHITECTURE • DESIGN</p>	<p>PERMIT SET</p>	<p>PROJECT NUMBER: 1418</p>
<p>PROJECT NUMBER: 1418</p>	<p>DATE: 1418</p>	<p>SCALE: AS NOTED</p>
<p>PROJECT NUMBER: 1418</p>	<p>DATE: 1418</p>	<p>SCALE: AS NOTED</p>

RVL ARCHITECTURE • DESIGN

1280 SW 1ST STREET SUITE 107
MIAMI, FL 33135
(305) 525-0800 • (305) 786-2748
A40002724

STATE OF FLORIDA

REGISTERED ARCHITECT

NO. DATE

REVISIONS

PROJECT NAME:
SALADRIGAS SALADRIGAS RESIDENCE

ADDRESS:
936 CASTLE AVENUE
CORAL GABLES
FL 33134

OWNER:
Jorge & Kathina Saladrigas

DATE:
1418

SCALE:
AS NOTED

PROJECT NUMBER:
1418

PERMIT SET

PROJECT NUMBER:
1418

DATE:
1418

SCALE:
AS NOTED