

PROJECT NOTES

THIS SPECIFICATION IN CONJUNCTION WITH THESE DRAWINGS, PROVIDES FOR THE LABOR, MATERIAL, EQUIPMENT, AND SUPERVISION BY THE CONTRACTOR FOR A COMPLETE LOCK & KEY JOB WITH THE ITEMS SPECIFICALLY NOTED FURNISHED BY OWNER OR ALLOWANCE. THE WORK SHALL BE EXECUTED IN A THOROUGH, SUBSTANTIAL, AND NEAT MANNER. THE FLORIDA BUILDING CODE 2020 1TH EDITION IS THE APPLICABLE CODE FOR CONSTRUCTION. ALL BUILDING COMPONENTS SHALL COMPLY WITH SECTION 8-C OF THE METRO-DADE CODE FOR PRODUCT COMPLIANCE AND APPROVAL.

A1.A. DOCUMENT A-201 (LATEST EDITION) GENERAL CONDITION OF THE CONTRACT IS HEREBY MADE A PART OF THESE DRAWINGS AND SPECIFICATIONS.

CONTRACTOR SHALL ARRANGE FOR INSPECTION AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL FEES AND COSTS FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF COMPLETION FROM THE CITY OF CORAL GABLES BUILDING AND ZONING DEPARTMENT.

THE GENERAL CONTRACTOR AND MAJOR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, VISIT THE SITE, BE FAMILIAR WITH THE EXISTING CONDITIONS, AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO SUBMISSION OF CONSTRUCTION PROPOSAL, AND ANY MOBILIZATION OR SITE WORK, DO NOT SCALE DRAWINGS.

ALL COLORS AND FINISHES SHALL BE AS SPECIFIED AND/OR AS SELECTED BY THE OWNER OR ARCHITECT.

ALLOWANCES & ALTERNATES:

ALL INTERIOR PARTITIONS SEPARATING HABITABLE SPACES WILL RECEIVE MINIMUM 35' SOUND ATTENUATION BLANKET.

WINDOWS AND DOOR CATALOG NUMBERS LISTED ON DRAWINGS REFER TO PGT/CSI WINDOWS & DOORS UNLESS OTHERWISE NOTED. ALL SHALL BE PRODUCT CONTROL APPROVED FOR USE IN DADE COUNTY.

APPROVED STORM PANELS SHALL BE PROVIDED FOR ALL NEW WINDOWS AND DOORS APPROVED FOR INSTALLATION, BUT NOT ACCEPTED BY DADE COUNTY FOR IMPACT REQUIREMENTS.

WOOD: ROUGH FRAMING MATERIAL, SOUTHERN YELLOW PINE. IN CONTACT WITH MASONRY OR IN DAMP LOCATIONS, PRESURE TREAT FINISH OR EXPOSED SHALL BE CLEAR FIR/LARCH OR SPECIES FOR PAINTED (OPAQUE) MILLWORK AS THE OWNER SELECTS.

WOOD CONNECTORS: ALL BOLTS, CLIPS, STRAPS, MISC. ANGLES, LAGS, ETC., WILL BE HOT DIPPED GALVANIZED.

ALL ELECTRICAL DEVICES, SWITCH PLATES, OUTLETS, ETC., WILL BE AS THE OWNER SELECTS.

WALKS AND/OR DRIVE AREAS SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT DAMAGE TO EXISTING PAVED OR CONCRETE SURFACES.

ALL TRASH AND DEBRIS GENERATED BY THE CONTRACTOR FOR SCOPE OF WORK DESCRIBED IN THIS DOCUMENT SHALL BE REMOVED AT TIMELY INTERVALS DURING THE COURSE OF CONSTRUCTION. A TRASH DUMPSTER WILL BE PROVIDED ON SITE BY THE GC.

CONTRACTOR SHALL MAINTAIN CLEAN AND SAFE ACCESS TO PREMISES BY OWNER AT ALL TIMES. SECURITY SYSTEM FULL TIME 100% COVERAGE DURING CONSTRUCTION.

PAINTING: ALL PAINT SHALL BE FIRST LINE PPG PAINTS, SHERWIN WILLIAMS, BENJAMIN MOORE OR PRATT & LAMBERT OR OWNER APPROVED EQUAL. COLORS AS SELECTED BY THE OWNER.

-EXTERIOR STUCCO 2 COATS OF PERMA-CRETE HI-BUILD FLAT LATEX PAINT NO. 4-22 (SELF PRIMING UP TO 1344")
-INTERIOR WALLS - ONE COAT OF SPEEDHIDE INTERIOR LATEX QUICK DRYING NO. 6-2. TWO COATS OF PRO-VE ZERO INTERIOR WALL AND CEILING FLAT LATEX NO. 12-102X1.
-WOODWORK EXTERIOR - ONE COAT ACRYLIC LATEX PRIMER, GRIPPER INT/EXT PRIMER NO. 3210X1. TWO COATS SUN PROOF SATIN EXTERIOR HOUSE AND TRIM NO. 16-45X1.
-WOODWORK INTERIOR - ONE COAT OF SEAL GRIP INT/EXT ACRYLIC UNIVERSAL PRIMER NO.11-921X1 TINTED TO APPROXIMATE COLOR OF TOP COAT. ONE COAT OF MANOR HALL INTERIOR SEMI-GLOSS ACRYLIC LATEX.
-OR -
FIRST COAT DEFT ALKYD-BASE POLYURETHANE GLOSS NO. DFT121. TWO COATS OF DEFT ALKYD-BASED POLYURETHANE SATIN NO. DT129.

CONCRETE: OWNER'S GC IS RESPONSIBLE TO FLASH, PATCH, SCRAPER, OR GRIND CONCRETE SLAB AND TO PROVIDE A SMOOTH SURFACE, FREE FROM HOLES, BUMPS, OR CRACKS PRIOR TO THE APPLICATION OF ANY FINISH FLOORING.

METAL STUD SYSTEM: ALL INTERIOR PARTITIONS SHALL BE CONSTRUCTED AS FOLLOWS: FOR PARTITIONS UP TO AND INCLUDING 12'-0" IN HEIGHT, USE 3-5/8" 20 GA. STUDS AT 16" O.C.; FOR PARTITIONS ABOVE 12'-0" IN HEIGHT, USE 5-1/2" 18 GA. STUDS AT 16" O.C.

CONSTRUCTION GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES OR ERRORS BEFORE PROCEEDING WITH THE WORK.
- ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING AGENCIES AND APPLICABLE CODES.
- SPECIFIC DETAILS AND NOTES SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS. PROVIDE ALL ACCESS PANELS AS REQUIRED. LOCATION AND TYPE SHALL BE APPROVED BY ARCHITECT PRIOR TO OBTAINING AND INSTALLING.
- CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 4A 60 B C FOR PROTECTION DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION OF SUBCONTRACTOR'S WORK TO SECURE COMPLIANCE OF DRAWINGS AND SPECIFICATIONS, THE ACCURATE LOCATION OF STRUCTURAL MEMBERS, AND OPENINGS FOR MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT.
- SUBMIT SHOP DRAWINGS AND CATALOGS OF EQUIPMENT AS REQUIRED FOR THE PROJECT.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- DOORS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED IN WALL OR SHALL BE LOCATED FIVE INCHES FROM FINISH WALL TO EDGE OF DOOR BUCK.
- ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK.
- CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON DRAWINGS WITH EXISTING LEVELS FOR THE LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL ARCHITECT'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL FURNISH AND MAINTAIN TEMPORARY SANITATION FACILITIES AS REQUIRED DURING CONSTRUCTION. BRACING AND TEMPORARY SUPPORTS SHALL BE PROVIDED AS REQUIRED TO HOLD THE WORK SECURELY IN PLACE, AND TO SUSTAIN ALL LOADS THAT MAY OCCUR DURING ERECTION AND UNTIL SUBSEQUENT CONSTRUCTION IS ADEQUATE TO REPLACE TEMPORARY BRACING.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR INSTALLATION OF ALL CASEWORK AND OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENTS.

PROJECT DATA

ZONING SUMMARY:
(THE CITY OF CORAL GABLES)

ZONING DISTRICT: SFR (SINGLE FAMILY RESIDENTIAL DISTRICT)

NET LAND AREA: 4500 SF.

FLOOD ZONE: "X"

MAX. ALLOWED/REQUIRED: **PROPOSED:**

HEIGHT (Top Of Beam): 25 FT. MAX. 18'-9"

LOT COVERAGE (35% MAX.) (NET LOT AREA): 1575 SF. 1556 SF. (34.5%)

OPEN SPACE (40% MIN.): 1800 SF. 2,441 SF. (54%)

BUILDING SETBACKS: **REQUIRED:** **PROPOSED:**

PRINCIPAL FRONT: 15'-0" 20'-0"

REAR: 10'-0" 10'-0"

INTERIOR SIDE (WEST): 5'-0" 5'-0"

INTERIOR SIDE (EAST): 5'-0" 8'-11"

LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTY. APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION.

OWNER MAINTENANCE NOTE

GENERAL CONTRACTOR IS TO INFORM THE OWNER THAT IT IS THE SOLE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE RESIDENCE. AND THAT MAINTENANCE IS REQUIRED TO ENSURE THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL INTEGRITY OF THE RESIDENCE.

SHEET INDEX

ARCHITECTURAL:

A-00 COVER SHEET/ SITE PLAN/ PROJECT NOTES

A-01 STREET PLAN VIEW & ELEVATION

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A-21 PROPOSED ROOF PLAN & PRODUCT SAMPLES

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A-50 DETAILS

TREE TABLE

NO.	COMMON NAME	BOTANICAL NAME	DBH	HEIGHT	CANOPY	TPZ	STATUS
			IN.	FT.	FT.	FT.	
1	LIVE OAK	QUERCUS VIRGINIANA	24.00	40.00	30.00	24.00	TREE TO REMAIN

NOTE: NO TREES ARE WITHIN THE CRITICAL PROTECTION ZONE.

*Dimension Varies Per Critical Protection Zone

Fencing - Chain link or equal. Nylon or other plastic fencing shall NOT be used.

Securely affix fence to stringer with staples or nails

4' Minimum Height

2' Minimum Depth

Existing Undisturbed Soil

2" x 4" Minimum Stringer

2" x 4" Minimum Posts

6' Maximum Spacing

GENERAL NOTES: Critical Protection Zone: The area surrounding a tree within a circle described by a radius of one (1) foot for each inch of the tree trunk diameter at 54" above finished grade. For groups of trees, place barricades between trees and construction activity.
*Tree Protection Barricades shall be located to protect a minimum of 75% of the Critical Protection Zone.

TYP. TREE PROTECTION DTL.

SCALE: N.T.S.

PROTECTION TREATMENT DTL. TO INGRESS/ EGRESS AREA

SCALE: N.T.S.

9 OAK
NEW RESIDENCE
Mac Farlane Homestead
126 Oak Avenue
Coral Gables, Florida 33133

PROJECT DIRECTORY

CLIENT:
TARELL ALVIN MCCRANEY
1080 NORTHWEST 6TH STREET
MIAMI, FLORIDA 33150

CONSULTING ENGINEERS:
FRANCISCO CUELLO JR. P.E., INC.
CONSULTING ENGINEERS (STRUCTURAL)
147 ALHAMBRA CIRCLE, SUITE #100
CORAL GABLES, FL 33134
PHONE: 305-561-0125 (X 201)
E-MAIL: fcouello@fcouellope.com

CONTACT: JASON M. ALVIN
PROJECT MANAGER/
OWNERS REPRESENTATIVE
PHONE: 305-194-0196

ARCHITECT:
JAS GROUP ARCHITECTS
7855 SW 104 ST, SUITE 200
MIAMI, FLORIDA 33156

JAMES SMITH AIA
REG. #2072629
PHONE: (305) 596-2230
FAX: (305) 595-6422
E-MAIL: projects@jas-architects.com

GUERRERO & GONZALEZ ENGINEERS (MEP)
180 TAMiami CANAL ROAD
MIAMI, FLORIDA 33144

CONTACT: RAFAEL L. GONZALEZ, P. E.
ELECT. ENG.
MICHAEL C. GUERRERO P.E.
MECH. ENG.
PHONE (305) 262-3944
FAX: (305) 262-8211

SCOPE OF WORK

THIS PROJECT CONSISTS OF NECESSARY LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR THE CONSTRUCTION OF A NEW 2-STORY SINGLE-FAMILY RESIDENCE AT THE ADDRESS REFERENCED ABOVE, ALL AS INDICATED ON THESE DOCUMENTS.

THIS INCLUDES SECUREMENT OF PERMITS, PAYMENT OF FEES, AND GOVERNMENT LICENSES THAT MAY BE REQUIRED FOR PROPER EXECUTION OF THE WORK.

SITE PLAN: TREE DISPOSITION
PLAN LEGEND:

⊗ TREE IDENTIFICATION, SEE TREE TABLE

--- TREE PROTECTION ZONE

SEE PROTECTION TREATMENT
DETAIL TO INGRESS/ EGRESS,
1/ 4-02X ON THIS SHEET!
CONSTRUCTION TRAFFIC TO
BE LIMITED TO THIS HATCHED
AREA ONLY. NO OTHER POINT
OF INGRESS OR EGRESS
IS PERMITTED.

LEGAL DESCRIPTION:

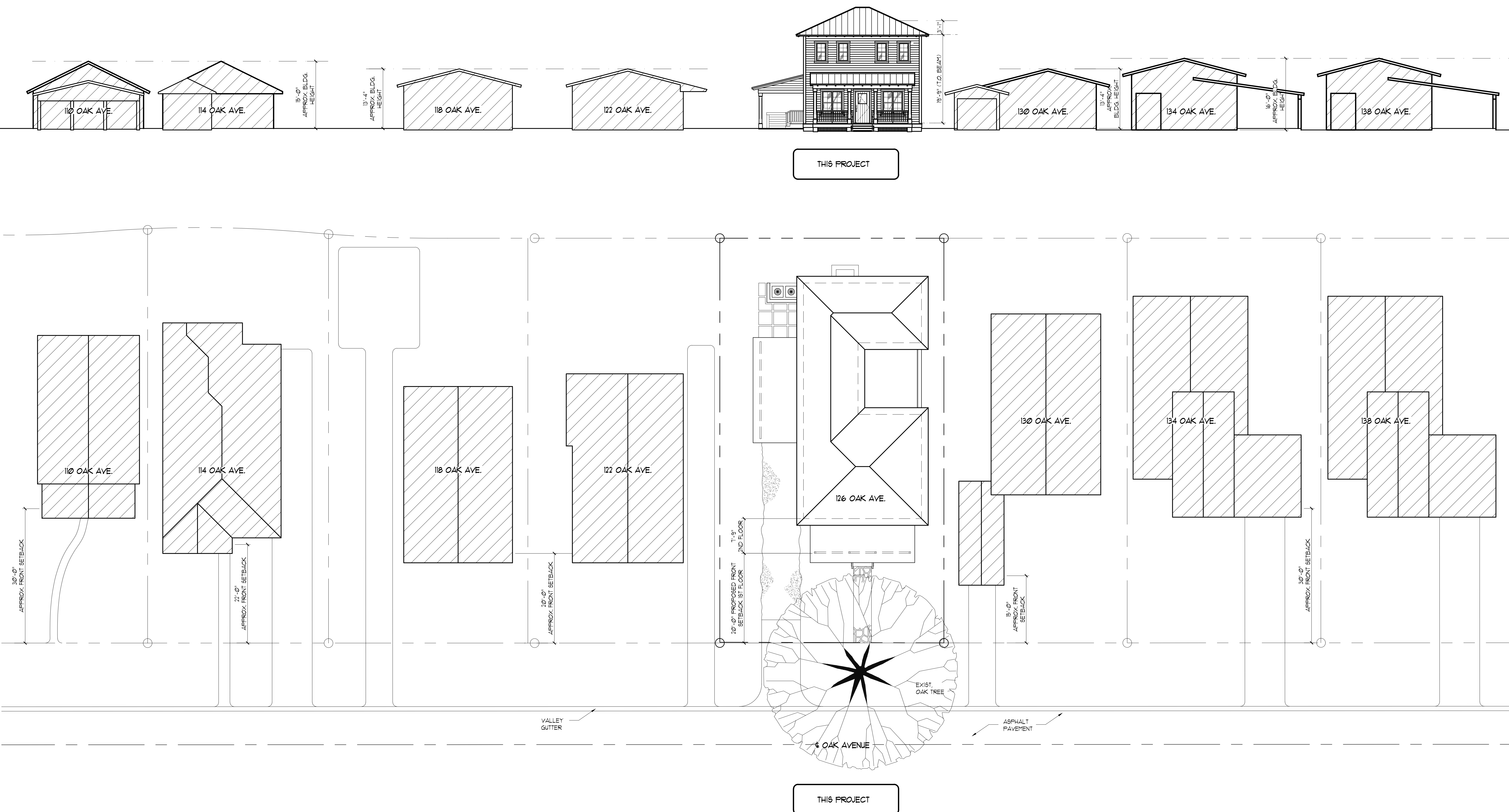
LOT 18, BLOCK 3-A, OF "MAC FARLANE HOMESTEAD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

SITE PLAN

SCALE: 1" = 10'-0"

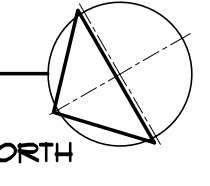
LOCATION MAP

SCALE: N.T.S.



STREET MAP & ELEVATIONS STUDY

SCALE: N.T.S.



ZONING DATA

Address:
126 Oak Avenue
Coral Gables, FL 33133

Folio no.:
03-4120-006-1500

Legal Description:
Lot 18, Block 3-A of
"Mac Farlane
Homestead" according
to the plat thereof, as
recorded in Plat Book
5 at Page 81, of the
Public Records of
Miami-Dade County,
Florida.

Scope of Work:

New two-story, single
family residence,
including an attached
carport, patio and
semi-pervious walkway &
driveway.

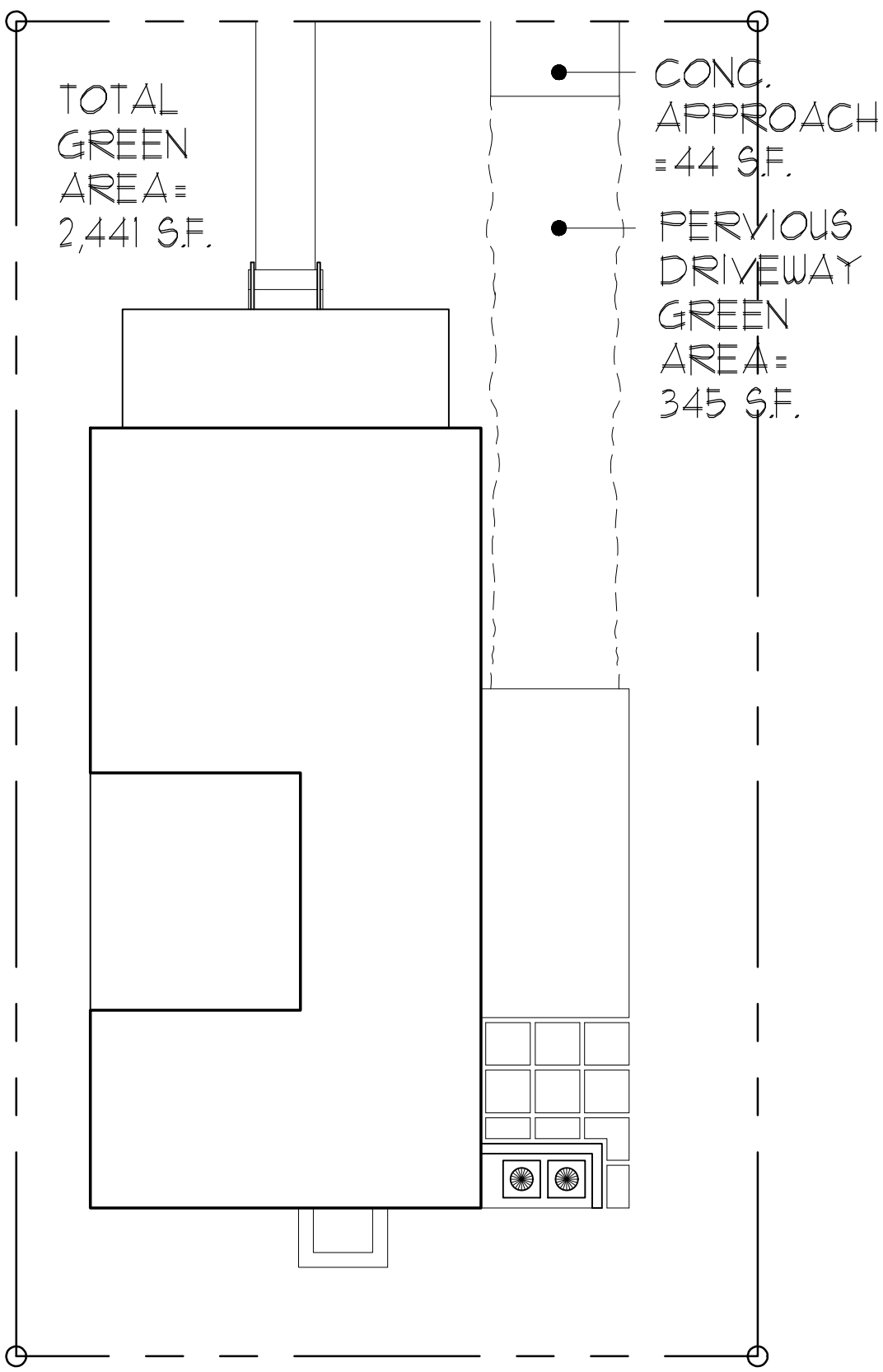
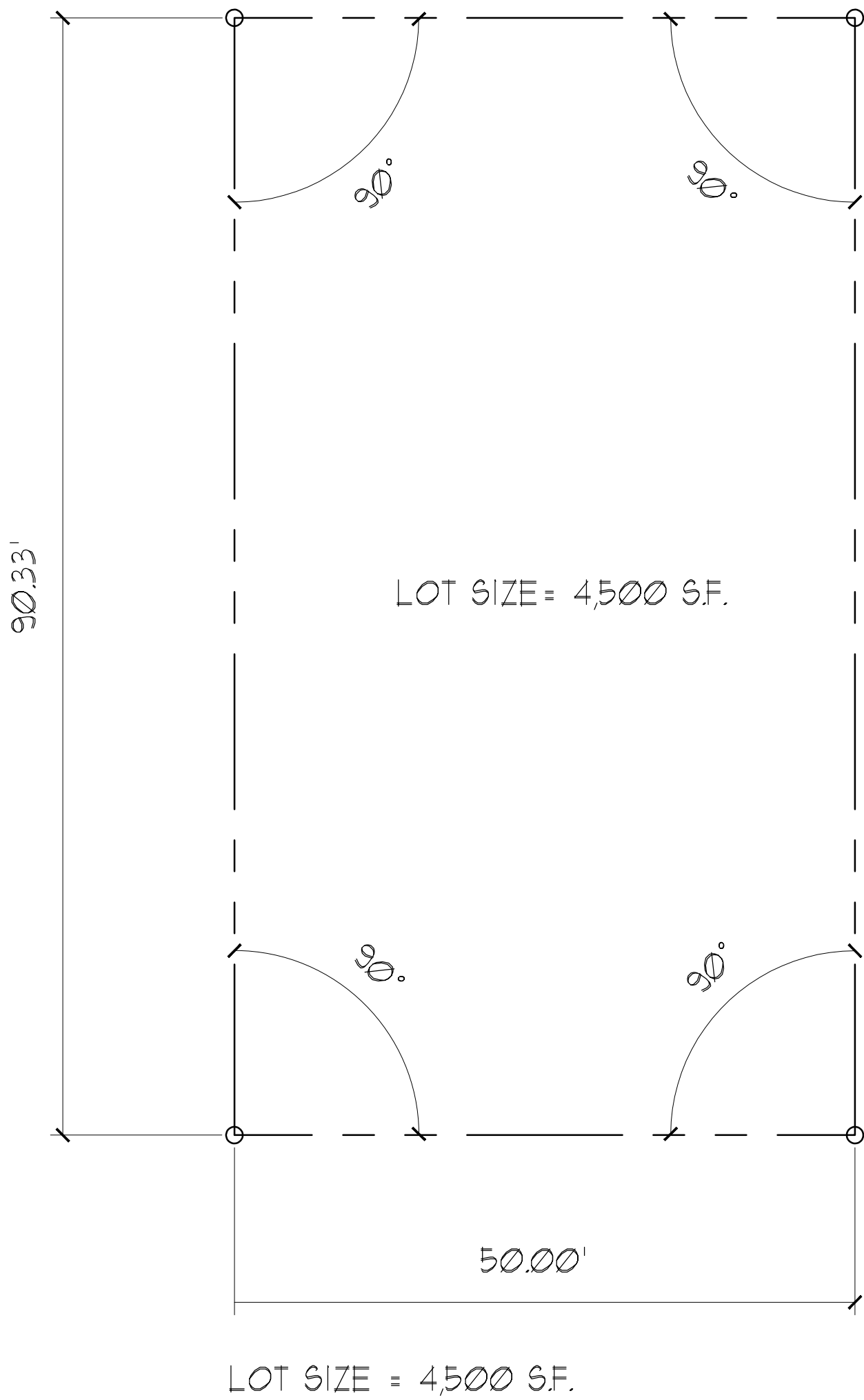
SETBACKS

FRONT:
15'-0" REQUIRED
20'-0" PROPOSED

INTERIOR SIDE (EAST):
5'-0" REQUIRED
8'-11" PROPOSED

INTERIOR SIDE (WEST):
5'-0" REQUIRED
5'-0" PROPOSED

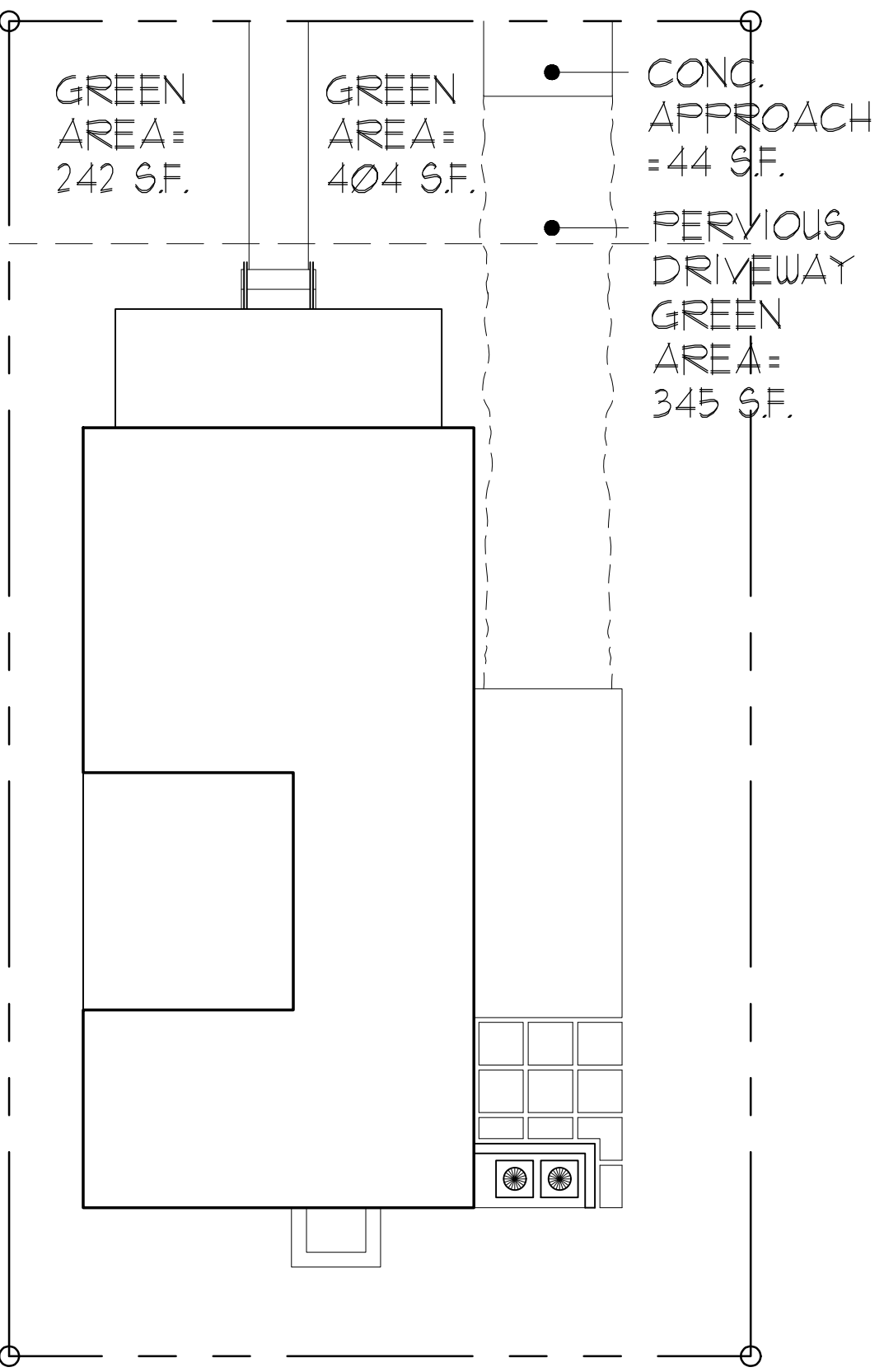
REAR SETBACK:
10'-0" REQUIRED
10'-0" PROPOSED



40% MINIMUM
LANDSCAPE
REQUIREMENT

4,500 X 40%=1,800 S.F.
MINIMUM REQUIRED

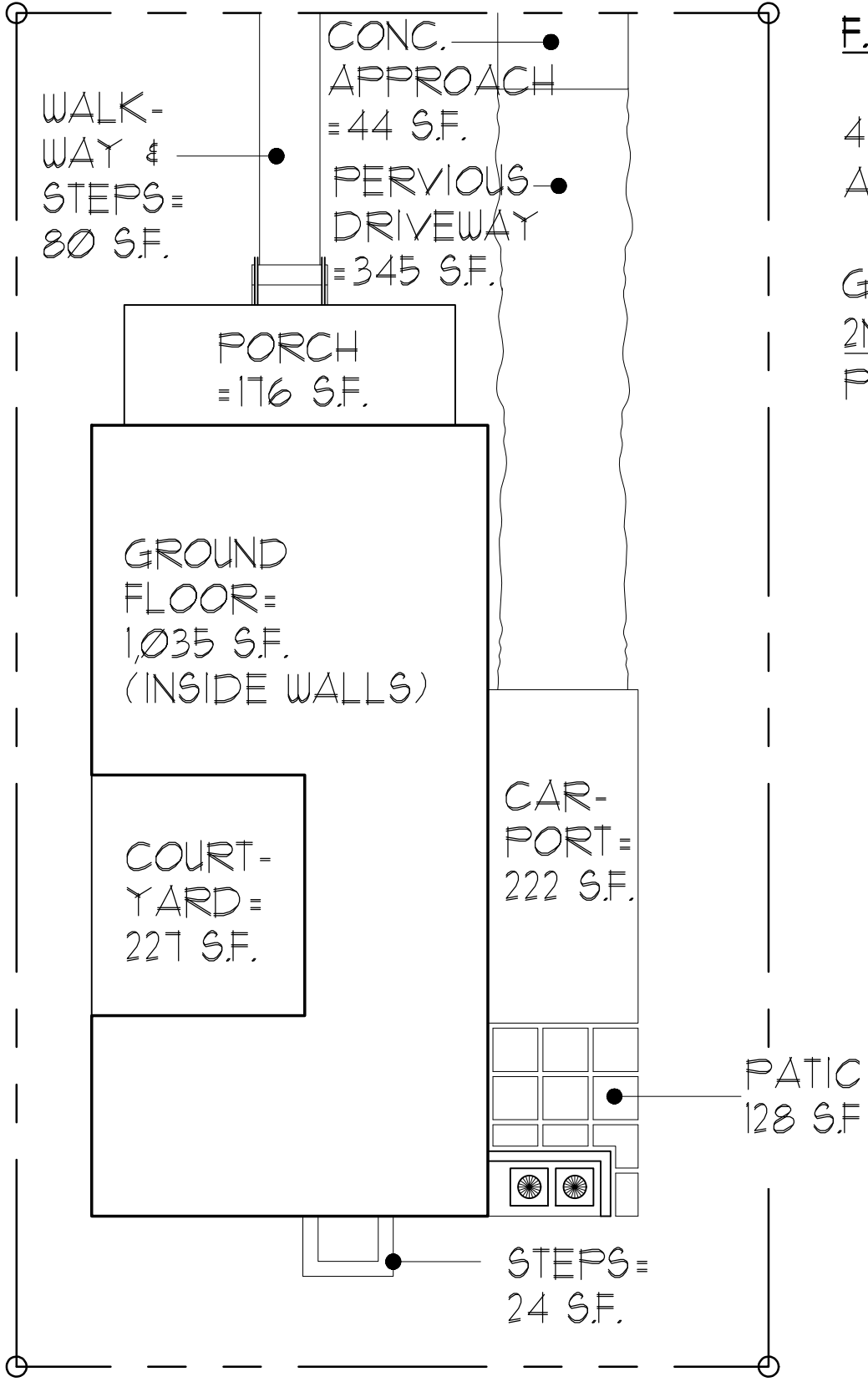
GREEN AREA
PROPOSED:
2,441 S.F. PROPOSED
(54%)



20% MINIMUM
FRONT YARD
LANDSCAPE
REQUIREMENT

150 X 20%=150 S.F.
MINIMUM REQUIRED

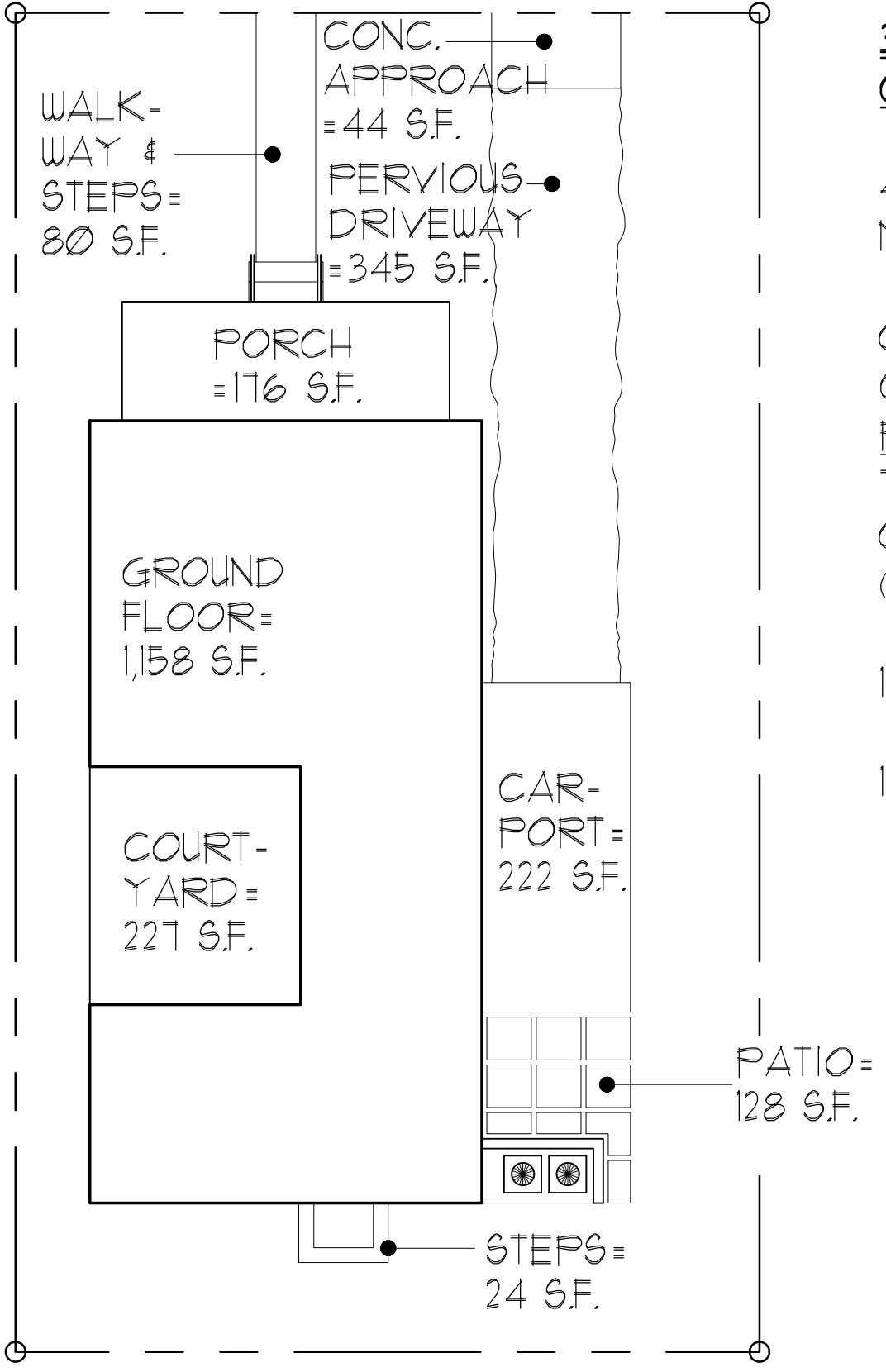
GREEN AREA
PROPOSED:
242
+404
646 S.F. PROPOSED
(86%)



F.A.R.

4,500 x 48%= 2,160 S.F.
ALLOWED

GROUND FL.= 1,035 S.F.
2ND FLOOR.= 1,035 S.F.
PROPOSED= 2,070 S.F.
(46%)

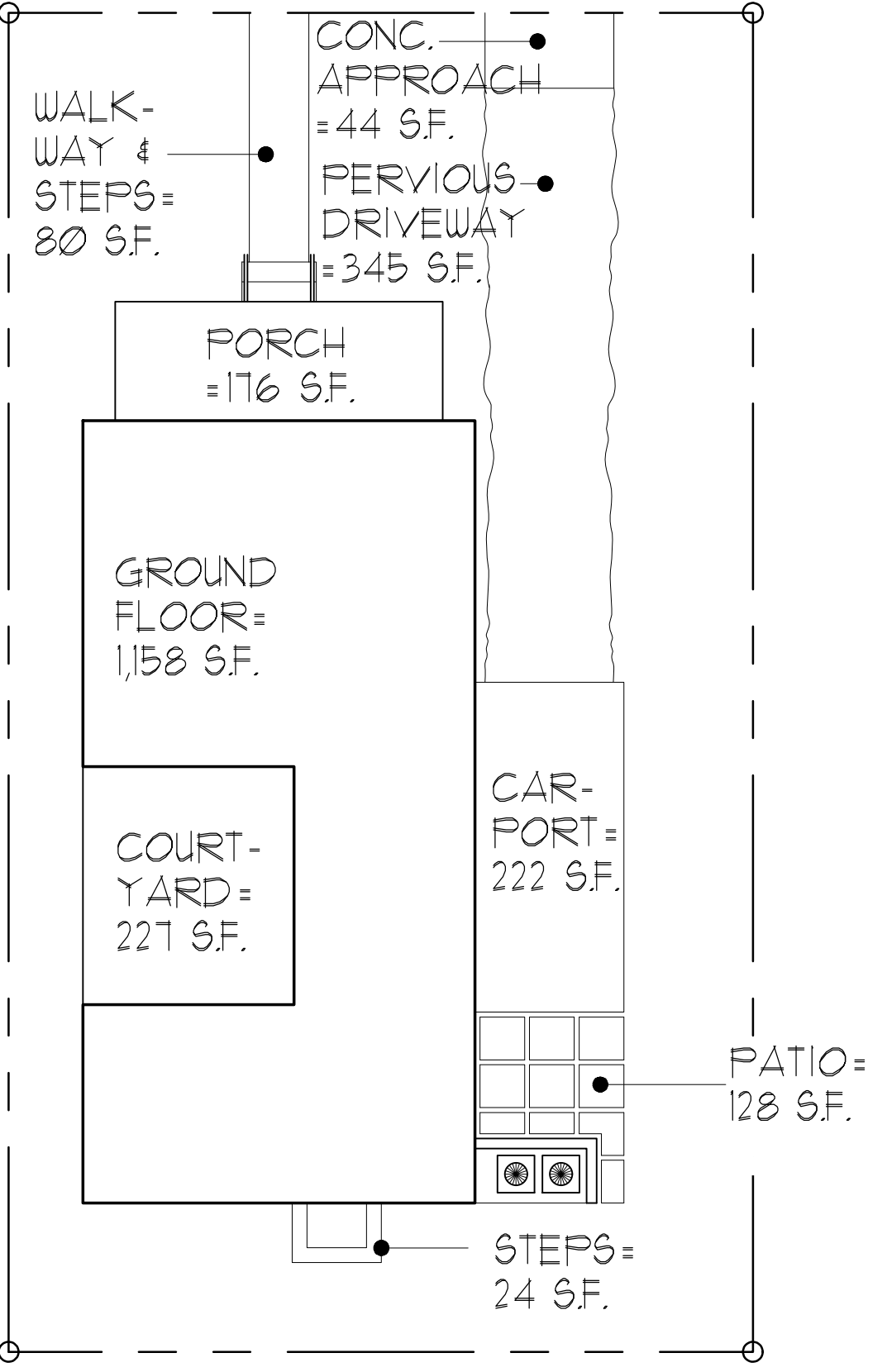


35% GROUND
COVERAGE

4,500 X 35%=1,575 S.F.
MAXIMUM ALLOWED

GROUND FL.= 1,158 S.F.
CARPORT = 222
PORCH = 176
TOTAL = 1,556 S.F.
GROUND COVERAGE
(34.5%)

1,575 S.F. - 35% MAX.
ALLOWED
1,556 S.F. - 34.5%
PROPOSED



45% GROUND
COVERAGE

4,500 X 45%=2,025 S.F.
MAXIMUM ALLOWED

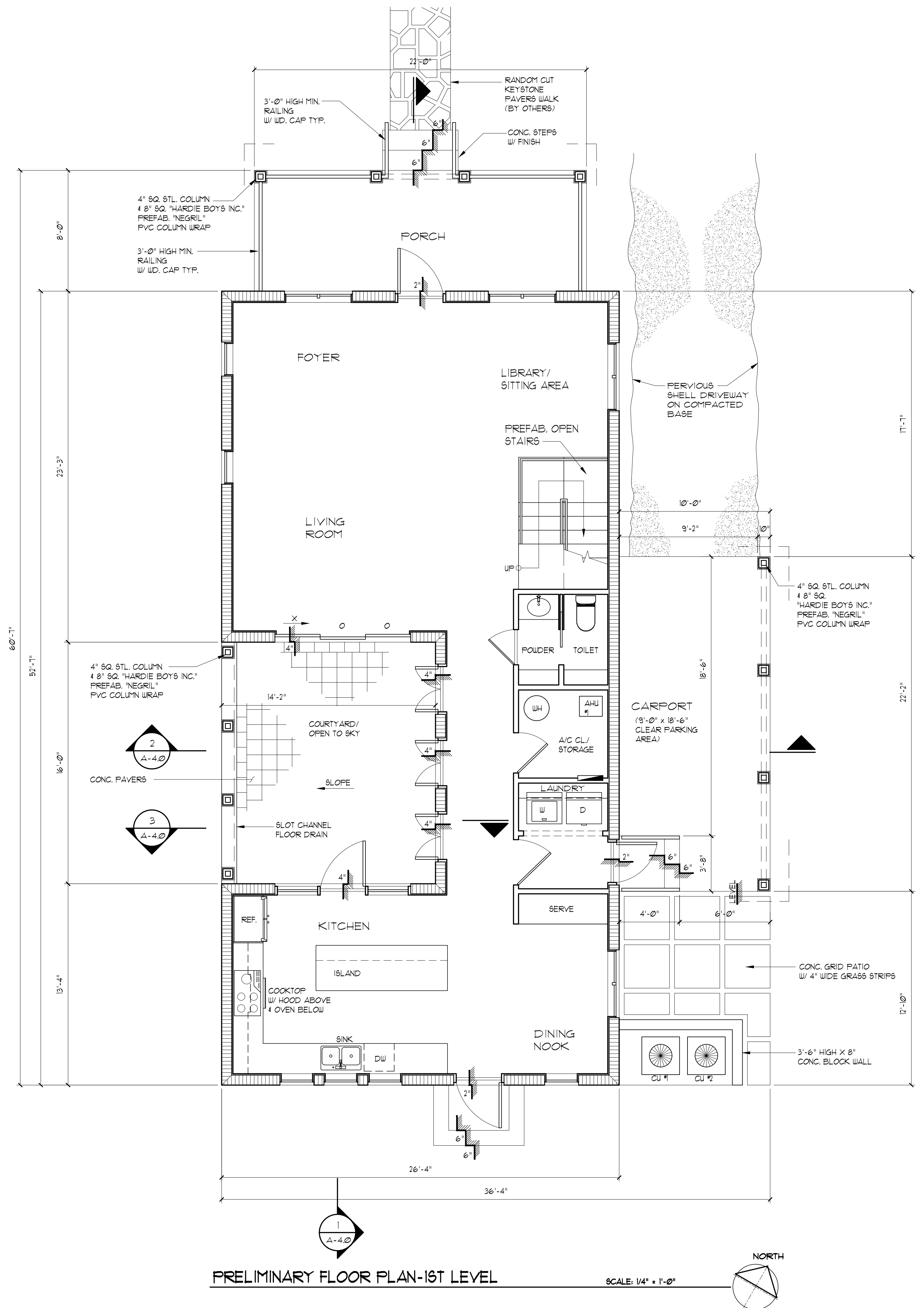
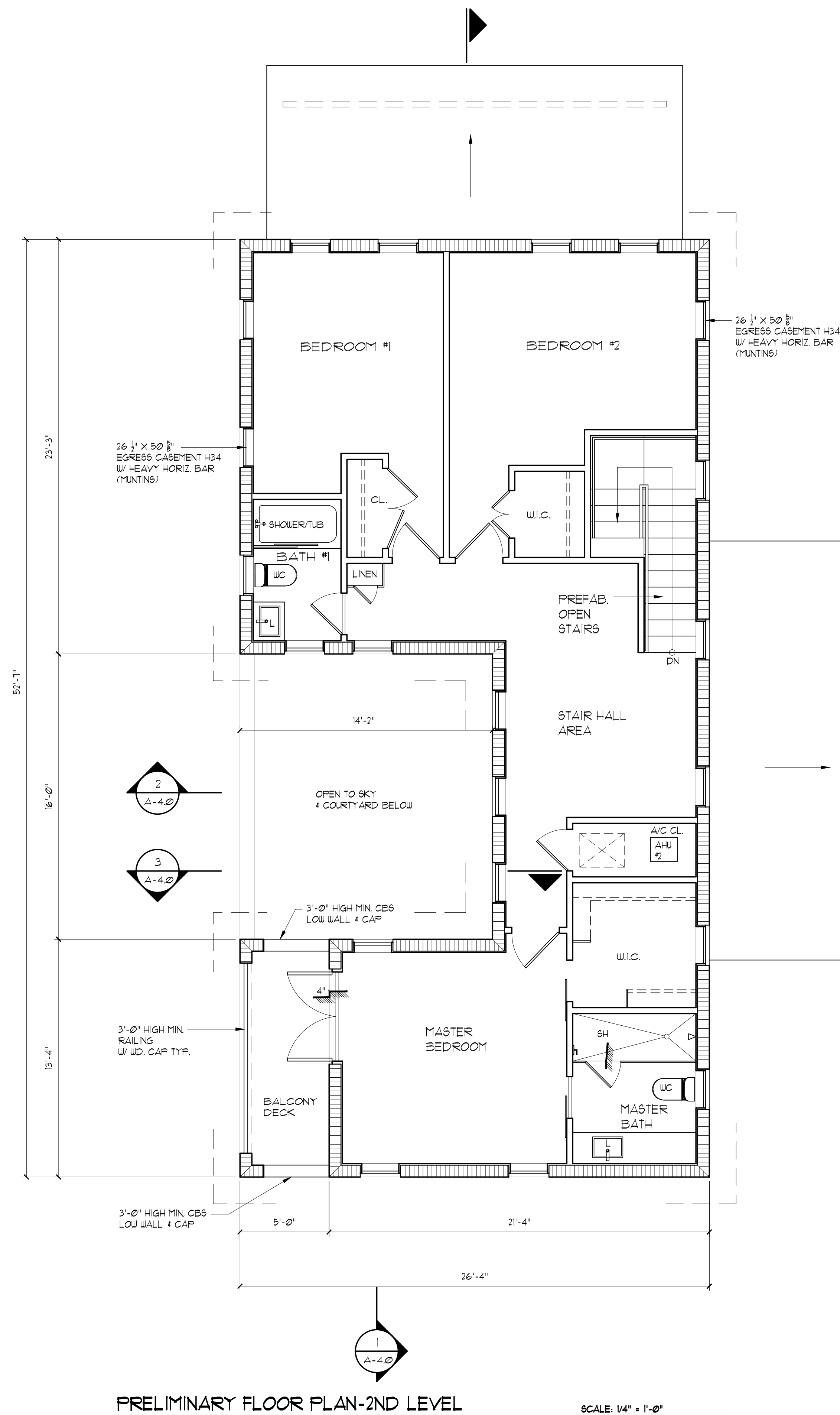
GROUND FL.= 1,158 S.F.
PORCH = 176 S.F.
CARPORT = 222 S.F.
COURTYARD = 227 S.F.
TOTAL = 1,783 S.F.
GROUND COVERAGE
(40%)

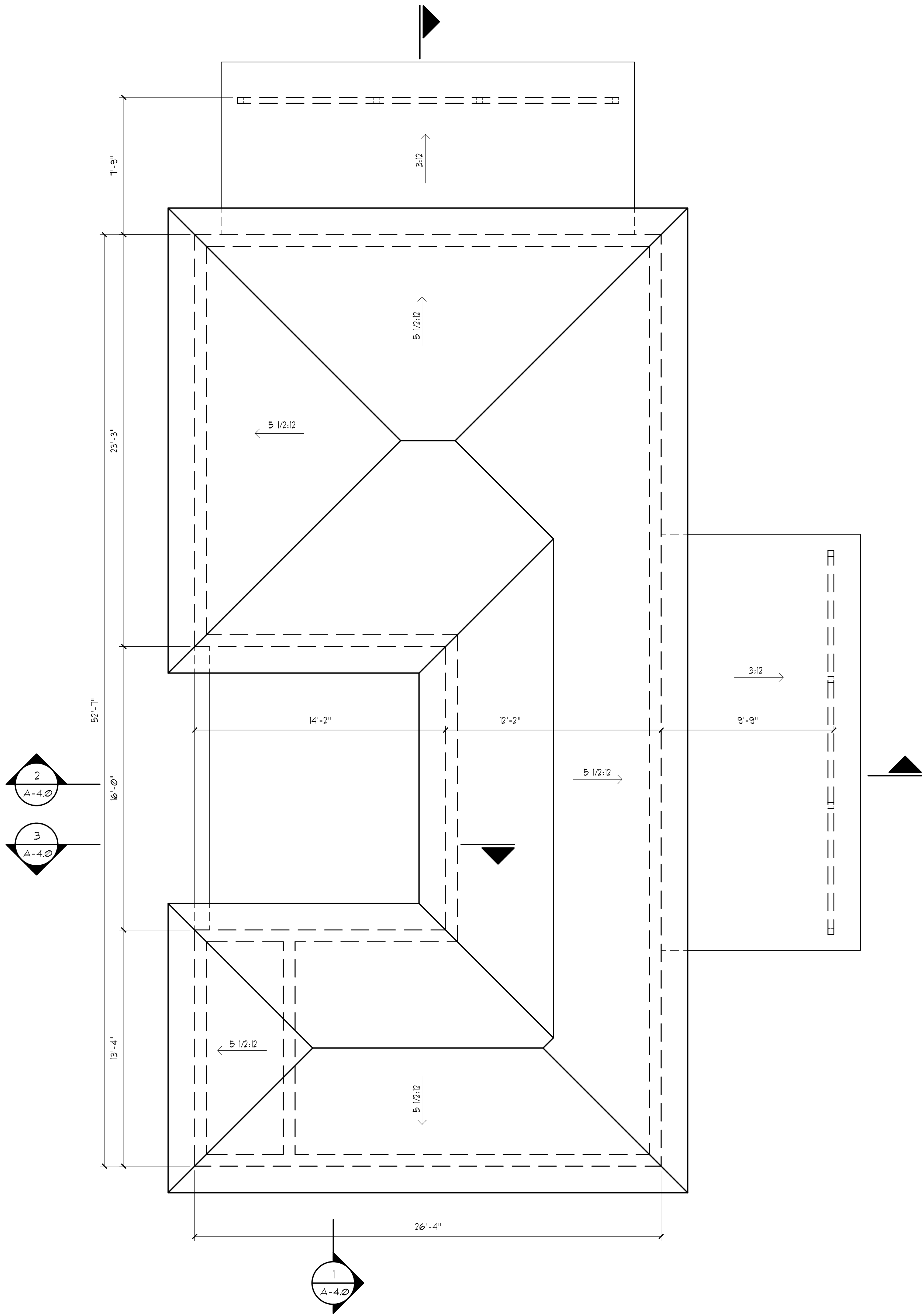
2,025 S.F. - 45% MAX.
ALLOWED
1,783 S.F. - 40%
PROPOSED

F.A.R.

35% GROUND COVERAGE

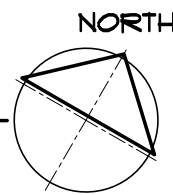
45% GROUND COVERAGE

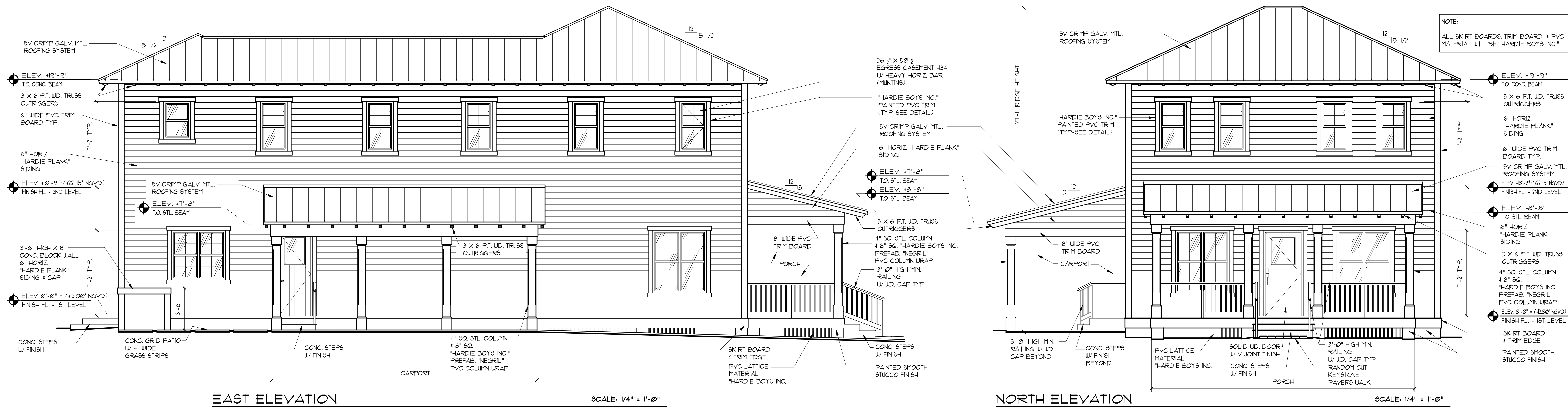
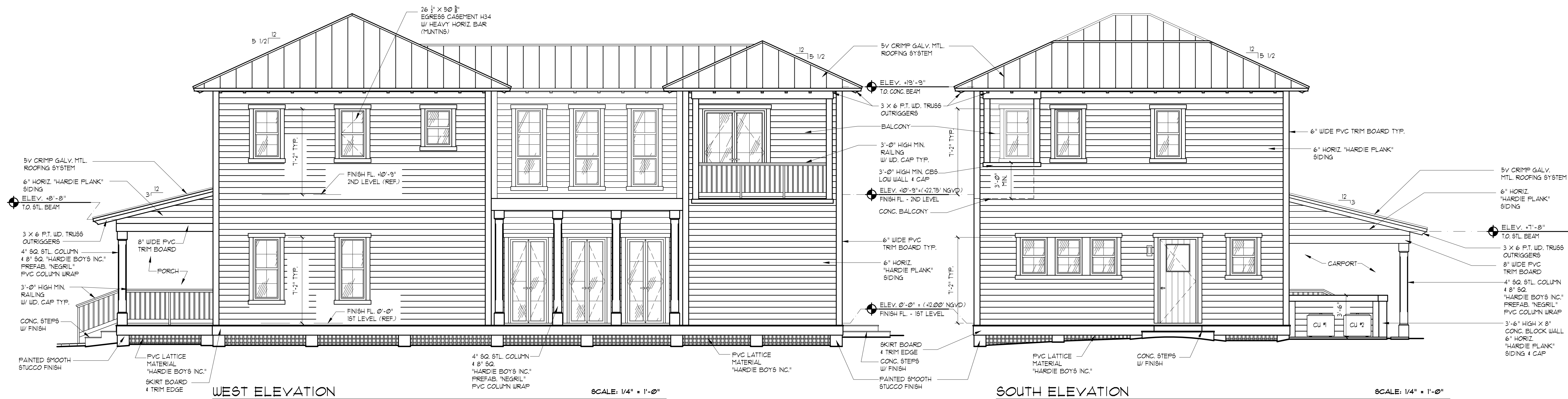


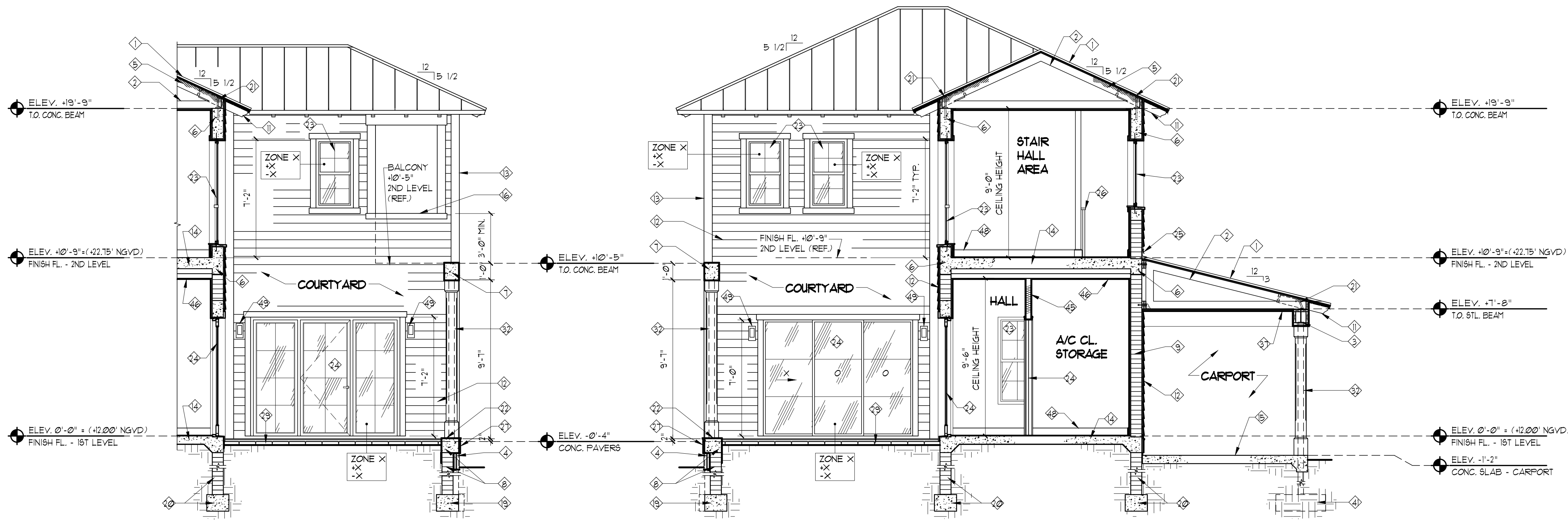


PRELIMINARY ROOF PLAN

SCALE: 1/4" = 1'-0"

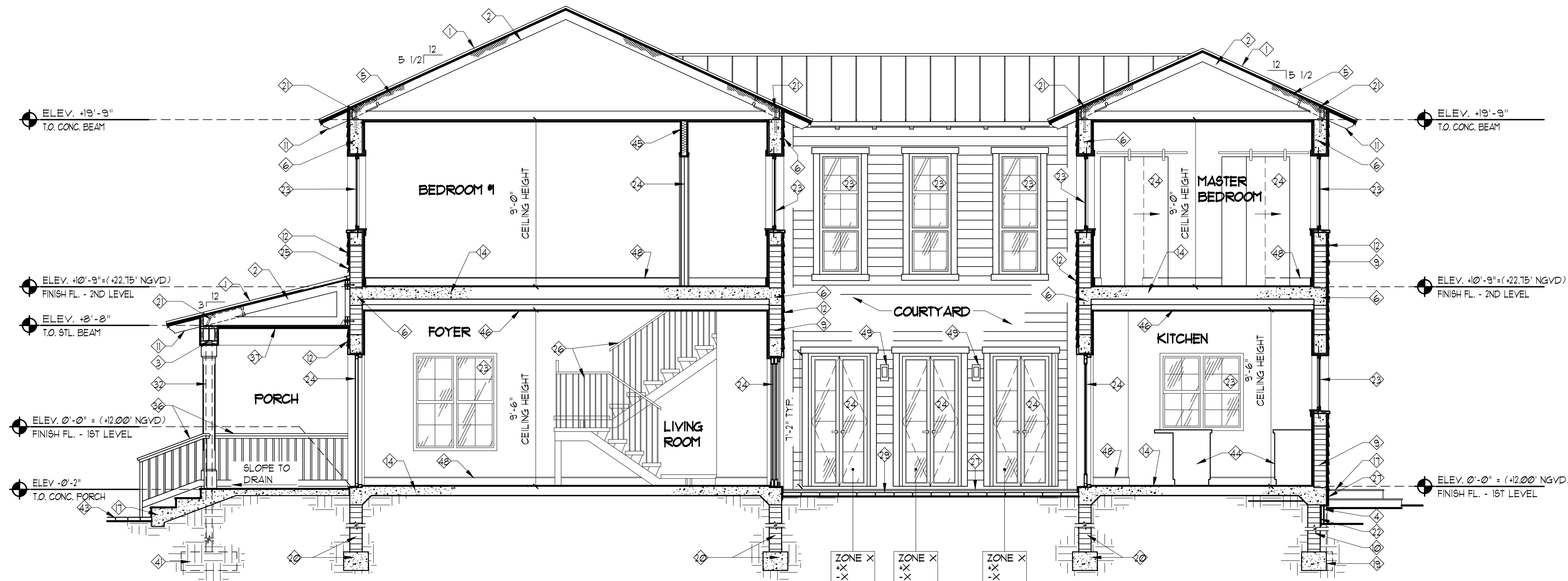






3 BUILDING SECTION SCALE: 1/4"=1'-0"

2 BUILDING SECTION SCALE: 1/4"=1'-0"



1 BUILDING SECTION SCALE: 1/4"=1'-0"

BUILDING SECTION LEGEND:

SECTION KEY MARK

EXTERIOR FINISH NOTES:

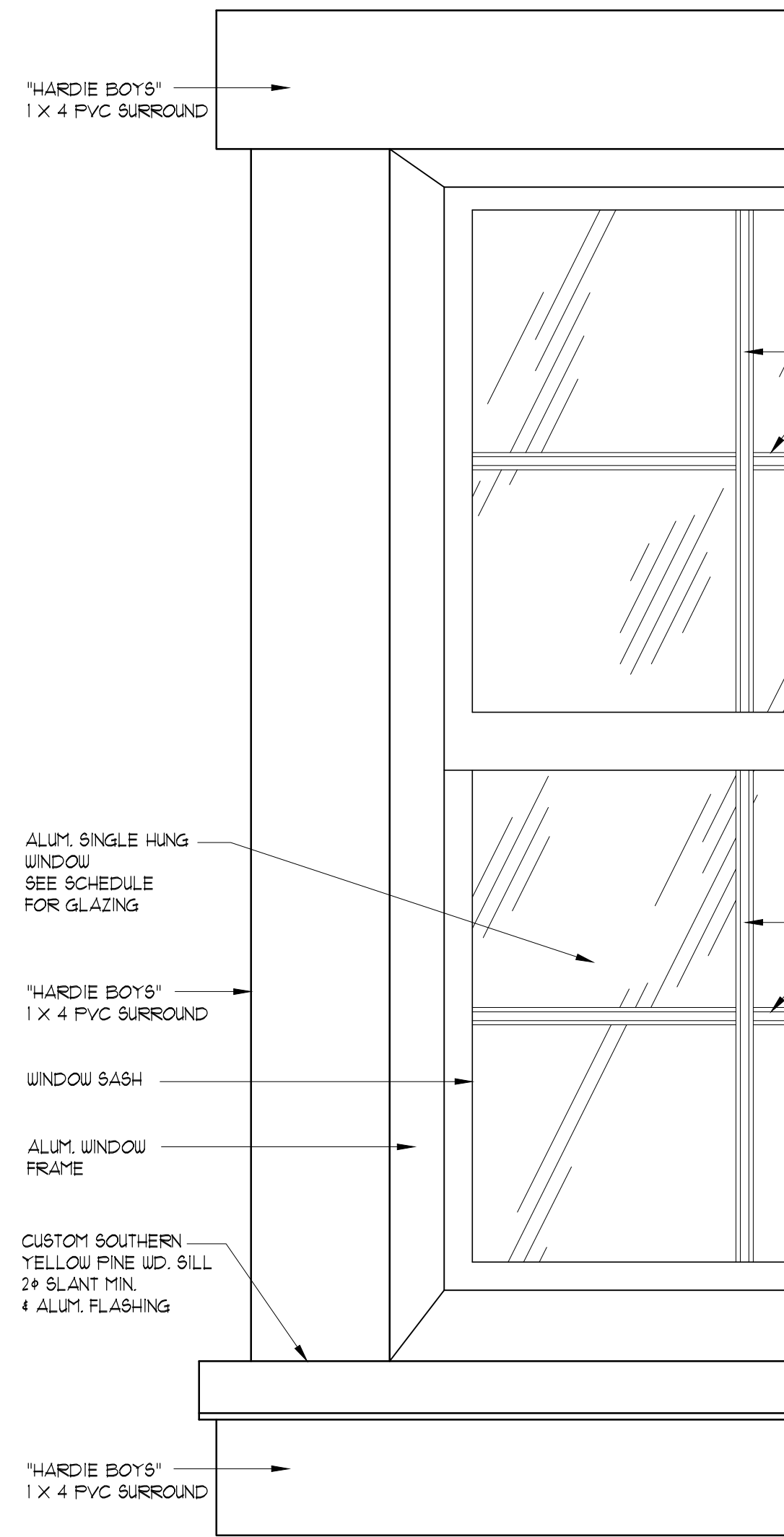
- ALL STUCCO FINISH SHALL BE PRIMED & FINISHED W/ (2) COATS OF HIGH QUALITY EXTERIOR GRADE LATEX PAINT.
- ALL DRIP EDGES, WD. FASCIA, & EXPOSED RARTERS SHALL BE PRIMED & FINISHED W/ (2) COATS OF HIGH QUALITY EXTERIOR OIL BASE PAINT.
- ALL SKIRT BOARDS, TRIM BOARD, & PVC MATERIAL WILL BE "HARDIE BOYS INC."

BUILDING SECTION NOTES:

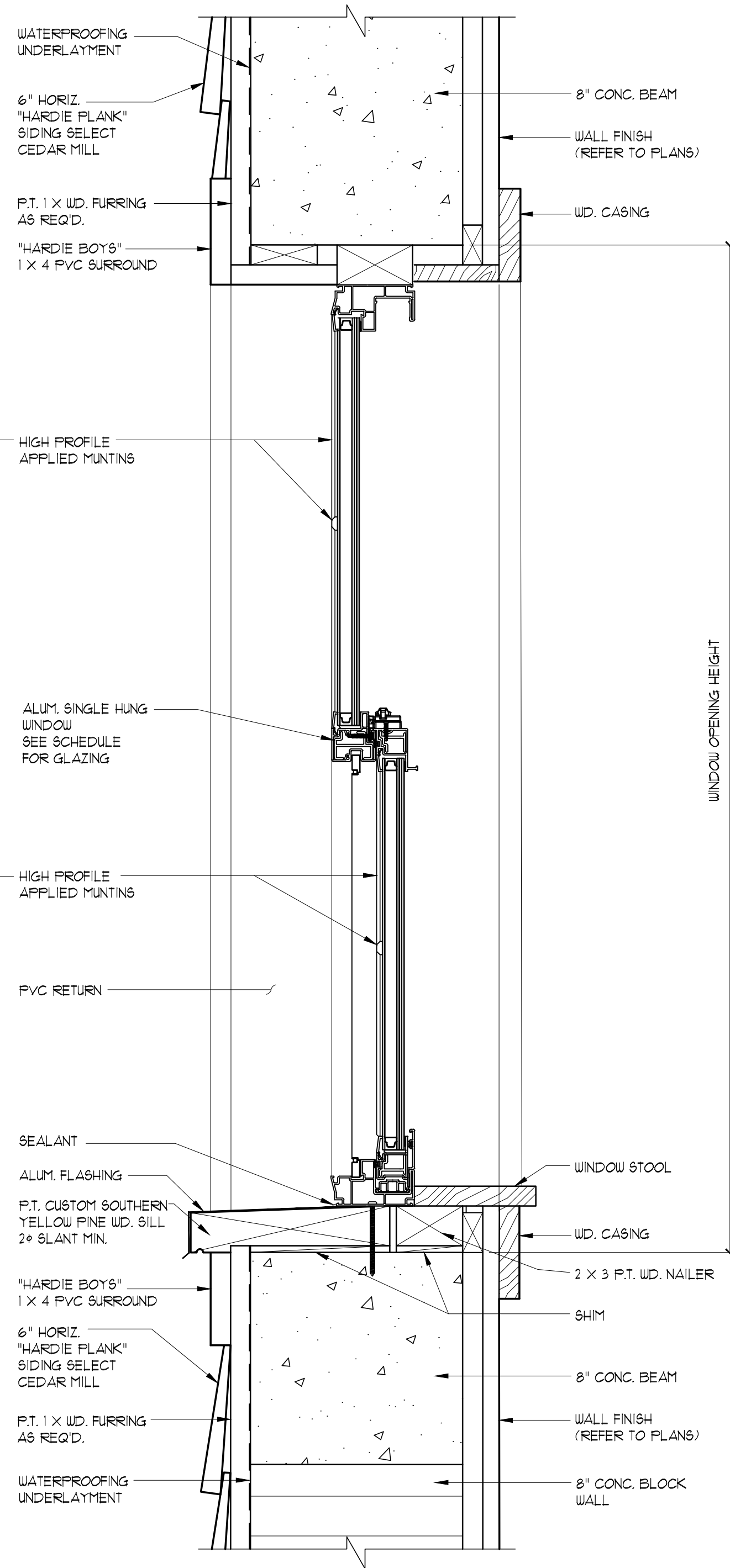
- FOR ALL WINDOW & DOOR SIZES, REFER TO WINDOW & DOOR SCHEDULE.

BUILDING SECTION KEY NOTES

- | | |
|--|---|
| 1. 5V CRIMP GALVANIZED MTL. ROOFING SYSTEM (DARK CHARCOAL) | 23. NOT USED |
| 2. PRE-ENG. WD. ROOF TRUSSES @ 24" O.C. | 24. NOT USED |
| 3. STL. BEAM (SEE STRUCT. DUGS.) W/ PVC TRIM BOARD | 25. CONC. FOOTING BEYOND (SEE STRUCT. DUGS.) |
| 4. PVC LATTICE MATERIAL "HARDIE BOYS INC." | 26. NOT USED |
| 5. 10" MIN. R-30 OPEN CELL SPRAY FOAM INSULATION (ICYNENE INSULATION SYSTEM) TO UNDERSIDE OF ROOF SHEATHING. | 27. RANDOM CUT KEYSTONE PAVERS WALK (BY OTHERS) |
| 6. CONC. BEAM (SEE STRUCT. DUGS.) | 28. KITCHEN MILLWORK CABINETS, COUNTERTOP, FIXTURES, & APPLIANCES (SEE 1D. DUGS.) |
| 7. 10" X 12" CONC. BEAM W/ STUCCO FINISH (SEE STRUCT. DUGS.) | 29. STUD PARTITION (SEE TYP. PARTITION DETAIL) |
| 8. 12" X 10" CONC. CURB, & RECESSED 8" CONC. BLOCK STEM WALL (SEE STRUCT. DUGS.) | 30. 5/8" WALLBOARD ON STUD FRAMING AS REQ'D. (SEE FIN. SCHEDULE) |
| 9. 8" CONC. BLOCK WALL (SEE STRUCT. DUGS.) | 31. NOT USED |
| 10. RECESSED 8" CONC. BLOCK STEM WALL (SEE ELEVATIONS & STRUCT. DUGS.) | 32. BASEBOARD (SEE FINISH SCHEDULE) |
| 11. 3 X 6 P.T. WD. TRUSS OUTRIGGERS | 33. LIGHT FIXTURE |
| 12. 6" HORIZ. "HARDIE PLANK" SIDING | |
| 13. 6" WIDE PVC TRIM BOARD | |
| 14. CONC. SLAB (SEE STRUCT. DUGS.) | |
| 15. CONC. SLAB W/ POLISHED, & SEALED FINISH (SEE STRUCT. DUGS.) | |
| 16. 3'-0" HIGH MIN. CBS LOW WALL & CAP | |
| 17. CONC. LANDING & STEPS W/ FINISH (SEE STRUCT. DUGS.) | |
| 18. NOT USED | |
| 19. CONC. FOOTING (SEE STRUCT. DUGS.) | |
| 20. CONC. FOOTING, & CONC. BLOCK STEM WALL (SEE STRUCT. DUGS.) | |
| 21. GALV. MTL. TRUSS TIE EA. CONNECTION (SEE STRUCT. DUGS.) | |
| 22. PAINTED SMOOTH STUCCO FINISH | |
| 23. WINDOW PER SCHEDULE | |
| 24. DOOR PER SCHEDULE | |
| 25. FIXED HEADWALL FLASHING (SEE DETAIL) | |
| 26. PREFAB. OPEN TREAD STAIRS, & RAILING (SEE STRUCT. DUGS.) | |
| 27. SKIRT BOARD & TRIM EDGE | |
| 28. NOT USED | |
| 29. CONC. PAVERS | |
| 30. NOT USED | |
| 31. NOT USED | |
| 32. 4" SQ. STL. COLUMN & 8" SQ. "HARDIE BOYS INC." PREFAB. "NEGRIL PVC COLUMN WRAP | |
| 33. NOT USED | |
| 34. NOT USED | |
| 35. NOT USED | |
| 36. 3'-0" HIGH MIN. RAILING W/ WD. CAP (SUBMIT SHOP DUGS. FOR ARCHITECT REVIEW & APPROVAL) | |
| 37. PAINTED STUCCO FINISH ON DENSGLASS EXTERIOR GYPSUM SHEATHING ON 5/8" CDX PLYWOOD OVER FRAMING. | |
| 38. NOT USED | |



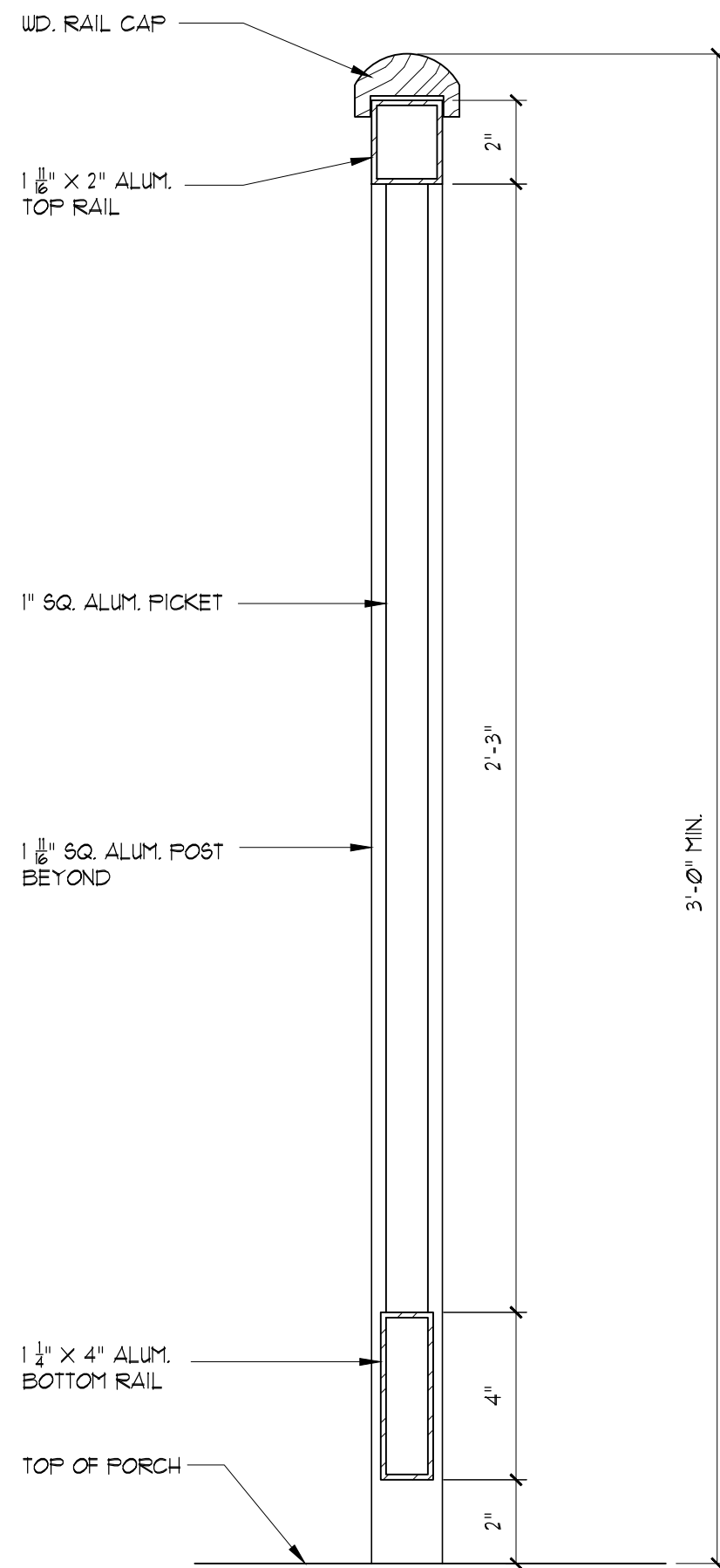
WINDOW TRIM/SILL EXTERIOR ELEVATION



WINDOW TRIM/SILL/HEAD DETAIL

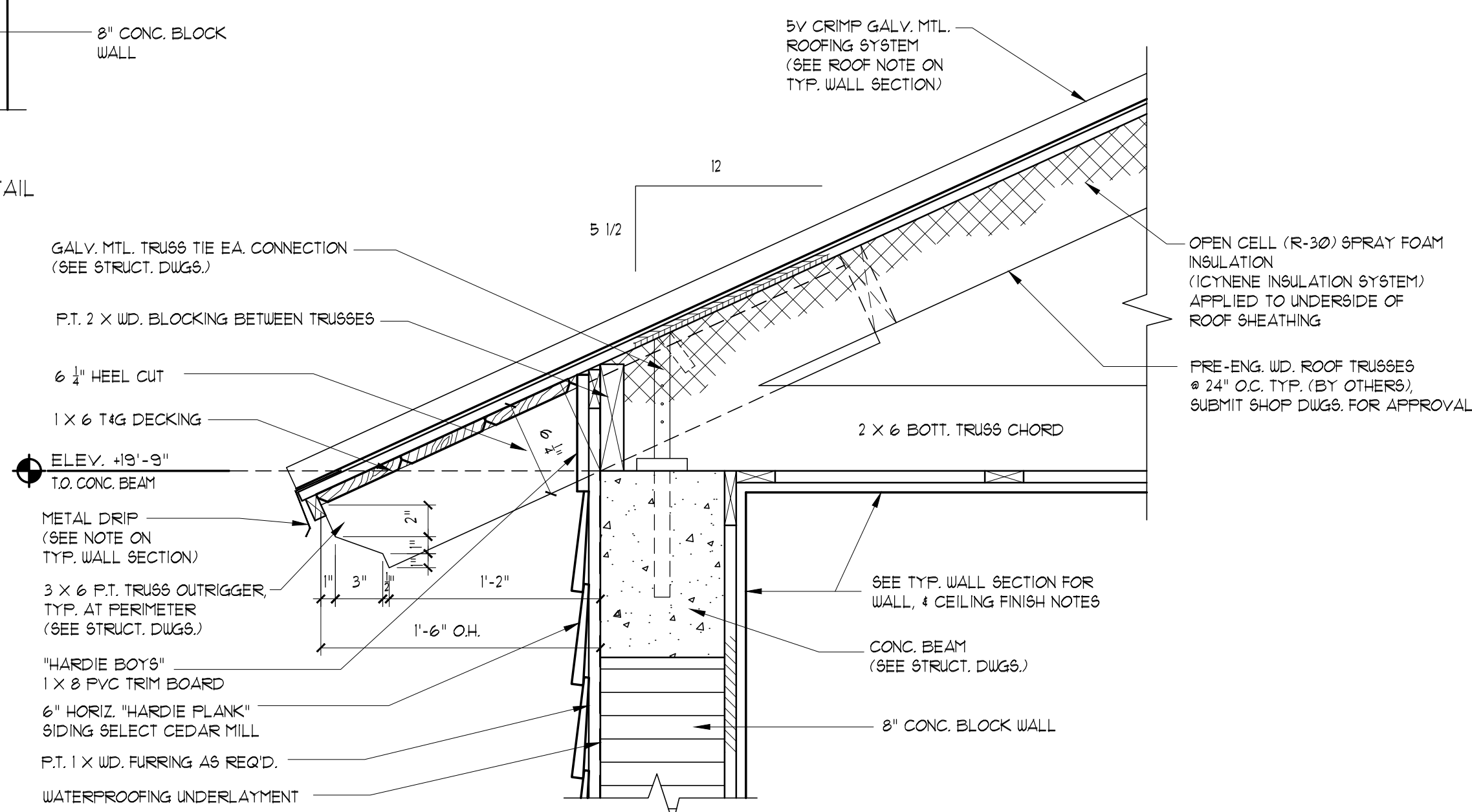
6 TYP. SINGLE HUNG WINDOW SILL/HEAD DETAIL
SCALE: 3" = 1'-0"

"FGT/CGI SHT100" OR EQUAL, OR AS APPROVED BY HISTORIC PRESERVATION DEPT.

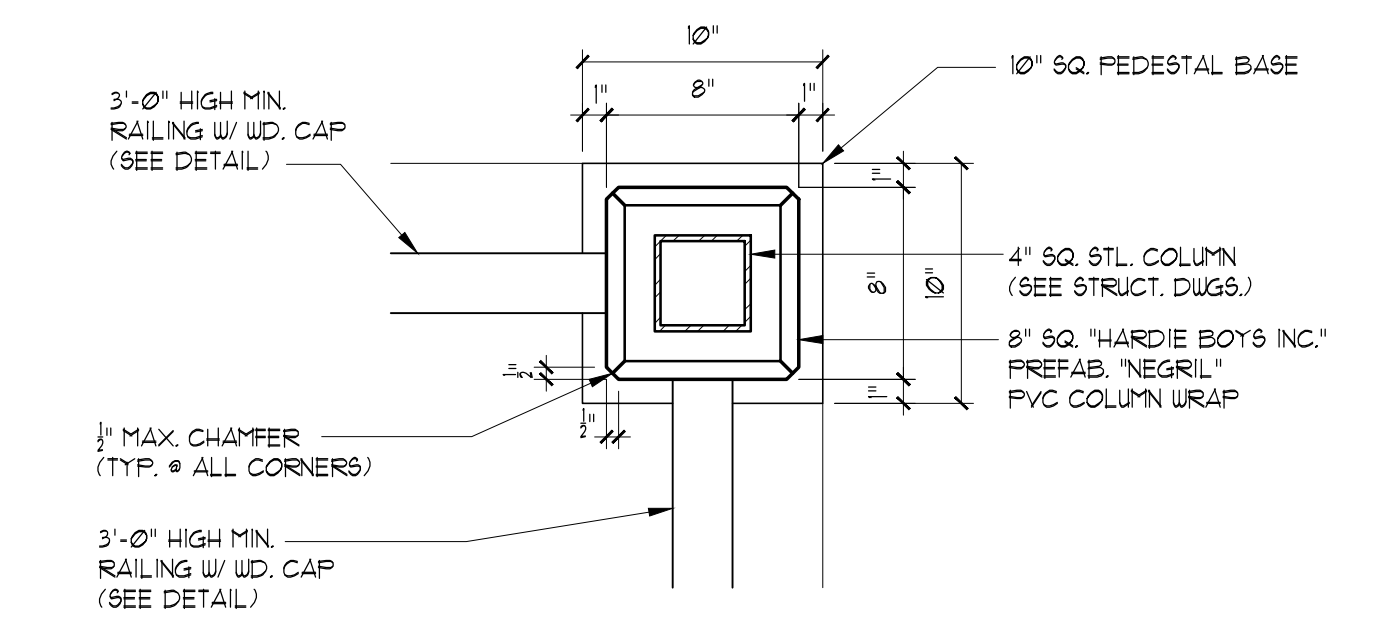


SECTION A-A

4 TYP. RAILING DETAIL
SCALE: 3" = 1'-0"

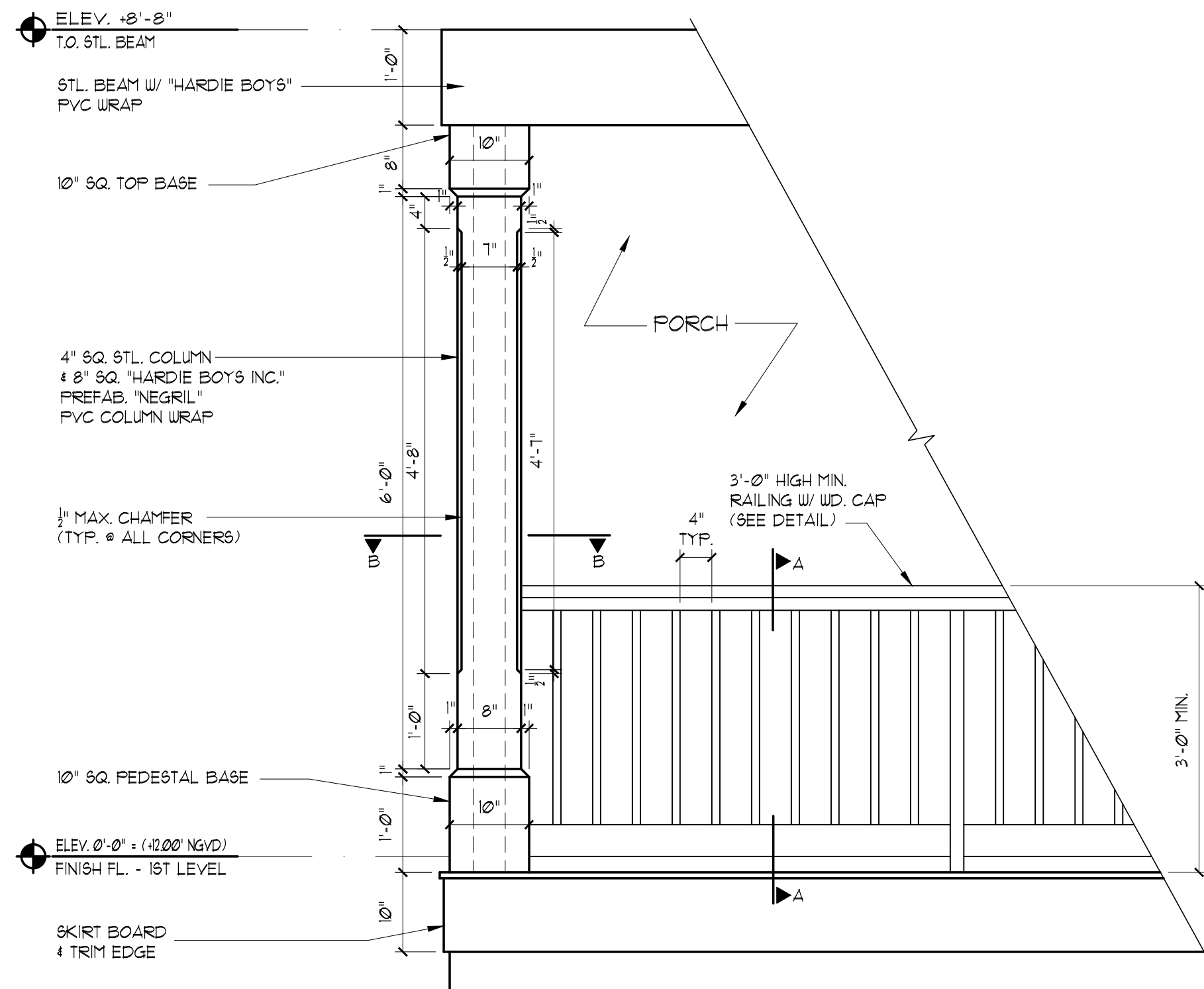


5 TYP. OVERHANG DETAIL - 2ND LEVEL
SCALE: 1 1/2" = 1'-0"

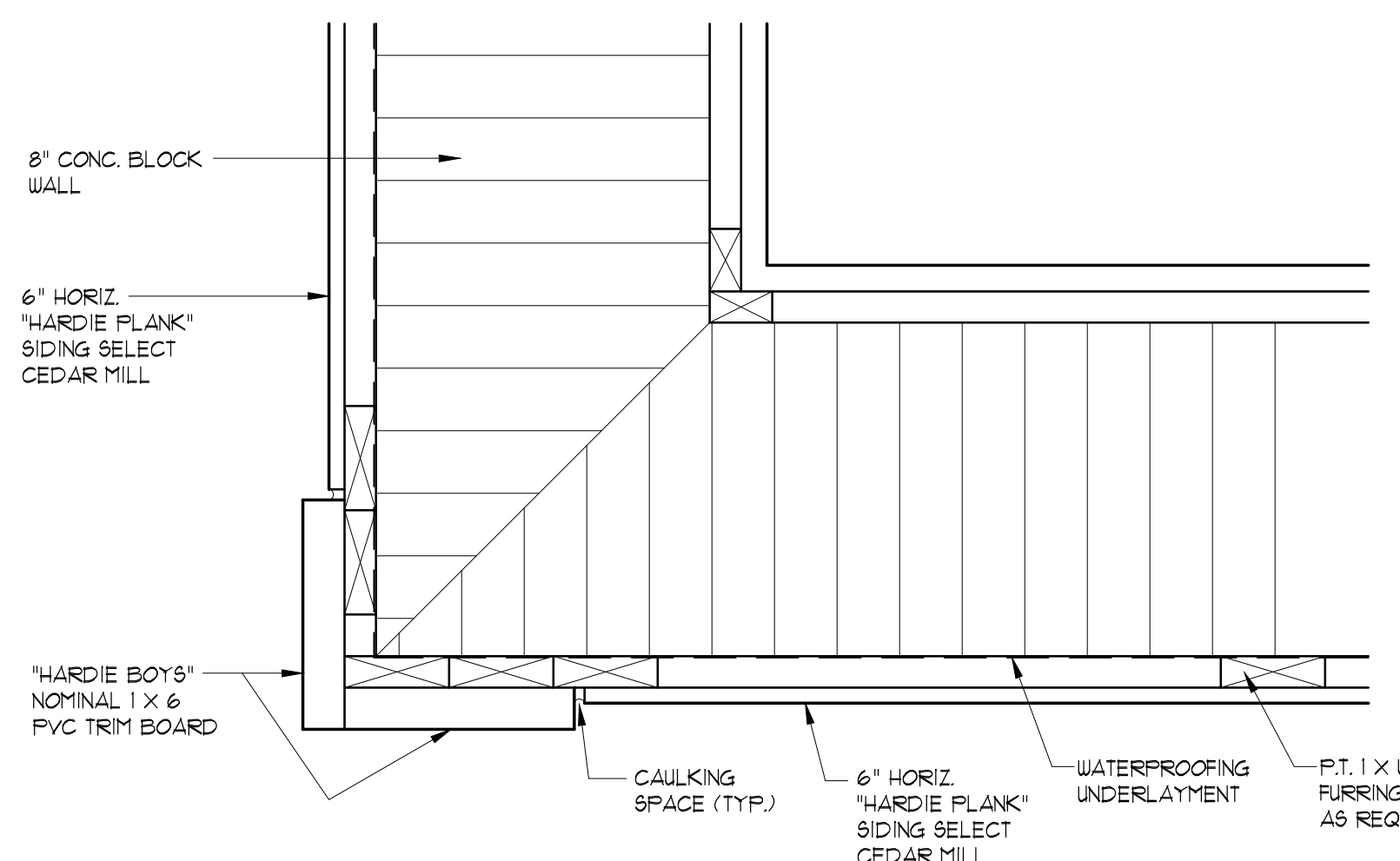


SECTION B-B

3 TYP. COLUMN CHAMFER DETAIL
SCALE: 1 1/2" = 1'-0"



2 RAILING/COLUMN ELEVATION DETAIL
SCALE: 3/4" = 1'-0"



1 TYP. CORNER TRIM BOARD DETAIL
SCALE: 3" = 1'-0"