



# City of Coral Gables Planning Division Application

305.460.5211

planning@coralgables.com

www.coralgables.com

## Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- Abandonment and Vacations  
 Annexation  
 Comprehensive Plan Map Amendment - Small Scale  
 Comprehensive Plan Map Amendment - Large Scale  
 Comprehensive Plan Text Amendment  
 Conditional Use - Administrative Review  
 Conditional Use with Site Plan  
 Conditional Use without Site Plan  
 Coral Gables Mediterranean Architectural Design Special Locational Site Plan  
 Development Agreement  
 Development of Regional Impact  
 Development of Regional Impact - Notice of Proposed Change  
 Mixed Use Site Plan  
 Planned Area Development Designation and Site Plan  
 Planned Area Development Major Amendment  
 Restrictive Covenants and/or Easements  
 Separation/Establishment of a Building Site  
 Site Plan  
 Subdivision Review for a Tentative Plat and Variance  
 Transfer of Development Rights Receiving Site Plan  
 University Campus District Modification to the Adopted Campus Master Plan  
 Zoning Code Map Amendment  
 Zoning Code Text Amendment  
 Other: Conditional Use Approval for Remote Parking; City Commission approval for access off of primary frontage

## General information

Street address of the subject property: 351 San Lorenzo Avenue

Property/project name: The Avenue

Legal description: Lot(s) 8, 9, 10, and 11

Block(s) 9 Section (s) Revised Plat of Coral Gables Industrial Section

Property owner(s): San Lorenzo Property, LLC

Property owner(s) mailing address: 782 NW 42nd Avenue, Suite 550, Miami, FL 33126

Telephone: Business (305) 448-4091 Fax (305) 448-4916

Other \_\_\_\_\_ Email oroger @ rogerdevelopment.com



# City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Mario Garcia-Serra, Esq.

Applicant(s)/agent(s) mailing address: 600 Brickell Avenue, Suite 3500, Miami, FL 33131

Telephone: Business (305) 376-6061 Fax (786) 425-4104

Other \_\_\_\_\_ Email mgarcia-serra @ gunster.com

## Property information

Current land use classification(s): Industrial

Current zoning classification(s): MX2

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

## Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Division Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- Aerial.
- Affidavit providing for property owner's authorization to process application.
- Annexation supporting materials.
- Application fees.
- Application representation and contact information.
- Appraisal.
- Architectural/building elevations.
- Art in Public Places plan or statement.
- Building floor plans.
- Comprehensive Plan analysis.
- Comprehensive Plan text amendment justification.
- Concurrency impact statement.
- Encroachments plan.
- Environmental assessment.
- Historic contextual study and/or historical significance determination.
- Landscape plan.
- Lighting plan.
- Massing model and/or 3D computer model.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Parking study.
- Photographs of property, adjacent uses and/or streetscape.
- Plat.



- Property owners list, notification radius map and two sets of labels.
- Property survey and legal description.
- Public Realm Improvements Plan for mixed use projects.
- Public school preliminary concurrency analysis (residential land use/zoning applications only).
- Sign master plan.
- Site plan and supporting information.
- Statement of use and/or cover letter.
- Streetscape master plan.
- Traffic accumulation assessment.
- Traffic impact statement.
- Traffic impact study.
- Traffic stacking analysis.
- Utilities consent.
- Utilities location plan.
- Vegetation survey.
- Video of the subject property.
- Warranty Deed.
- Zoning Analysis (Preliminary).
- Zoning Code text amendment justification.
- Other: \_\_\_\_\_

**Application submittal requirements**

1. Hard copies. The number of application binders to be submitted shall be determined by Staff at the preapplication meeting. The application shall include all the items identified in the preapplication meeting.
2. Digital media copy. One (1) thumb-drive of the entire application including all items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 MB.

**Applicant/agent/property owner affirmation and consent**


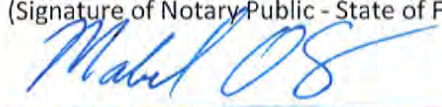
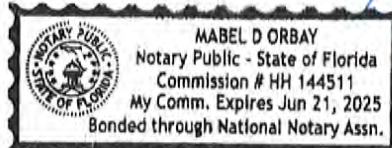
(I) (We) affirm and certify to all of the following:

1. Submission of the following:
  - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
  - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.



# City of Coral Gables Planning Division Application

- 5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
- 6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
- 7. Understand that under Florida Law, all the information submitted as part of the application are public records.
- 8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

Property owner(s) signature(s):   Manager	Property owner(s) print name:  San Lorenzo Property, LLC Oscar Roger SL Manager, LLC Manager	
Property owner(s) signature(s):	Property owner(s) print name:	
Property owner(s) signature(s):	Property owner(s) print name:	
Address:		
Telephone:	Fax:	Email:
<b>NOTARIZATION</b>		
STATE OF FLORIDA/COUNTY OF		
The foregoing instrument was acknowledged before me this <u>3</u> day of <u>May</u> by <u>Oscar Roger</u>		
(Signature of Notary Public - State of Florida)		
 <u>mabel orbay</u>		
(Print, Type or Stamp Commissioned Name of Notary Public)		
<input checked="" type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____		

**OWNER'S AUTHORIZATION**

SAN LORENZO PROPERTY, LLC, the sole owner of record of the property described as Lots 8, 9, 10 and 11, Block 9, of REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION, according to the Plat thereof, as recorded in Plat Book 28, Page 22, of the Public Records of Miami-Dade County, Florida with a street address of 351 San Lorenzo Ave, Coral Gables, Florida hereby affirms and certifies that Mario Garcia-Serra, Esq., the Applicant, is hereby authorized to represent it in all dealings regarding the application for development approvals submitted to the City of Coral Gables.

Witness #1

Aaliyah

By: Aaliyah Velazquez

Date: May 3, 2023

Witness #2

\_\_\_\_\_

By: \_\_\_\_\_

Date: May \_\_\_\_, 2023

SAN LORENZO PROPERTY, LLC  
Owner SL Manager, LLC Manager,

Oscar Roger Manager

By: Oscar Roger

Title: \_\_\_\_\_

Date: May 3, 2023



*Historical Resources &  
Cultural Arts*

May 24, 2023

2327 SALZEDO STREET  
CORAL GABLES  
FLORIDA 33134

☎ 305-460-5093  
✉ [hist@coralgables.com](mailto:hist@coralgables.com)

San Lorenzo Property, LLC  
782 NW 42<sup>nd</sup> Avenue  
Suite 550  
Miami, FL 33126

Re: **351 San Lorenzo Avenue**, legally described as Lots 8 through 11, Block 9, Coral Gables Industrial Section, according to the Plat thereof as recorded in Plat Book 28, at Page 22 of the Public Records of Miami-Dade County, Florida.

Dear Property Owner,

Section 8-107(G) of the Coral Gables Zoning Code states that “All demolition permits for non-designated buildings and/or structures must be approved by the Historic Preservation Officer or designee. The approval is valid for eighteen (18) months from issuance and shall thereafter expire and the approval is deemed void unless the demolition permit has been issued by the Development Services Department. The Historic Preservation Officer may require review by the Historic Preservation Board if the building and/or structure to be demolished is eligible for designation as a local historic landmark or as a contributing building, structure, or property within an existing local historic landmark district. This determination of eligibility is preliminary in nature and the final public hearing before the Historic Preservation Board on Local Historic Designation shall be within sixty (60) days from the Historic Preservation Officer determination of “eligibility.” Consideration by the Board may be deferred by mutual agreement by the property owner and the Historic Preservation Officer. The Historic Preservation Officer may require the filing of a written application on the forms prepared by the Department and may request additional background information to assist the Board in its consideration of eligibility. Independent analysis by a consultant selected by the City may be required to assist in the review of the application. All fees associated with the analysis shall be the responsibility of the applicant. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; archeological assessments; and historic assessments.”

Therefore, please be advised that after careful research and study of our records and the information you presented the following information has been determined:

**351 San Lorenzo Avenue, legally described as Lots 8 through 11, Block 9, Coral Gables Industrial Section, according to the Plat thereof as recorded in**

**Plat Book 28, at Page 22 of the Public Records of Miami-Dade County, Florida, does not meet the minimum eligibility criteria for designation as a local historic landmark. Therefore, the Historical Resources staff will not require review by the Historic Preservation Board if an application is made at this time for a demolition permit.**

Please note that, pursuant to Section 14-107.5(b)(15) of the Coral Gables Zoning Code, this determination does not constitute a development order and is valid for a period of eighteen (18) months. In the case where the Historic Preservation Officer or designee determines that the property does not meet the minimum eligibility criteria for designation, a permit for the demolition of the property must be issued within the eighteen-month period.

Upon expiration of the eighteen-month period, you will be required to file a new application. Any change from the foregoing may be made upon a demonstration of a change in the material facts upon which this determination was made.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,



Kara N. Kautz  
Acting Historic Preservation Officer

cc: Mario Garcia-Serra, Gunster, 600 Brickell Avenue, Suite 3500, Miami, FL  
33131

Albert Menendez, Chair, Historic Preservation Board  
Cristina M. Suárez, City Attorney  
Stephanie Throckmorton, Deputy City Attorney  
Gustavo Ceballos, Assistant City Attorney  
Suramy Cabrera, Development Services Director  
Jennifer Garcia, City Planner  
Analyn Hernandez, P/T, Plans Coordinator Assistant  
Historical Significance Request Property File

## CONTACT INFORMATION

Property Owner:

**San Lorenzo Property, LLC**

351 San Lorenzo Avenue  
Coral Gables, Florida 33146  
PH: 302 448 4091

Applicant:

**San Lorenzo Property, LLC**

351 San Lorenzo Avenue  
Coral Gables, Florida 33146  
PH: 302 448 4091

Architect:

**Bermello Ajamil & Partners**

4711 South LeJeune Road  
Coral Gables, Florida 33146  
PH: 305 249 1028

Attorney:

**Gunster**

Mario Garcia-Serra  
600 Brickell Avenue  
Suite 3500  
Miami Florida 33131  
PH: 305 376 6061



May 15, 2023

**INVITATION TO NEIGHBORHOOD MEETING**

**RE: The Avenue Hotel and Residences/ 351 San Lorenzo Avenue**

Dear Neighboring Property Owner,

On behalf of San Lorenzo Property, LLC, I would like to invite you to an informational meeting at which the project team will make a presentation of the new The Avenue Hotel and Residences project to be located at 351 San Lorenzo Avenue. The meeting will take place on the date and time and at the location indicated below:

Tuesday, May 23, 2023, at  
6:00pm The Avenue Sales Office  
351 San Lorenzo Avenue  
Coral Gables, Florida





We look forward to meeting with you.

Sincerely,



Mario Garcia-Serra

351 SAN LORENZO AVENUE  
 Neighborhood Informational Meeting  
 May 23, 2023

NAME	ADDRESS	SIGNATURE
MATT MARTINEZ	4100 SARCENO ST	
Philippe PRAS	301 Atlanta Ave. C.G. 33146	
JOSIBE SAEZ	4212 LAJONIA ST G 33146	
ALEX DDID	" "	

## Summary of The Avenue Neighborhood Meeting

On May 23, 2023, the informational neighborhood meeting for the proposed “The Avenue” Hotel and Residences project located at 351 San Lorenzo Avenue (the “Property”) commenced at approximately 6:20 pm at The Avenue’s sales office located on the Property. The following individuals were in attendance on behalf of the project team:

- Mario Garcia-Serra and Teresa Muniz, Project Zoning Counsel
- Willy Bermello, Project Architect
- Oscar Roger and Oscar Roger Jr., Developer
- Karla De La Torre, Realtor

Four neighboring property owners were in attendance. Ms. De La Torre commenced the meeting with an introduction of the project team and background information regarding the project site. She provided some insight into the inspiration for the architecture of the project and the Developer’s vision develop the Property in a manner consistent with the City’s desire to incorporate Mediterranean design features into new developments. She explained that the proposed project will contain 54 furnished one and two bedroom units that while being owned individually will operate as a hotel at the owner’s discretion with valet parking, amenities, and “round the clock” concierge and security. She also explained how the proposed project will bring a much-needed hotel use to the area which is currently lacking. Finally, she explained how the development will contain a mix of uses, including shops and restaurants on the ground floor. She then opened the floor for questions and comments from the attendees.

The neighbors in attendance expressed their support for the project. Not only were they pleased with the design but also the use. One neighbor in particular expressed excitement to the project because he always has people coming in from out of town and now, they will have somewhere close by to stay. That same neighbor asked how many of the units were going to be hotel units. Ms. De La Torre explained how that would be left up to the discretion of the unit owner. Another neighbor asked how many units had been sold. Mr. Roger responded that 70% of the units were already sold. Another neighbor asked what retail tenants were anticipated for the ground floor of the building. Mr. Roger advised that there will be a French Bakery at the corner, and that he was in discussions with other business owners about opening a boutique clothing store in the other space, but nothing was final. Finally, a neighbor asked when the project’s construction would be completed. Mr. Roger estimated by late 2024 or early 2025.

The formal presentation concluded around 6:45pm and some neighbors remained to discuss the project and ask additional questions to the project team.



LOBBYIST REGISTRATION CERTIFICATE  
CITY OF CORAL GABLES  
CITY CLERK'S OFFICE

405 Biltmore Way - Coral Gables, FL 33134  
305-460-5210 [cityclerk@coralgables.com](mailto:cityclerk@coralgables.com)

LOBBYIST NAME: Mario Garcia-Serra

LOBBYIST ADDRESS: 600 Brickell Ave, Suite 3500, Miami, FL 33131

PRINCIPAL NAME: San Lorenzo Property, LLC

PRINCIPAL ADDRESS: 782 NW 42nd Avenue, Suite 550, Miami, FL 33126

PRINCIPAL ISSUE: Obtaining the necessary zoning & parking approvals for the proposed development of a mixed use multifamily residential project at property located at 351 San Lorenzo Ave in Coral Gables, Florida

REGISTERED DATE: 8/17/2022

EXPIRATION DATE: 12/31/2022

State of Florida, City of Coral Gables

I HEREBY CERTIFY, that the foregoing is an official copy  
of a lobbyist record electronically filed in this office.

This 17th day of August AD 2022

Billy Y Urquia, City Clerk

**OATH**

*I do solemnly swear that all facts contained on this Annual Lobbyist Registration form and principal are true and correct; and that I have read and am familiar with the Ordinance 2017-44 of the Code of City of Coral Gables.*



Client Number: 39592.00001  
Writer's Direct Dial Number: (305) 376-6061  
Writer's E-Mail Address: mgarcia-serra@gunster.com

October 7, 2022

Mr. Ramon Trias  
Chairman  
Development Review Committee  
City of Coral Gables  
405 Biltmore Way, 1st Floor  
Coral Gables, FL 33134

Re: **The Avenue – 351 San Lorenzo Avenue, Coral Gables, Florida (the “Property”) / Art in Public Places Statement**

Dear Mr. Trias:

As required by Coral Gables Zoning Code Section 9-103.B.1, and on behalf of 351 San Lorenzo Property, LLC (the “Applicant”), please be advised that as part of the proposed mixed-use development to be located on the Property, the Applicant intends to acquire or commission artwork with an appraised value equal or greater to 1% of the Aggregate Project Value, and incorporate it as part of The Avenue project. If you have any questions, please do not hesitate to contact me at (305) 376-6061.

Sincerely,

Mario Garcia-Serra

**CITY OF CORAL GABLES, FLORIDA**

**RESOLUTION NO. 2015-251**

A RESOLUTION OF THE CITY COMMISSION OF CORAL GABLES, FLORIDA REQUESTING MIXED USE SITE PLAN REVIEW PURSUANT TO ZONING CODE ARTICLE 4, "ZONING DISTRICTS", DIVISION 2, "OVERLAY AND SPECIAL PURPOSE DISTRICTS", SECTION 4-201, "MIXED USE DISTRICT (MXD)," FOR THE MIXED USE PROJECT REFERRED TO AS "ONE MERRICK PARK" ON THE PROPERTY LEGALLY DESCRIBED AS LOTS 8-11, BLOCK 9, INDUSTRIAL SECTION (351 SAN LORENZO AVENUE), CORAL GABLES, FLORIDA; INCLUDING REQUIRED CONDITIONS; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, an Application was submitted requesting mixed use site plan review pursuant to Zoning Code Section 4-201 for the mixed-use project referred to as "One Merrick Park" on the property legally described as Lots 8-11, Block 9, Industrial Section (351 San Lorenzo Avenue), Coral Gables, Florida; and

**WHEREAS**, the Application requires City of Coral Gables mixed use site plan review and public hearing consideration pursuant to the Zoning Code Mixed Use District (MXD) provisions and Comprehensive Plan Mixed Use Overlay District (MXOD) provisions; and

**WHEREAS**, after notice of public hearing duly published and courtesy notifications of all property owners of record within one-thousand-five-hundred (1500) feet, a public hearing was held before the Planning and Zoning Board of the City of Coral Gables on September 9, 2015, at which hearing all interested persons were afforded the opportunity to be heard; and

**WHEREAS**, at the Planning and Zoning Board's September 9, 2015 meeting, the Board recommended approval of the proposed mixed use site plan (vote: 5-0) subject to conditions of approval; and

**WHEREAS**, a public hearing was held before the City Commission on October 13, 2015, at which hearing this item was presented and all interested persons were afforded the opportunity to be heard; and

**WHEREAS**, the City Commission on October 13, 2015, approved the requested mixed use project (Majority Vote: 4-0); and

**WHEREAS**, public hearings have been completed as indicated herein by the Coral Gables City Commission in consideration of a request for mixed use site plan review as required by the Zoning Code, and including careful consideration of written and oral comments by members of the public;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF CORAL GABLES THAT:**

**SECTION 1.** The foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of the Resolution upon adoption hereof.

**SECTION 2.** The proposed mixed use site plan review for the mixed-use project referred to as "One Merrick Park" on Lots 8-11, Block 9, Industrial Section (351 San Lorenzo Avenue), Coral Gables, Florida shall be and is hereby approved subject to all of the following conditions:

1. Application/supporting documentation. Construction of the proposed project shall be in substantial conformance with the following:
  - a. Applicant's Planning and Zoning Board submittal package plans dated 08.04.15, prepared by architecture firm PGAL.
  - b. Traffic Impact Study, dated April 2015, prepared by David Plummer & Associates.
  - c. All representations proffered by the Applicant's representatives as a part of the review of the Application at public hearings.
2. Restrictive covenant. Within thirty (30) days of City Commission approval of the Application, the Applicant, property owner(s), its successors or assigns shall submit a restrictive covenant for City Attorney review and approval outlining all conditions of approval as approved by the City Commission. It is recognized that the requirements contained in the restrictive covenant constitute regulatory conditions of approval and shall survive as regulatory conditions of approval even if the restrictive covenant is later found to be void or unenforceable. Failure to submit the draft restrictive covenant within the specified time frame shall render the approval void unless said time frame for submittal of the draft restrictive covenant is extended by the City Attorney after good cause as to why the time frame should be extended.
3. Prior to the issuance of a City Building Permit for the project, the Applicant, property owner(s), its successors or assigns, shall satisfy the following conditions:
  - a. Remove the two (2) curb cuts along the sidewalk on San Lorenzo Avenue from Laguna Street to the alley.
  - b. On-street parking. Payment shall be provided by Applicant, its successors or assigns according to established City requirements for the loss of two (2) on-street parking spaces as a result of the project.
  - c. All outstanding landscaping issues as identified by the Public Service Department shall be satisfactorily resolved, subject to review and approval by the Director of Public Service.
  - d. Construction information/contact. Provide written notice to all properties within five-hundred (500) feet of the "One Merrick Park" project (351 San Lorenzo Ave), providing a specific liaison/contact person for the project including the contact name, contact telephone number and email, to allow communication between adjacent neighbors or interested parties of construction activities, project status, potential concerns, etc.
  - e. Comply with all City requirements for Art in Public Places, public art must be reviewed by the Arts Advisory Panel and Cultural Development Board, and receive Board of Architects approval before being submitted to the City Commission. The Applicant's compliance with all requirements of the Art in Public Places program shall be coordinated by the Director of Historical Resources and Cultural Arts.
4. Written notice. Provide a minimum of seventy-two (72) hour written notice to all properties within five-hundred (500) feet of the "One Merrick Park" (351 San Lorenzo Ave) project boundaries of any proposed partial street closures as a result of the project's construction activity. Complete street closure shall be prohibited.



**City of Coral Gables**  
**Development Services Department**  
**Public School Concurrency**

<b>Application Information</b>	
Application Type:*	Level 1 DRC
Application Sub-type:	
Application Name:*	The Avenue
Telephone number:*	305-448-4091
E-mail address: *	oroger@rogerdevelopment.com
Project address:*	351 San Lorenzo Avenue
<b>Contact Information</b>	
Contact Information	Mario Garcia-Serra, Esq.
Telephone number:*	305-376-6061
E-mail address: *	mgarcia-serra@gunster.com
Local Government Name:	City of Coral Gables
Local Government Telephone Number:	305-460-5235
Local Government E-mail:	<a href="mailto:Schoolconcurrency@coralgables.com">Schoolconcurrency@coralgables.com</a>
Local Government Application Number:	(OFFICE USE ONLY)
<b>Property Details</b>	
Master Parcel/Folio Number:*(No dashes)	03-4120-017-1570
Additional Parcel/Folio Numbers: (Separate by a comma ,)	N/A
Total Acreage:*	0.25 acre
Previous Use.	Commercial
<b>Total Number of Existing Units:</b>	0
Demolition Permit#: _____ Date: _____	
Proposed Use:	Mixed Use - residential/retail/restaurant
Single Family Detached Increase in Units:*	0
Single Family Attached Increase in Units:*	0
Multi-Family Attached Increase in Units:*	54
<b>Total Number of Units increased:*</b>	54

*[Handwritten Signature]*

Owner/Architect/Contractor Name (Please circle one)

STATE OF FLORIDA  
 COUNTY OF MIAMI-DADE

The foregoing was acknowledge before me this 06 day of Oct, 2022 by Agustin J. BARRERA

is personally known to me,

has produced a \_\_\_\_\_ as identification.

*[Handwritten Signature]*  
 \_\_\_\_\_  
 NOTARY PUBLIC

10/06/2022

(SEAL)



*[Handwritten Signature]*  
10/06/2022



Effective April 25, 2008, all residential development must be reviewed for compliance with Public School Concurrency. This requirement is pursuant to the 2005 Growth Management Legislation enacted under Chapters 163 and 1013, Florida Statutes.

Applications are available at the Development Review Committee, Board of Architects, Concurrency offices or on our web site at [www.coralgables.com](http://www.coralgables.com).

For additional questions, please contact Miami-Dade Public Schools Board at (305) 995-7634 or e-mail at [concurrency@dadeschools.net](mailto:concurrency@dadeschools.net)

**Required for:**

This process will be required for all projects having a residential component of 2 or more residential units. Applicants will submit applications at the Development Review Committee (if applicable) and the Board of Architects Offices and must have obtained the MDCPS approval prior to concurrency's plan review.

Re-development of an improved property which has been demolished for no longer than one year will receive credit for demolished residential units. For example if the demolished property had 20 units and the new re-development is proposed to have 50 units; please enter an increase of 30 units on the "Total Number of Units increased" field on the application.

**School Concurrency Review Process:**

1. Applications must be submitted to the local government who will transmit applications electronically to Miami-Dade Public Schools for Public School Concurrency review.
2. Applicants will receive an e-mail from MDCPS (Miami-Dade County Public Schools) acknowledging receipt, providing the MDCPS application number and the link to the website where fees can be paid. An application will not be processed without the required payments
3. School Concurrency Reviews will be processed and completed within 10 days from receipt of payment.

5. Prior to the issuance of a Temporary Certificate of Occupancy (CO) for the project, the Applicant, property owner, its successors or assigns shall complete the following:
- a. Right-of-way and public realm improvements. Installation of all right-of-way improvements and all landscaping, public realm and streetscape improvements identified on the Applicant's approved plans, subject to review and approval by the Directors of Public Works, Public Service and Planning and Zoning. Any changes to and departures from the right-of-way and public realm improvements identified on the Applicant's approved plans and associated detail plans and specifications via the permitting process shall be subject to review and approval by Directors of Public Works, Public Service, Planning and Parking.
  - b. Undergrounding of overhead utilities. In accordance with Zoning Code Article 4 "Zoning Districts", more specifically, Section 4-201, "Mixed use District (MXD)," and Article 4, "Zoning Districts," Table 1, sub-section L, "Utilities", the Applicant shall submit all necessary plans and documents, and shall complete the undergrounding of all overhead utilities along all public rights-of-way surrounding and abutting the project boundary, including the alley, subject to review and approval by the Directors of Public Works, Public Service and Planning and Zoning.

**SECTION 3.** That the applicant shall further be required to comply with all applicable zoning regulations and any changes to the application herein granted shall be in conformance with the requirements of Zoning Code Section 3-410, "Changes to conditional use approvals."

**SECTION 4.** That this Resolution shall become effective upon the date of its passage and adoption herein.

PASSED AND ADOPTED THIS THIRTEENTH DAY OF OCTOBER, A.D., 2015.

(Moved: Lago / Seconded: Quesada)  
(Yeas: Lago, Quesada, Slesnick, Cason)  
(Majority: (4-0) Vote)  
(Absent: Keon)  
(Agenda Item: E-2)

APPROVED:

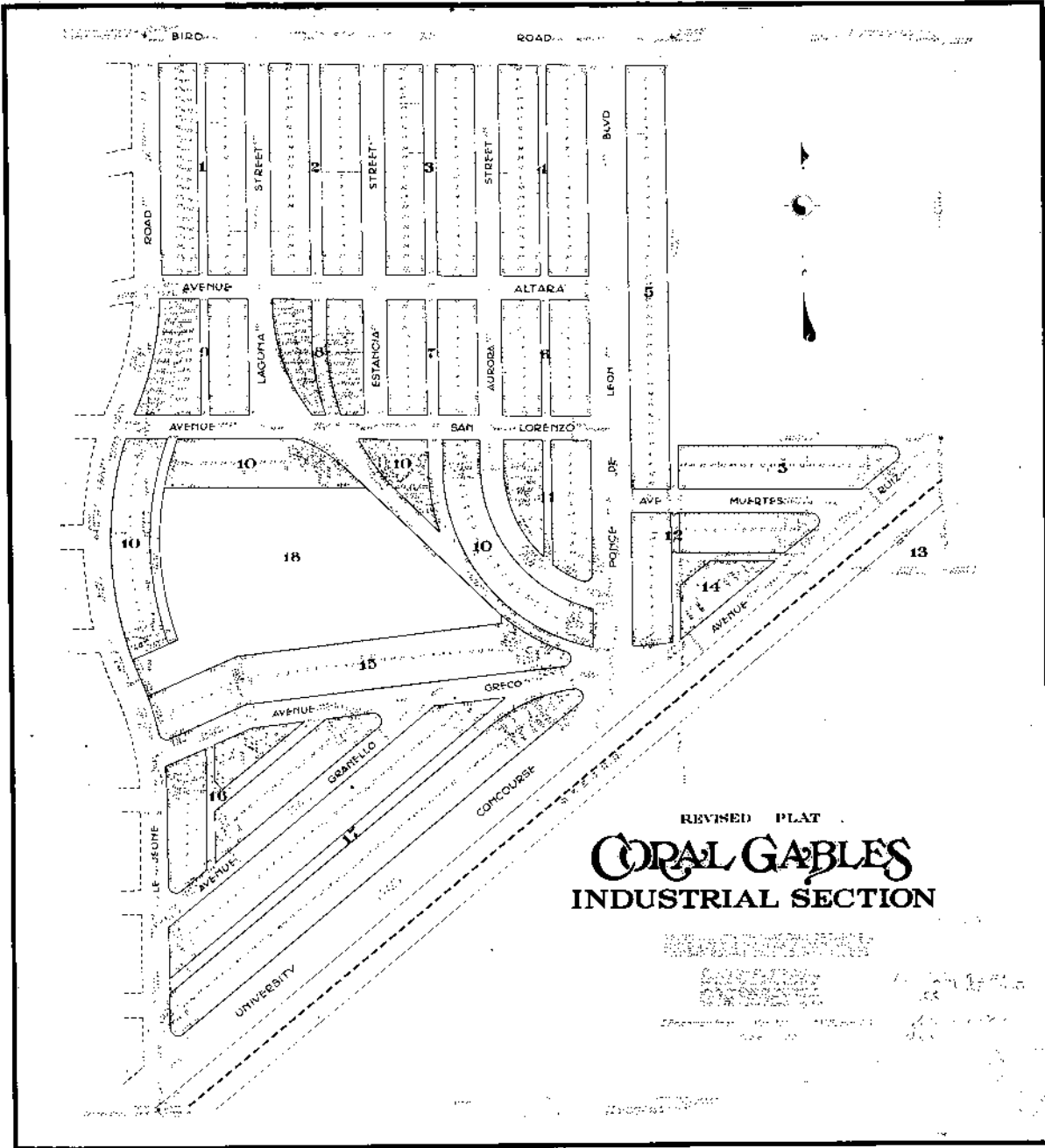
  
JIM CASON  
MAYOR

ATTEST:

  
WALTER J. FOEMAN  
CITY CLERK

APPROVED AS TO FORM  
AND LEGAL SUFFICIENCY:

  
CRAIG E. LEEN  
CITY ATTORNEY

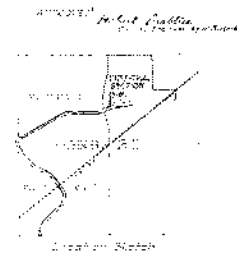


See Ord. Book 2733 Page 25  
for a Resolution Concerning  
This Plat  
E. P. Shelton, Secy.  
By: D. C. Ford, S.C.

Edmund Shelton  
S. C.

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E. P. Shelton  
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May 5, 2023

**VIA ELECTRONIC SUBMISSION**

Ms. Jennifer Garcia  
City Planner  
Planning Department  
City of Coral Gables  
427 Biltmore Way, 2<sup>nd</sup> Floor  
Coral Gables, Florida 33134

**Re: The Avenue- 351 San Lorenzo Avenue, Coral Gables, Florida/ Planning and Zoning Board Application/ Statement of Use**

Dear Ms. Garcia:

On behalf of San Lorenzo Property, LLC, (the “Applicant”), the owner of the property located at 351 San Lorenzo Avenue, Coral Gables, Florida, (the “Property”), we respectfully submit this Statement of Use along with the enclosed Planning and Zoning Board application. The proposed project is requesting conditional use approval for remote parking, transfer of development rights as a receiving site, and City Commission approval for access from the primary frontage.

**Background**

The Property is approximately 11,000 square feet in area and is located East of LeJeune Road at the Northwest corner of the intersection of San Lorenzo Avenue and Laguna Street, directly across from the Shops at Merrick Park. There is currently a one-story modular structure on the Property, constructed circa 2016, which was used as a sales office for a previously approved project on the Property.

The Applicant is proposing a new hotel and residences development tentatively named “The Avenue”, which will consist of 54 units/hotel keys and 3,861 square feet of first-floor retail and restaurant space in a beautifully designed, Mediterranean-style structure, located within the Design and Innovation Overlay District, (the “Project”). The Project will provide visitors to the City and residents with the opportunity to live, stay, work, shop, dine, and play all within walking distance.

The Avenue is a unique development in the heart of the Merrick Park neighborhood and will activate this area and provide a pedestrian-friendly urban environment, bringing together the activities of overnight accommodations and daily living, and reducing dependence on vehicular mobility. This vibrant area of the City is lacking a much needed hotel use at present. The Project will improve the public realm and activate the streets with street level amenities, retail and restaurants, and design elements contributing to the pedestrian experience. The Project is

compatible with the surrounding neighborhood and with the City’s vision for redevelopment within the Design and Innovation District and will comply with the Zoning Code requirements for overnight accommodations per Section 3-415.

### **Land Use and Zoning**

Pursuant to the City’s Future Land Use Map (“FLUM”), the Property has a land use designation of Industrial. See, Figure 1 below. Additionally, the Property is zoned MX2 and located within the Design and Innovation Overlay District (“DIO”). See, Figure 2 below.



*Figure 1*



*Figure 2*

The Project is consistent with both the Mixed-Use District regulations of the Comprehensive Plan and the Zoning Code of the City of Coral Gables (“City”), which permits overnight accommodations as a permitted use for the Property.

### **Conditional Use for Remote Off-Street Parking**

In order to preserve the beautiful architectural design of The Avenue and to not overwhelm the Property with structured podium parking within the Project, the Applicant is proposing pursuant to Section 10-109(B) of the Zoning Code to use remote off-street parking to meet the Project’s off-street parking requirements. The Project is designed with 100 percent remote parking and, as a result, has a considerably lower scale than the maximum permitted. Valet parking will be operated 24 hours/seven days a week and the valet station will be located within the internal driveway of the Project’s footprint, not utilizing City rights-of-way. To satisfy the parking requirement for the Project, the Applicant has secured the required amount of parking within the allotment of City parking spaces at the Shops at Merrick Park parking garage, which is located less than 1,000 feet from the Project. Both the Project and the remote off-street parking spaces are within the Design and Innovation District. Pursuant to Section 10-109(b)(2)(f), the Applicant is requesting a Conditional Use approval for the use of this remote off-street parking for the new construction of the Project.

According to Section 14-203.8 of the Zoning Code, a conditional use must comply with the following standards:

- A. The proposed conditional use is consistent with and furthers the goals, policies and objectives of the Comprehensive Plan and furthers the purposes of these regulations and other City ordinances and actions designed to implement the Plan.

**Applicant's Response:** Policy MOB-3.1.3. of the Comprehensive Plan states

Adopt by 2009, a payment in lieu of parking system allowing the development community to reduce parking requirements where alternative transportation or existing parking supply can support new development. Rigid adherence to development of excessive additional parking supply can only exacerbate roadway capacity limitations

The conditional use will allow the reduction of parking requirements because the existing parking supply at Merrick Park can support new development. This will eliminate the potential for excessive additional parking supply that can only exacerbate roadway capacity limitations.

- B. The available use to which the property may be put is appropriate to the property that is subject to the proposed conditional use and compatible with existing and planned uses in the area.

**Applicant's Response:** The Project is appropriate and compatible in both use and scale to surrounding development and is consistent with the intent and goals of the DIO.

- C. The proposed conditional use does not conflict with the needs and character of the neighborhood and the City.

**Applicant's Response:** The neighborhood has sufficient parking within Merrick Park. The conditional use seeks to utilize some of the parking but in doing so it will not negatively affect the parking availability for the neighborhood or the City at large.

- D. The proposed conditional use will not adversely or unreasonably affect the use of other property in the area.

**Applicant's Response:** The remote parking arrangement will not cause a parking shortage within Merrick Park.

- E. The proposed use is compatible with the nature, condition and development of adjacent uses, buildings and structures and will not adversely affect the adjacent uses, buildings or structures.

**Applicant's Response:** The proposed use is compatible with the adjacent use of Merrick Park as it is one of the largest shopping centers in the City that lacks a nearby hotel.

- F. The parcel proposed for development is adequate in size and shape to accommodate all development features.

**Applicant's Response:** The parcel is adequate in size for the mixed-use development. The remote parking will allow for a considerably lower scale development than the maximum permitted.

- G. The nature of the proposed development is not detrimental to the health, safety and general welfare of the community.

**Applicant's Response:** The new uses will be an asset to the neighborhood. It will provide a hotel use and additional retail space.

- H. The design of the proposed driveways, circulation patterns and parking is well defined to promote vehicular and pedestrian circulation.

**Applicant's Response:** The design is maximized to eliminate circulation issues with existing traffic patterns and pedestrians.

- I. The proposed conditional use satisfies the concurrency standards of Section 14-218. and will not adversely burden public facilities, including the traffic-carrying capacities of streets, in an unreasonable or disproportionate manner.

**Applicant's Response:** The remote parking will not burden the traffic carrying capacities of the surrounding streets which already have traffic flow from the Shops at Merrick Park.

### **Transfer of Development Rights ("TDRs")**

Pursuant to Section 14-204.5, the Applicant is requesting to receive TDRs, as the receiving site is within the boundaries of the Design and Innovation District and designated mixed-use zoning. The Applicant is requesting an increase of up to 25% of permitted gross FAR to 4.375 which will increase the Project's floor area by 9,625 square feet for a total of 48,073.64 square feet. The Applicant is in the process of purchasing its TDRs from a historic property owner.

Section 14-204.6(4) states that the use of TDRs must satisfy all of the following:

- a. Applicable site plan review requirements per Section 14-202., General Development Review Procedures and conditional use review requirements per Section 14-203, Conditional Uses.

**Applicant's Response:** The Project has been reviewed by the Development Review Committee, and approved by the Board of Architects and Board of Adjustment. See Section 14-203 analysis above.

- b. The extent to which the application is consistent with the Zoning Code and City Code otherwise applicable to the subject property or properties, including density, bulk, size, area and use, and the reasons why such departures are determined to be in the public interest.

**Applicant's Response:** The Project is consistent with the Zoning Code and the City Code.

- c. The physical design of the proposed site plan and the manner in which the design makes use of adequate provisions for public services, provides adequate control over vehicular traffic, provides for and protects designated common open areas, and furthers the amenities of light and air, recreation and visual enjoyment.

**Applicant's Response:** The Project is a mixed-use development that reduces scale by providing off-site parking at an existing location. The Project was designed to maximize the pedestrian experience and minimize vehicular traffic.

- d. The conformity of the proposal with the Goals, Objectives and Policies of the City's Comprehensive Plan.

**Applicant's Response:** See Comprehensive Plan Analysis attached as Exhibit "A".

### **Driveway Access from Front Street**

The Project is requesting City Commission approval for ingress from Laguna Street. Requiring both ingress and egress to be off the alley can lead to congestion and suboptimal service. The proposed driveway provides for an efficient and elegant arrival experience.

### **Mediterranean Bonus**

The Applicant is seeking additional bonuses for FAR based on The Project's Mediterranean design, which complies with the requirements of the City's Mediterranean Design Ordinance.

The Project's design is inspired by some of the most cherished buildings in the City such as The Fink Studio, The Biltmore, City Hall and the San Sebastian Apartments. The Avenue's showcase corner at the intersection of San Lorenzo and Laguna Street takes inspiration from The Fink Studio's main entry with its stone detailing and luxury architectural elements. City Hall's Biltmore Way pergola design is incorporated as a crown on the roof of the Project to create an elegant landmark at this corner in both day and night, when it will be illuminated. The windows and balconies are designed in Mediterranean style respecting the details found in The Biltmore Hotel, and the base of the building is reminiscent of European hotels and buildings. All of these Mediterranean architectural elements create this beautifully designed structure, which will add to the City Beautiful's Mediterranean heritage. The Board of Architects approved the Mediterranean Design bonuses for the project on February 9, 2023.

In summary, the Project (1) provides substantial additional public benefit in the form of a new high-quality hotel with residences, ground floor retail and an upscale restaurant; (2) provides for an improved public realm; and (3) uses a variety of architectural features to promote Mediterranean architectural attributes, including variations in bulk and massing, and urban design amenities.

Thank you for your consideration of these requests. This Project will result in a major advancement for the Merrick Park neighborhood by finally bringing a much-needed hotel to this area of the City. We look forward to working with you on this promising Project.

Sincerely,



Mario Garcia-Serra



## Exhibit A

### Comprehensive Plan Analysis

**Goal FLU-1.** *Protect, strengthen, and enhance the City of Coral Gables as a vibrant community ensuring that its neighborhoods, business opportunities, shopping, employment centers, cultural activities, historic value, desirable housing, open spaces, and natural resources make the City a very desirable place to work, live, and play.*

The Project includes 54 units/hotel keys and 3,861 square feet of first-floor retail to be located near existing shopping, employment centers, and in close proximity to mass transit and will greatly enhance the mix of uses in the DIO.

**Objective FLU-1.2.** *Efforts shall continue to be made to control blighting influences, and redevelopment shall continue to be encouraged in areas experiencing deterioration.*

The Project will provide a new mixed-use building where an unutilized parcel exists in front of one of the City's most prominent shopping areas.

**Objective FLU-1.7.2.** *The City shall continue to enforce the Mediterranean architectural provisions by providing incentives for infill and redevelopment that address, at a minimum, the impact on the following issues:*

- *Surrounding land use compatibility*
- *Historic resources*
- *Neighborhood identity*
- *Public facilities including roadways*
- *Intensity/density of the use*
- *Access and parking*
- *Landscaping and buffering*

The Project avails itself of Mediterranean architectural design, providing architectural elements on all building facades as well as architectural elements at street level and on the top of the building. The Project is an ideal infill project that makes use of an unused property close to one of the City's prominent streets, Le Jeune Road, providing a mixed-use building in the architectural tradition of Coral Gables.

**Goal DES-1.** *Maintain the City as a livable city, attractive in its setting and dynamic in its urban character.*

The addition of a new mixed-use building at this location is in keeping with the livability of the area and adds a new dynamism that is presently lacking. One of the most visited areas of the City will now have a hotel.

**Objective DES-1.1.** *Preserve and promote high quality, creative design and site planning that is compatible with the City's architectural heritage, surrounding development, public spaces and open spaces.*

The addition of a new mixed-use building at this location is in keeping with the livability of the area and adds a new dynamism that is presently lacking.

**Objective DES-1.1.** *Preserve and promote high quality, creative design and site planning that is compatible with the City's architectural heritage, surrounding development, public spaces and open spaces.*

The Project's site plan provides high-quality residential and hotel units, with access to retail within the building and the surrounding area as well as improvements to the public realm.

**Policy DES-1.2.1.** *Continue the award of development bonuses and/or other incentives to promote Coral Gables Mediterranean design character providing for but not limited to the following: creative use of architecture to promote public realm improvements and pedestrian amenities; provide a visual linkage between contemporary architecture and the existing and new architectural fabric; encourage landmark opportunities; and creation of public open spaces.*

The Project is an example of high-quality, creative design and site planning compatible with the City's architectural heritage. The Project's design provides avails itself of the Coral Gables Mediterranean Design bonuses and was very well received by the City's Board of Architects.

**Objective DES-1.2.** *Preserve the Coral Gables Mediterranean design and architecture.*

The Project's design is inspired by some of the most cherished buildings in the City such as The Fink Studio, The Biltmore, City Hall and the San Sebastian Apartments. The Project's showcase corner at the intersection of San Lorenzo and Laguna Street takes inspiration from The Fink Studio's main entry with its stone detailing and luxury architectural elements. City Hall's Biltmore Way pergola design is incorporated as a crown on the roof of the Project to create an elegant landmark at this corner in both day and night, when it will be illuminated. The windows and balconies are designed in Mediterranean style respecting the details found in The Biltmore Hotel, and the base of the building is reminiscent of European hotels and buildings. All of these Mediterranean architectural elements create this beautifully designed structure, which will add to the City Beautiful's Mediterranean heritage.

**Objective DES-1.3.** *Encourage high quality signage that is attractive, appropriately located and scaled, and balances visibility with aesthetic needs.*

The Project contains a high quality and attractive sign that is appropriately located on Laguna Street.

**Policy MOB-1.1.2.** *Encourage land use decisions that encourage infill, redevelopment, and reuse of vacant or underutilized parcels that support walking, bicycling, and public transit use.*

The Project efficiently redevelops an unutilized parcel into a new mixed-use building. This redevelopment provides greater housing and hotel use and retail opportunities in close proximity to transit, employment centers, parks, and schools.

October 6, 2022

Ms. Melissa Mojarena De Zayas, P.E.  
Senior Transportation Engineer  
City of Coral Gables  
Public Works Department  
2800 SW 72 Ave  
Miami, Florida 33155  
305.460.5128  
[mdezayas@coralgables.com](mailto:mdezayas@coralgables.com)

**RE: The Avenue Trip Generation - #22216**

Dear Melissa,

David Plummer & Associates has been retained by San Lorenzo Property, LLC to perform a trip generation analysis for the proposed The Avenue development. Contact information for the developer is as follows:

Mr. Oscar Roger  
San Lorenzo Property, LLC  
782 NW 42 Avenue, Suite 550  
Miami, FL 33126  
(305) 448-4091  
[oroger@rogerdevelopment.com](mailto:oroger@rogerdevelopment.com)

The proposed The Avenue development project is located at 351 San Lorenzo Avenue in Coral Gables, Florida. The project is proposing to replace a 2,100 SF office building with a mixed-use development consisting of 54 dwelling units and 3,861 SF of retail space. Pedestrian access to the site will be provided via the lobby and retail entrances located along Laguna Street and San Lorenzo Avenue. Vehicular access to the site will be provided via a one-way inbound driveway located on Laguna Street. The project is offering full valet services for the residential and retail uses. The valet will park at the adjacent Shops at Merrick Park parking garage. The proposed site plan is provided in Attachment A.

Trip generation calculations for the proposed development were performed using the *Institute of Transportation Engineers' (ITE) Trip Generation Manual*, 11<sup>th</sup> Edition. ITE Land Use Code (LUC) 221 (Multifamily Housing – Mid Rise) and LUC 822 (Strip Retail Plaza – <40k) were utilized for the proposed trip generation. ITE LUC 712 (Small Office Building) was utilized for the existing trip generation.

The proposed development plan incorporates residential and retail land uses, which can satisfy the work trip and retail needs for some residents, employees, and visitors without making a trip off-site. An internalization matrix was developed to establish the appropriate number of internal project trips. ITE research shows that a certain percent of retail trips are “*pass-by*” trips. These are described as trips “attracted from the traffic passing the site on an adjacent street.” These are not new trips, but trips already using the existing roadway network that stop at the proposed use and go back to their original path. Pass-by trips for this use were established based on guidelines provided in ITE’s *Trip Generation Handbook*, 3<sup>rd</sup> Edition.

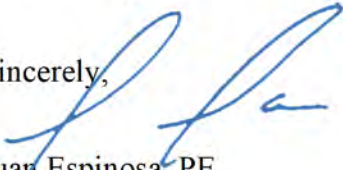
Based on U.S. Census Bureau data (tract 74.03), a 6.9% deduction was applied for other modes of transportation. A trip generation summary is provided in Table 1. Detailed trip generation calculations are provided in Attachment B.

Table 1: Trip Generation Summary			
Development Plan	Total Weekday	A.M. Peak Hour	P.M. Peak Hour
Existing	30	4	5
Proposed	604	28	30
ΔTrips	574	24	25

As shown in Table 1, the results of the trip generation analysis indicate that the proposed development represents an increase of 574 daily, 24 AM peak hour trips, and 25 PM peak hour trips when compared to the existing development. Since the project will generate less than 50 net new (two-way) vehicle trips during the AM and PM peak hours, we are requesting that the project be exempt from conducting a Traffic Impact Study.

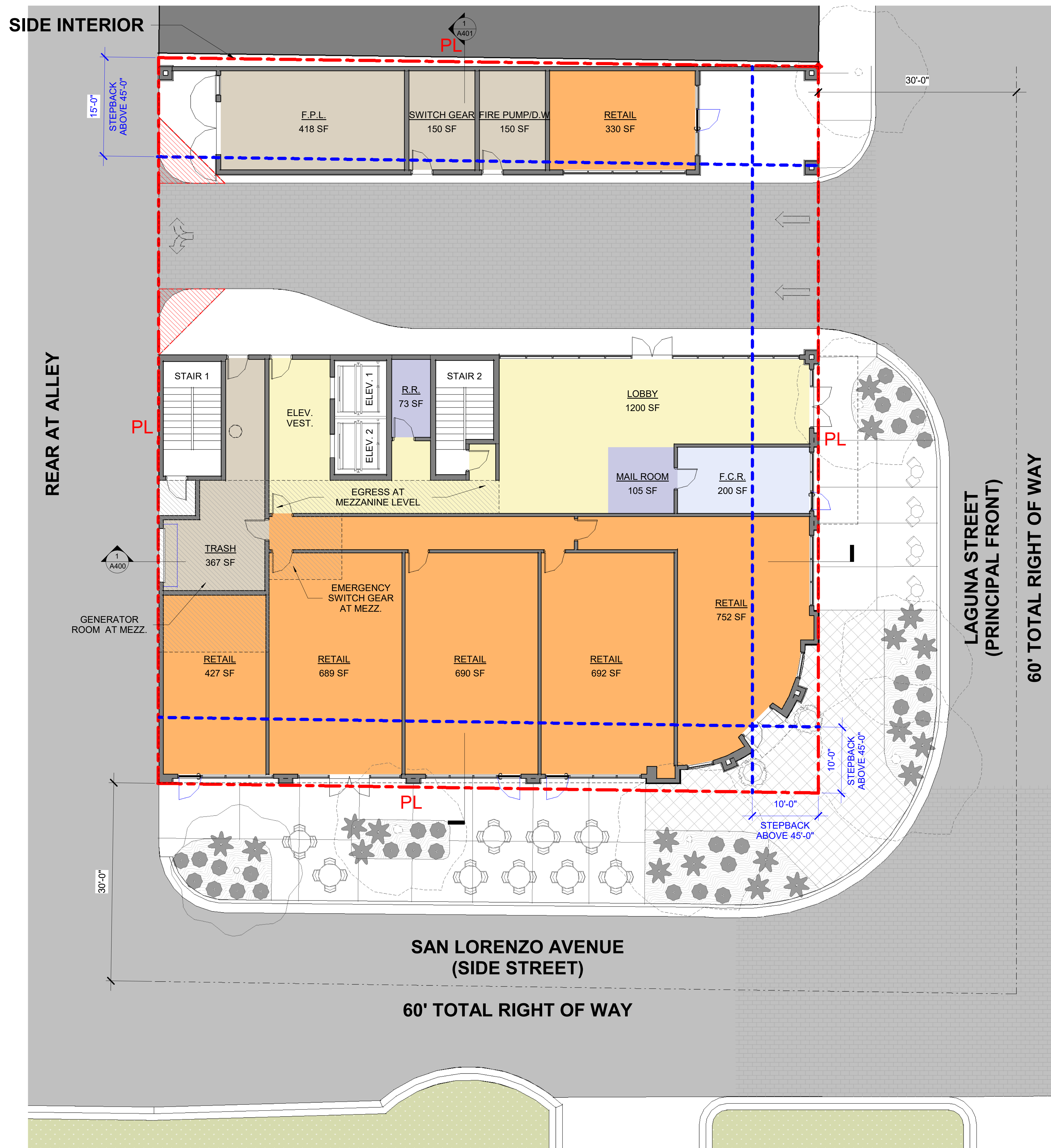
We stand ready to provide any support needed for this project. Should you have any questions or comments, please call me at (305) 447-0900.

Sincerely,

  
Juan Espinosa, PE

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# **Attachment A**



FAR - TABLE	
UNIT TYPE	FAR
<b>LEVEL 1</b>	
RETAIL	3,861 SF
	3,861 SF
<b>LEVEL 2</b>	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
<b>LEVEL 3</b>	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
<b>LEVEL 4</b>	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF

FAR - TABLE	
UNIT TYPE	FAR
<b>LEVEL 5</b>	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
<b>LEVEL 6</b>	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
<b>LEVEL 7</b>	
1 BED. DEN	2,733 SF
1 BEDROOM	3,811 SF
B.O.H.	102 SF
CORRIDOR	689 SF
	7,334 SF
ROOF DECK	
ELECT.	49 SF
MECH	50 SF
R.R.	106 SF
	205 SF
<b>TOTAL</b>	<b>48,072 SF</b>

MAX. ALLOW FAR = 48,073.64 SF



ARCHITECT:  
**Bermello Ajamil & Partners**  
4711 South LeJeune Road,  
Coral Gables, FL 33146  
P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
9150 South Dadeland Blvd., Suite 900  
Miami, Florida 33156  
305.370.0141

CIVIL ENGINEER:  
**Graef-USA Inc.**  
9400 South Dadeland Boulevard  
Suite 601, Miami, FL, 33156  
305-378-5555

STRUCTURAL ENGINEER:  
**Bliss & Nyitray, Inc.**  
5835 Blue Lagoon Drive, Suite 400  
Miami, Florida 33126  
305-442-7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
7995 SW 170th Street  
Palmetto, Bay FL 33157  
561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
782 NW 42nd Avenue, Suite 550  
Miami, Florida 33126

**BA Project Name**  
351 SAN LORENZO AVE, CORAL  
GABLES, FL, 33146

PHASE:  
DRC

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:

REVISIONS:		
No.	DESCRIPTION	DATE:

TITLE:  
**THE AVENUE**

Project No: BA Project Number  
Date: 2022.10.07  
Scale: 1/8" = 1'-0"  
Format: 24" x 36"  
Drawn: Author  
Checked: Checker

SHEET:  
**A001**



# **Attachment B**

**Scenario - 1**

Scenario Name: Proposed

User Group:

Dev. phase: 1

No. of Years to Project 0

Traffic :

Warning: The time periods among the land uses do not appear to match.

**VEHICLE TRIPS BEFORE REDUCTION**

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry	Exit	Total
					Rate/Equation	Split%	Split%	
221 - Multifamily Housing (Mid-Rise) - Not Close to Rail Transit Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	Dwelling Units	54	Weekday	Best Fit (LIN) $T = 4.77(X) - 46.46$	106 50%	106 50%	212
221(1) - Multifamily Housing (Mid-Rise) - Not Close to Rail Transit Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	Dwelling Units	54	Weekday, Peak Hour of Adjacent	Average 0.37	5 23%	15 77%	20
221(2) - Multifamily Housing (Mid-Rise) - Not Close to Rail Transit Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	Dwelling Units	54	Weekday, Peak Hour of Adjacent	Best Fit (LIN) $T = 0.39(X) + 0.34$	13 61%	8 39%	21
822 - Strip Retail Plaza (<40k) Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GLA	3.86	Weekday	Best Fit (LIN) $T = 42.20(X) + 229.68$	196 50%	196 50%	392
822(1) - Strip Retail Plaza (<40k) Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GLA	3.86	Weekday, Peak Hour of Adjacent	Average 2.36	5 60%	4 40%	9
822(2) - Strip Retail Plaza (<40k) Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GLA	3.86	Weekday, Peak Hour of Adjacent Street Traffic, One	Best Fit (LOG) $\ln(T) = 0.71\ln(X) + 2.72$	20 50%	20 50%	40

**Scenario - 2**

Scenario Name: Existing

User Group:

Dev. phase: 1

No. of Years to Project 0

Traffic :

Warning: The time periods among the land uses do not appear to match.

**VEHICLE TRIPS BEFORE REDUCTION**

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry	Exit	Total
					Rate/Equation	Split%	Split%	
712 - Small Office Building Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GFA	2.1	Weekday	Average 14.39	15 50%	15 50%	30
712(1) - Small Office Building Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GFA	2.1	Weekday, Peak Hour of Adjacent	Average 1.67	3 82%	1 18%	4
712(2) - Small Office Building Data Source: Trip Generation Manual, 11th Ed	General Urban/Suburban	1000 Sq. Ft. GFA	2.1	Weekday, Peak Hour of Adjacent	Average 2.16	2 34%	3 66%	5

## The Avenue Proposed

Proposed ITE Land Use Designation <sup>1</sup>	Number of Units	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
			In	Out	Total	In	Out	Total
Multifamily Housing (Mid-Rise) <i>Land Use Code: 221</i>	54 DU	212	5	15	20	13	8	21
Strip Retail Plaza (<40k) <i>Land Use Code: 822</i>	3,861 SF	392	5	4	9	20	20	40
<b>Total Gross Trips</b>		<b>604</b>	<b>10</b>	<b>19</b>	<b>29</b>	<b>33</b>	<b>28</b>	<b>61</b>
Internalization <sup>2</sup>		AM 0.0%	0	0	0	-7	-7	-14
		PM 23.0%						
Passby Retail (PM) <sup>3</sup>		45.0%	0	0	0	-7	-7	-14
Other Modes of Transportation <sup>4</sup>		6.9%	0	-1	-1	-2	-1	-3
<b>Net Proposed Trips</b>			<b>10</b>	<b>18</b>	<b>28</b>	<b>17</b>	<b>13</b>	<b>30</b>

<sup>1</sup> Based on ITE Trip Generation Manual, 11<sup>th</sup> Edition.

<sup>2</sup> Based on ITE Trip Generation Handbook, 3<sup>rd</sup> Edition.

<sup>3</sup> Based on two ITE studies the average pass-by rate for shopping centers <40k SF is 66%, a 45% reduction was used for a more conservative analysis.

<sup>4</sup> Based on US census data for census tract 74.03 and local characteristics.

## Existing

Existing ITE Land Use Designation <sup>1</sup>	Number of Units	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
			In	Out	Total	In	Out	Total
Small Office Building <i>Land Use Code: 712</i>	2,100 SF	30	3	1	4	2	3	5
<b>Total Gross Trips</b>		<b>30</b>	<b>3</b>	<b>1</b>	<b>4</b>	<b>2</b>	<b>3</b>	<b>5</b>
Other Modes of Transportation <sup>2</sup>		6.9%	0	0	0	0	0	0
<b>Net Existing Trips</b>			<b>3</b>	<b>1</b>	<b>4</b>	<b>2</b>	<b>3</b>	<b>5</b>

<sup>1</sup> Based on ITE Trip Generation Manual, 11<sup>th</sup> Edition.

<sup>2</sup> Based on US census data for census tract 74.03 and local characteristics.

## Trip Difference

	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
		In	Out	Total	In	Out	Total
<b>Proposed</b>	<b>604</b>	<b>10</b>	<b>18</b>	<b>28</b>	<b>17</b>	<b>13</b>	<b>30</b>
<b>Existing</b>	<b>30</b>	<b>3</b>	<b>1</b>	<b>4</b>	<b>2</b>	<b>3</b>	<b>5</b>
<b>Difference</b>	<b>574</b>	<b>7</b>	<b>17</b>	<b>24</b>	<b>15</b>	<b>10</b>	<b>25</b>

## AM Peak Hour Trip Generation and Internalization

*The Avenue*

Multifamily Housing Land Use 221 54 Units		Strip Retail Plaza Land Use 822 3,861 SF		
In	Out	In	Out	
5	15	5	4	29 ITE Trips
<b>UNBALANCED INTERNALIZATION</b>				
2% 0	1% 0	17% 1	14% 1	
0	0	0	0	
Multifamily Housing		Strip Retail Plaza		
In	Out	In	Out	
5	15	5	4	29 Vehicle Trips
<b>BALANCED INTERNALIZATION</b>				
0	0	0	0	
0	0	0	0	
5	15	5	4	0 Internal
	0.0%		0.0%	29 External Trips
5	15	5	4	0.0% % Internal
0	-1	0	0	0 -45% Passby
5	15	5	4	<b>29</b>
0	-1	0	0	-1 -6.9% Transit/Pedestrian
5	14	5	4	<b>28 Net New External Trips</b>

## PM Peak Hour Trip Generation and Internalization

*The Avenue*

Multifamily Housing Land Use 221 54 Units		Strip Retail Plaza Land Use 822 3,861 SF		
In	Out	In	Out	
13	8	20	20	61 ITE Trips
<b>UNBALANCED INTERNALIZATION</b>				
46% 6	42% 3	10% 2	26% 5	
	<u>2</u>	<u>2</u>		
	5			
Multifamily Housing		Strip Retail Plaza		
In	Out	In	Out	
13	8	20	20	61 Vehicle Trips
<b>BALANCED INTERNALIZATION</b>				
-5	-2	-2	-5	
	<u>-2</u>	<u>-2</u>		
			-5	
-5	-2	-2	-5	-14 Internal
8	6	18	15	47 External Trips
	33.3%		17.5%	23.0% % Internal
		-7	-7	-14 -45% Passby
<b>8</b>	<b>6</b>	<b>11</b>	<b>8</b>	<b>33</b>
-1	0	-1	-1	-3 -6.9% Transit/Pedestrian
7	6	10	7	<b>30 Net New External Trips</b>

# COMMUTING CHARACTERISTICS BY SEX



Note: This is a modified view of the original table produced by the U.S. Census Bureau. This download or printed version may have missing information from the original table.

Census Tract 74.03, Miami-Dade County, Florida			
Label	Total	Male	Female
Label	Estimate	Estimate	Estimate
✓ Workers 16 years and over	1,369	512	857
✓ MEANS OF TRANSPORTATION TO WORK			
✓ Car, truck, or van	61.4%	66.8%	58.2%
Drove alone	58.4%	58.8%	58.2%
✓ Carpooled	3.0%	8.0%	0.0%
In 2-person carpool	3.0%	8.0%	0.0%
In 3-person carpool	0.0%	0.0%	0.0%
In 4-or-more person carpool	0.0%	0.0%	0.0%
Workers per car, truck, or van	1.03	1.07	1.00
Public transportation (excluding taxicab)	2.9%	4.1%	2.2%
Walked	1.1%	0.0%	1.8%
Bicycle	2.9%	7.8%	0.0%
Taxicab, motorcycle, or other means	0.3%	0.8%	0.0%
Worked from home	31.3%	20.5%	37.8%
> PLACE OF WORK			
> Workers 16 years and over who did not work from home	940	407	533
> VEHICLES AVAILABLE			
> PERCENT ALLOCATED			

## Table Notes

---

# COMMUTING CHARACTERISTICS BY SEX

**Survey/Program:** American Community Survey

**Year:** 2020

**Estimates:** 5-Year

**Table ID:** S0801

Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, for 2020, the 2020 Census provides the official counts of the population and housing units for the nation, states, counties, cities, and towns. For 2016 to 2019, the Population Estimates Program provides estimates of the population for the nation, states, counties, cities, and towns and intercensal housing unit estimates for the nation, states, and counties.

Source: U.S. Census Bureau, 2016-2020 American Community Survey 5-Year Estimates

When information is missing or inconsistent, the Census Bureau logically assigns an acceptable value using the response to a related question or questions. If a logical assignment is not possible, data are filled using a statistical process called allocation, which uses a similar individual or household to provide a donor value. The "Allocated" section is the number of respondents who received an allocated value for a particular subject.

2019 ACS data products include updates to several categories of the existing means of transportation question. For more information, see: [Change to Means of Transportation](#).

Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.

The 12 selected states are Connecticut, Maine, Massachusetts, Michigan, Minnesota, New Hampshire, New Jersey, New York, Pennsylvania, Rhode Island, Vermont, and Wisconsin.

Workers include members of the Armed Forces and civilians who were at work last week.

The 2016-2020 American Community Survey (ACS) data generally reflect the September 2018 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances, the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineation lists due to differences in the effective dates of the geographic entities.

Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.

Explanation of Symbols:

-

The estimate could not be computed because there were an insufficient number of sample observations. For a ratio of medians estimate, one or both of the median estimates falls in the lowest interval or highest interval of an open-ended distribution.

N

The estimate or margin of error cannot be displayed because there were an insufficient number of sample cases in the selected geographic area.

(X)

The estimate or margin of error is not applicable or not available.

median-

The median falls in the lowest interval of an open-ended distribution (for example "2,500-")

median+

The median falls in the highest interval of an open-ended distribution (for example "250,000+").

\*\*

The margin of error could not be computed because there were an insufficient number of sample observations.

\*\*\*

The margin of error could not be computed because the median falls in the lowest interval or highest interval of an open-ended distribution.

\*\*\*\*\*

A margin of error is not appropriate because the corresponding estimate is controlled to an independent population or housing estimate. Effectively, the corresponding estimate has no sampling error and the margin of error may be treated as zero.

Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.

Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.



# OFFICE OF THE PROPERTY APPRAISER

## Summary Report

Generated On : 10/4/2022

Property Information	
Folio:	03-4120-017-1570
Property Address:	351 SAN LORENZO AVE Coral Gables, FL 33146-1822
Owner	SAN LORENZO PROPERTY LLC
Mailing Address	782 NW 42 AVE SUITE #550 MIAMI, FL 33126 USA
PA Primary Zone	7100 INDUSTRIAL - LIGHT MFG
Primary Land Use	1713 OFFICE BUILDING - ONE STORY : OFFICE BUILDING
Beds / Baths / Half	0 / 0 / 0
Floors	1
Living Units	0
Actual Area	2,100 Sq.Ft
Living Area	2,100 Sq.Ft
Adjusted Area	2,100 Sq.Ft
Lot Size	11,000 Sq.Ft
Year Built	2016



Assessment Information			
Year	2022	2021	2020
Land Value	\$2,420,000	\$2,420,000	\$2,420,000
Building Value	\$346,500	\$346,500	\$346,500
XF Value	\$0	\$0	\$0
Market Value	\$2,766,500	\$2,766,500	\$2,766,500
Assessed Value	\$2,766,500	\$2,766,500	\$2,766,500

Benefits Information				
Benefit	Type	2022	2021	2020
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description	
CORAL GABLES INDUSTRIAL SEC PB 28-22 LOTS 8 THRU 11 BLK 9 LOT SIZE 11000 SQ FT M/L OR 19518-3167 0201 6(3)	

Taxable Value Information			
	2022	2021	2020
<b>County</b>			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,766,500	\$2,766,500	\$2,766,500
<b>School Board</b>			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,766,500	\$2,766,500	\$2,766,500
<b>City</b>			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,766,500	\$2,766,500	\$2,766,500
<b>Regional</b>			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,766,500	\$2,766,500	\$2,766,500

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
05/26/2022	\$5,100,000	33224-3430	Qual by exam of deed
05/20/2015	\$2,400,000	29648-2534	Qual on DOS, multi-parcel sale
02/01/2001	\$2,695,000	19518-3167	Other disqualified
03/01/1997	\$410,000	17572-2250	Deeds that include more than one parcel

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:



This instrument prepared by:

Ricardo L. Fraga  
Greenberg Traurig, P.A., 44<sup>th</sup> Floor  
333 Avenue of the Americas  
Miami, FL 33131

Tax Folio No. 03-4120-017-1570

### SPECIAL WARRANTY DEED

**THIS SPECIAL WARRANTY DEED** is made and entered into as of the 26 day of May, 2022 by **LAGUNA MERRICK, LLC, a Florida limited liability company** (the "Grantor"), whose mailing address is 782 NW 42nd Avenue, Suite 550, Miami, Florida 33126 to **San Lorenzo Property, LLC, a Florida limited liability company** (the "Grantee"), whose mailing address is 782 NW 42nd Avenue, Suite 550, Miami, Florida 33126. Wherever used herein, the terms "Grantor" and "Grantee" shall include all of the parties to this instrument and their successors and assigns.

#### WITNESSETH:

**GRANTOR**, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration paid by Grantee, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained and sold, and by these presents does grant, bargain, alien, remise, transfer, release, convey, confirm and sell, to Grantee, and Grantee's heirs, successors and assigns forever, the following property located in Miami-Dade County, Florida (the "**Property**"), more particularly described in Exhibit "A" attached hereto and made part hereof.

**THIS CONVEYANCE is subject to:** (a) taxes and assessments for the year 2022 and subsequent years; and (b) easements, conditions, restrictions, matters, limitations and reservations of public record, if any, but this reference shall not operate to reimpose same.

**TOGETHER WITH** all the tenements, hereditaments, easements and appurtenances thereunto belonging or in anywise appertaining to the Property.

**TO HAVE AND TO HOLD** unto Grantee and Grantee's heirs, successors and assigns in fee simple forever.

**GRANTOR** hereby covenants with said Grantee that Grantor is lawfully seized of the Property in fee simple; that Grantor has good right and lawful authority to sell and convey the Property; and that Grantor hereby fully warrants the title to the Property and will defend the same against the lawful claims of all persons whomsoever claiming by, through or under Grantor but against none other.

[Signature Page Follows]

IN WITNESS WHEREOF, Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

LAGUNA MERRICK, LLC a Florida limited liability company

By: LM MANAGER, LLC, a Florida limited liability company, its Manger

Print Name: Ricardo Fraga
Print Name: LEXIE L. PASLAY

By: Name: Oscar A. Roger Title: Manager

STATE OF FLORIDA )
) SS:
COUNTY OF MIAMI-DADE )

The foregoing instrument was acknowledged before me by means of [x] physical presence or [ ] online notarization, on this 20th day of May, 2022 by Oscar A. Roger, as the sole Manager of LM Manager, LLC, a Florida limited liability company, the sole manager of LAGUNA MERRICK, LLC, a Florida limited liability company (x) who is personally known to me OR ( ) who produced as identification.



Notary Signature
LEXIE L. PASLAY
Print Notary Name

NOTARY SEAL

## The Avenue

### General Lot Information

Municipality	City of Coral Gables
Zone	MX2
Overlay	Design & Innovation District
Property Address & Folio	351 San Lorenzo Avenue, Coral Gables 33146 - Lots 8 Through 11 of Block 9, Revised Plat of Coral Gables Industrial Section, According to the Plot thereof, as Recorded in Plat Book 28 page 22 of Folio No. 03-4120-017-1570
Lot Area	10,988.26 SF (0.25 +/- Acres)
FEMA Zone	Zone X
Architecture	Coral Gables Mediterranean Architecture

Lot Occupation	Required / Allowed	Provided	
Building Site Area Minimum	10,000 sf	10,988.26 SF (0.25 +/- Acres)	
Building Site Width Minimum	100 ft	108.5 ft	
Ground Coverage Minimum	N/A	N/A	

Density	Required / Allowed	Provided	Remarks
Density	N/A	N/A	Section 2-406. Design & Innovation District Overlay
Unit Size Minimum	N/A	N/A	
Floor Area Ratio (FAR)	3	32,964.78 sf	
FAR Med. Bonus II	3.5	38,458.91 sf	
FAR with TDR	4.375 *	48,073.64 sf (10,988.26 sf x 4.375 FAR)	MX2 (3.0) + Med Bonus II (+0.5) + TDR (25%) = 4.375

Building Setbacks / Stepbacks	Required / Allowed	Provided	Remarks
Principal Front	0'-0" Setback at Ground Level 10'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 7'-4" Stepback Above 45'-0"	Variances will be requested for the proposed stepbacks
Side Interior	0'-0" Setback at Ground Level 15'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 6'-7" Stepback Above 45'-0"	
Side Street	0'-0" Setback at Ground Level 10'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 7'-5" Stepback Above 45'-0"	
Rear at Alley	0'-0" Setback at Ground Level 0'-0" Stepback Above 45'-0"	0'-0" Setback at Ground Level 0'-0" Stepback Above 45'-0"	Section 2-406. Design & Innovation District Overlay

Building Height	Required / Allowed	Provided	
Principal Building	70'-0" height	-	
Med. Bonus II	8 stories / 97'-0" height	7 stories/ 83'-0" height (T.O. Roof Slab)	

Uses	Required / Allowed	Provided	Remarks
Retail	8% Min. / 40% Max. of FAR	3,861 sf (8%)	C.G. Comprehensive Plan Table FLU-4. Mixed-Use land use.
Overnight Accommodations	0% Min. / 85% Max. of FAR	40,599 sf (84.5%)	
Residential	0% Min. / 85% Max. of FAR	3,612 sf (7.5%)	1 Res. Unit per Level "Location of residential units is subject to change."

Parking	Required / Allowed	Provided	Remarks
Overnight Accommodations	54 parking spaces (1 1/8 ps x 48 units) 1 parking space per unit	Parking provided Offsite	*70 off-site parking spaces requested The 70 parking spaces is BA recommended number of parking spaces based on our experience with the number of keys and the retail sf as proposed
Retail	13 parking spaces (3,861 sf/ 300 x 1 ps) 1 parking space per 300 sf		
Total Parking	67 Parking Spaces		

Bicycle Storage	Required / Allowed	Provided	Remarks
Residential - Bicycle Parking Space	12 parking spaces (48 units/ 4 x 1 ps) 1 parking space per 4 units	12 spaces	Section 10-110. Amount of required parking.
Retail - Bicycle Parking Space	0 parking spaces (1 ps x 20,000 sf)		

Loading Spaces	Required / Allowed	Provided	
	NA	-	

Open Space	Required / Allowed	Provided	
	1,099 sf (10% of Site Area) (10,988.26 x 0.1)	1,342 sf (12%)	

Project will comply with the public benefit contribution requirements of Section 10-109 of the Zoning Code.



ARCHITECT:  
**Bermello Ajamil & Partners**  
4711 South LeJeune Road,  
Coral Gables, FL 33146  
P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
9150 South Dadeland Blvd., Suite 900  
Miami, Florida 33156  
305.670.0141

CIVIL ENGINEER:  
**Graef-USA Inc.**  
9400 South Dadeland Boulevard  
Suite 601, Miami, FL, 33156  
305-378-5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
5838 Blue Lagoon Dr, Suite 400  
Miami, FL 33126  
P: 305.442.7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
7995 SW 170th Street  
Palmetto, Bay FL 33157  
561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
782 NW 42nd Avenue, Suite 550  
Miami, Florida 33126

THE AVENUE  
351 SAN LORENZO AVE, CORAL  
GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:

05/05/2023

Agustin J. Barrera  
LIC# AR94201

REVISIONS:

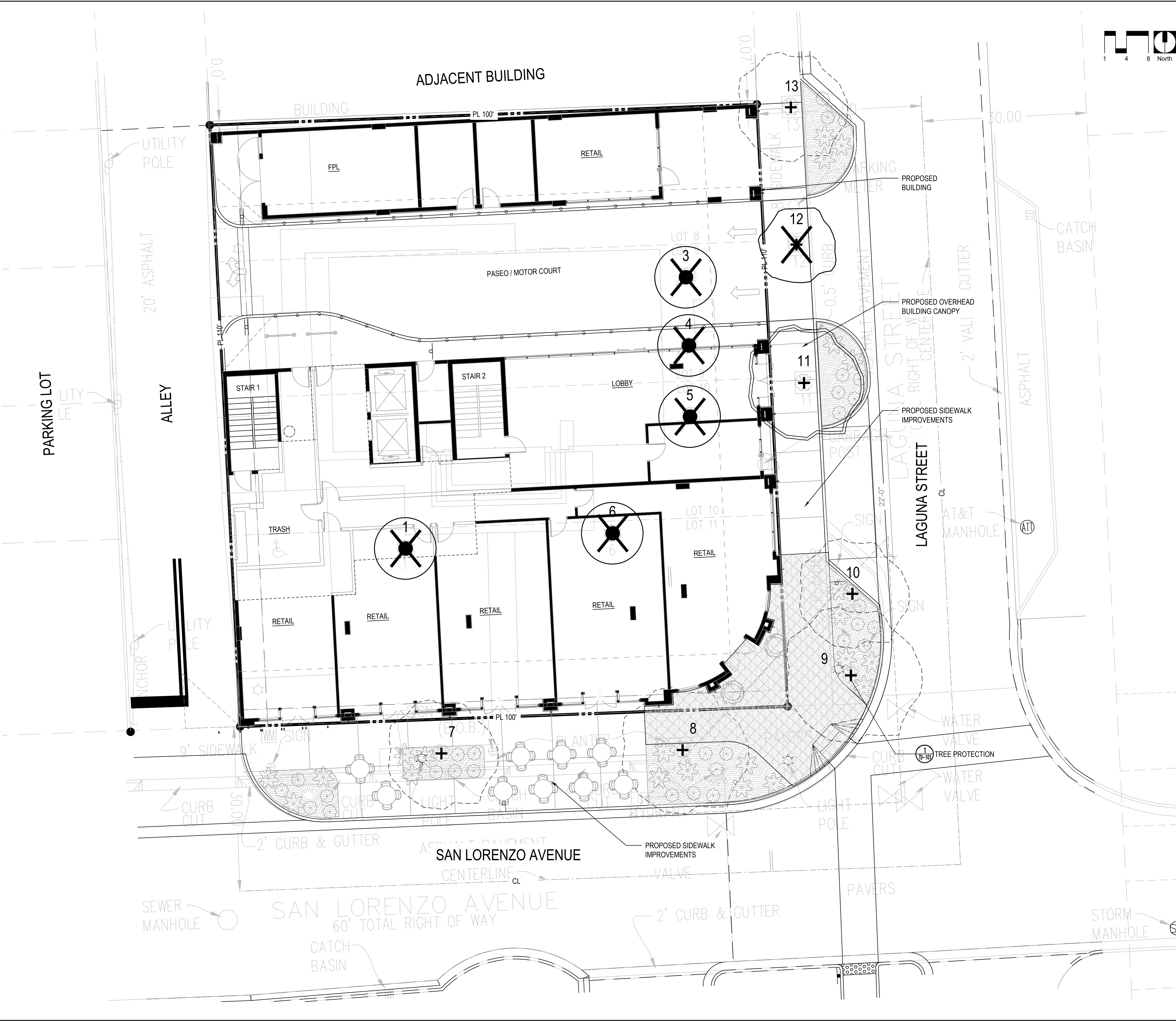
No.:	DESCRIPTION	DATE:

TITLE:

ZONING INFO

Project No: The Avenue  
Date: 2023.02.23  
Scale: 12" = 1'-0"  
Format: 24" x 36"  
Drawn:  
Checked:  
SHEET:

**G002**



**STANDARD DRAWING SYMBOLS**

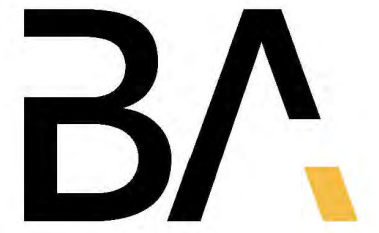
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	<b>SECTION DETAIL REFERENCE</b> Detail Number Sheet Number
	<b>GENERAL DETAIL REFERENCE</b> Detail Number Sheet Number
	<b>PLAN ENLARGEMENT REFERENCE</b> Detail Number Sheet Number
	<b>DETAIL ENLARGEMENT REFERENCE</b> Detail Number Sheet Number
	<b>MATCHLINE</b>
	<b>FINISH REFERENCE</b> See Finish Schedule Letter = Furnishing Number = Material
	<b>PLANT TAG</b> Quantity Symbol
	<b>EXISTING CONTOUR</b>
	<b>PROPOSED CONTOUR</b>
	<b>STORMWATER FLOW DIRECTION</b>
	<b>SPOT ELEVATION</b>
	<b>COORDINATE REFERENCE</b>

**MATERIALS LEGEND**

	MERRICK PARK STANDARD PAVERS		ASPHALT
	PASEO / MOTOR COURT PAVERS		PLANTING ZONES
	CITY OF CORAL GABLES STANDARD CONCRETE COLOR		

**TREE DISPOSITION LEGEND:**

DISPOSITION	REMAIN	REMOVE	RELOCATE
TREE			
PALM			
MULTI TRUNK PALM			



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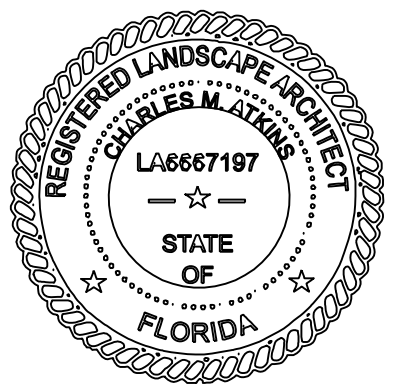
**OWNER:**  
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782 NW 42nd Avenue, Suite 550  
Miami, Florida 33126

**THE AVENUE**  
351 SAN LORENZO AVE, CORAL GABLES, FL, 33146

**PHASE:**  
**PLANNING & ZONING BOARD**

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**SEAL:**



<b>REVISIONS:</b>		
No.:	DESCRIPTION	DATE:

**TITLE:**  
**TREE DISPOSITION PLAN**

Project No: The Avenue  
Date: 2023.05.05  
Scale: 1/8" = 1'-0"  
Format: 30" x 42"  
Drawn: Author  
Checked: Checker

TD-100

**Tree Disposition List**

Trees / Palms to Remain		DBH (inches)	Latin Name	Common Name	Height (feet)	Spread (feet)	Location	Disposition	Mitigation Required (Y/N)
1	20		<i>Roystonea regia</i>	Royal Palm	40	15	LOT	REMOVE	Y
2	-	-	-	-	-	-	-	-	-
3	20		<i>Caryota mitis</i>	Fishtail Palm	30	15	LOT	REMOVE	Y
4	20		<i>Caryota mitis</i>	Fishtail Palm	30	15	LOT	REMOVE	Y
5	20		<i>Caryota mitis</i>	Fishtail Palm	30	15	LOT	REMOVE	Y
6	20		<i>Roystonea regia</i>	Royal Palm	40	15	LOT	REMOVE	Y
7	9		<i>Bucida buceras</i>	Shady Lady	20	20	ROW	REMAIN	N
8	9		<i>Bucida buceras</i>	Shady Lady	20	20	ROW	REMAIN	N
9	10		<i>Quercus virginiana</i>	Live Oak	25	20	ROW	REMAIN	N
10	10		<i>Quercus virginiana</i>	Live Oak	25	20	ROW	REMAIN	N
11	10		<i>Quercus virginiana</i>	Live Oak	25	20	ROW	RELOCATE	N
12	10		<i>Quercus virginiana</i>	Live Oak	25	20	ROW	REMAIN	N
12	10		<i>Quercus virginiana</i>	Live Oak	25	20	ROW	REMAIN	N

**Tree Removal and Relocation Summary / Replacement Requirements**

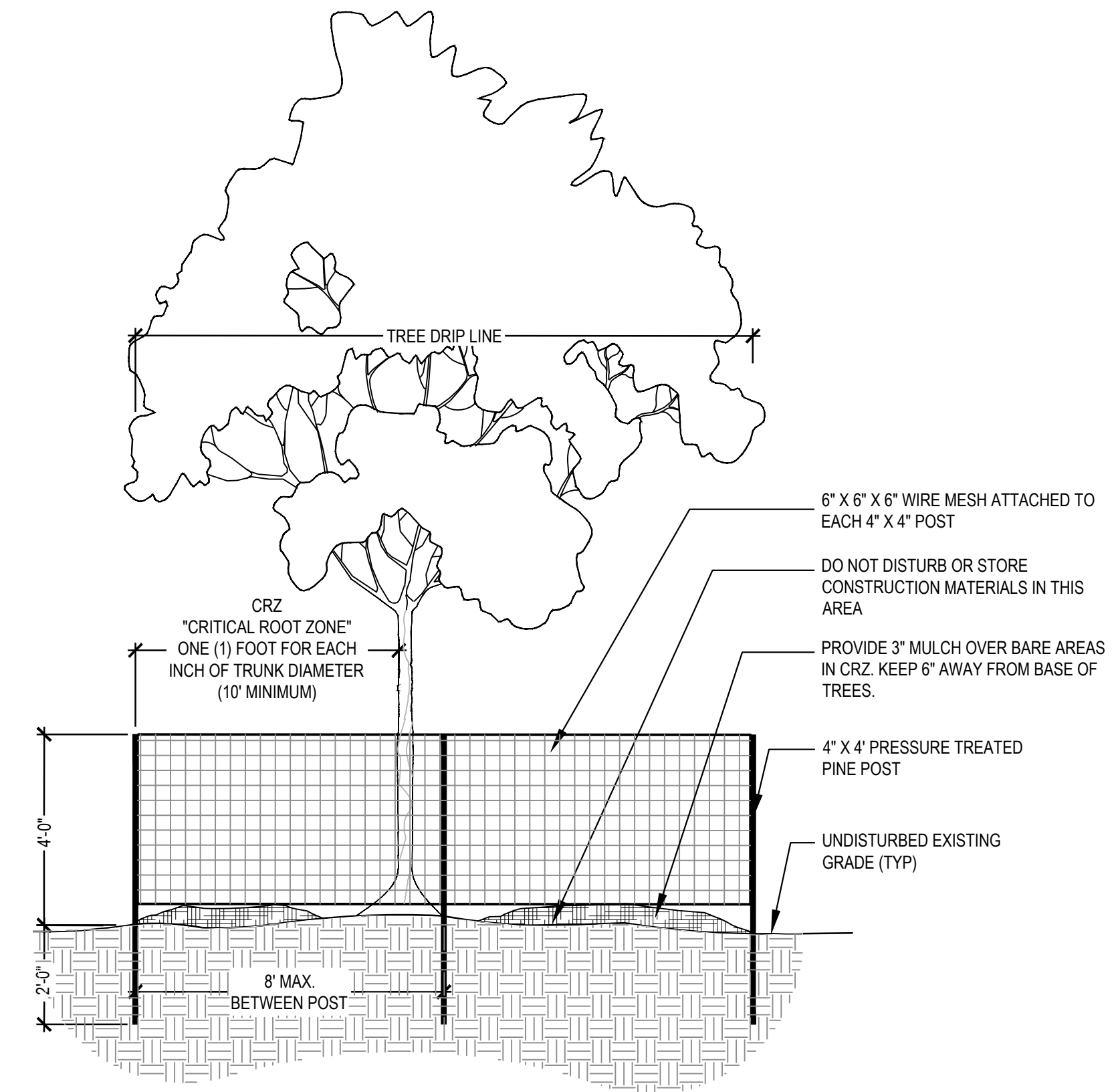
DBH- diameter at breast height, in inches  
 CT- clear trunk, measured to frond heart, in feet  
 CD- canopy diameter, in square/feet

Total regular trees and palms CD to be removed requiring replacement (sq/ft):	884
Total specimen CD to be removed requiring replacement (sq/ft):	0
Total CD to be relocated (sq/ft):	0
Total CD to be replaced (sq/ft):	0
Total proposed CD (sq/ft):	0
Total remaining CD to replace (sq/ft):	0

**Tree Disposition Canopy Replacement Worksheet**

Project: San Lorenzo - Coral Gables  
 Date: 6-Oct-22

<b>Total SF canopy removed:</b>				884		
<b>Replacement SF required:</b>				884		
Canopy and Palm Trees: REMOVED REQUIRING REPLACEMENT				Canopy Dia. (CD) (ft)	Canopy Removed CD (sq ft)	
ID No.	Latin Name	Common Name	DBH (in)			
1	<i>Roystonea regia</i>	Royal Palm	20	15	177	
3	<i>Caryota mitis</i>	Fishtail Palm	20	15	177	
4	<i>Caryota mitis</i>	Fishtail Palm	20	15	177	
5	<i>Caryota mitis</i>	Fishtail Palm	20	15	177	
6	<i>Roystonea regia</i>	Royal Palm	20	15	177	
<b>Total SF specimen canopy removed:</b>				0		
<b>Replacement SF required:</b>				0		
Canopy Trees: SPECIMENS REMOVED REQUIRING REPLACEMENT				Canopy Dia. (CD) (ft)	Canopy Removed CD (sq ft)	Specimen Multiplier (x2)
ID No.	Latin Name	Common Name	DBH (in)			
-	-	-	-	0	0	
<b>Total SF invasive canopy removed:</b>				0		
<b>Replacement SF required:</b>				0		
Canopy Trees: REMOVED INVASIVE				Canopy Dia. (CD) (ft)	Canopy Removed CD (sq ft)	
ID No.	Latin Name	Common Name	DBH (in)			
-	-	-	-	-	-	
<b>Total SF canopy relocated:</b>				0		
<b>Replacement SF required:</b>				0		
Canopy Trees: RELOCATED REQUIRING REPLACEMENT				Canopy Dia. (CD) (ft)	Canopy Removed CD (sq ft)	
ID No.	Latin Name	Common Name	DBH (in)			
-	-	-	-	0	0	
<b>Total SF canopy relocated:</b>				0		
<b>Replacement SF required:</b>				0		
Palm Trees: RELOCATED REQUIRING REPLACEMENT				Canopy Dia. (CD) (ft)	Canopy Removed CD (sq ft)	
ID No.	Latin Name	Common Name	DBH (in)			
-	-	-	-	0	0	



**NOTE:**

1. THE TREE PROTECTION BARRICADE SHALL BE AT LEAST FOUR (4) FEET HIGH. THE BARRIER SHALL BE 6" X 6" X 6" WIRE MESH. WOOD POST SHALL BE INSTALLED AT 8' O.C. THE BARRICADE SHALL BE AT LEAST ONE FOOT IN DIAMETER FOR EACH INCH OF TRUNK DIAMETER. LOCATE FENCING AT THE EDGE OF THE CRZ, OR AGAINST PAVEMENT EDGES AS PER DISPOSITION PLAN.
2. TREES LESS THAN 10" DBH. THE MINIMUM BARRICADE SHALL BE PLACED AT LEAST SIX (6) FEET AWAY FROM THE BASE OF THE TREE.
3. HAND WORK ONLY WITHIN TREE BARRICADES
4. TREE BARRICADE APPROVAL- OBTAIN CITY / COUNTY APPROVAL OF TREE BARRICADES BEFORE BEGINNING CLEARING OPERATIONS OR ANY SITE DEVELOPMENT.

1 TREE PROTECTION DETAIL N.T.S.



ARCHITECT:  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
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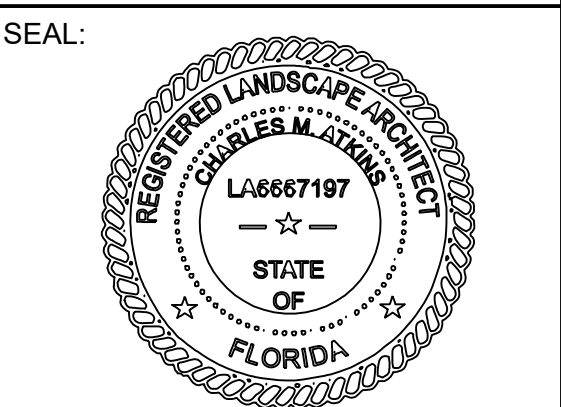
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 Palmetto, Bay FL 33157  
 561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
 782 NW 42nd Avenue, Suite 550  
 Miami, Florida 33126

**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL  
 GABLES, FL, 33146

PHASE:  
**PLANNING & ZONING BOARD**

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers



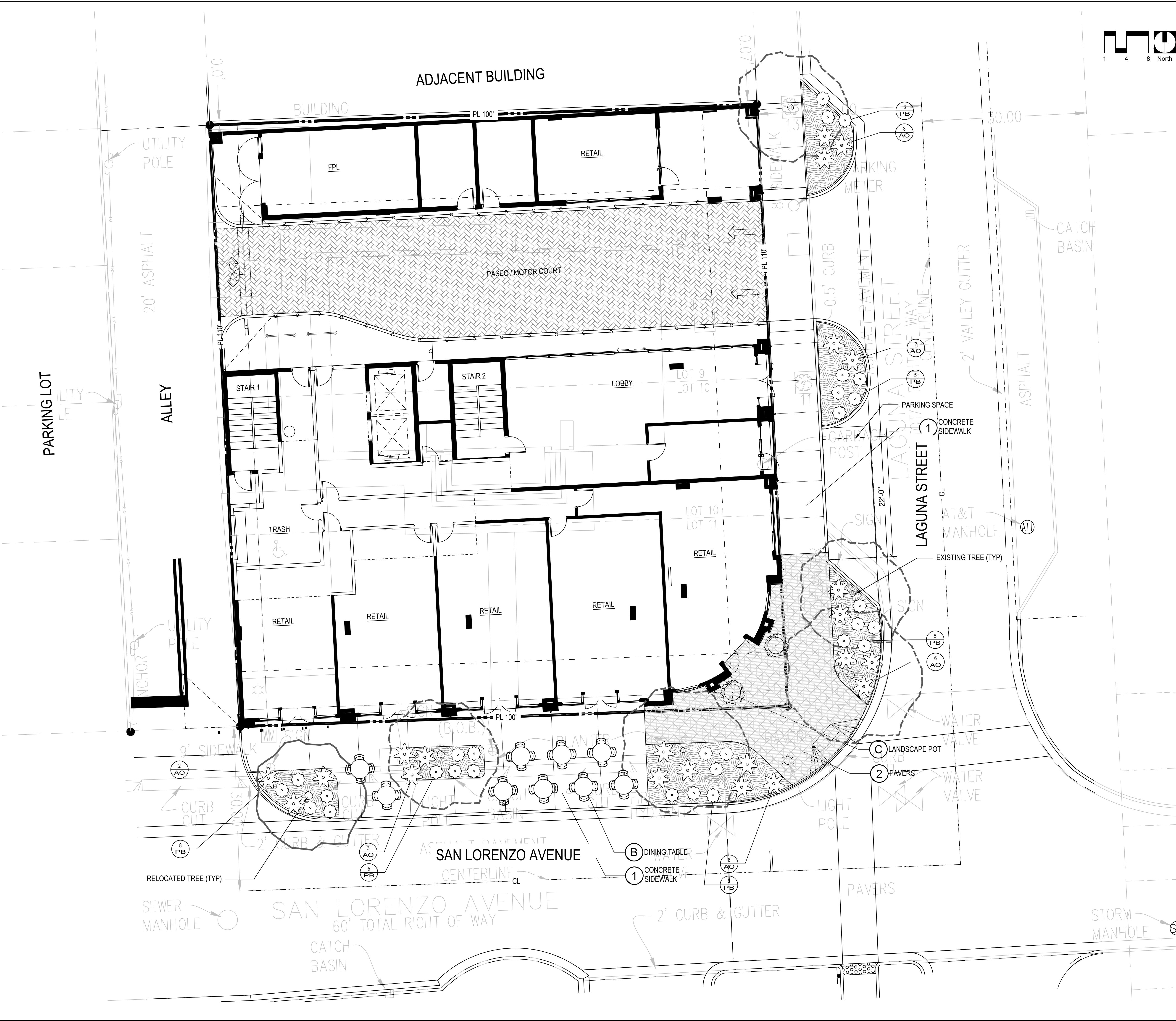
REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:  
**TREE DISPOSITION LIST & PROTECTION DETAIL**

Project No: The Avenue  
 Date: 2023.05.05  
 Scale: 1/8" = 1'-0"  
 Format: 30" x 42"  
 Drawn: Author  
 Checked: Checker

SHEET:  
**TD-101**



**STANDARD DRAWING SYMBOLS**

	<b>ELEVATION DETAIL REFERENCE</b> Detail Number Sheet Number
	<b>SECTION DETAIL REFERENCE</b> Detail Number Sheet Number
	<b>GENERAL DETAIL REFERENCE</b> Detail Number Sheet Number
	<b>PLAN ENLARGEMENT REFERENCE</b> Detail Number Sheet Number
	<b>DETAIL ENLARGEMENT REFERENCE</b> Detail Number Sheet Number
	<b>MATCHLINE</b>
	<b>FINISH REFERENCE</b> See Finish Schedule Letter = Furnishing Number = Material
	<b>PLANT TAG</b> Quantity Symbol
	<b>EXISTING CONTOUR</b>
	<b>PROPOSED CONTOUR</b>
	<b>STORMWATER FLOW DIRECTION</b>
	<b>SPOT ELEVATION</b>
	<b>COORDINATE REFERENCE</b>

**MATERIALS LEGEND**

	MERRICK PARK STANDARD PAVERS		ASPHALT
	PASEO / MOTOR COURT PAVERS		PLANTING ZONES
	CITY OF CORAL GABLES STANDARD CONCRETE COLOR		

**TREE DISPOSITION LEGEND:**

DISPOSITION	REMAIN	REMOVE	RELOCATE
TREE			
PALM			
MULTI TRUNK PALM			

**ARCHITECT:**  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

**MEP ENGINEER:**  
**Louis J. Aguirre & Associates, P.A**  
 9150 South Dadeland Blvd., Suite 900  
 Miami, Florida 33156  
 305.670.0141

**CIVIL ENGINEER:**  
**Graef-USA Inc.**  
 9400 South Dadeland Boulevard  
 Suite 601, Miami, FL, 33156  
 305-378-5555

**STRUCTURAL ENGINEER:**  
**Bliss & Nyitray, Inc**  
 5835 Blue Lagoon Drive, Suite 400  
 Miami, Florida 33126  
 305-442-7086

**LANDSCAPE ARCHITECT:**  
**Greenspacestrategies Inc.**  
 7995 SW 170th Street  
 Palmetto, Bay FL 33157  
 561-460-8499

**OWNER:**  
**San Lorenzo Property, LLC**  
 782 NW 42nd Avenue, Suite 550  
 Miami, Florida 33126

**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL GABLES, FL, 33146

**PHASE:**  
**PLANNING & ZONING BOARD**

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**SEAL:**

**REVISIONS:**

No.:	DESCRIPTION	DATE:

**TITLE:**  
**GROUND LEVEL LANDSCAPE PLAN**

Project No: The Avenue  
 Date: 2023.05.05  
 Scale: 1/8" = 1'-0"  
 Format: 30" x 42"  
 Drawn: Author  
 Checked: Checker

**SHEET:**  
**L-100**

MINIMUM LANDSCAPE REQUIREMENTS:  
 - THE LANDSCAPE OPEN SPACE FOR BUILDING SITES SHALL BE PROVIDED AS FOLLOWS:  
 - ALL BUILDING SITES SHALL PROVIDE LANDSCAPED OPEN SPACE OF NOT LESS THAN FORTY (40%) PERCENT OF THE AREA OF THE BUILDING SITE.

REQUIRED:  
 PROVIDED:

- AT LEAST TWENTY (20%) PERCENT OF THE REQUIRED FORTY (40%) PERCENT OF LANDSCAPE OPEN SPACE SHALL BE LOCATED IN THE FRONT YARD AREA.

REQUIRED: 0.000  
 PROVIDED: 0.000

INSTALLATION OF ALL OF THE FOLLOWING:  
 - LARGE SHADE TREE ONE (1) LARGE SHADE TREE FOR EACH FIVE-THOUSAND (5,000) SQUARE FEET OR FRACTION THEREOF OF TOTAL LAND AREA

REQUIRED: 13,399 / 5,000 = 3  
 PROVIDED: 3 LARGE SHADE TREES

- PALM AND MEDIUM SHADE TREES: TWO (2) PALM OR MEDIUM SHADE TREES FOR EACH FIVE-THOUSAND (5,000) SQUARE FEET OR FRACTION THEREOF OF TOTAL LAND AREA

REQUIRED: 13,399 / 5,000 = 3  
 PROVIDED: 3 MEDIUM SHADE TREES

- SHRUBS: FIFTEEN (15) SHRUBS FOR EACH FIVE-THOUSAND (5,000) SQUARE FEET OR FRACTION THEREOF OF TOTAL LAND AREA

REQUIRED: 13,399 / 5,000 = 3 X 15 = 41 SHRUBS  
 PROVIDED: 91 SHRUBS

- LAWN GRASS: LAWN GRASS UP TO A MAXIMUM OF SIXTY (60%) PERCENT OF THE TOTAL LOT AREA, AND LAWN GRASS IN R.O.W. ALL UNPAVED SURFACES ADJOINING THE PROPERTY ON THE R.O.W. SHALL BE SODDED.

REQUIRED: 13,399 X .6 = 8,039 SF OF SOD  
 PROVIDED: 3,176

- A MINIMUM OF TWO (2) TREES AND SIXTY-SIX (66%) PERCENT OF THE REQUIRED SHRUB QUANTITY SHALL BE IN FRONT OF THE RESIDENCE.

PROVIDED: 2 TREES AND 27 SHRUBS

FINISH / MATERIALS SCHEDULE		
SYM	ITEM	SPECIFICATIONS
①	GROUND LEVEL CONCRETE SIDEWALK	TYPE: POURED CONCRETE COLOR: TBD FINISH: TROWEL / BROOM FINISH SOURCE: TBD
②	GROUND LEVEL PAVER	TYPE: PEDESTRIAN CONCRETE PAVERS COLOR: TBD FINISH: SIZE VARIES SOURCE: TBD
A	CAFE TABLE & CHAIRS	TYPE: TBD COLOR: TBD FINISH: TBD SOURCE: TBD
B	DINING TABLE & CHAIRS	TYPE: TBD COLOR: TBD FINISH: TBD SOURCE: TBD
C	LANDSCAPE POTS	TYPE: TBD COLOR: TBD FINISH: TBD SOURCE: TBD
NOTE: CONTRACTOR MUST SUBMIT SAMPLES AND/OR OBTAIN SHOP DRAWING APPROVAL FOR ALL FINISH SCHEDULE ITEMS. FINISH SCHEDULE NUMBERS REPRESENT MATERIALS AND LETTERS REPRESENT FURNISHINGS.		

### Plant Materials Schedule

Trees and Palms											
Symbol	Qty	Latin Name	Common Name	Size	Category	Spacing	Native	Drought Tolerant	Replacement Medium Tree	Replacement Trees - Cat. 2	Canopy Diameter (CD)
BBU	0	<i>Bucida buceras</i>	Shady Lady	20' HT. X 20' SPD. MIN.	Large Shade Tree	AS SHOWN	Y	Y	-	-	-
<b>Shrubs &amp; Groundcovers</b>											
Symbol	Qty	Latin Name	Common Name	Size	Category	Spacing	Native	Drought Tolerant	Replacement Medium Tree	Replacement Trees - Cat. 2	Canopy Diameter (CD)
AO	22	<i>Alcantarea 'Odorata' Bromeliad</i>	Silver Bromeliad	7 GAL.		AS SHOWN	N	Y	-	-	-
PB	32	<i>Psychotria bahamensis</i>	Bahama Wild Coffee	7 GAL.		AS SHOWN	Y	Y	-	-	-
TA	100	<i>Trachelospermum asiaticum 'Minima'</i>	Asian Jasmin	1 GAL.		18"	N	Y	-	-	-
<b>Sod</b>											
Symbol	Qty (sf)	Latin Name	Common Name	Size	Category	Spacing	Native	Drought Tolerant	Replacement Medium Tree	Replacement Trees - Cat. 2	Canopy Diameter (CD)
-	-	-	-	-	-	-	-	-	-	-	-

### GENERAL NOTES

- SEE CIVIL ENGINEERING DRAWINGS FOR GENERAL GRADING OF THE SITE, INCLUDING FINISH GRADES FOR PARKING LOTS, ROADWAYS, SIDEWALKS, AND PLANTING AREAS.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT SITE PRIOR TO BIDDING THE WORK. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATION OF PROPOSED IMPROVEMENTS PRIOR TO INITIATING ANY CONSTRUCTION.
- LOCATION OF ALL UTILITIES AND BASE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES AND OBSTRUCTIONS PRIOR TO INITIATING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY DAMAGE TO EXISTING ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH, IN HIS OPINION, DO NOT MEET WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS.
- ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON-SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO START OF CONSTRUCTION AND/OR FABRICATION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES.
- THE CONTRACTOR SHALL COORDINATE ACCESS AND STAGING AREAS WITH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION, PROVIDE ADDITIONAL MEASURES AS NECESSARY TO MINIMIZE ADVERSE IMPACTS IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE. DURING THE COURSE OF THIS WORK, EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF WORK WITH OTHER TRADES AND THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HRS MINIMUM PRIOR TO DIGGING FOR FIELD VERIFICATION OF ALL UNDERGROUND UTILITIES.
- ALL EXISTING SITE ROADS, PARKING LOTS, CURBS, UTILITIES, SEWERS, AND OTHER ELEMENTS TO REMAIN SHALL BE FULLY PROTECTED FROM ANY DAMAGE UNLESS OTHERWISE NOTED.

### LANDSCAPE NOTES

- THE CONTRACTOR SHALL REVIEW ARCHITECTURE/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH SURFACE AND SUBSURFACE UTILITIES.
- THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
- ALL INSTALLATION OF PLANT MATERIAL SHALL COMPLY WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THIS WORK.
- PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. SUBMIT DATED PHOTOGRAPHS OF TREE MATERIAL AND SPECIMEN PLANT MATERIAL TO THE OWNER'S REPRESENTATIVE FOR REVIEW.
- ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. CONTAINER SIZE SHALL BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
- IF PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN, THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE CONTRACTOR TO REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED AND FOUND TO BE ACCEPTABLE.
- THE CONTRACTOR SHALL PROVIDE AN APPROVED PLANTING SOIL MIXTURE FOR ALL PLANT MATERIAL. SEE SPECIFICATIONS FOR REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS, AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF TREES OR SHRUBS SHALL BE DONE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS AS FOLLOWS:  
 A. WITH A SHOVEL OR POSTHOLE DIGGER, DIG HOLE 18" TO 24" DEEP. THE DIAMETER OF THE HOLE SHOULD BE UNIFORM FROM TOP TO BOTTOM WITH THE BOTTOM BEING FLAT.  
 B. FILL HOLE WITH WATER TO THE TOP AND LET STAND FOR AT LEAST AN HOUR TO PRE-WET THE SOIL.  
 C. REFILL HOLE TO WITHIN A COUPLE INCHES OF THE TOP. DON'T OVERFLOW THE HOLE.  
 D. ALLOW THE HOLE TO DRAIN FOR A MINIMUM OF ONE HOUR.  
 E. DETERMINE AVERAGE DROP IN WATER LEVEL PER HOUR. FOR WELL DRAINED SOIL, WATER LEVEL SHOULD DROP MORE THAN ONE (1) INCH PER HOUR. IF INADEQUATE VERTICAL DRAINAGE IS ENCOUNTERED, THE CONTRACTOR SHALL SUBMIT RECOMMENDATIONS FOR PROVIDING ADEQUATE DRAINAGE TO THE LANDSCAPE ARCHITECT.
- PEG SOD ON SLOPES GREATER THAN 3:1.  
 THE CONTRACTOR SHALL ENGAGE A QUALIFIED TREE SURGEON WHO HAS SUCCESSFULLY COMPLETED TREE PROTECTION AND TREE TRIMMING WITH FIVE YEARS OR MORE EXPERIENCE, TO PERFORM THE FOLLOWING WORK:  
 A. REMOVE BRANCHES FROM TREES THAT ARE TO REMAIN, IF REQUIRED, AS DIRECTED BY OWNER'S REPRESENTATIVE.  
 B. PERFORM INITIAL PRUNING OF BRANCHES AND STIMULATION OF ROOT GROWTH WHERE REMOVED TO ACCOMMODATE NEW CONSTRUCTION.  
 C. PERFORM TREE REPAIR WORK FOR DAMAGE INCURRED BY NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION SYSTEM FOR RELOCATED TREES.
- CONTRACTOR SHALL PROTECT EXISTING VEGETATION TO REMAIN AS SHOWN ON DRAWINGS OR BY MEANS APPROVED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR TO CLEAN, PRUNE, AND SHAPE EDGES OF EXISTING VEGETATION AS DIRECTED BY OWNER'S REPRESENTATIVE. CREATE SMOOTH BED LINES AROUND EXISTING VEGETATION.
- THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.
- CONTRACTOR SHALL FIELD-ADJUST LOCATION OF PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ALL PLANTING BEDS SHALL BE TOP-DRESSED WITH A 3" LAYER OF MULCH AS SPECIFIED. ALL TREES SHALL HAVE A 3" THICK, 24" RADIUS (FROM THE TRUNK) MULCH RING PLACED AROUND THE BASE OF THE TRUNK.
- SHRUB AND GROUND COVER BED QUANTITIES ARE INDICATED ON THE PLANT LIST. PLANT ACCENT SHRUBS AND TREES AS SHOWN ON THE LANDSCAPE PLANTING PLANS WHEN INDIVIDUAL PLANTS ARE DELINEATED.
- PALM HEIGHTS, AS INDICATED ON THE PLANS, REFER TO CLEAR TRUNK (C.T.), GRAY WOOD (G.W.), OR OVERALL HEIGHT (O.A.) AS SPECIFIED ON THE PLANT LIST.
- CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.
- CONTRACTOR SHALL REGRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
- CONTRACTOR SHALL REPLACE (BY EQUAL SIZE AND QUALITY) ANY AND ALL EXISTING PLANT MATERIAL DISTURBED OR DAMAGED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF SUBSTANTIAL COMPLETION. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, MULCHING, REPLACEMENTS OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL.
- UPON COMPLETION OF ALL LANDSCAPING, AN INSPECTION FOR SUBSTANTIAL COMPLETION OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- CONTRACTOR SHALL SUBMIT WRITTEN GUARANTEE OF SURVIVABILITY OF ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR MUST APPROVE ALL GRADED AREAS PRIOR TO THE COMMENCEMENT OF PLANTING.



ARCHITECT:  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A**  
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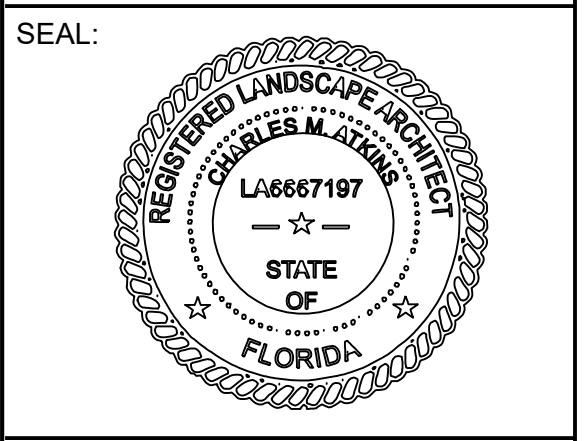
LANDSCAPE ARCHITECT:  
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PHASE:  
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REVISIONS:

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TITLE:  
**PLANT LIST & FINISH SCHEDULE**

Project No: The Avenue  
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**L-101**



rdr miami | public hearing notification services

certified lists of property owners within a specific radius + radius maps + mailing labels + mailouts + notice of public hearing site posting  
rdrmiami.com | diana@rdrmiami.com | 305.498.1614

March 6, 2023

City of Coral Gables  
405 Biltmore Way  
Coral Gables, Florida 33134

**Re: Property owners within 1,000 feet of:**

**SUBJECT:** 351 San Lorenzo Avenue, Coral Gables, FL 33146

**FOLIO NUMBER:** 03-4120-017-1570

This is to certify that the attached ownership list, map and mailing labels are a complete and accurate representation of the real estate property and property owners within 1,000 feet radius of the external boundaries of the subject property listed above, including the subject property. This reflects the most current records on file in the Miami-Dade County Property Appraisers' Office.

Per Section 15-102: Should the radius extend beyond the City limits, notice shall be mailed outside of the City limits only to addresses that are known by reference to the latest ad valorem tax record that are within a five hundred (500) foot radius of the property that is the subject of the application.

The MDCPS Office of the Superintendent, the Principal of the MDCPS physically located within the notice area, the District 6 School Board Member, the School Board Chair and Vice Chair have been added to the list and mailing labels as per City of Coral Gables Res. 2020-245, if applicable.

Per Ordinance 2023-02, Section 15-102: All required mail notice will be sent to the property address and the mailing address per the Miami-Dade County Property Appraisers website. If the address is the same for both, then only one notice must be sent.

Sincerely,

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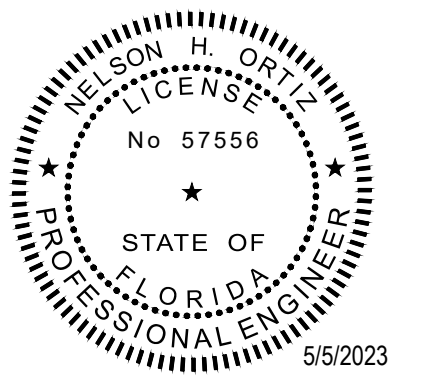
Diana B. Rio

Total number of property owners without repetition: **749, including 5 international\* \*\***

*\*Includes the MDCPS Office of the Superintendent, the Principal of the MDCPS physically located within the notice area, the District 6 School Board Member, the School Board Chair and Vice Chair have been added to the list and mailing labels as per City of Coral Gables Res. 2020-245.*

*\*\*No properties outside of the City of Coral Gables boundaries were found within a 500' radius.*





THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: PE-57556 NELSON H. ORTIZ (CIVIL)

PROJECT TITLE:

THE AVENUE

351 SAN LORENZO AVENUE,  
CORAL GABLES, FLORIDA, 33146

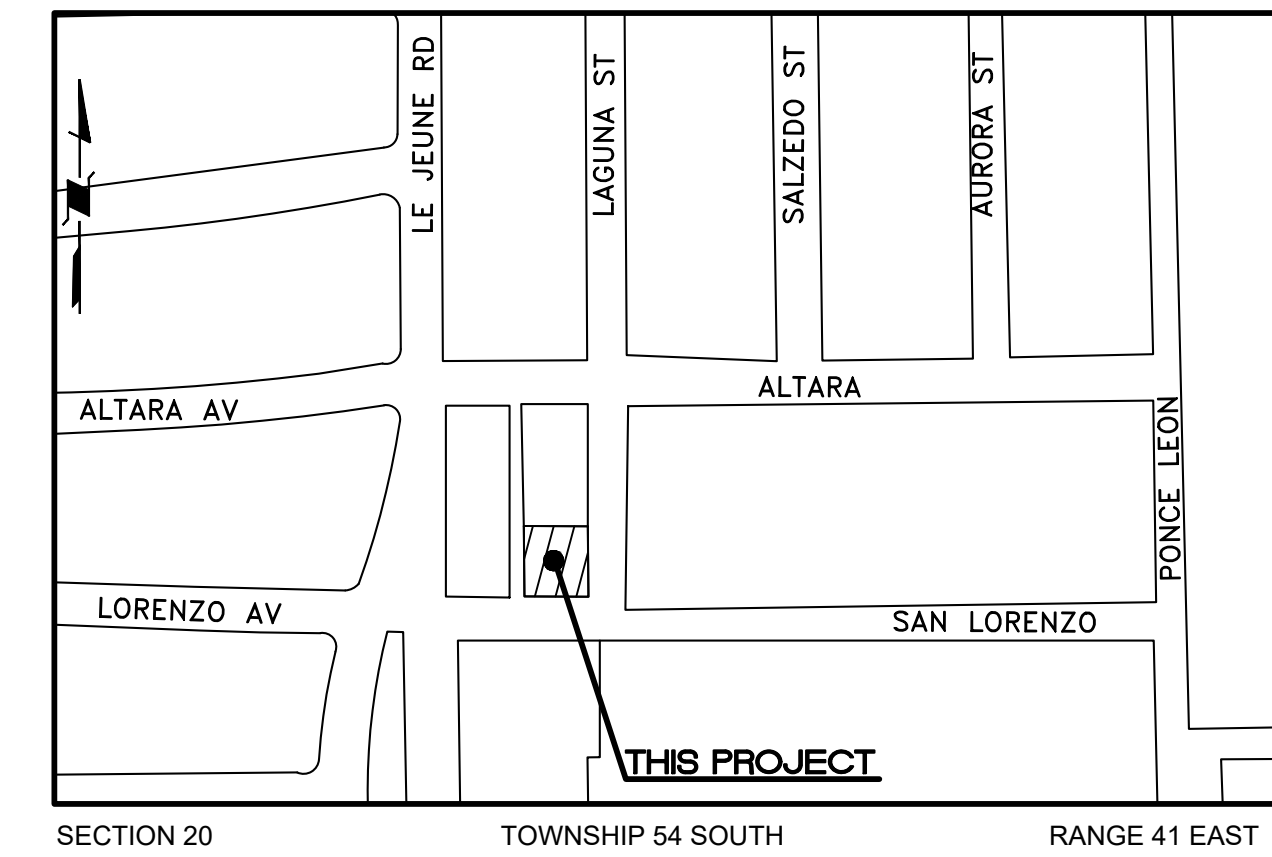
Folio No.: 03-4120-017-1570

SAN LORENZO PROPERTY, LLC  
782 N.W. 42nd AVENUE, SUITE 550  
MIAMI, FLORIDA 33126

ISSUE:

NO.	DATE	REVISIONS	BY
1	01/12/23	ADDRESS DRC COMMENTS	

PLANNING AND ZONING BOARD 05-05-2023



### LOCATION SKETCH

SCALE: 1" = 300'

### LEGAL DESCRIPTION

LOTS 8, 9, 10 AND 11, BLOCK 9, OF REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, PAGE 22 OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA.

FOLIO NO. 03-4120-017-1570

### GENERAL NOTES

- ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. MIAMI-DADE COUNTY BENCHMARK NUMBER P-710; ELEVATION: +14.21 FEET.
- HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
- EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THESE DRAWINGS OR NOT.
- BOUNDARY AND TOPOGRAPHIC DATA BASED UPON SURVEY PREPARED BY DELTA MAPPING AND SURVEYING, INC., DATED MAY 9, 2022, LAST UPDATED MAY 18, 2022.
- FEDERAL FLOOD ZONE INFORMATION; FLOOD ZONE: X; COMMUNITY NUMBER 120639 (CITY OF CORAL GABLES), MAP PANEL No. 12086C0457L; MAP DATE: 9/11/09.

### ADA COMPLIANCE NOTES

- THIS SET OF DOCUMENTS HAS BEEN DESIGNED TO COMPLY WITH FBC 7TH EDITION (2020) AND THE 2012 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND PER APPLICABLE FOOT INDEXES 304, 310 & 515. ALL RELATED SECTIONS OF THE CODE ARE NOTED WITHIN THESE DOCUMENTS AND STRICT COMPLIANCE IS REQUIRED BY ALL CONSTRUCTION TRADES. CONSTRUCTION QUALITY AND COMPLIANCE OF THE FINAL PRODUCT ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL ACCESSIBLE ROUTES MUST NOT EXCEED A SLOPE OF 1:20 (5.00%). CURB CUT RAMPS AND RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.33%). RAMPS THAT EXCEED 6 FEET IN LENGTH REQUIRE HANDRAILS. ALL CROSS SLOPES MUST NOT EXCEED A SLOPE OF 1:50 (2.00%). RAMPS MUST ALSO COMPLY WITH FBC BUILDING 1010 AND FBC ACCESSIBILITY 405.
- PLANTERS, TREE GRATES AND OTHER ELEMENTS MUST BE FLUSH AND ADA COMPLIANT. PAVERS ON PEDESTRIAN PATH MUST BE FLUSH, FIRM, STABLE AND HAVE NO OPEN JOINTS.
- ALL DETECTABLE WARNINGS TO BE IN ACCORDANCE WITH MIAMI-DADE COUNTY ARTICLE 527 TESTED MATERIAL, TYPE & COLOR, LATEST EDITION (7/7/16).

### STRIPING AND SIGNAGE NOTES

- ALL STRIPING IN RIGHT-OF-WAY AND ALL ON-SITE STOP BARS APPLIED TO ASPHALTIC PAVEMENT SHALL BE THERMOPLASTIC WITH A MIXTURE OF 50 PERCENT GLASS SPHERES AND 50 PERCENT SHARP SILICA SAND APPLIED AT A RATE OF 0.20 PSF IN ACCORDANCE WITH FDOT SECTION 711.
- ALL ON-SITE STRIPING APPLIED TO CONCRETE PAVEMENT SHALL BE TRAFFIC PAINT IN ACCORDANCE WITH FDOT SECTION 917.
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- SIGN POSTS SHALL BE STEEL CHANNEL IN ACCORDANCE WITH MIAMI-DADE COUNTY/CITY OF MIAMI PUBLIC WORKS DEPARTMENT STANDARDS AND SHALL BE BREAK-A-WAY.
- STOP SIGNS SHALL BE MOUNTED WITH 7' CLEAR FROM SIGN BOTTOM TO GRADE. WHERE INDICATED, ADDITIONAL SIGNAGE SHALL BE MOUNTED BELOW STOP SIGN.
- PROVIDE REFLECTIVE PAVEMENT MARKERS, AS REQUIRED BY MIAMI-DADE COUNTY/CITY OF MIAMI PUBLIC WORKS DEPARTMENTS.

### INDEX OF DRAWINGS

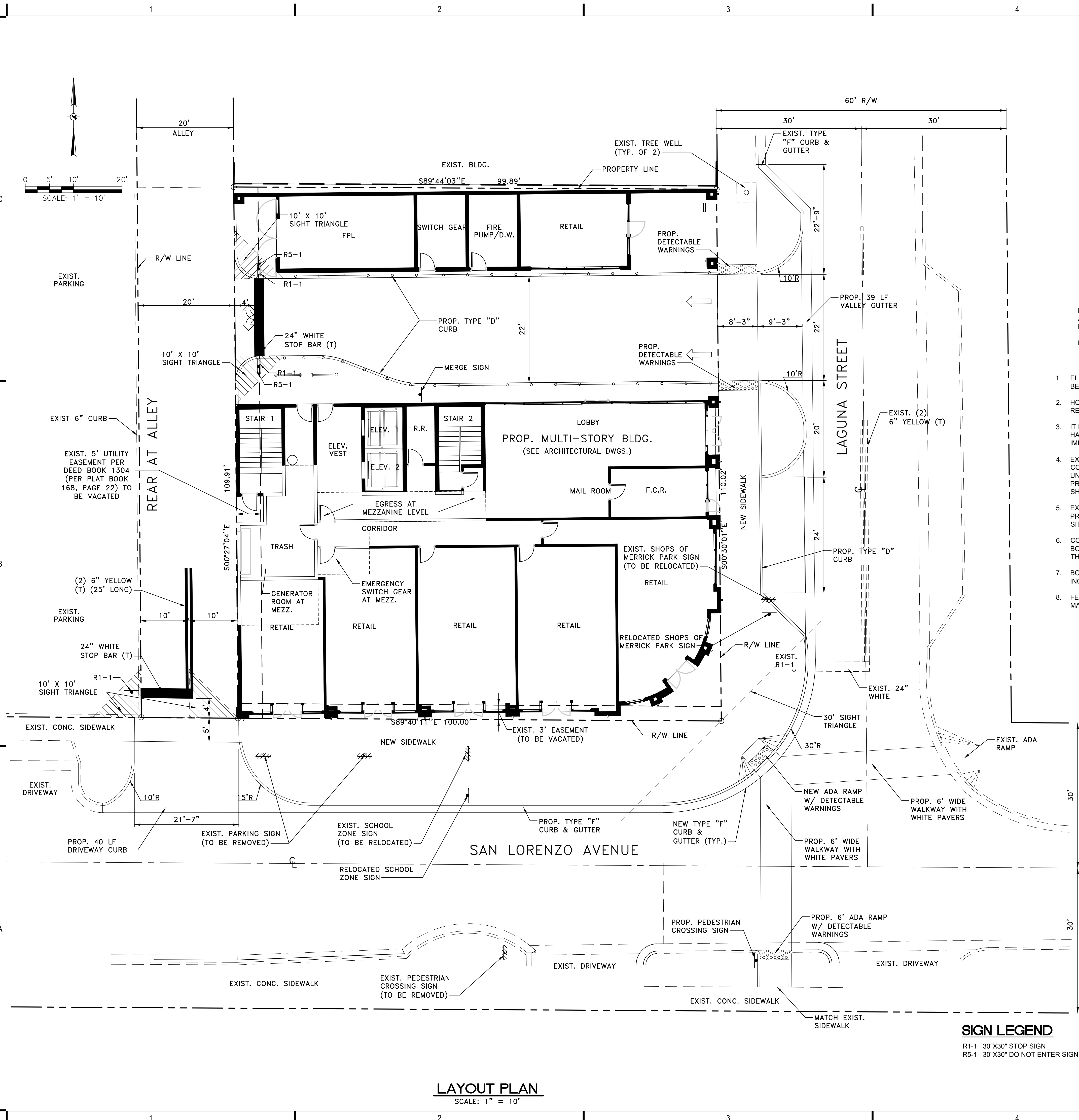
SHT. NO.	TITLE
C-1	LAYOUT PLAN AND NOTES
C-2	PAVING-GRADING-DRAINAGE PLAN AND NOTES
C-3	SITE AND DRAINAGE DETAILS
C-4	DRAINAGE WELL DETAILS
WS-1	WATER AND SEWER NOTES
WS-2	WATER AND SEWER PLAN
SWPPP	STORMWATER POLLUTION PREVENTION PLAN AND NOTES

### SIGN LEGEND

- R1-1 30"X30" STOP SIGN
- R5-1 30"X30" DO NOT ENTER SIGN

## LAYOUT PLAN

SCALE: 1" = 10'



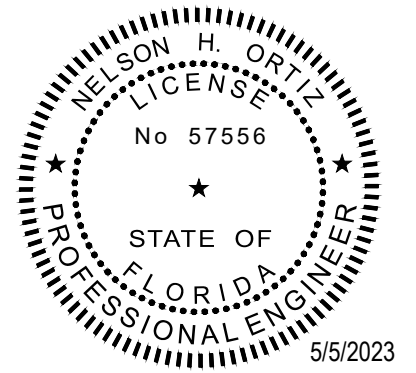
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SHEET TITLE:

LAYOUT PLAN AND NOTES

SHEET NUMBER:

# C-1



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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)  
PE-57556

PROJECT TITLE:

THE AVENUE

351 SAN LORENZO AVENUE,  
CORAL GABLES, FLORIDA, 33146

Folio No.: 03-4120-017-1570

SAN LORENZO PROPERTY, LLC  
782 N.W. 42nd AVENUE, SUITE 550  
MIAMI, FLORIDA 33126

ISSUE:

NO.	DATE	REVISIONS	BY
1	01/12/23	ADDRESS DRC COMMENTS	

PLANNING AND ZONING BOARD 05-05-2023

PROJECT INFORMATION:

PROJECT NUMBER: 2022-7023  
DATE: 08/09/2022  
DRAWN BY: S.D.  
CHECKED BY: N.H.O.  
APPROVED BY: N.H.O.  
SCALE: AS SHOWN

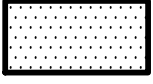

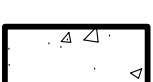



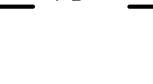

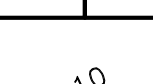

SHEET TITLE:

**PAVING-GRADING-  
DRAINAGE PLAN  
AND NOTES**

SHEET NUMBER:

**C-2**

**LEGEND**

-  EXISTING PAVEMENT
-  NEW ASPHALTIC CONCRETE PAVEMENT (MILL & RESURFACE)
-  CONCRETE PAVEMENT/SIDEWALK
-  SPECIALTY PAVEMENT (TO MATCH EXIST.) (COORD. W/ ARCH. DWG'S)
-  CATCH BASIN & ID
-  EXFILTRATION TRENCH
-  DRAINAGE PIPE
-  DRAINAGE WELL
-  EXIST. SPOT ELEVATION
-  PROP. SPOT ELEVATION

**PAVING-GRADING-DRAINAGE NOTES**

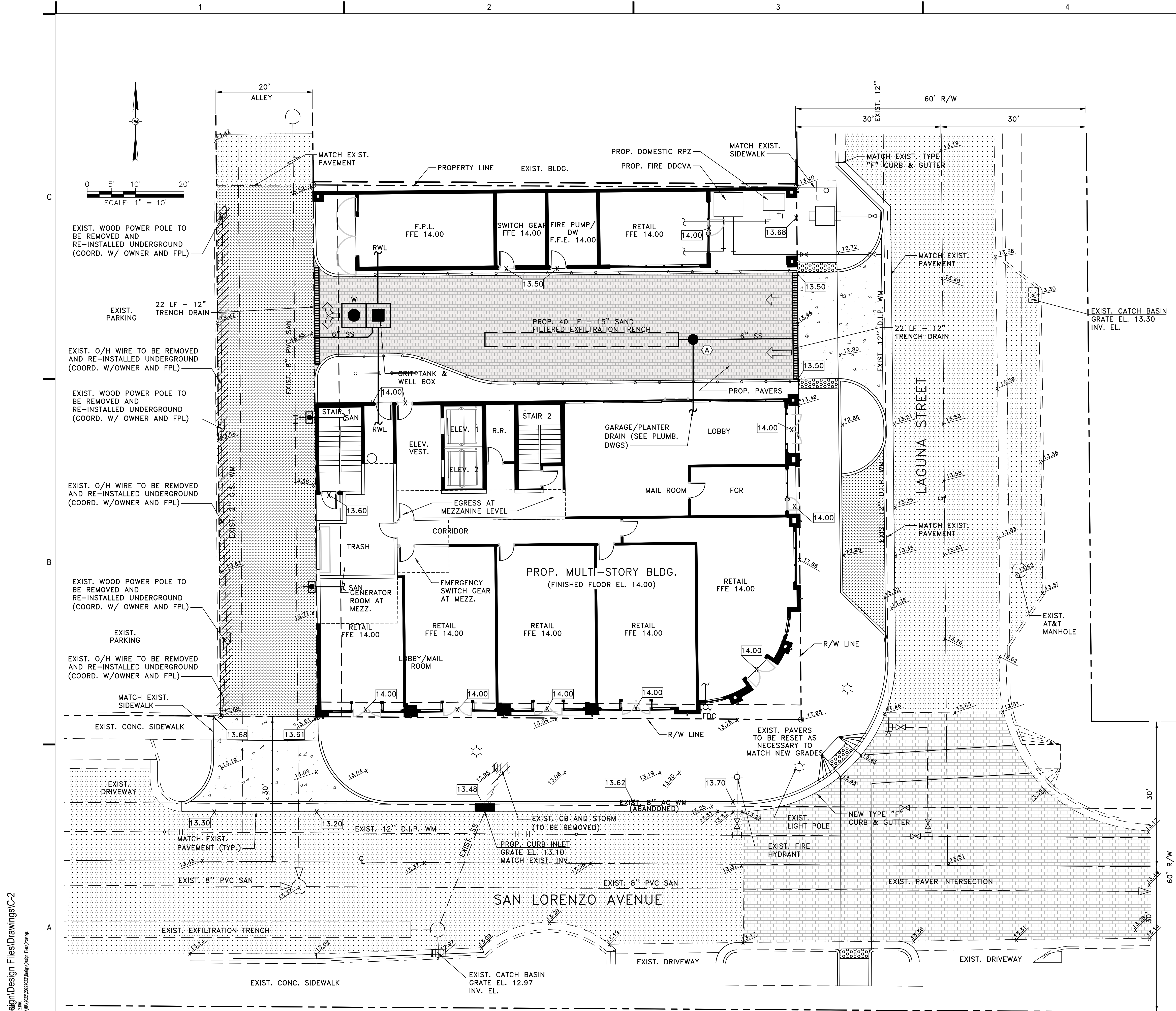
- ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.).
- GRADING SHALL CONSIST OF ALL EXCAVATION, FILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL SUBGRADES SHOULDERS, SLOPES, INTERSECTIONS, PAVEMENTS AND OTHER AREAS, ALL IN ACCORDANCE WITH THE ALIGNMENT AND GRADES SHOWN IN THESE DRAWINGS.
- DRAINAGE STRUCTURES SHALL BE AS DETAILED IN THESE DRAWINGS. DRAINAGE PIPE TO BE CORRUGATED POLYETHYLENE, CORRUGATED ALUMINUM OR BITUMINOUS COATED CORRUGATED STEEL.
- TRENCH DRAIN SHALL BE PREFABRICATED TROUGH W/ TRAFFIC BEARING CAST IRON GRATE BY JOSAM, OR APPROVED EQUAL.
- SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
- ASPHALTIC PAVEMENTS SHALL CONSIST OF COMPACTED SUBGRADE, COMPACTED LIMEROCK SUBBASE AND TYPE S-3 ASPHALTIC CONCRETE, AS SHOWN IN THESE DRAWINGS.
- CONCRETE CURB, SIDEWALK AND SLABS SHALL CONSIST OF 3,000 PSI PORTLAND CEMENT CONCRETE, AS SHOWN IN THESE DRAWINGS.
- CONCRETE CURB, CURB & GUTTER AND SIDEWALK IN STREET RIGHT-OF-WAYS SHALL BE CORAL GABLES BEIGE CONCRETE.
- CONTRACTOR SHALL REPLACE ALL DAMAGED EXISTING CURB/GUTTER AND SIDEWALK ALONG PROPERTY FRONTAGES REGARDLESS OF CAUSE OF DAMAGE.
- ALL REINFORCING, ALL SIZES, SHALL CONFORM TO ASTM A615, GRADE 60.
- ALL EXPOSED CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH, UNLESS OTHERWISE DIRECTED.
- TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO VERIFY SPECIFIED COMPACTION DENSITY AND CONCRETE STRENGTH. FAILURE OF ANY TESTING TO MEET SPECIFIED REQUIREMENTS SHALL BE DEEMED NON-COMPLYING.

NOTE: REFERENCE DRER WATER CONTROL DRAINAGE WELL PERMIT DW-20150141 ISSUED 12-17-15.

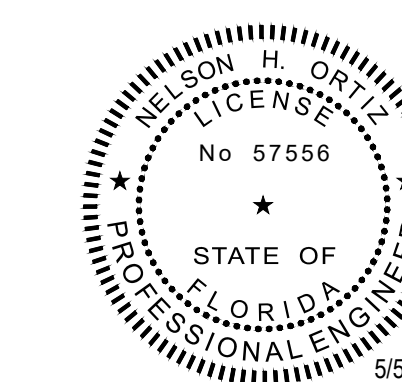


Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

**PAVING-GRADING-DRAINAGE PLAN**  
SCALE: 1" = 10'



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3/1/2023 10:05 AM



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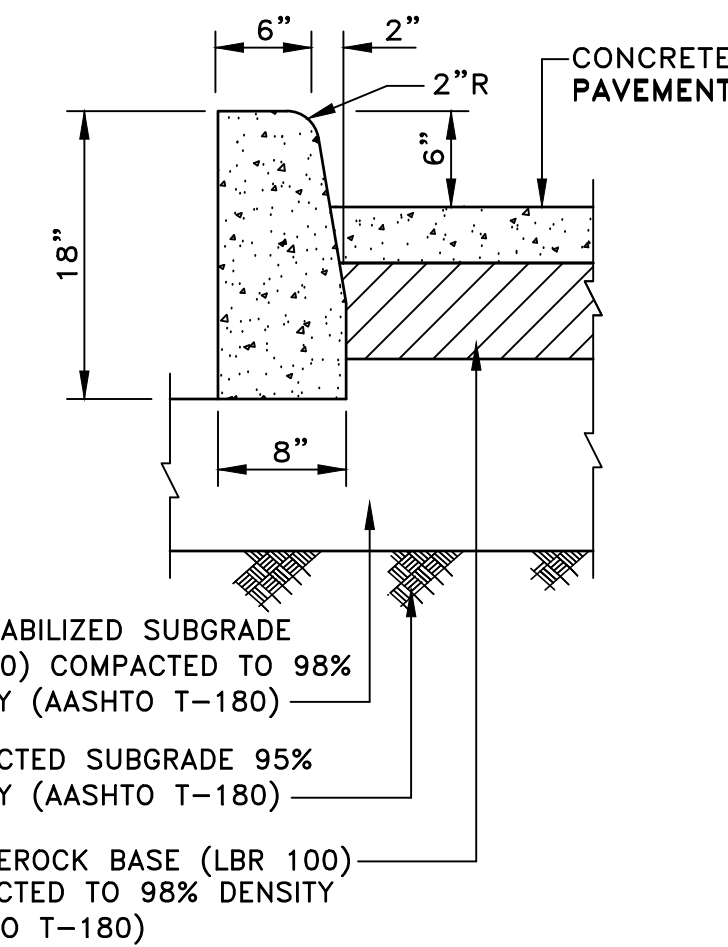
SHEET TITLE:

SITE & DRAINAGE  
DETAILS

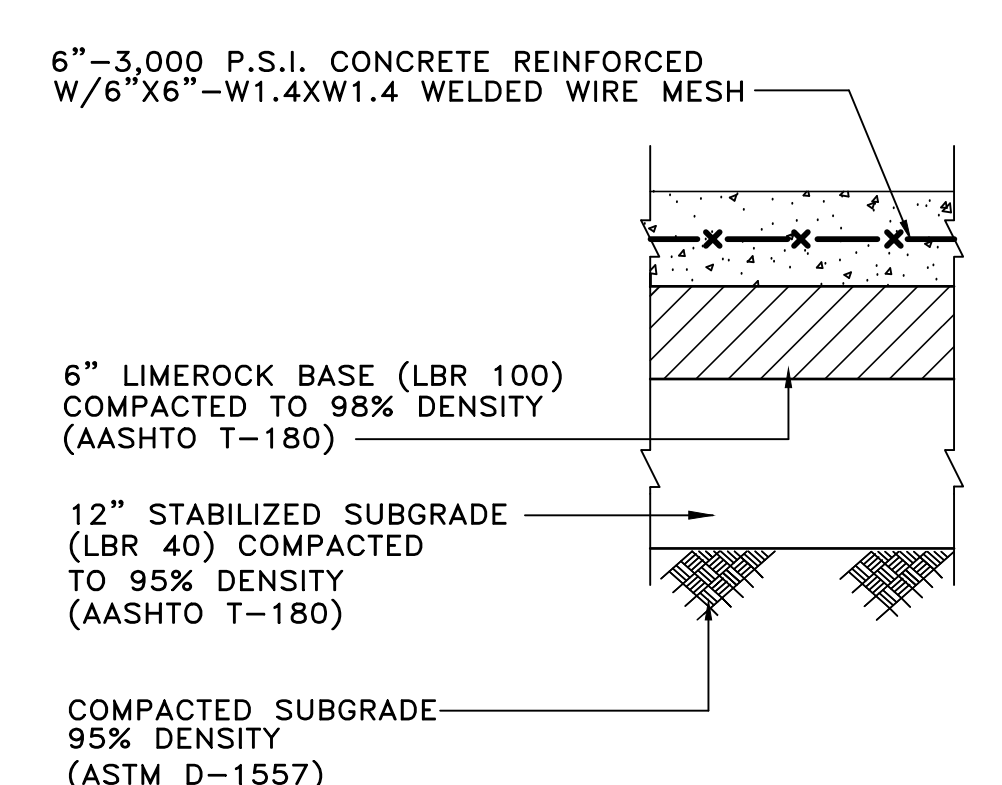
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C-3

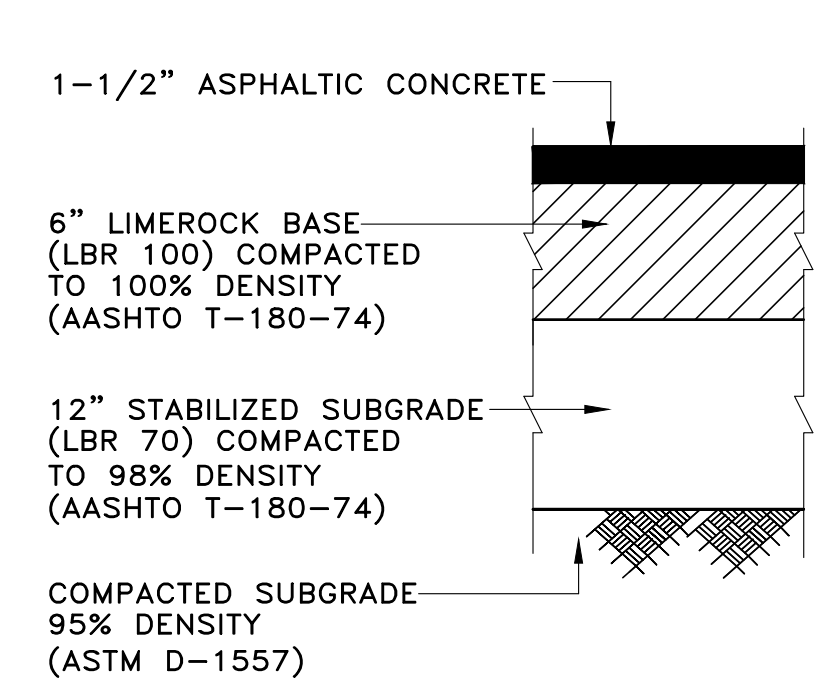
PLANNING AND ZONING BOARD 05-05-2023



**TYPE "D" CONC. CURB DETAIL**  
SCALE: 1" = 1'-0"



**CONCRETE PAVEMENT**  
N.T.S.

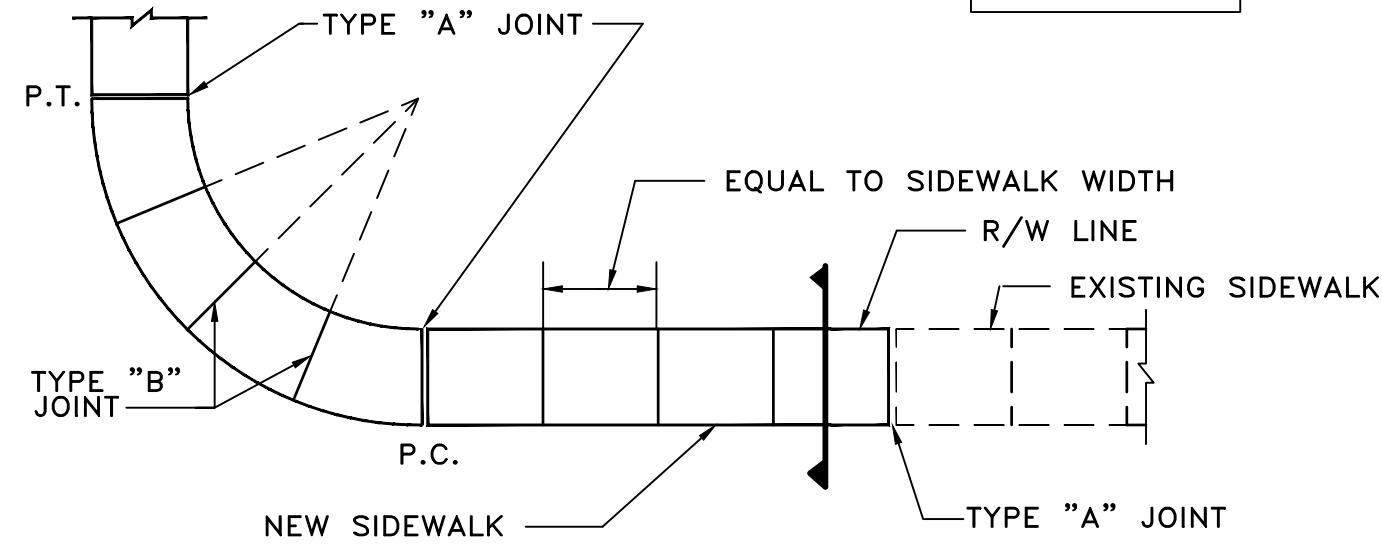


**ASPHALTIC PAVEMENT**  
N.T.S.

**TABLE OF SIDEWALK THICKNESS "T"**

LOCATION	"T"
RESIDENTIAL AND INTERIOR AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

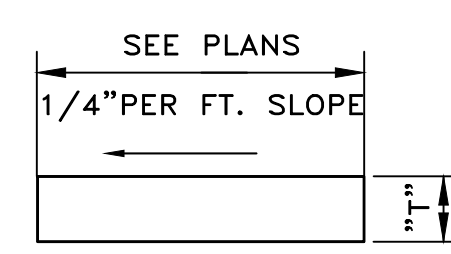
ALL SIDEWALK TO BE COLONIAL RED



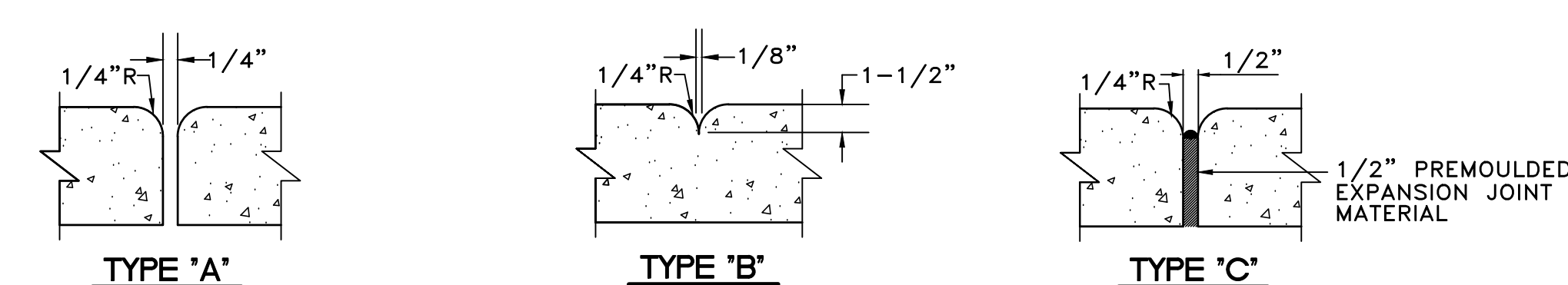
**SIDEWALK PLAN**

**TABLE OF SIDEWALK JOINTS**

TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
"B"	6'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES ALSO, EVERY 50 FEET OF CONTINUOUS SIDEWALK

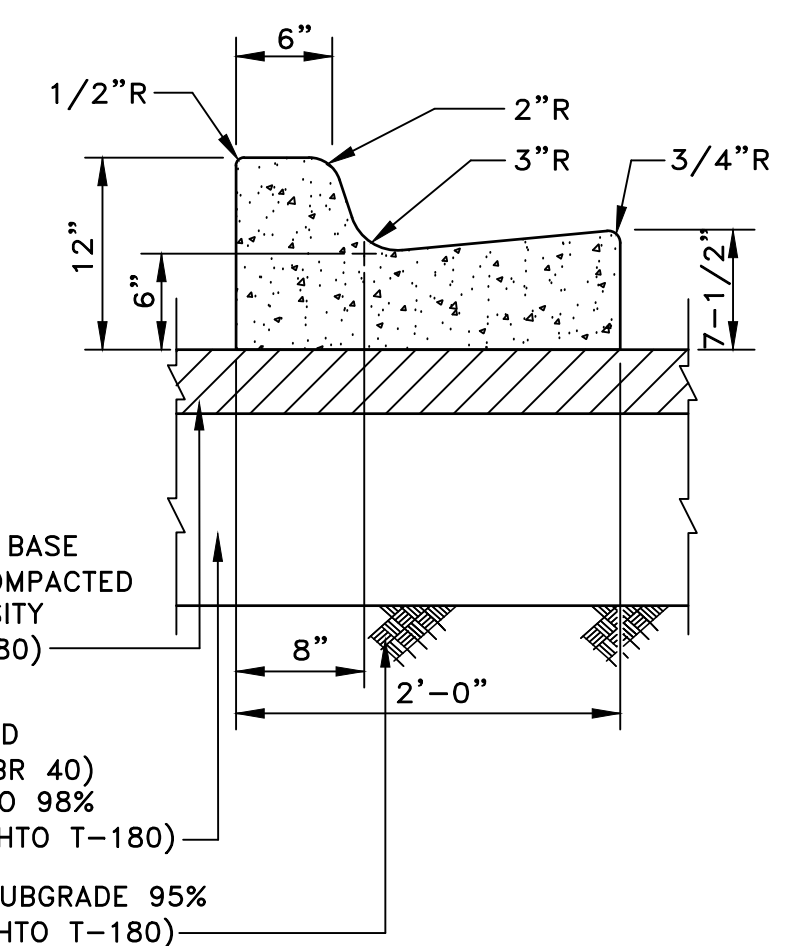


**SECTION**

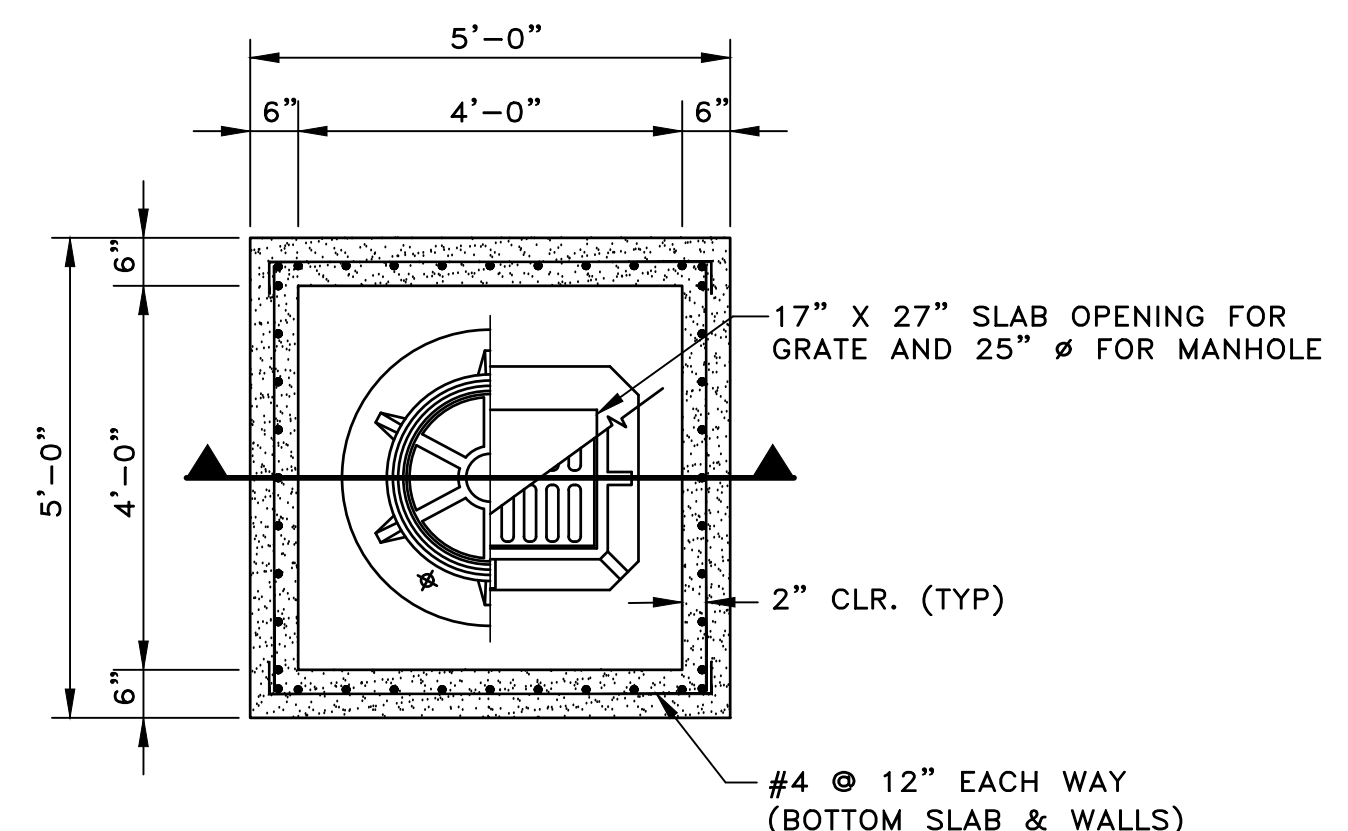


**SIDEWALK JOINTS**

**STANDARD SIDEWALK CONSTRUCTION**  
N.T.S.



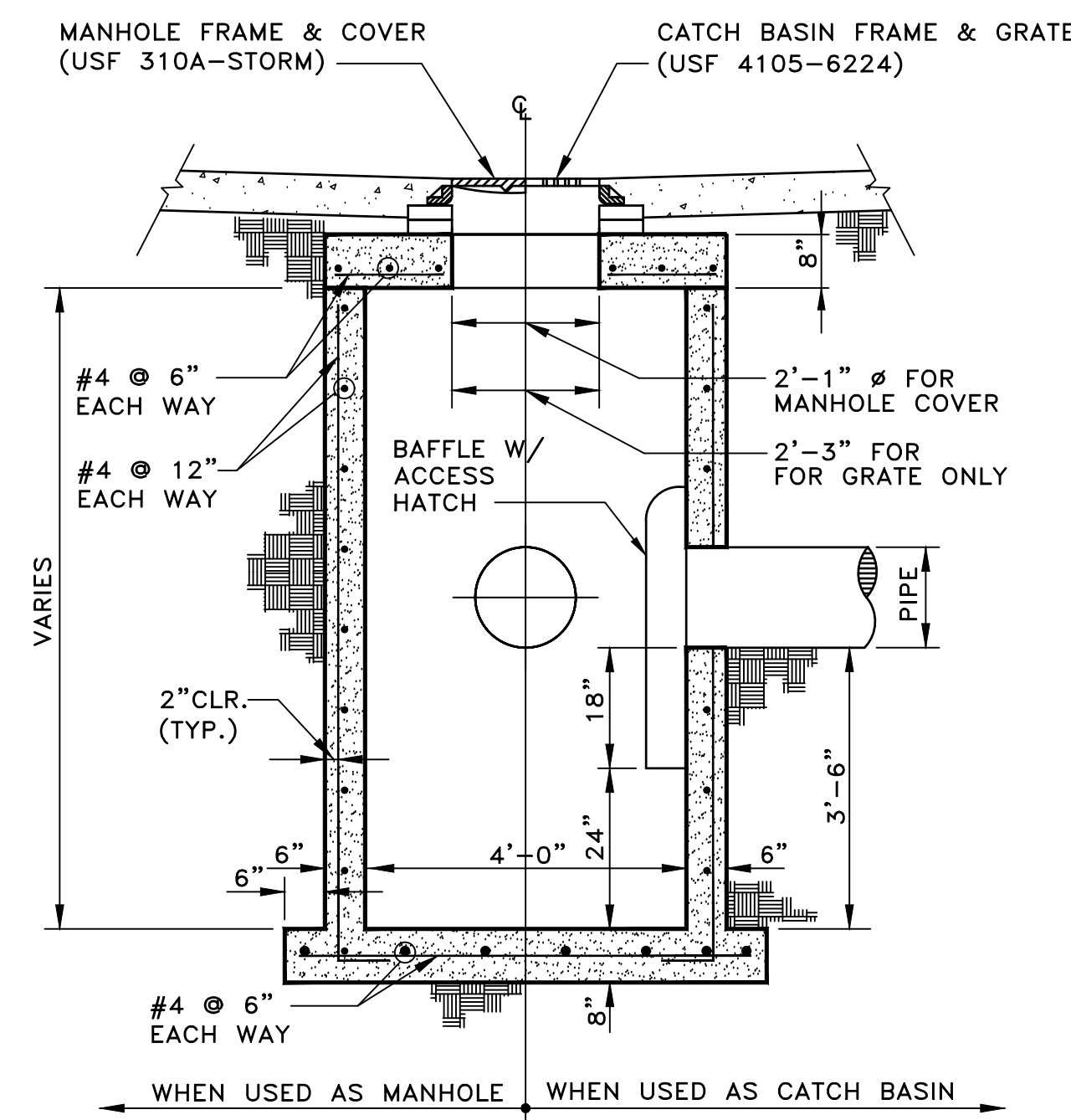
**TYPE "F" CURB AND GUTTER DETAIL**  
SCALE: 1" = 1'-0"



**PLAN**

**DRAINAGE STRUCTURE TABLE**

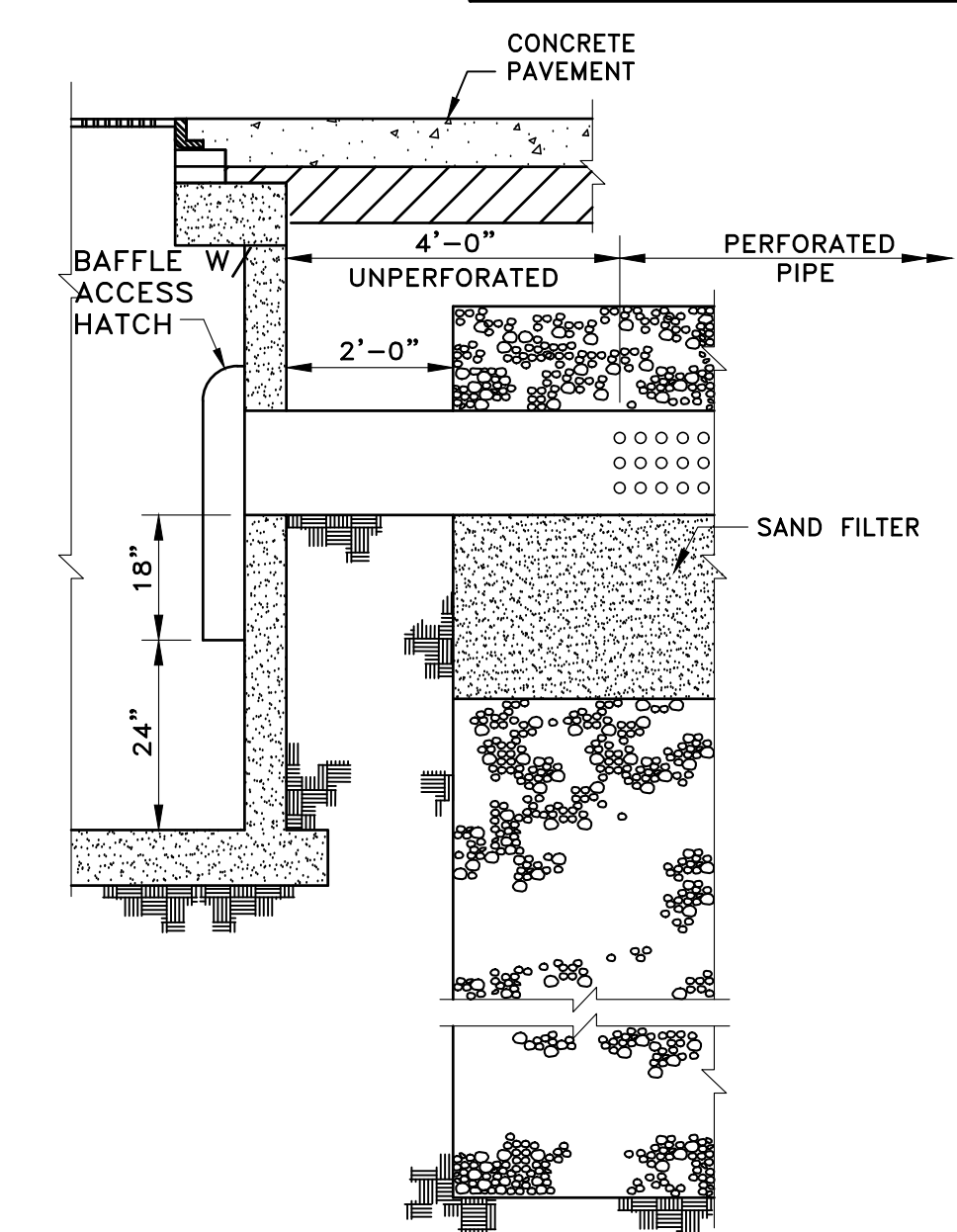
ID	TYPE	RIM/GRATE	PIPE INVERT	STRUCTURE INVERT	POLLUTION BAFFLE
A	MANHOLE	13.00	8.00	4.50	1(W)



- NOTES:
- SUMP 2'-0" (TYP.), EXCEPT AT POLLUTION CONTROL STRUCTURES SUMP TO BE 3'-6".
  - PROVIDE BAFFLES W/ ACCESS HATCH AS REQUIRED BY MIAMI-DADE D.E.R.M., AS NOTED.

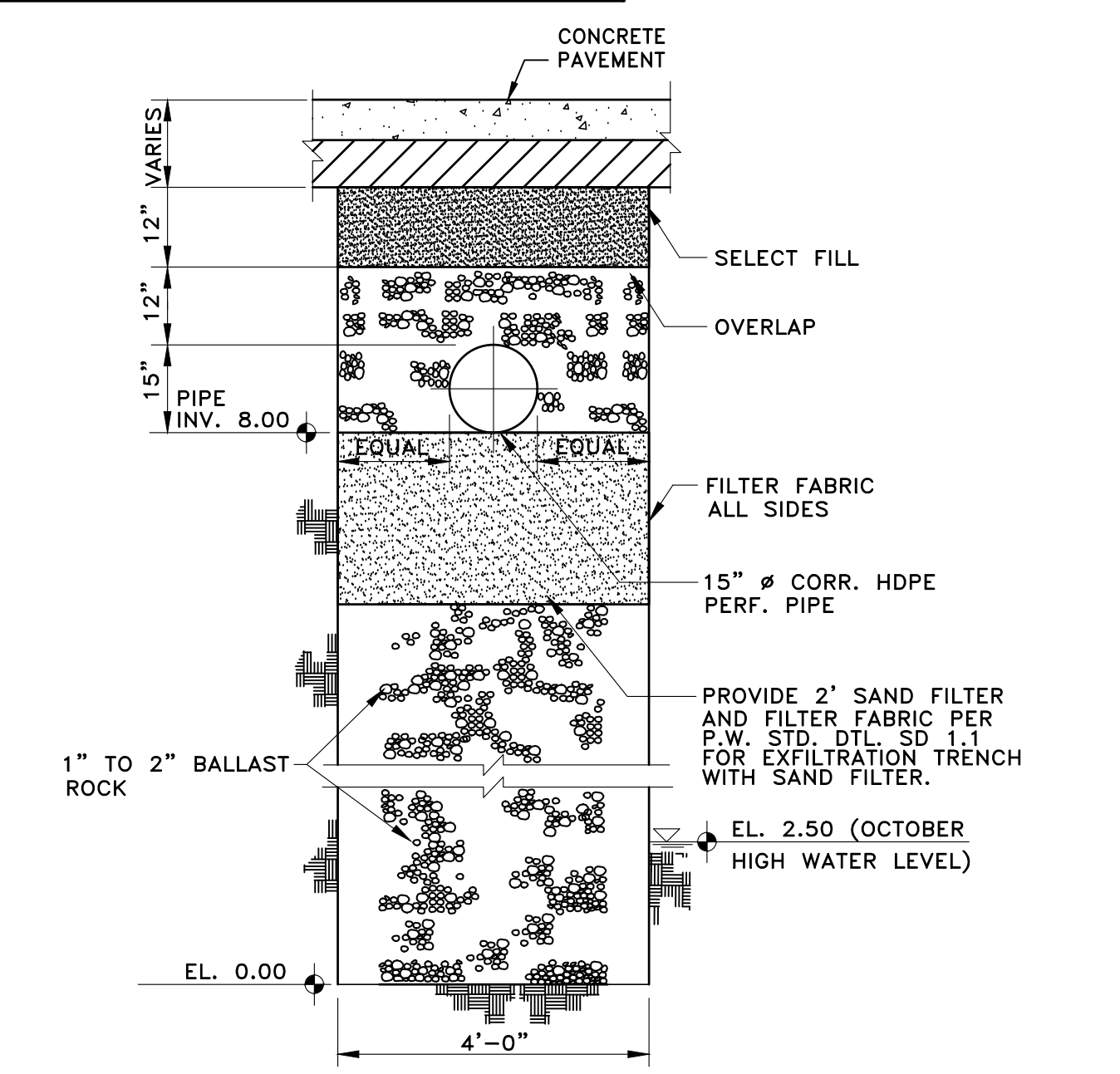
**SECTION**

**CATCH BASIN/MANHOLE DETAIL**  
N.T.S.



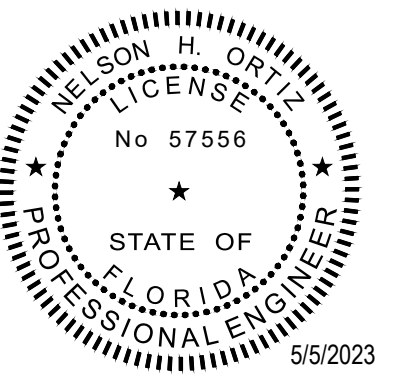
- NOTES:
- PROVIDE BAFFLE W/ ACCESS HATCH WHEREVER PIPE ENTERS FRENCH DRAIN.
  - BAFFLE W/ ACCESS HATCH SHALL BE TYPE S-15 HYDRO-BAFFLE AS MANUFACTURED BY GEOTECHNICAL MARINE CORP. OR APPROVED EQUAL.

**EXFILTRATION TRENCH CONNECTION DETAIL**  
N.T.S.



**EXFILTRATION TRENCH SECTION W/ SAND FILTER**  
N.T.S.

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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)  
 PE-57556

PROJECT TITLE:

THE AVENUE

351 SAN LORENZO AVENUE,  
 CORAL GABLES, FLORIDA, 33146

Folio No.: 03-4120-017-1570

SAN LORENZO PROPERTY, LLC  
 782 N.W. 42nd AVENUE, SUITE 550  
 MIAMI, FLORIDA 33126

ISSUE:

NO.	DATE	REVISIONS	BY
1	01/12/23	ADDRESS DRC COMMENTS	

PROJECT INFORMATION:

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 DRAWN BY: S.D.  
 CHECKED BY: N.H.O.  
 APPROVED BY: N.H.O.  
 SCALE: AS SHOWN

SHEET TITLE:

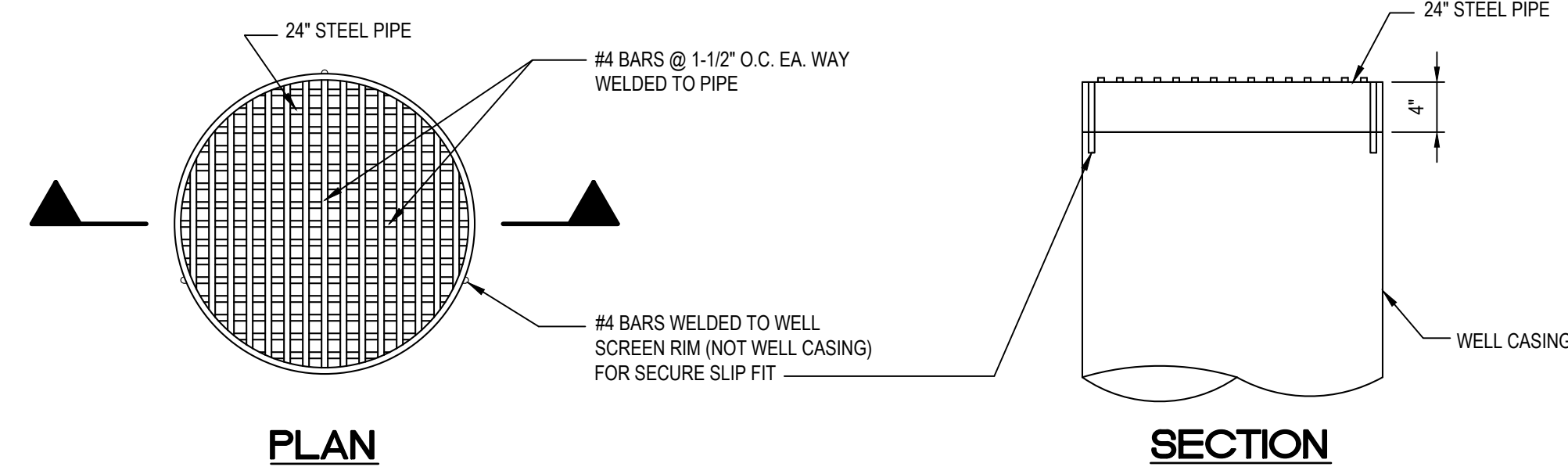
DRAINAGE WELL  
 DETAILS

SHEET NUMBER:

C-4

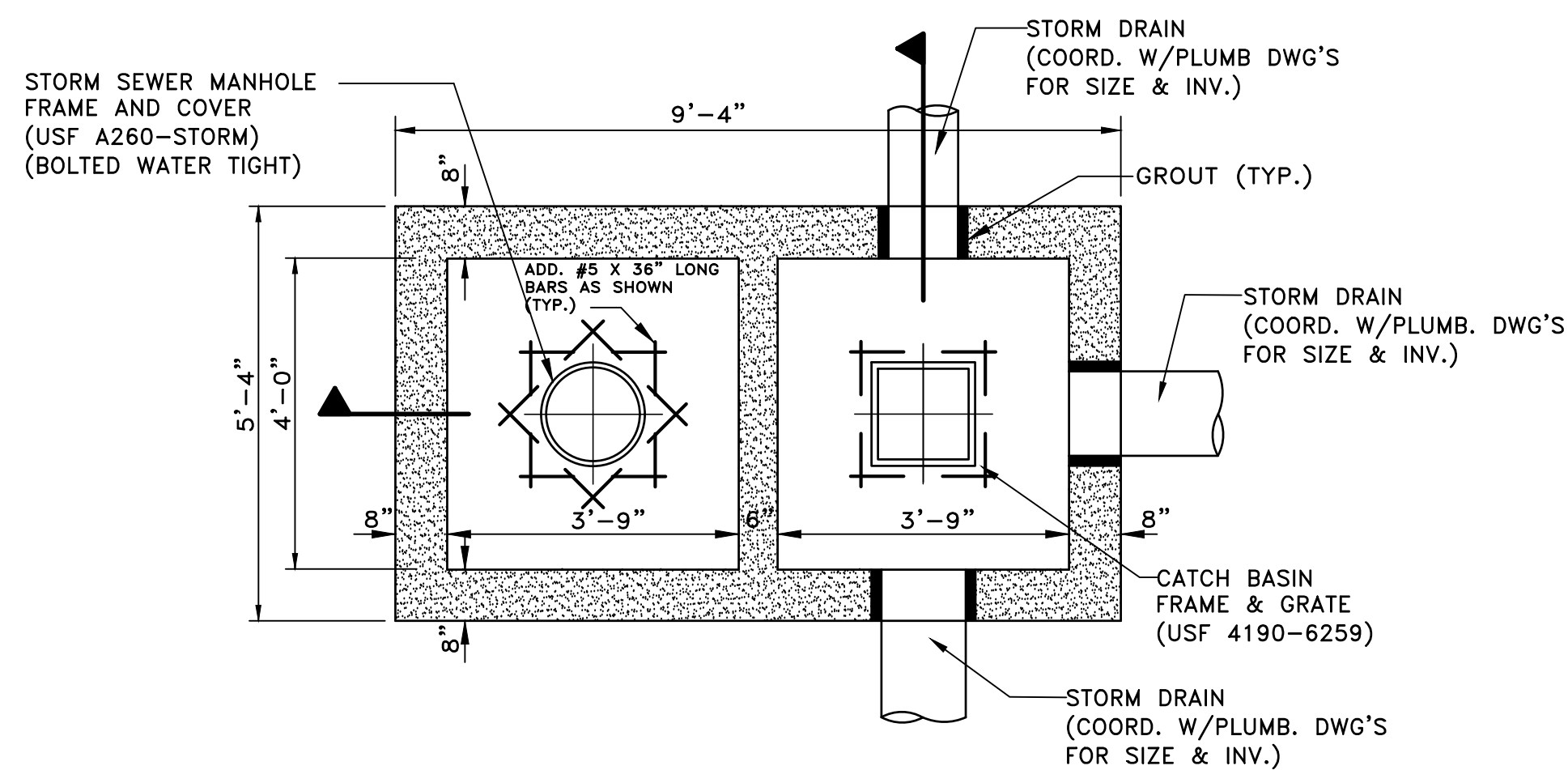
## DRAINAGE WELL NOTES

- DRAINAGE WELL SHALL BE DRILLED TO AN ESTIMATED TOTAL DEPTH OF 100 FEET TO DISCHARGE RUNOFF TO AN AQUIFER HAVING A MINIMUM TOTAL DISSOLVED SOLIDS OF 10,000 PPM (MG/L).
- WELL SHALL HAVE AN UPPER CASING OF BLACK STEEL PIPE OF A MINIMUM OF 24 INCHES IN DIAMETER AND 3/8 INCH THICKNESS, WITH DRIVE SHOE, WHICH SHALL BE DRIVEN TO A FIRM SEAT AND GROUT SEALED AT LEAST 3 FEET BELOW THE CAP OF THE UPPERMOST ROCK FORMATION TO BE DEVELOPED. CASING ENDS SHALL BE SQUARE TO THE AXIS OF THE SECTION AND SHALL BE WELDED TOGETHER AS DRIVING PROGRESSES.
- WELL SHALL BE AS PLUMB AND TRUE TO LINE AS GOOD WORKMANSHIP WILL PROVIDE.
- COMPLETED WELL SHALL BE THOROUGHLY AGITATED AND DEVELOPED.
- CONTRACTOR SHALL SUBMIT THE METHOD OF TESTING OF THE WELL FOR CAPACITY TO THE ENGINEER FOR APPROVAL DURING THE SHOP DRAWING SUBMITTAL. THE APPROVED TEST SHALL RUN FOR A PERIOD OF A HALF-HOUR. CONTRACTOR SHALL PROVIDE CERTIFIED STATEMENT BY A PROFESSIONAL GEOLOGIST THAT THE WELL WILL COMPLY WITH THE DESIGN DISCHARGE RATE UPON COMPLETION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR CONDUCTING THE WELL TEST AND SATISFACTORILY DISPOSING OF THE WATER PUMPED FROM THE WELL. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE OWNER AND ENGINEER PRIOR TO THE START OF THE TEST. CONTRACTOR IS TO COORDINATE THE DISPOSAL OF WATER PUMPED FROM THE WELL WITH THE OWNER.
- TEST SHALL BEGIN AT HIGH TIDE. THE WATER LEVEL IN THE DRAINAGE WELL BE RECORDED EVERY 15 MINUTES FROM 30 MINUTES PRIOR TO THE START OF TEST UNTIL PUMPING IS STOPPED, AND EVERY 5 MINUTES THEREAFTER DURING THE RECOVERY UNTIL THE LEVEL IN THE WELL INCREASES BY LESS THAN 0.1 FEET PER HOUR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE NECESSARY FLORIDA D.E.P. WELL DRILLING PERMITS AND COMPLY WITH ALL THE PROVISIONS THEREOF.
- DESIGN CAPACITY OF WELLS IS 1,500 GPM WITH MAX. DRAWDOWN OF 48 INCHES (375 GPM/FT OF HEAD). CONTRACTOR SHALL PROVIDE ENGINEER WITH WELL TEST REPORTS PRIOR TO DEMOBILIZATION.



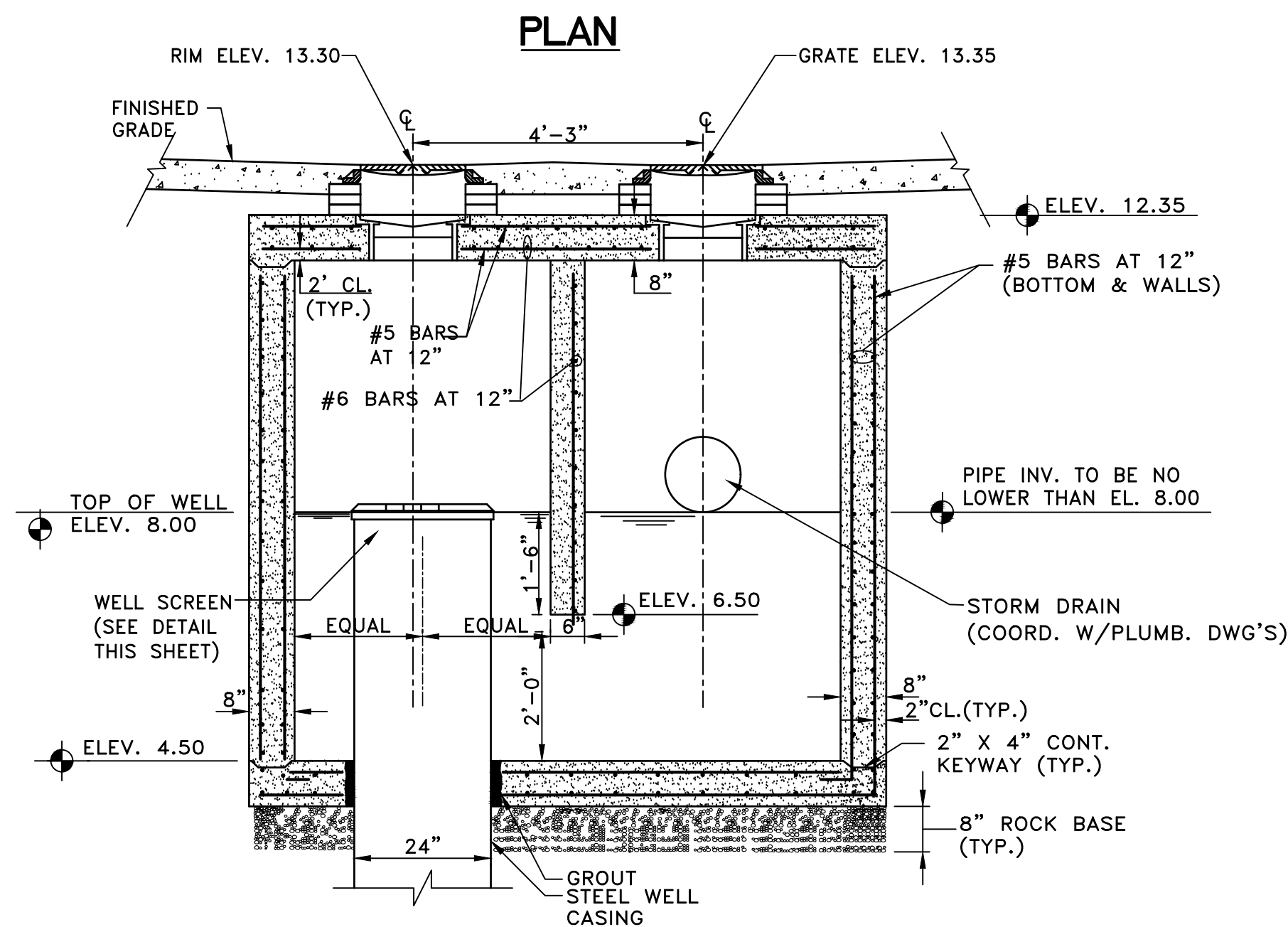
WELL SCREEN DETAIL

SCALE: 1" = 1'-0"



NOTE: SEE PLAN FOR PIPE ORIENTATION

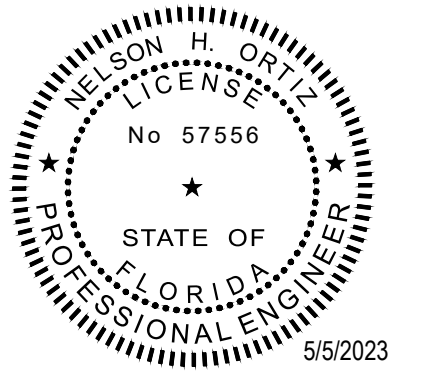
DRAINAGE WELL	
LAT :	25°43'56.73"N
LONG :	80°15'41.32"W



SECTION

GRIT TANK AND WELL BOX DETAIL

SCALE: 1/2" = 1'-0"



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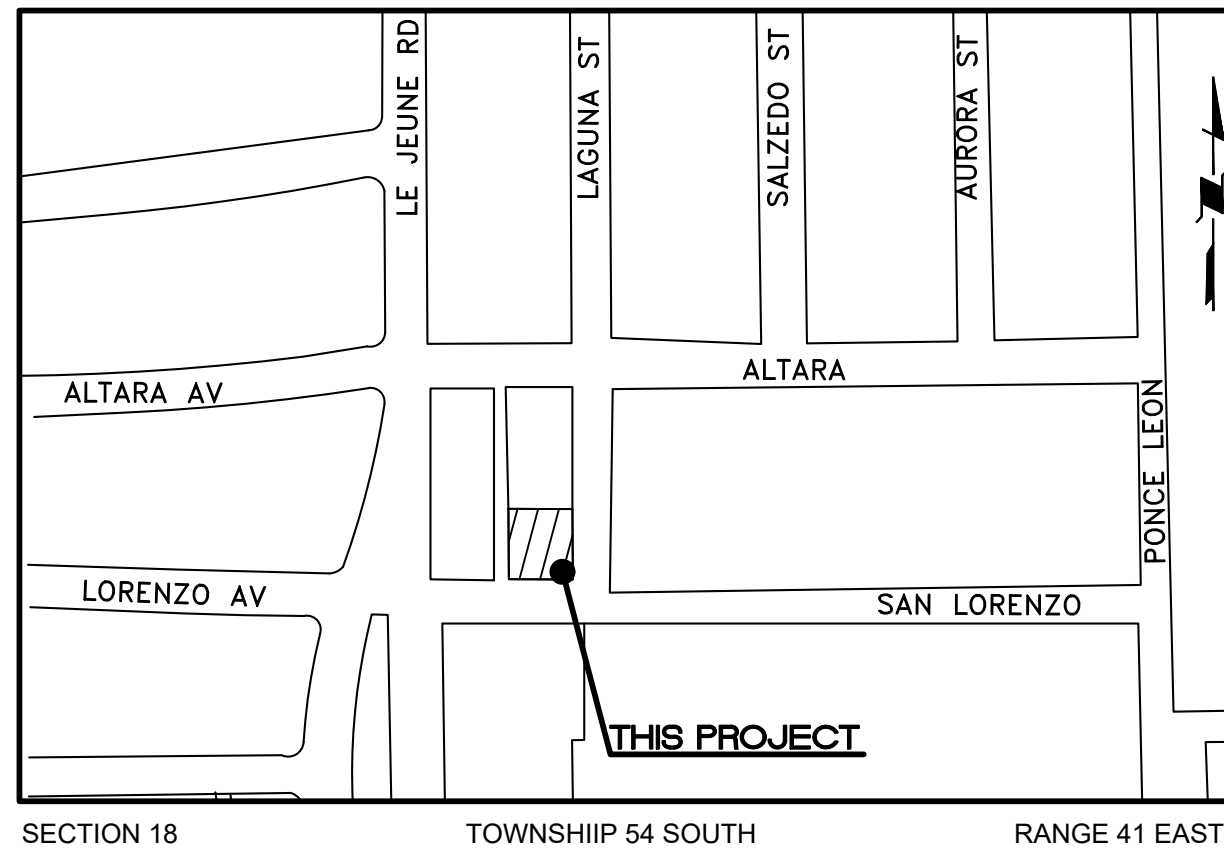
SHEET TITLE:

WATER & SEWER  
NOTES

SHEET NUMBER:

# WS-1

M-DWASD AGREEMENT ID# 22314



### LOCATION SKETCH

SCALE: 1" = 300'

### LEGAL DESCRIPTION

LOTS 8, 9, 10 AND 11, BLOCK 9, OF REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, PAGE 22 OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA.

FOLIO NO. 03-4120-017-1570

### RER-DERM WATER-SEWER GENERAL NOTES

(NOT A PART OF M-DWASD NOTES OR APPROVAL) (REV. 4/30/2018)

- A HORIZONTAL DISTANCE OF AT LEAST 6 FEET, AND PREFERABLY 10 FEET (OUTSIDE TO OUTSIDE), SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE SEWER PIPES AND WATER PIPES. THE MINIMUM HORIZONTAL SEPARATION CAN BE REDUCED TO 3 FEET FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE TOP OF THE SEWER PIPE IS AT LEAST 6 INCHES BELOW THE BOTTOM OF THE WATER PIPE. WHEN THE ABOVE SPECIFIED HORIZONTAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF ONE OF THE FOLLOWING IS MET:
  - THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
  - THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
  - THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER PIPE.
- A VERTICAL DISTANCE OF AT LEAST 12 INCHES (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN ANY WATER AND SEWER MAINS WITH SEWER PIPES PREFERABLY CROSSING UNDER WATER MAINS. THE MINIMUM VERTICAL SEPARATION CAN BE REDUCED TO 6 INCHES FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE SEWER PIPE IS BELOW THE WATER MAIN. THE CROSSING SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY AND PRESSURE SEWER PIPES. THIS DISTANCE CAN BE REDUCED TO 3 FEET FOR VACUUM-TYPE SEWERS. WHEN THE ABOVE SPECIFIED VERTICAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF ONE OF THE FOLLOWING IS MET:
  - THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
  - THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
- AIR RELEASE VALVES SHALL BE PROVIDED AT HIGH POINTS OF NEW FORCE MAIN SANITARY SEWERS.
- GRAVITY SANITARY SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE C-900 PVC OR DUCTILE IRON PIPE. THE MAXIMUM ALLOWABLE EXFILTRATION RATE OF GRAVITY SANITARY SEWERS CONSTRUCTED IN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE:
  - RESIDENTIAL LAND USES. FIFTY (50) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE.
  - NON-RESIDENTIAL LAND USES. TWENTY (20) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE.
  - ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- THE MAXIMUM ALLOWABLE EXFILTRATION RATE OF GRAVITY SANITARY SEWERS CONSTRUCTED OUTSIDE A PUBLIC WELLFIELD PROTECTION AREA SHALL BE ONE HUNDRED (100) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE. ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- FORCEMAIN SANITARY SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE DUCTILE IRON, C-900 PVC, HDPE OR REINFORCED CONCRETE PRESSURE SEWER PIPES.
- THE MAXIMUM ALLOWABLE EXFILTRATION/LEAKAGE RATE OF FORCEMAIN SANITARY SEWERS SHALL BE:
  - DUCTILE IRON, C-900 PVC, HDPE AND PVC PIPE. THE ALLOWABLE LEAKAGE RATE SPECIFIED IN AMERICAN WATER WORKS ASSOCIATION STANDARD (AWWAS) C600-82 AT A TEST PRESSURE OF 100 PSI FOR A DURATION OF NOT LESS THAN TWO (2) HOURS.
  - REINFORCED CONCRETE PRESSURE PIPE. HALF (1/2) THE ALLOWABLE LEAKAGE RATE SPECIFIED IN AWWA C600-82 AT A TEST PRESSURE OF 100 PSI FOR A DURATION OF NOT LESS THAN TWO (2) HOURS.
  - ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- THE CONTRACTOR SHALL VERIFY NATURE, DEPTH, AND CHARACTER OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- IN NO CASE SHALL A CONTRACTOR INSTALL UTILITY PIPES, CONDUITS, CABLES, ETC. IN THE SAME TRENCH ABOVE AN EXISTING WATER OR SEWER PIPE EXCEPT WHERE THEY CROSS.
- IF ANY AREA OF THE WORK SITE IS FOUND TO CONTAIN BURIED SOLID WASTE AND/OR GROUND OR GROUND WATER CONTAMINATION, THE FOLLOWING SHALL APPLY:
  - ALL WORK IN THE AREA SHALL FOLLOW ALL APPLICABLE SAFETY REQUIREMENTS (E.G., OSHA, ETC.) AND NOTIFICATION MUST BE PROVIDED TO THE APPROPRIATE AGENCIES.
  - IMMEDIATELY NOTIFY THE ENVIRONMENTAL MONITORING AND RESTORATION DIVISION (EMRD). THE EMRD CAN BE CONTACTED AT (305) 372-6700.
  - IF CONTAMINATED SOILS AND/OR BURIED SOLID WASTE MATERIAL IS EXCAVATED DURING CONSTRUCTION, THEN THEY REQUIRE PROPER HANDLING AND DISPOSAL IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL REGULATIONS. BE ADVISED THAT THE LANDFILL OWNER/OPERATOR IS THE FINAL AUTHORITY ON DISPOSAL AND MAY HAVE REQUIREMENTS BEYOND THOSE PROVIDED BY HEREIN. IF DISPOSAL WITHIN A MIAMI-DADE COUNTY OWNED LANDFILL (CLASS I LANDFILL) IS APPROPRIATE AND SELECTED, PLEASE CONTACT THE MIAMI-DADE COUNTY DEPARTMENT OF SOLID WASTE MANAGEMENT AT (305) 594-6666 FOR INFORMATION.
  - THE REUSE OF CONTAMINATED SOILS THAT ARE NOT RETURNED TO THE ORIGINAL EXCAVATION REQUIRES PRIOR APPROVAL OF A SOIL MANAGEMENT PLAN FROM THE ENVIRONMENTAL MONITORING AND RESTORATION DIVISION. THE EMRD CAN BE CONTACTED AT (305) 372-6700.
- PUMPS MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC) REQUIREMENTS FOR CLASS I, GROUP D, DIVISION 1 LOCATIONS (EXPLOSION PROOF).
- THE CONTRACTOR IS ADVISED THAT A TREE REMOVAL/RELOCATION PERMIT MAY BE REQUIRED PRIOR TO THE REMOVAL AND/OR RELOCATION OF TREE RESOURCES. PRIOR TO REMOVING OR RELOCATING ANY TREES, THE CONTRACTOR SHALL NOTIFY THE TREE AND FOREST RESOURCES SECTION OF DERM AT (305) 372-6574 OR VIA E-MAIL AT: tfrs@miamidadade.gov, OR CONTACT THE MUNICIPALITY WITH TREE ORDINANCE JURISDICTION TO OBTAIN ANY REQUIRED PERMITS. THOSE TREES NOT INTERFERING WITH THE CONSTRUCTION SHALL BE PROTECTED IN PLACE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 24-49.5 OF THE MIAMI-DADE CODE.
- PLEASE NOTE THAT THE DEMOLITION, REMOVAL, AND/OR DISTURBANCE OF EXISTING UNDERGROUND UTILITIES THAT CONTAIN ASBESTOS-CEMENT PIPES (ACP) ARE SUBJECT TO THE PROVISIONS OF 40 CFR-61 SUBPART M. THEREFORE, PURSUANT TO THE PROVISIONS OF 40 CFR-61-145, A NOTICE OF DEMOLITION OR ASBESTOS RENOVATION FORM MUST BE FILED WITH THE AIR QUALITY MANAGEMENT DIVISION (AQMD) OF DERM, AT LEAST TEN (10) WORKING DAYS PRIOR TO STARTING OF ANY WORK. NOTE THAT THE BACKFILLING AND BURIAL OF CRUSHED ACP WOULD CAUSE THESE LOCATIONS TO BE CONSIDERED ACTIVE DISPOSAL SITES AND SUBJECT TO 40 CFR-61.154, AND 40 CFR-61.151 A YEAR AFTER PROJECT COMPLETION. EXISTING STANDARD OPERATING PROCEDURES, AS WELL AS APPLICABLE FEDERAL, STATE AND LOCAL REGULATORY CRITERIA, MUST BE FOLLOWED AND IMPLEMENTED TO MINIMIZE ANY POTENTIAL RELEASE OF FUGITIVE EMISSIONS, ESPECIALLY DURING PROJECT CONSTRUCTION ACTIVITIES. THE AQMD CAN BE CONTACTED VIA EMAIL AT asbestos@miamidadade.gov OR 305-372-6925.

**NOTE**  
ALL EXISTING MAINS IMPACTED  
BY THIS PROJECT AND ALL  
PROP. WATER & SEWER FORCE  
MAINS AND FITTINGS TO BE  
RESTRAINED PER GS 2.0

- ALL MATERIALS AND LABOR UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MIAMI-DADE WATER AND SEWER DEPARTMENT AND SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS AVAILABLE AND ON FILE WITH THE DEPARTMENT. SUBMIT SHOP DRAWINGS FOR ALL MATERIALS.
- COVER OVER WATER OR SEWER FORCE MAINS SHALL BE 4"-0" MIN.
- ALL MAIN LINE VALVES SHALL BE INSTALLED COMPLETE WITH 10" RISER PIPES AND NO. 3 OR 53 VALVE BOXES FIRE HYDRANTS AND SERVICE VALVES SHALL BE INSTALLED COMPLETE WITH 6" RISER PIPES AND NO. 2 VALVE BOXES.
- ALL FORCE MAIN SERVICE CONNECTIONS INTO PRESSURE TRANSMISSION MAINS SHALL HAVE A SHUT OFF VALVE AND CHECK VALVE AT THE POINT OF ENTRY.
- ALL GRAVITY SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- ALL WATER METER WILL BE INSTALLED BY THE MIAMI-DADE WATER AND SEWER DEPARTMENT, PROVIDING THE APPROPRIATE CHARGES HAVE BEEN PREPAID.
- FIRE HYDRANTS REQUIREMENTS (NUMBER AND LOCATION) SHALL BE AS REQUIRED BY MIAMI-DADE COUNTY FIRE DEPARTMENT OR THE APPROPRIATE FIRE AGENCY WITH INSTALLATION IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- CONTRACTOR MUST CALL MDWASD INSPECTION DIVISION TO ARRANGE FOR A PRECONSTRUCTION MEETING 2 FULL BUSINESS DAYS PRIOR TO PROPOSED START OF CONSTRUCTION. CONTACT ONE CALL CENTER 48 HRS PRIOR TO EXCAVATION.
- CONTRACT INSPECTOR WILL INSPECT ANY FACILITIES APPROVED BY THE DEPARTMENT. ALL OTHER REQUIREMENTS OF THE PERMITTING AGENCY SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND REQUIREMENTS.
- WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL FINAL ACCEPTANCE OF THE SYSTEM BY THE DEPARTMENT AND UNTIL THE FOLLOWING DOCUMENTS ARE RECEIVED AND APPROVED BY THE DEPARTMENT:
  - EASEMENTS, IF REQUIRED
  - CONTRACTOR'S WAIVER AND RELEASE OF LIEN
  - ABSOLUTE BILL OF SALE
  - CONTRACTOR'S LETTER OF WARRANTY (I.E., LETTER AGREEMENT)
  - DEVELOPER'S CONTRACT BOND (I.E., CONTRACT AGREEMENT)
- "RECORD DRAWING" PRINTS (24" X 36") SHOWING SPECIFIC LOCATIONS, DEPTH, ETC. OF ALL WATER AND SEWER FACILITIES AS LOCATED BY A LICENSED SURVEYOR & MAPPER, ALONG WITH PRINTS OF "RECORD DRAWINGS" WHICH HAVE BEEN SIGNED AND SEALED BY A REGISTERED SURVEYOR & MAPPER. (NO. OF PRINTS: 3-FOR WATER, 4-FOR GRAVITY SEWER AND 5-FOR FORCE MAIN OR PUMP STATIONS PROJECTS). Submittal of final CAD Files required.
- H.R.S. LETTER OF RELEASE REQUIRED FOR ALL WATER PROJECTS
- BILL OF SALE SKETCH (8 1/2" X 11") FOR WATER AND SEWER, SEPARATELY
- ALL NEW CONNECTIONS FROM EXISTING DEPARTMENT MAINS TO BE MADE BY DEPARTMENT FORCES ONLY. THE CONTRACTOR TO EXCAVATE AT REQUIRED LOCATIONS, PROVIDE AND INSTALL MATERIAL WITH FITTINGS, PRIOR TO TAP.
- AN APPROVED PAVING AND DRAINAGE PLAN MUST BE SUBMITTED TO MDWASD FOR ALL NEW SUBDIVISIONS PRIOR TO APPROVAL OF WATER AND SEWER PERMIT PLANS, UPON REQUEST.
- UNLESS OTHERWISE SPECIFIED, ALL TAPS 20 INCHES AND SMALLER FOR CONNECTIONS TO EXISTING MAINS WILL BE DONE BY DEPARTMENT FORCES. UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE PERMITTED TO TAP EXISTING MAINS IN THE SIZE RANGES SPECIFIED ABOVE. THE TAPPING SLEEVE AND TAPPING VALVE ARE FURNISHED AND INSTALLED BY THE CONTRACTOR UNDER THE SUPERVISION OF THE INSPECTOR.

ITEM	CROSS REF.	SPEC. REF.

ISSUE DATE	APPROVED BY	STANDARD DETAIL	GS
03/01/2010	V.F.C.		0.5
07/20/2016	D.V.		

MIAMI-DADE COUNTY  
WATER & SEWER DEPARTMENT

- AT THE COMPLETION OF ANY WATER AND SEWER JOB EITHER DONATION OR CONTRACT, THE CONTRACTOR SHALL SUBMIT:
  - RECORD DRAWING PRINTS WHICH HAVE BEEN SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER (QTY. OF PRINTS AS REQUIRED BY DEPARTMENT).
- "RECORD DRAWING" FORMAT:
  - 24" X 36" PRINTS
  - PDF FILE
  - CAD FILE (DWG OR DWT) ROTATED AND TRANSLATED TO STATE PLANE COORDINATES NAD 83 FLORIDA EAST ZONE
  - THE WORDS "RECORD DRAWING" IN LARGE LETTERS
  - TITLE BLOCK WITH DEPARTMENT DS, DW OR ER NUMBER AND PERTINENT INFORMATION
  - PREFERRED SCALE TO BE 1" = 40' HORIZONTALLY AND 1" = 4' VERTICALLY\*
  - STREET NOMENCLATURE
  - SEPARATE RECORD DRAWINGS FOR WATER AND SEWER
  - SEPARATE WATER AND SEWER PROFILE
  - STATIONING STARTING WITH 0+00 AT PERMANENT REFERENCE POINT (I.E. C, S, ETC.) OR AS SHOWN ON DESIGN PERMIT PLANS, AND TO RUN CONTINUOUSLY TO END OF MAIN
  - EASEMENTS, IF ANY, TIED TO PERMANENT REFERENCE POINT
  - IDENTIFY ALL CONTROL LINES (I.E. BLDG. LINE, PROPERTY LINE, R/W, ETC.)
  - ALL "PROPOSED" INFORMATION TO BE REMOVED FROM PRINTS, LEAVING ONLY RECORD DRAWING INFORMATION REFLECTED IN DRAWINGS
- WATER "RECORD DRAWINGS" MUST INCLUDE:
  - PLANS SHOWING PIPE SIZE, MATERIAL AND OFFSET OF MAIN, DEFLECTIONS (IF ANY), STATION OF SERVICES, HYDRANTS, VALVES, FITTINGS, IF ANY, ALL IN STATE PLANE COORDINATES, UTILITY CROSSINGS SHALL BE CLEARLY IDENTIFIED AND LOCATED.
  - PROFILE SHOWING TOP OF GROUND AND TOP OF PIPE ELEVATIONS AT EVERY 100' STATION AND AT ANY CHANGE IN GRADE (WITH CORRESPONDING STATION), PIPE SIZE AND PIPE MATERIALS REFERENCED TO PLAN.
- SEWER "RECORD DRAWINGS" MUST INCLUDE:
  - PLAN SHOWING MANHOLE NUMBER, PIPE SIZE AND PIPE MATERIAL OF PIPE, DEFLECTION, SLOPE OF GRAVITY SEWER, LOCATION OF LATERALS WITH REFERENCE TO MANHOLE AND CLEANOUTS.
  - THE NORTHERLY AND EASTERLY COORDINATES ON ALL FIELD OBTAINED MEASUREMENTS AND PROVIDED ON ALL RECORD DRAWING SUBMITTALS
  - PROFILE SHOWING MANHOLE NUMBER (AS PER PLAN), RIM AND INVERT ELEVATIONS (IF MORE THAN ONE INVERT, LABEL NORTH, SOUTH, ETC.), AND STATION STARTING AT 0+00 AT DOWNSTREAM MANHOLE.
- FORCE MAIN "RECORD DRAWING" SAME AS WATER MAIN.
- EACH RECORD DRAWING SHALL SHOW THE FLORIDA STATE PLANE COORDINATES (CURRENT READJUSTMENT) OF ALL THE MANHOLES AND VALVES AND OF AT LEAST TWO HORIZONTAL CONTROL POINTS PROPERLY IDENTIFIED AND LOCATED WITHIN THE PROJECT.

\*OTHER SCALES MAY BE PERMITTED, BUT MUST BE APPROVED BY THE DEPARTMENT PRIOR TO PREPARATION OF DRAWINGS.

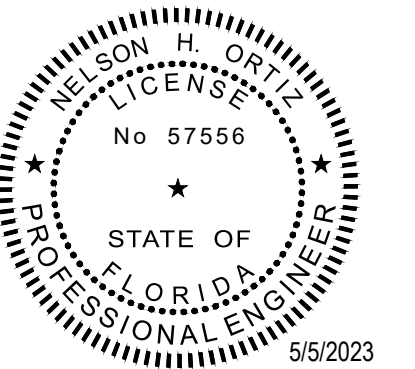
ITEM	CROSS REF.	SPEC. REF.

ISSUE DATE	APPROVED BY	STANDARD DETAIL	GS
03/11/2009	V.F.C.		0.5
07/20/2016	D.V.		

MIAMI-DADE COUNTY  
WATER & SEWER DEPARTMENT



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: NELSON H. ORTIZ (CIVIL)  
PE-57556

PROJECT TITLE:

THE AVENUE

351 SAN LORENZO AVENUE,  
CORAL GABLES, FLORIDA, 33146

Folio No.: 03-4120-017-1570

SAN LORENZO PROPERTY, LLC  
782 N.W. 42nd AVENUE, SUITE 550  
MIAMI, FLORIDA 33126

ISSUE:

NO.	DATE	REVISIONS	BY
1	01/12/23	ADDRESS DRC COMMENTS	

PROJECT INFORMATION:

PROJECT NUMBER: 2022-7023  
DATE: 08/09/2022  
DRAWN BY: S.D.  
CHECKED BY: N.H.O.  
APPROVED BY: N.H.O.  
SCALE: AS SHOWN

SHEET TITLE:

WATER & SEWER  
PLAN

SHEET NUMBER:

WS-2

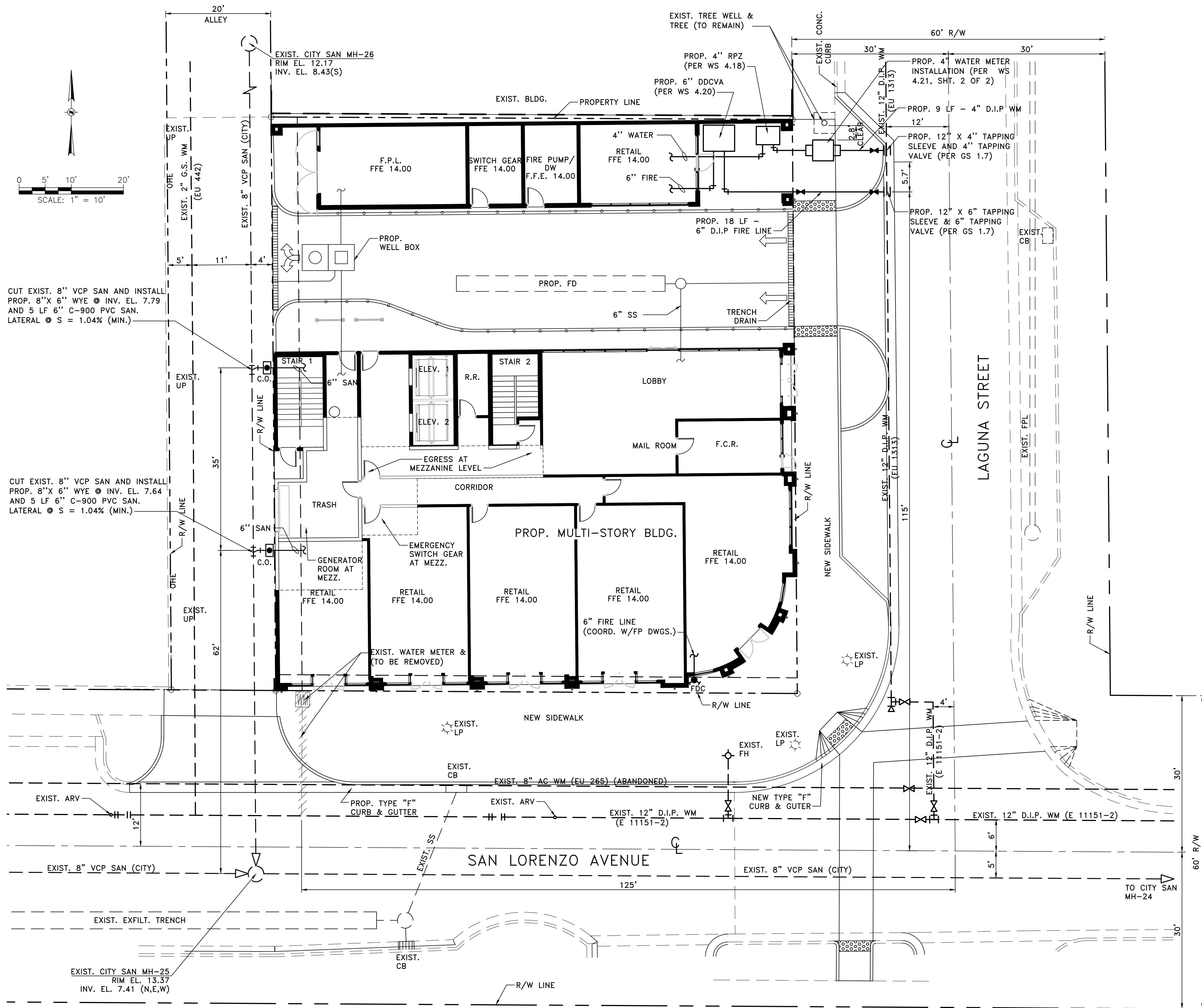
EXISTING	PROPOSED
WM	WM
	FIRE HYDRANT
○	SEWER MANHOLE
SAN	SEWER MAIN
N/A	SEWER CLEANOUT

**WATER SERVICE PROVIDED BY:**

MIAMI-DADE WATER & SEWER DEPARTMENT  
3575 SOUTH LE JEUNE ROAD  
MIAMI, FLORIDA 33130  
(305) 665-7471

**SEWER SERVICE PROVIDED BY:**

CITY OF CORAL GABLES SEWER DEPARTMENT  
2800 S.W. 72nd AVENUE  
MIAMI, FLORIDA 33155  
(305) 460-5005



**WATER AND SEWER PLAN**

SCALE: 1" = 10'

**Sunshine811**  
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

# STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

## A. GENERAL NOTES

- ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN PLANS ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL. INLET ENTRANCES ARE ALSO TO BE PROTECTED FROM SILTATION AS DETAILED IN THE FDOT STANDARDS.
- ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH FDEP'S NPDES REQUIREMENTS. THE CONTRACTOR MUST ENSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.
- ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE PROJECT LIMITS.
- CONTRACTOR'S SUBMITTALS:  
THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE FOLLOWING ITEMS TO FDEP IN ORDER FOR THE NPDES PERMIT TO BE PROCESSED:
  - IF THIS SWPPP IS ADOPTED BY THE CONTRACTOR, THE SWPPP SHEETS AND OTHER PLAN SHEETS SHALL BE INCLUDED BY REFERENCE IN THE NOTICE OF INTENT (NOI) SUBMITTAL. THE CONTRACTOR MAY ELECT TO SUBMIT A REVISED SWPPP THAT IS IN COMPLIANCE WITH THE STORM WATER REGULATIONS AT 40 CFR 122.26(b)(14) AND STATE WATER QUALITY STANDARDS.
  - SIGNED CONTRACTOR CERTIFICATION FORMS (2). THESE FORMS MUST BE SIGNED BY BOTH THE PRIME CONTRACTOR AND SUB-CONTRACTOR (IF APPLICABLE) PERFORMING SOIL-DISTURBING ACTIVITIES.
  - HAZARDOUS MATERIAL SPILL CONTROL PLAN.
  - STAGING AREAS, STOCKPILE LOCATIONS AND STABILIZATION PRACTICES.
  - BRIDGE CONSTRUCTION METHOD AND SEQUENCING (IF APPLICABLE).
  - DEWATERING PLAN (IF APPLICABLE).
- NO SOIL DISTURBING ACTIVITIES CAN BE CONDUCTED UNTIL THE NPDES PACKAGE HAS BEEN MAILED TO THE FDEP.
- ANY DAMAGED OR INEFFECTIVE BAGS ARE TO BE REPLACED WITH NEW ONES. THE LOCATION OF ROCK BAG INSTALLATION IS AS MENTIONED IN EROSION CONTROL PLANS. THE PROJECT ENGINEER MAY SPECIFY OTHER AREAS AS NECESSARY.
- DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP.
- COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE FROM OTHER AREAS.
- CURB INLETS ALSO SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ALL FILL EMBANKMENT AND GRADED AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN "SECTION ID4" FDOT STANDARDS SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION.
- STOCKPILED MATERIALS SHALL NOT BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER AND/OR OTHER APPROPRIATE EROSION CONTROL MEASURES.
- INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BE NOTED AND CORRECTED.
- ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPALLY SEPARATE STORM SEWER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES SHALL HAVE EROSION CONTROLS PROVIDED FOR THOSE INLETS.
- THE AGGREGATE LAYER OF ALL CONSTRUCTION ENTRANCE GRAVEL BEDS MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET. THE ENTRANCE MUST WIDEN AT ITS CONNECTION TO THE ROADWAY IN ORDER TO ACCOMMODATE THE TURNING RADIUS OF LARGE TRUCKS.

## B. SITE DESCRIPTION

- CONSTRUCTION ACTIVITY:  
DEMOLITION, DRAINAGE AND UTILITY INSTALLATION, NEW BUILDING, LAND DEVELOPMENT.  
  
PROJECT LIMITS:  
351 SAN LORENZO AVENUE, CORAL GABLES, FLORIDA.  
  
PROJECT DESCRIPTION:  
LAND DEVELOPMENT AT THE ONE MERRICK PARK PROJECT WILL INCLUDE A NEW MULTI-STORY BUILDING WITH AT-GRADE AND INTERIOR PARKING. THE PROPOSED DRAINAGE SYSTEM WILL CONSIST OF RAINWATER LEADERS, AREA DRAINS, CATCH BASINS, EXFILTRATION TRENCH AND A DRAINAGE WELL.
- MAJOR SOIL DISTURBING ACTIVITIES:  
CLEARING AND GRUBBING; EXCAVATION FOR FOUNDATIONS, STORMWATER FACILITIES AND OTHER UTILITIES; AND, SITE GRADING.
- TOTAL PROJECT AREA: 0.25 ACRES  
TOTAL AREA TO BE DISTURBED: 0.25 ACRES
- LOCATIONS OF DRAINAGE AREAS AND OUTFALLS:  
SEE ATTACHED PLAN.
- THE DRAINAGE SYSTEM FOR THIS PROJECT IS A CLOSED SYSTEM. RECEIVING WATERS IN THE EVENT OF A MAJOR STORM EVENT WILL BE A LOCAL CANAL AT LATITUDE AND LONGITUDE 25°43'47.83" N/80°15'51.86" W.
- AREA OF DISCHARGE FOR THIS PROJECT IS 0.25 ACRES = 11,000 SF
- SOILS ARE CLASSIFIED AS URBAN LAND AND QUALITY OF DISCHARGE IS LIMEROCK FILL AND SAND.
- LATITUDE AND LONGITUDE OF DIRECT DISCHARGE POINT IS NOT APPLICABLE SINCE THIS IS A CLOSED SYSTEM WITH NO DIRECT DISCHARGE TO ADJACENT SURFACE WATERS. HOWEVER, LATITUDE AND LONGITUDE OF THIS PROJECT AS INDICATED IN THE NOI IS 25°43'56.51" N/80°15'40.91" W AND LATITUDE AND LONGITUDE OF THE LOCAL CANAL IS 25°43'47.83"N/80°15'51.86" W.

## C. CONTROLS

NARRATIVE - SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS.  
CONSTRUCTION OF THE ONE MERRICK PARK PROJECT AT 351 SAN LORENZO AVENUE, CORAL GABLES, AND ASSOCIATED DRAINAGE SYSTEM WILL INCLUDE RAINWATER LEADERS, AREA DRAINS, CATCH BASINS EXFILTRATION TRENCHES AND A DRAINAGE WELL.

PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, ALL EROSION CONTROLS MUST BE IMPLEMENTED.

TEMPORARY STABILIZATION:  
DISTURBED PORTIONS OF THE SITE (E.G. EMBANKMENT AT TEMPORARY RAMPS) WHERE CONSTRUCTION ACTIVITY CEASES FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SOD OR TEMPORARY SEEDING AND MULCHING NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.

PERMANENT STABILIZATION:  
DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY PERMANENTLY CEASES SHALL BE STABILIZED WITH SOD NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.

## 1. EROSION AND SEDIMENT CONTROLS:

- (1) STABILIZATION PRACTICES:
- TEMPORARY SODDING
  - SILT FENCES
  - TEMPORARY GRASSING
  - PERMANENT SODDING, SEEDING OR SEED & MULCH
  - TEMPORARY MULCHING
  - ARTIFICIAL COVERING
  - BUFFER ZONES
  - PRESERVATION OF NATURAL RESOURCES

OTHER:

- (2) STRUCTURAL PRACTICES:
- SAND BAGGING
  - SILT FENCES
  - ROCK BAGS
  - BERMS
  - DIVERSION, INTERCEPTOR, OR PERIMETER DITCHES
  - PIPE SLOPE DRAINS
  - FLUMES
  - ROCK BEDDING AT CONSTRUCTION EXIT
  - TIMBER BEDDING AT CONSTRUCTION EXIT
  - DITCH LINER
  - SEDIMENT TRAPS (DURING DE-WATERING)
  - SEDIMENT BASINS
  - STORM INLET SEDIMENT TRAP
  - STONE OUTLET STRUCTURES
  - CURBS AND GUTTERS
  - STORM SEWERS
  - VELOCITY CONTROL DEVICES
  - TURBIDITY BARRIER
  - RIP RAP

## 2. DESCRIPTION OF STORM WATER MANAGEMENT:

THE STORMWATER MANAGEMENT SYSTEM CONSISTS OF RAINWATER LEADERS, AREA DRAINS AND CATCH BASINS THAT CONVEY STORMWATER INTO THE EXFILTRATION TRENCHES THAT TREAT THE WATER QUALITY AND WATER QUANTITY REQUIREMENTS.

OTHER CONTROLS

## 3. (1) WASTE DISPOSAL:

IN APPROVED OFFSITE AREAS PROVIDED BY THE CONTRACTOR.

- (2) OFFSITE VEHICLE TRACKING:
- HAUL ROADS DAMPENED FOR DUST CONTROL
  - LOADED HAUL TRUCKS TO BE COVERED WITH TARPULIN
  - EXCESS DIRT ON ROAD REMOVED DAILY
  - STABILIZED CONSTRUCTION ENTRANCE

OTHER:

## (3) SANITARY WASTE:

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NECESSARY OR AS REQUIRED BY LOCAL REGULATION OF A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

(4) FERTILIZERS AND PESTICIDES:  
FERTILIZER TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. IF STORED ON-SITE, STORAGE WILL BE IN COVERED SHED. THE CONTENT OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEPARATE PLASTIC BIN TO AVOID SPILLS.

(5) NON-STORM WATER DISCHARGE (INCLUDING SPILL REPORTING) THE CONTRACTOR IS RESPONSIBLE FOR REPORTING SPILLS TO MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER). DEWATERING IS NOT ANTICIPATED.

REMARKS:  
IF CONTAMINATED SOIL OR GROUNDWATER IS ENCOUNTERED OR HAZARDOUS SPILLS OCCUR DURING CONSTRUCTION THE MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER) SHALL BE CONTACTED AT THEIR HOTLINE: (305) 372-6955.

## 4. APPROVED STATE, LOCAL PLANS, OR STORM WATER PERMITS:

VILLAGE OF PALMETTO BAY BUILDING DEPARTMENT FLORIDA DEPARTMENT OF TRANSPORTATION AND MIAMI-DADE COUNTY RER.

## D. MAINTENANCE

ITEM:  
SILT FENCE


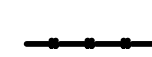
MAINTENANCE:  
ALL CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING CONSTRUCTION. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S DAILY INSPECTION REPORT.

CONSTRUCTION ENTRANCE GRAVEL BED

WHEN THE CONSTRUCTION ENTRANCE GRAVEL BEDS BECOME LOADED WITH SEDIMENTS, REWORK BEDS TO DISPLACE SEDIMENT LOAD AND RE-ESTABLISH EFFECTIVENESS OF THE GRAVEL BEDS.

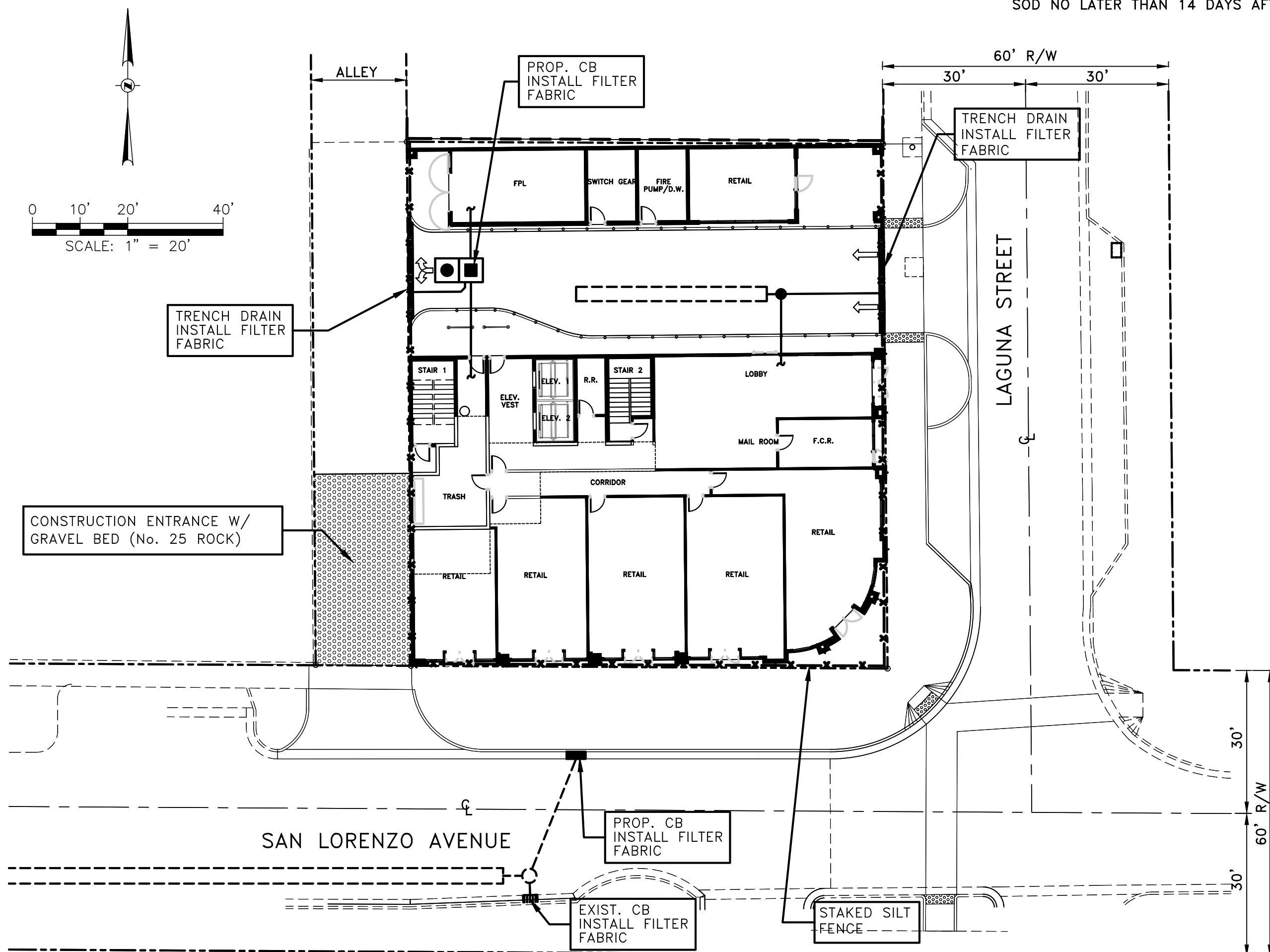
## E. INSPECTION

THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL FEATURES AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5" OR GREATER. IN ADDITION, A DAILY REVIEW OF THE LOCATION OF SILT FENCES SHALL BE MADE IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CHANGED THE NATURAL CONTOUR AND DRAINAGE RUNOFF. IN ORDER TO INSURE THAT SILT FENCES AND OTHER EROSION CONTROL DEVICES ARE PROPERLY LOCATED FOR EFFECTIVENESS. A FORM ACCEPTABLE TO THE FDEP WILL BE USED TO REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION. EACH INSPECTION REPORT SHALL BE SIGNED AND SUBMITTED WEEKLY TO THE PROJECT ENGINEER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S INSPECTION REPORT.

-  GRAVEL BED (No. 25 ROCK)
-  STAKED SILT FENCE

### NOTES:

- PERIMETER CONSTRUCTION FENCE SHALL BE PROVIDED WITH WIND SCREEN TO MAINTAIN SUFFICIENT DUST CONTROL.
- INSTALLATION OF EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH FDOT 2010, INDEX No. 102.



## STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1" = 20'

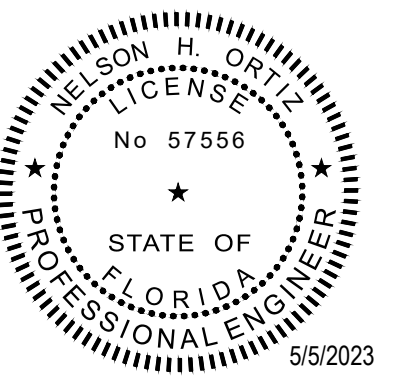


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305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4270

SEAL / SIGNATURE:



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: NELSON H. ORTIZ (CIVIL)  
PE-57556

PROJECT TITLE:

THE AVENUE

351 SAN LORENZO AVENUE,  
CORAL GABLES, FLORIDA, 33146

Folio No.: 03-4120-017-150

SAN LORENZO PROPERTY, LLC  
782 N.W. 42nd AVENUE, SUITE 550  
MIAMI, FLORIDA 33126

ISSUE:

NO.	DATE	REVISIONS	BY
1	01/12/23	ADDRESS DRC COMMENTS	

PLANNING AND ZONING BOARD 05-05-2023

PROJECT INFORMATION:

PROJECT NUMBER: 2022-7023

DATE: 08/09/2022

DRAWN BY: S.D.

CHECKED BY: N.H.O.

APPROVED BY: N.H.O.

SCALE: AS SHOWN

SHEET TITLE:

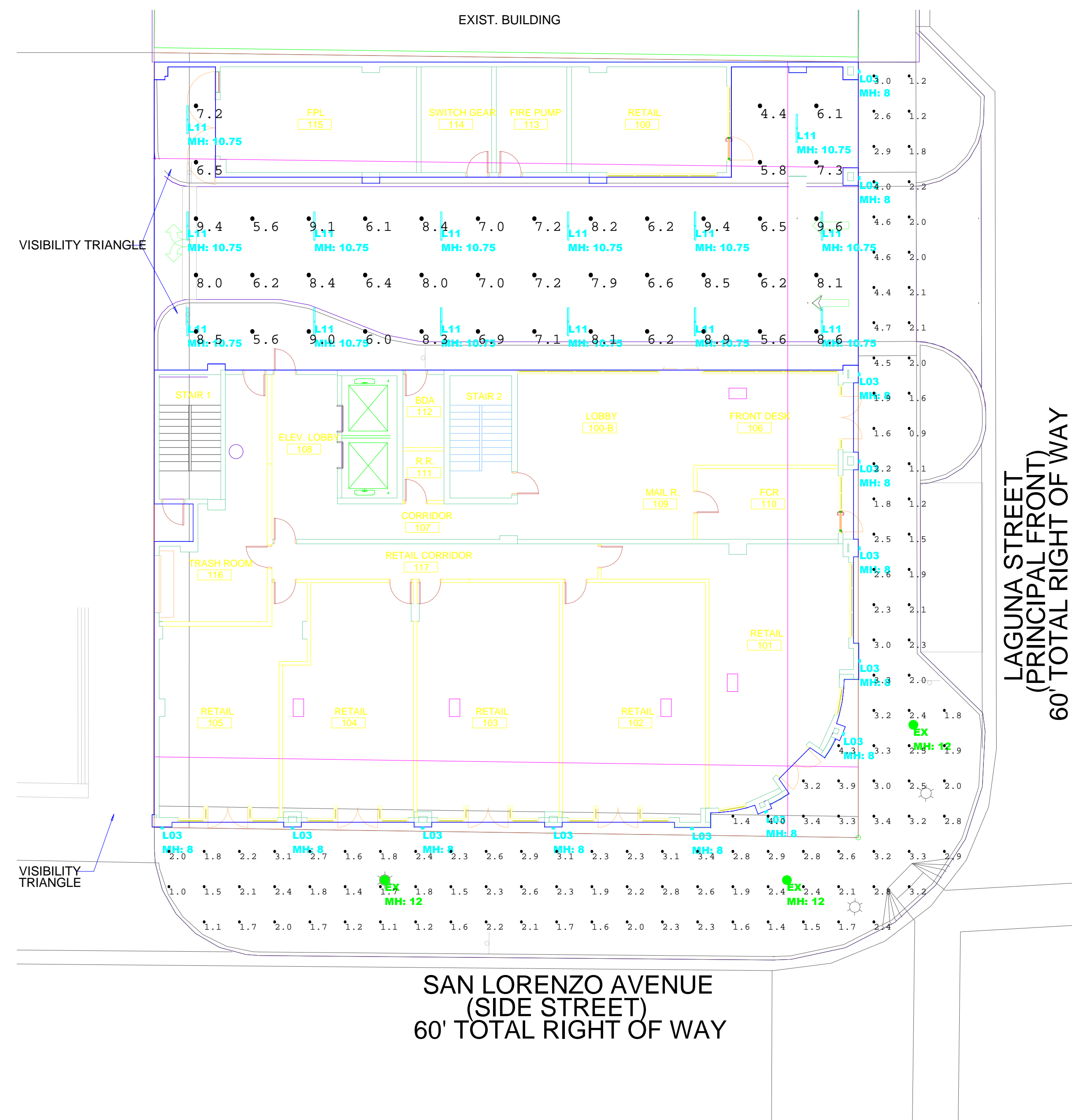
STORMWATER POLLUTION  
PREVENTION PLAN AND  
NOTES

SHEET NUMBER:

# SWPPP



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!



SYMBOL	QTY	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LF	LUMINAIRE LUMENS	LUMINAIRE WATTS	ARRANGEMENT WATTS
	3	EX	Single	EXISTING	EXISTING	POLE MOUNTED 12' A.F.S.	NA	0.895	13689	180	180
	13	L03	Single	EUREKA	3485 LED 30 277V DV BLAKE	SCANCE	NA	0.860	784	0.864	0.864
	14	L11	Single	FANUC PSHI LLC	FINDLUM FL 2524P 30W 10 0WV L11 TP MH XPT	RECESSED	NA	0.866	2781	21	21

LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG MIN	MAX MIN
COVERED DRIVE	Illuminance	Fc	8	8	0	2.32	5.6	4.4	1.66	2.16
SIDEWALK	Illuminance	Fc	8	8	0	2.27	4.7	6.9	2.63	6.22

Scale: 1 inch= 12 Ft.

**DESCRIPTION:**  
**SITE**  
**NORMAL POWER**  
**DATE:**  
**5/12/2023**

**PROJECT:**  
**THE AVENUE**

REV# 0





**CONTACT PHONE NUMBERS:**  
 MIAMI-DADE COUNTY DEVELOPMENT SERVICES  
 DIVISION: (305)375-2800  
 MIAMI-DADE COUNTY  
 LAND DEVELOPMENT DIVISION: (305) 375-2141  
 CITY OF CORAL GABLES  
 DEVELOPMENT SERVICES DEPARTMENT: (305)460-5245

**PROPERTY ADDRESS:**  
 351 SAN LORENZO AVE  
 CORAL GABLES, FL 33146

**FOLIO NUMBER:**  
 03-4120-017-1570

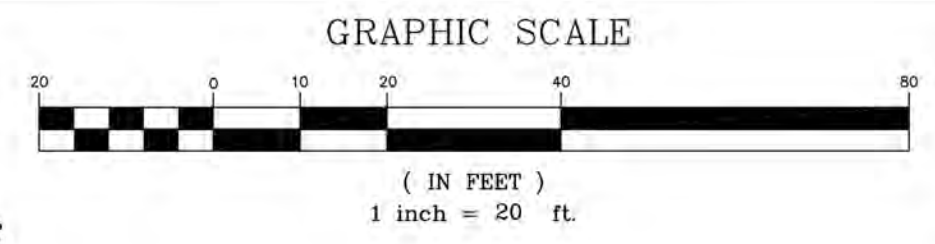
**LAND AREA:**  
 10,988± SQ.FT. (0.25± acres)

**ZONED:**  
 M - INDUSTRIAL - LIGHT MANUFACTURING  
 (PER MIAMIDADE.GOV-PROPERTY APPRAISER)  
 I - INDUSTRIAL DISTRICT (PER CITY OF CORAL GABLES ZONING AND ZONING DIVISION ZONING MAP - PLATE 9)  
 MX2 - MIXED USE DISTRICT (PER CORAL GABLES ZONING MAP)

**SITE RESTRICTIONS:**  
 ALL SITE RESTRICTIONS WERE OBTAINED ON APRIL 4, 2022 PER CORAL GABLES ZONING CODE - ARTICLE 2. ZONING DISTRICTS - SECTION 2-200. MIXED USE DISTRICTS (MX). FOR OFFICIAL INFORMATION, PLEASE REFER TO THE CORAL GABLES ZONING CODE.

**UTILITY COMPANIES:**  
 Florida Power & Light - 305-377-6108  
 AT&T - 786-489-6418  
 Water & Sewer - 786-268-5360

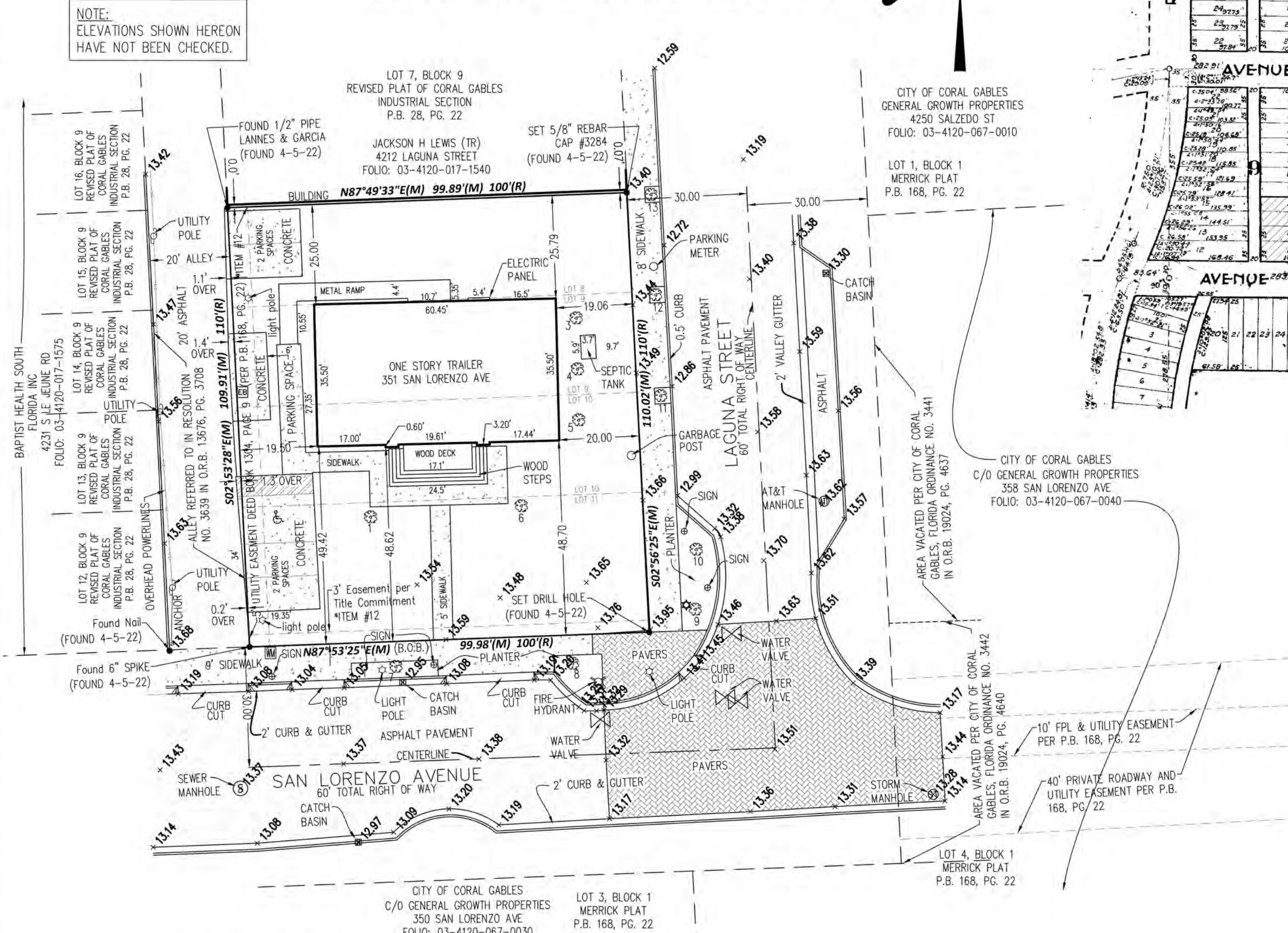
**STATEMENT OF ENCROACHMENTS:**  
 THERE ARE NO VISIBLE ENCROACHMENTS.  
 NO EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS HAVE BEEN NOTICED.  
 THERE IS NO PHYSICAL EVIDENCE THAT THE SITE WAS EVER USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.



# ALTA/NSPS Land Title Survey

**LEGEND**

- WATER METER
- CATCH BASIN
- FIRE HYDRANT
- CLEAN OUT
- SANITARY MANHOLE
- STORM MANHOLE
- FPL MANHOLE
- DRAINAGE MANHOLE
- INLET
- WATER VALVE
- GAS VALVE
- UTILITY POLE
- CONCRETE UTILITY POLE
- TRAFFIC BOX
- TREE
- P.B. PLAT BOOK
- PG. PAGE
- O.R.B. OFFICIAL RECORDS BOOK
- SQ.FT. SQUARE FEET
- ± MORE OR LESS
- ELEV. ELEVATION
- INV. INVERT
- C CENTERLINE
- P PROPERTY LINE
- ENCR. ENCROACHMENT
- (M) MEASURED
- (P) PLAT
- (C) CALCULATED
- (B.O.B.) BASIS OF BEARING
- OVERHEAD POWER LINES
- WATER MAIN
- SEWER MAIN
- TELEPHONE LINE
- CHAIN LINK FENCE
- BACKFLOW PREVENTER
- HANDICAP PARKING
- ELECTRIC BOX
- COLUMN
- TBM TEMPORARY BENCH MARK
- STREET LIGHT POLE



#	TREE NAME	DIAMETER (IN)	HEIGHT (FT)±	SPREAD (FT)±
1	ROYAL PALM TREE	20	40	15
2				
3	FISHTAIL PALM	20	30	15
4	FISHTAIL PALM	20	30	15
5	FISHTAIL PALM	20	30	15
6	ROYAL PALM TREE	20	40	15
7	BLACK OLIVE TREE	9	20	20
8	BLACK OLIVE TREE	9	20	20
9	OAK TREE	10	25	20
10	OAK TREE	10	25	20
11	OAK TREE	10	25	20
12	OAK TREE	10	25	20
13	OAK TREE	10	25	20

**LEGAL DESCRIPTION**  
 Lots 8, 9, 10 and 11, Block 9, of REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION, according to the Plat thereof, as recorded in Plat Book 28, Page 22, of the Public Records of Miami-Dade County, Florida.

**SURVEYOR'S NOTES**

- SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X", BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 12086C0457L, WITH A DATE OF IDENTIFICATION OF 09-11-09, FOR COMMUNITY NUMBER 120639, IN MIAMI-DADE COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY OR OWNERSHIP IS SUBJECT TO OPINION OF TITLE.
- LOCATION AND IDENTIFICATION OF UTILITIES, IF ANY ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT.
- TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY
- LEGAL DESCRIPTION: FURNISHED BY CLIENT
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTIES
- UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON. CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- THE SURVEYOR OF RECORD DOES NOT DETERMINE OWNERSHIP OF FENCES. MEASUREMENTS SHOWN HEREON DEPICT PHYSICAL LOCATION OF FENCE.
- WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1:10,000FT.
- IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
- NO ATTEMPT HAS BEEN MADE TO LOCATE ANY FOUNDATION BENEATH THE SURFACE OF THE GROUND.
- BEARINGS HEREON REFER TO AN ASSUMED VALUE OF N87°53'25"E FOR THE NORTH RIGHT-OF-WAY LINE OF SAN LORENZO AVENUE.

**CERTIFICATION**  
 To: San Lorenzo Property, LLC  
 Laguna Merrick, LLC  
 C Bridge, Inc.  
 FLEITAS PLLC  
 Old Republic National Title Insurance Company  
 Greenberg Traurig, P.A.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(c), 8, 9, 13, 16, and 19 of Table A thereof. The fieldwork was completed on 03-08-2022. Date of Plat or Map: 04-05-2022.

**Waldo F Paez**  
 Digitally signed by Waldo F Paez  
 Date: 2022.05.23 15:08:05 -0400

By: Waldo F. Paez, Professional Surveyor and Mapper No. LS3284 State of Florida

DELTA MAPPING AND SURVEYING, INC.  
 13301 S.W. 132ND AVENUE  
 SUITE 117  
 MIAMI, FL 33186  
 LB No. 7950

TEL: 786-429-1024  
 FAX: 786-592-1152

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY WALDO F. PAEZ, LS3284 ON MAY 23, 2022 USING A DIGITAL SIGNATURE CERTIFIED BY IDENTRUST.

DIGITALLY SIGNED PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY WALDO F. PAEZ, LS3284 ON MAY 23, 2022.

Section 2-200 Mixed Use Districts Table

Use categories	MX1	MX2	MX3
<b>A. Lot occupation</b>			
1 Building Site Area Minimum (square feet)	2,500	10,000	2,500
2 Building Site Width Minimum (feet)	25	100	25
3 Ground Coverage Minimum	NA	NA	NA
4 Open Space Minimum	10%	10%	10%
<b>B. Density</b>			
1 Density (DU/Acre)	125	125	125
2 Unit Size Minimum (square feet)	500	500	500
3 Floor Area Ratio (FAR)	3.0	3.0	3.0
4 FAR Med. Bonus I	3.2	3.2	3.2
5 FAR Med. Bonus II	3.5	3.5	3.5
<b>C. Setback minimums (feet)</b>			
1 Principal Front	0	0	0
2 Side Interior	0	0	0
3 Side Street	0	0	0
4 Rear	10	10	10
5 Rear at Alley	0	0	0
6 Waterway	35	35	35
<b>D. Stepback minimums (feet)</b>			
1 Stepback Front	NA	10	10
2 Stepback Side	NA	15	15
3 Stepback Side Street	NA	10	10
4 Stepback Rear	NA	10	10

4/5/22, 11:07 AM Print

Use categories	MX1	MX2	MX3
<b>E. Building height maximums (stories/feet)</b>			
1 Principal Building	45	45	70
2 Mediterranean Bonus I	NA	5 stories /63.5	7 stories /83.5
3 Mediterranean Bonus II	NA	6 stories /77	8 stories /97

- General Notes:**
- Additional story limitations for Principal Building heights shall apply to properties identified in Appendix A Site Specifics.
  - Additional requirements may apply according to Section 6-105, Landscape Requirements for Zoning Districts or other regulations in Article 6.
  - Additional requirements and exceptions may apply according to Section 2-201, and Section 2-400, Overlay Districts or other regulations in Article 2.
  - There shall be no density limitation in the CBD and Design & Innovation District Overlays.
  - Deviation from required setbacks may be permitted pursuant to Section 5-201, Coral Gables Mediterranean style design standards.

THE PROPERTY HAS DIRECT PHYSICAL ACCESS TO SAN LORENZO AVENUE AND LAGUNA STREET, DEDICATED PUBLIC STREETS.

**PARKING NOTE**  
 THE TOTAL NUMBER OF STRIPED PARKING SPACES REQUIRED BY LOCAL ZONING ORDINANCE IS INCLUDING DESIGNATED AS HANDICAPPED SPACES. THE NUMBER OF ACTUAL STRIPED PARKING SPACES LOCATED ON THE SUBJECT PROPERTY IS SIX INCLUDING ONE DESIGNATED AS HANDICAPPED SPACES.

**TITLE COMMITMENT PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AMERICAN LAND TITLE ASSOCIATION COMMITMENT**  
 COMMITMENT NUMBER: FILE NO.: 22043377  
 COMMITMENT EFFECTIVE DATE: APRIL 20, 2022 AT 08:00AM, REVISED DATE: MAY 20, 2022 8:00 am

- SCHEDULE B-II EXCEPTIONS**
- ITEM NO. 1 NOT A SURVEYING MATTER NOT PLOTTABLE
  - ITEM NO. 2 SURVEY SHOWN ON THIS PAGE
  - ITEM NO. 3 NOT A SURVEYING MATTER NOT PLOTTABLE
  - ITEM NO. 4 NOT A SURVEYING MATTER NOT PLOTTABLE
  - ITEM NO. 5 ANY EASEMENTS WHICH HAVE BEEN PROVIDED TO SURVEYOR HAVE BEEN PLOTTED.
  - ITEM NO. 6 NOT A SURVEYING MATTER NOT PLOTTABLE
  - ITEM NO. 7 NOT A SURVEYING MATTER NOT PLOTTABLE
  - ITEM NO. 8 REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION P.B. 28, PG. 22 AFFECTS PROPERTY BLANKET IN NATURE
  - ITEM NO. 9 EASEMENT DEED BOOK 839, PG. 106 AFFECTS PROPERTY AS TO: "...IN, UPON, ALONG, ACROSS, OVER AND UNDER THE REAR PROPERTY LINES OF LOTS NOW OR HERE-AFTER PLATTED OR THE SIDE LINES OF SAID LOTS"
  - ITEM NO. 10 EASEMENT DEED BOOK 939, PG. 435 NOT LEGIBLE
  - ITEM NO. 11 EASEMENT DEED BOOK 939, PG. 443 AFFECTS PROPERTY AS TO "...ALL PROPERTY OF EVERY KIND, NATURE OR DESCRIPTION USED OR USEFUL IN THE BUSINESS OF SUPPLYING AND DISTRIBUTING WATER IN AND ABOUT CORAL GABLES"
  - ITEM NO. 12 WARRANTY DEED DEED BOOK 1304, PG. 1 -NOT PROVIDED TO SURVEYOR DEED BOOK 1304, PG. 9 -AFFECTS PROPERTY BLANKET IN NATURE AND PLOTTED AS SHOWN RELEASE OF REVERTER DEED BOOK 1315, PG. 126 -NOT PROVIDED TO SURVEYOR
  - ITEM NO. 13 INTENTIONALLY DELETED
  - ITEM NO. 14 INTENTIONALLY DELETED
  - ITEM NO. 15 INTENTIONALLY DELETED
  - ITEM NO. 16 INTENTIONALLY DELETED
  - ITEM NO. 17 AGREEMENT O.R.B. 29648, PG. 2537 AFFECTS PROPERTY BLANKET IN NATURE
  - ITEM NO. 18 AGREEMENT O.R.B. 29687, PG. 915 AFFECTS PROPERTY BLANKET IN NATURE
  - ITEM NO. 19 RESTRICTIVE COVENANT O.R.B. 30245, PG. 2235 AFFECTS PROPERTY BLANKET IN NATURE
  - ITEM NO. 20 AGREEMENT O.R.B. 30323, PG. 3280 AFFECTS PROPERTY AS TO RIGHT-OF-WAY BLANKET IN NATURE
  - ITEM NO. 21 NOT A SURVEYING MATTER NOT PLOTTABLE

**ARCHITECT:**  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

**MEP ENGINEER:**  
**Louis J. Aguirre & Associates, P.A.**  
 9150 South Dadeland Blvd., Suite 900  
 Miami, Florida 33156  
 305.670.0141

**CIVIL ENGINEER:**  
**Graef-USA Inc.**  
 9400 South Dadeland Boulevard  
 Suite 601, Miami, FL 33156  
 305-378-5555

**STRUCTURAL ENGINEER:**  
**BNI Engineers**  
 5838 Blue Lagoon Dr, Suite 400  
 Miami, FL 33126  
 P: 305.442.7086

**LANDSCAPE ARCHITECT:**  
**Greenspacestrategies Inc.**  
 7995 SW 170th Street  
 Palmetto, Bay FL 33157  
 561-460-8499

**OWNER:**  
**San Lorenzo Property, LLC**  
 782 NW 42nd Avenue, Suite 550  
 Miami, Florida 33126

**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL GABLES, FL, 33146

**PHASE:**  
**PLANNING AND ZONING BOARD**

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**SEAL:**

05/05/2023

Agustin J. Barrera  
LIC# AR94201

**REVISIONS:**

No.	DESCRIPTION	DATE:

**TITLE:**  
**SURVEY**

Project No: The Avenue  
 Date: 2023.02.23  
 Scale:  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker  
 SHEET:



ARCHITECT:  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

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SEAL:  
 05/05/2023  
 Agustin J. Barrera  
 LIC# AR94201

REVISIONS:

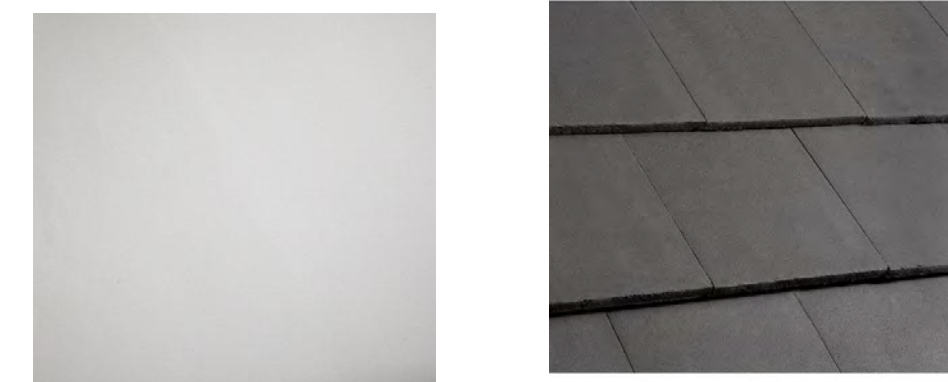
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TITLE:  
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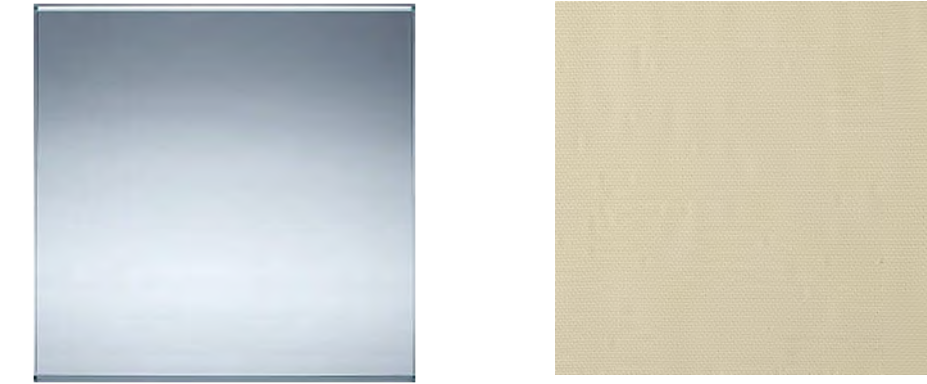
Project No: The Avenue  
 Date: 2023.02.23  
 Scale: 12" = 1'-0"  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker

SHEET:  
**G002.1**

**MATERIALS LEGEND**



- 1 SMOOTH STUCCO
- 2 CONCRETE ROOF TILE IN GRAY



- 3 GLASS
- 4 FABRIC



- 5 BLUE ALUMINUM GLASS FRAME



- 6 ONYX STONE
- 7 PRECAST MATERIAL



- 8 HIGH REFLECTIVE WHITE SW 7757
- 9 "IN THE NAVY" SW 9178

**PRECEDENTS**



A GEORGE FINK STUDIO



B GEORGE FINK STUDIO



C GEORGE FINK STUDIO



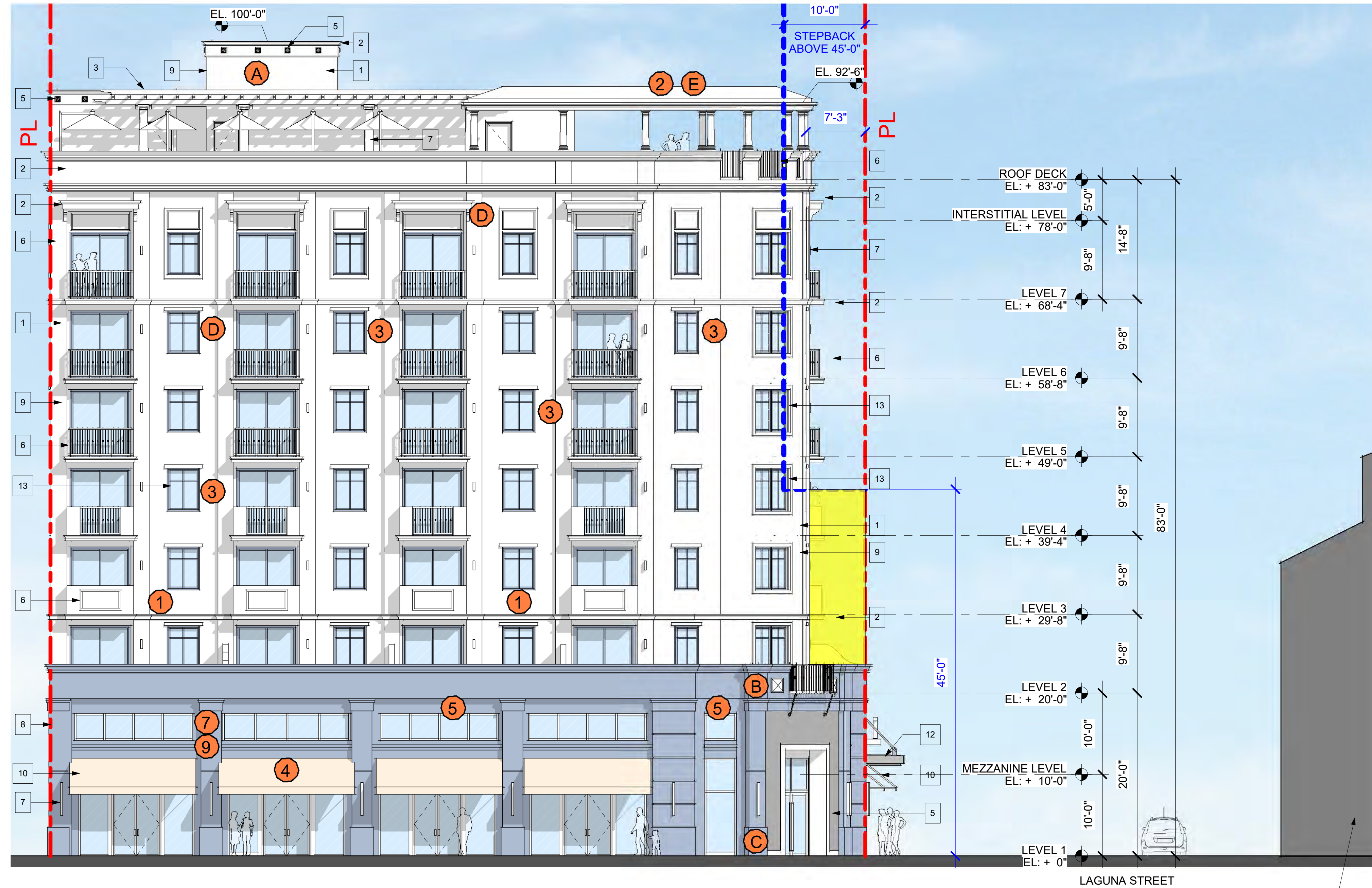
D



E CITY OF CORAL GABLES BUILDING DEPARTMENT

**MATERIALS LEGEND**

- 1 SMOOTH STUCCO TEXTURE
- 2 PRECAST DECORATIVE TRIM
- 3 METAL TRELLIS
- 4 CONCRETE ROOF TILE IN GRAY
- 5 DECORATIVE STONE DETAIL
- 6 ALUMINUM DECORATIVE RAILING
- 7 WALL MOUNTED LIGHT FIXTURE
- 8 PRECAST "IN THE NAVY" SW 9176
- 9 "HIGH REFLECTIVE" WHITE SW 7757
- 10 FABRIC AWNING MATERIAL
- 11 ONYX STONE
- 12 METAL CANOPY
- 13 CASEMENT WINDOW CLEAR GLASS



MERRICK PARK  
350 SAN  
LORENZO AVE.



ARCHITECT:  
**Bermello Ajamil & Partners**  
4711 South LeJeune Road,  
Coral Gables, FL 33146  
P: 305.859.2050

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STRUCTURAL ENGINEER:  
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561-460-8499

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782 NW 42nd Avenue, Suite 550  
Miami, Florida 33126

**THE AVENUE**  
351 SAN LORENZO AVE, CORAL  
GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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SEAL:  
  
05/05/2023

Agustin J. Barrera  
LIC# AR94201

**REVISIONS:**

No.:	DESCRIPTION	DATE:

TITLE:  
**SOUTH ELEVATION**

Project No: The Avenue  
Date: 2023.02.23  
Scale: As indicated  
Format: 24" x 36"  
Drawn: Author  
Checked: Checker

SHEET:  
**A500**

**MATERIALS LEGEND**



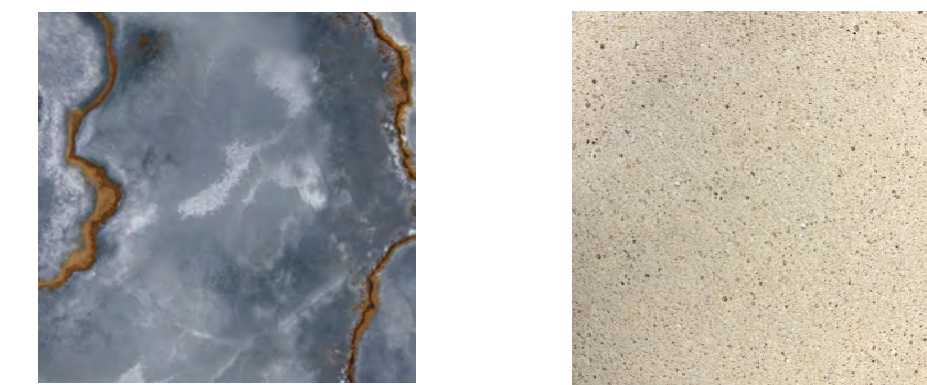
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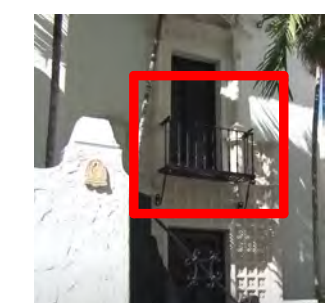


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**PRECEDENTS**



A GEORGE FINK STUDIO



B GEORGE FINK STUDIO



C GEORGE FINK STUDIO



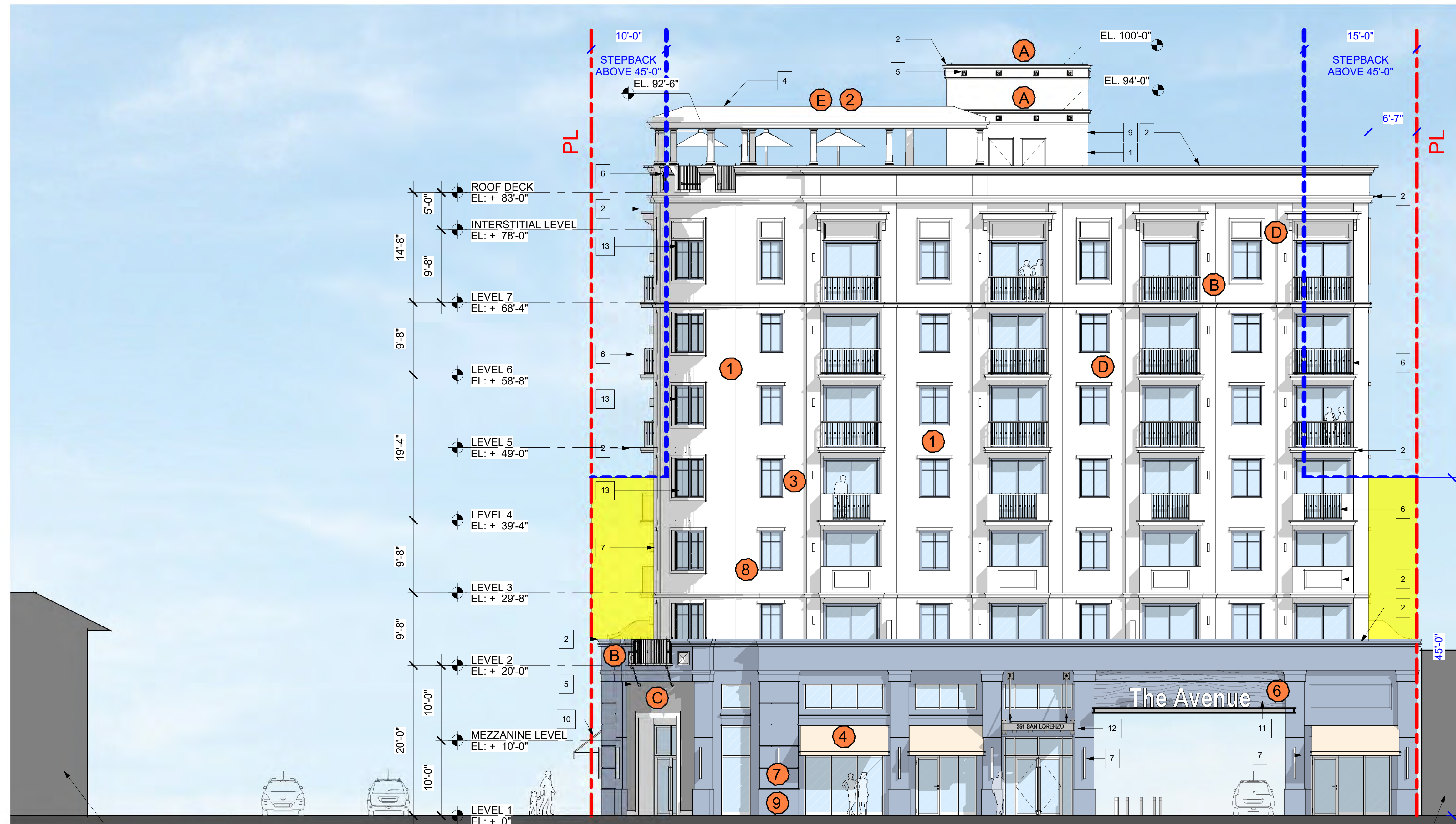
D



E CITY OF CORAL GABLES BUILDING DEPARTMENT

**MATERIALS LEGEND**

- |                              |                                 |                                   |
|------------------------------|---------------------------------|-----------------------------------|
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| 2 PRECAST DECORATIVE TRIM    | 6 ALUMINUM DECORATIVE RAILING   | 10 FABRIC AWNING MATERIAL         |
| 3 METAL TRELLIS              | 7 WALL MOUNTED LIGHT FIXTURE    | 11 ONYX STONE                     |
| 4 CONCRETE ROOF TILE IN GRAY | 8 PRECAST "IN THE NAVY" SW 9176 | 12 METAL CANOPY                   |
|                              |                                 | 13 CASEMENT WINDOW CLEAR GLASS    |



MERRICK PARK  
350 SAN LORENZO AVE.

4212 LAGUNA ST.



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SEAL:  
  
05/05/2023

Agustin J. Barrera  
LIC# AR94201

**REVISIONS:**

No.:	DESCRIPTION	DATE:

TITLE:  
**EAST ELEVATION**

Project No: The Avenue  
Date: 2023.02.23  
Scale: As indicated  
Format: 24" x 36"  
Drawn: Author  
Checked: Checker

SHEET:  
**A501**

**MATERIALS LEGEND**



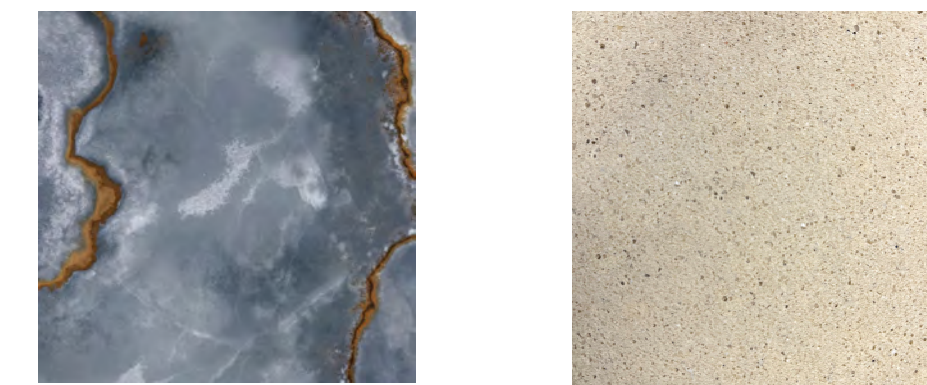
- 1 SMOOTH STUCCO
- 2 CONCRETE ROOF TILE IN GRAY



- 3 GLASS
- 4 FABRIC



- 5 BLUE ALUMINUM GLASS FRAME



- 6 ONYX STONE
- 7 PRECAST MATERIAL



- 8 HIGH REFLECTIVE WHITE SW 7757
- 9 IN THE NAVY SW 9178

**PRECEDENTS**



- A GEORGE FINK STUDIO



- B GEORGE FINK STUDIO



- C GEORGE FINK STUDIO



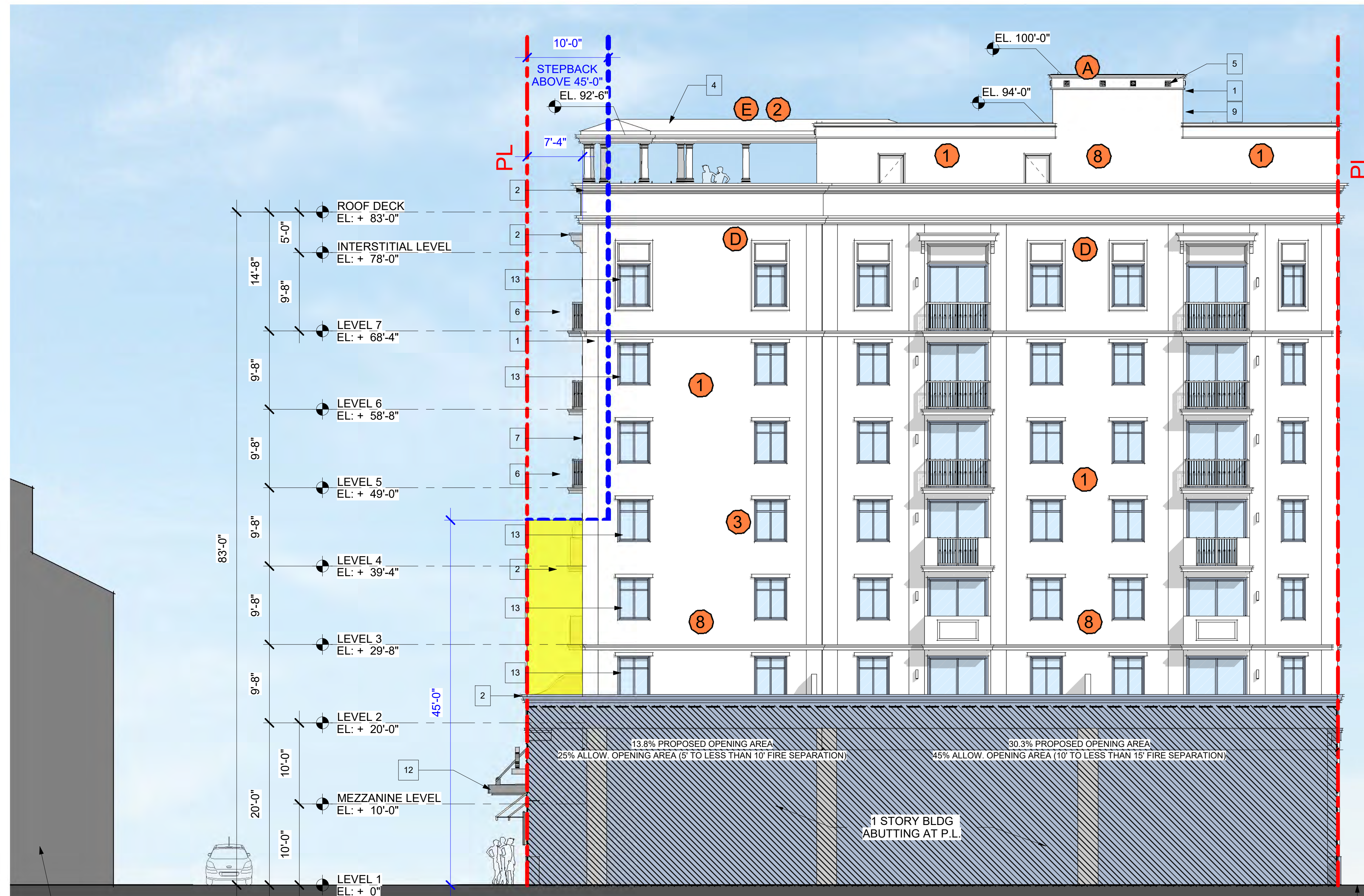
- D



- E CITY OF CORAL GABLES BUILDING DEPARTMENT

**MATERIALS LEGEND**

- 1 SMOOTH STUCCO TEXTURE
- 2 PRECAST DECORATIVE TRIM
- 3 METAL TRELLIS
- 4 CONCRETE ROOF TILE IN GRAY
- 5 DECORATIVE STONE DETAIL
- 6 ALUMINUM DECORATIVE RAILING
- 7 WALL MOUNTED LIGHT FIXTURE
- 8 PRECAST "IN THE NAVY" SW 9176
- 9 "HIGH REFLECTIVE" WHITE SW 7757
- 10 FABRIC AWNING MATERIAL
- 11 ONYX STONE
- 12 METAL CANOPY
- 13 CASEMENT WINDOW CLEAR GLASS



LAGUNA STREET  
 MERRICK PARK  
 350 SAN LORENZO AVE.

20' ALLEY



ARCHITECT:  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
 9150 South Dadeland Blvd., Suite 900  
 Miami, Florida 33156  
 305.670.0141

CIVIL ENGINEER:  
**Graef-USA Inc.**  
 9400 South Dadeland Boulevard  
 Suite 601, Miami, FL 33156  
 305-378-5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
 5838 Blue Lagoon Dr., Suite 400  
 Miami, FL 33126  
 P: 305.442.7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
 7995 SW 170th Street  
 Palmetto, Bay FL 33157  
 561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
 782 NW 42nd Avenue, Suite 550  
 Miami, Florida 33126

**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL  
 GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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SEAL:  
 05/05/2023

Agustin J. Barrera  
 LIC# AR94201

**REVISIONS:**

No.:	DESCRIPTION	DATE:

TITLE:  
**NORTH ELEVATION**

Project No: The Avenue  
 Date: 2023.02.23  
 Scale: As indicated  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker

SHEET:  
**A502**

**MATERIALS LEGEND**



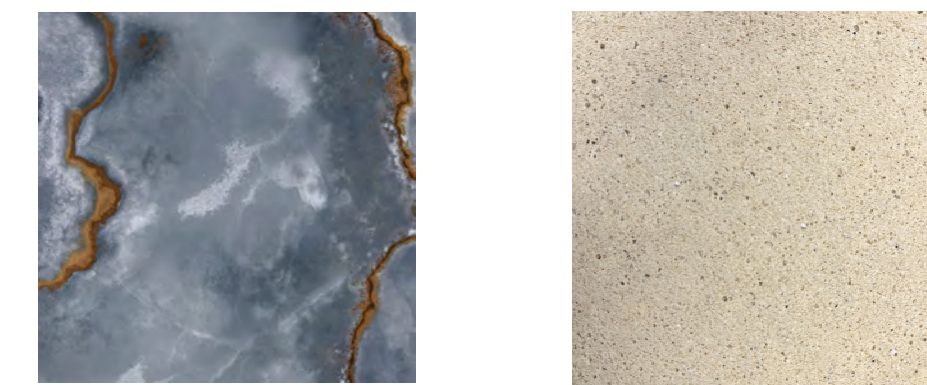
- 1 SMOOTH STUCCO
- 2 CONCRETE ROOF TILE IN GRAY



- 3 GLASS
- 4 FABRIC



- 5 BLUE ALUMINUM GLASS FRAME



- 6 ONYX STONE
- 7 PRECAST MATERIAL



- 8 HIGH REFLECTIVE WHITE SW 7757
- 9 "IN THE NAVY" SW 9178

**PRECEDENTS**



A GEORGE FINK STUDIO



B GEORGE FINK STUDIO



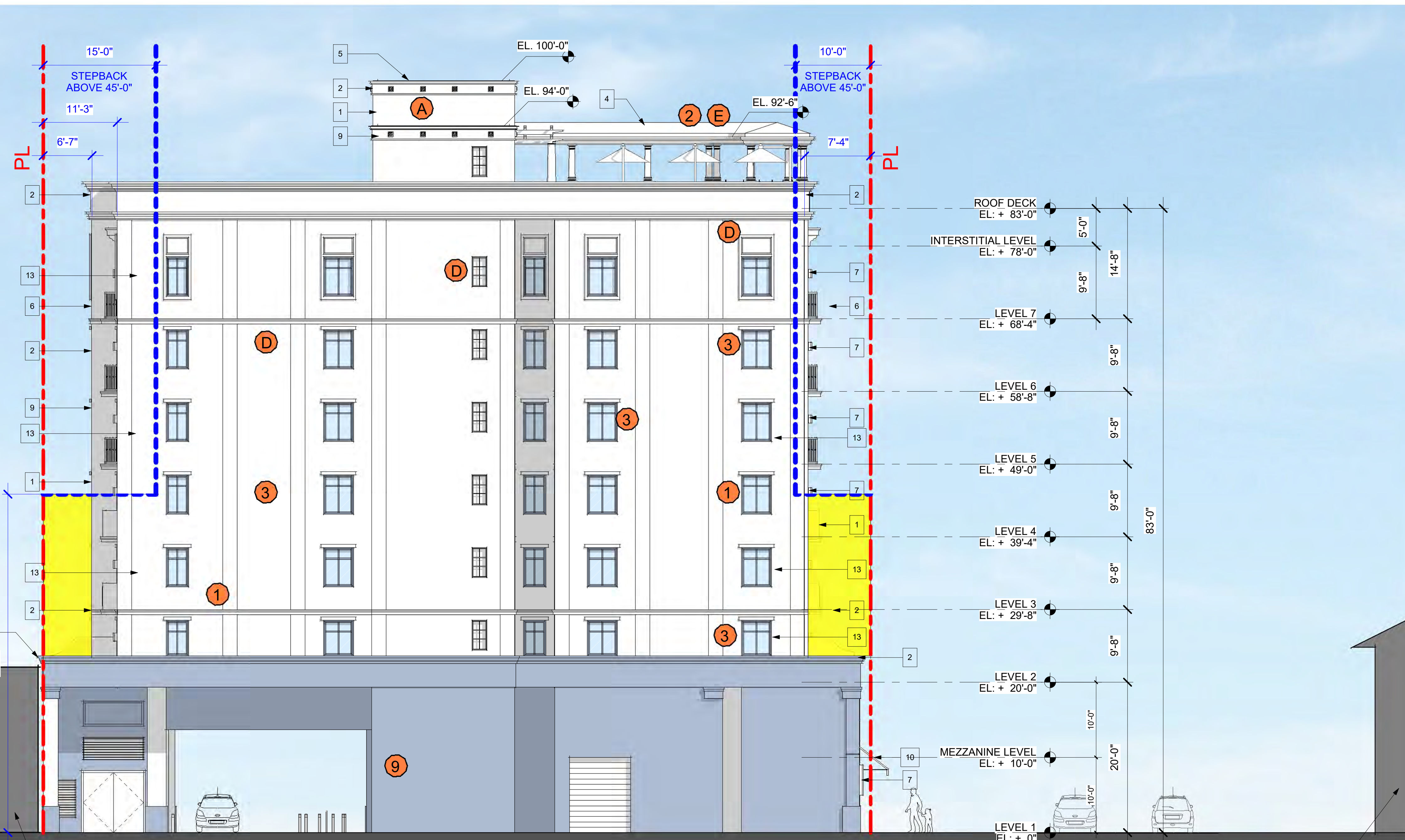
C GEORGE FINK STUDIO



D



E CITY OF CORAL GABLES BUILDING DEPARTMENT



4212 LAGUNA ST.

SAN LORENZO AVE.

MERRICK PARK  
350 SAN LORENZO AVE.

**MATERIALS LEGEND**

- 1 SMOOTH STUCCO TEXTURE
- 2 PRECAST DECORATIVE TRIM
- 3 METAL TRELLIS
- 4 CONCRETE ROOF TILE IN GRAY
- 5 DECORATIVE STONE DETAIL
- 6 ALUMINUM DECORATIVE RAILING
- 7 WALL MOUNTED LIGHT FIXTURE
- 8 PRECAST "IN THE NAVY" SW 9176
- 9 "HIGH REFLECTIVE" WHITE SW 7757
- 10 FABRIC AWNING MATERIAL
- 11 ONYX STONE
- 12 METAL CANOPY
- 13 CASEMENT WINDOW CLEAR GLASS



ARCHITECT:  
**Bermello Ajamil & Partners**  
4711 South LeJeune Road,  
Coral Gables, FL 33146  
P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
9150 South Dadeland Blvd., Suite 900  
Miami, Florida 33156  
305-378-0141

CIVIL ENGINEER:  
**Graef-USA Inc.**  
9400 South Dadeland Boulevard  
Suite 601, Miami, FL, 33156  
305-378-5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
5838 Blue Lagoon Dr., Suite 400  
Miami, FL 33126  
P: 305.442.7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
7995 SW 170th Street  
Palmetto, Bay FL 33157  
561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
782 NW 42nd Avenue, Suite 550  
Miami, Florida 33126

**THE AVENUE**  
351 SAN LORENZO AVE, CORAL GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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05/05/2023

Agustin J. Barrera  
LIC# AR94201

REVISIONS:  
No. DESCRIPTION DATE:

No.	DESCRIPTION	DATE

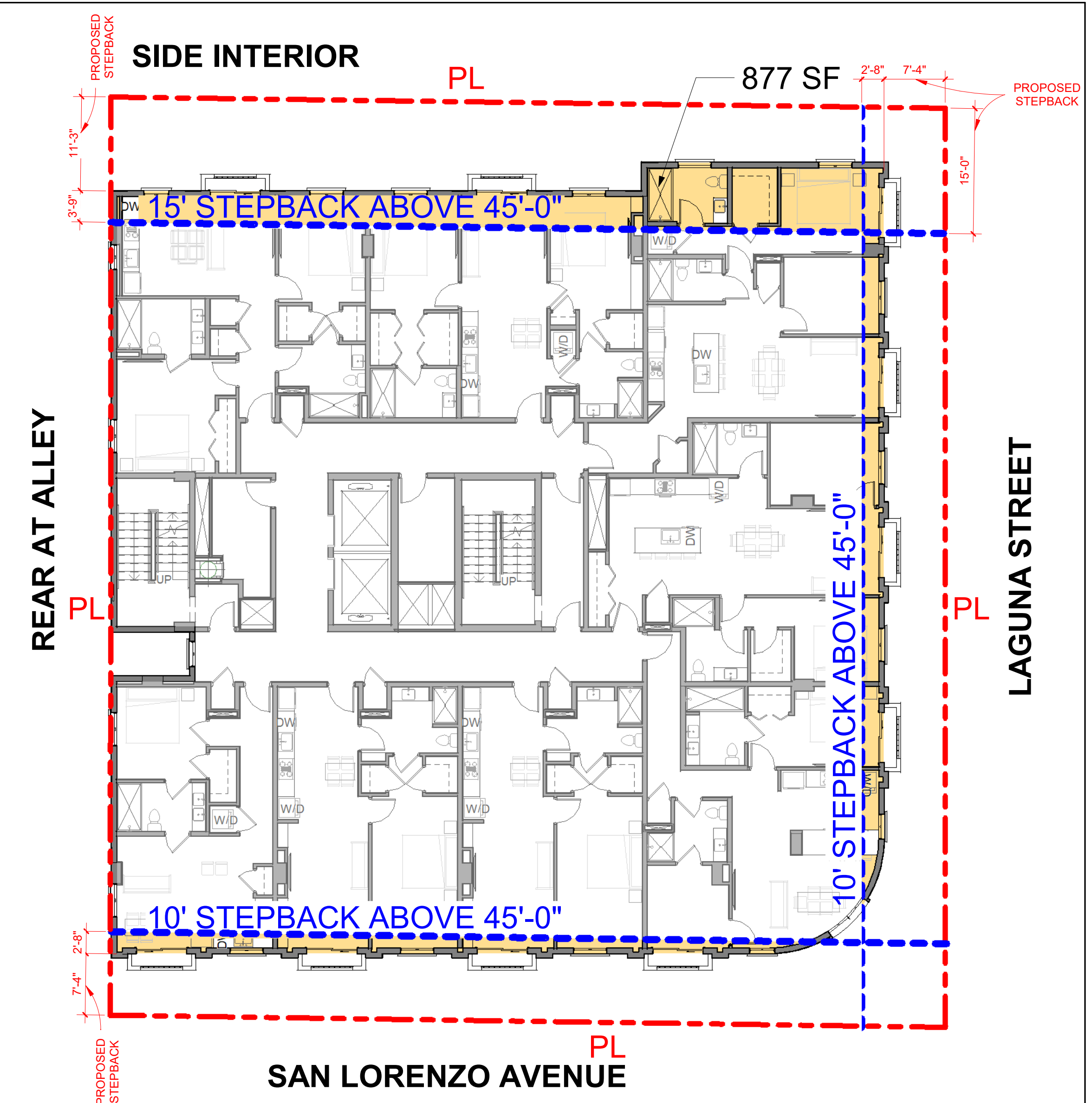
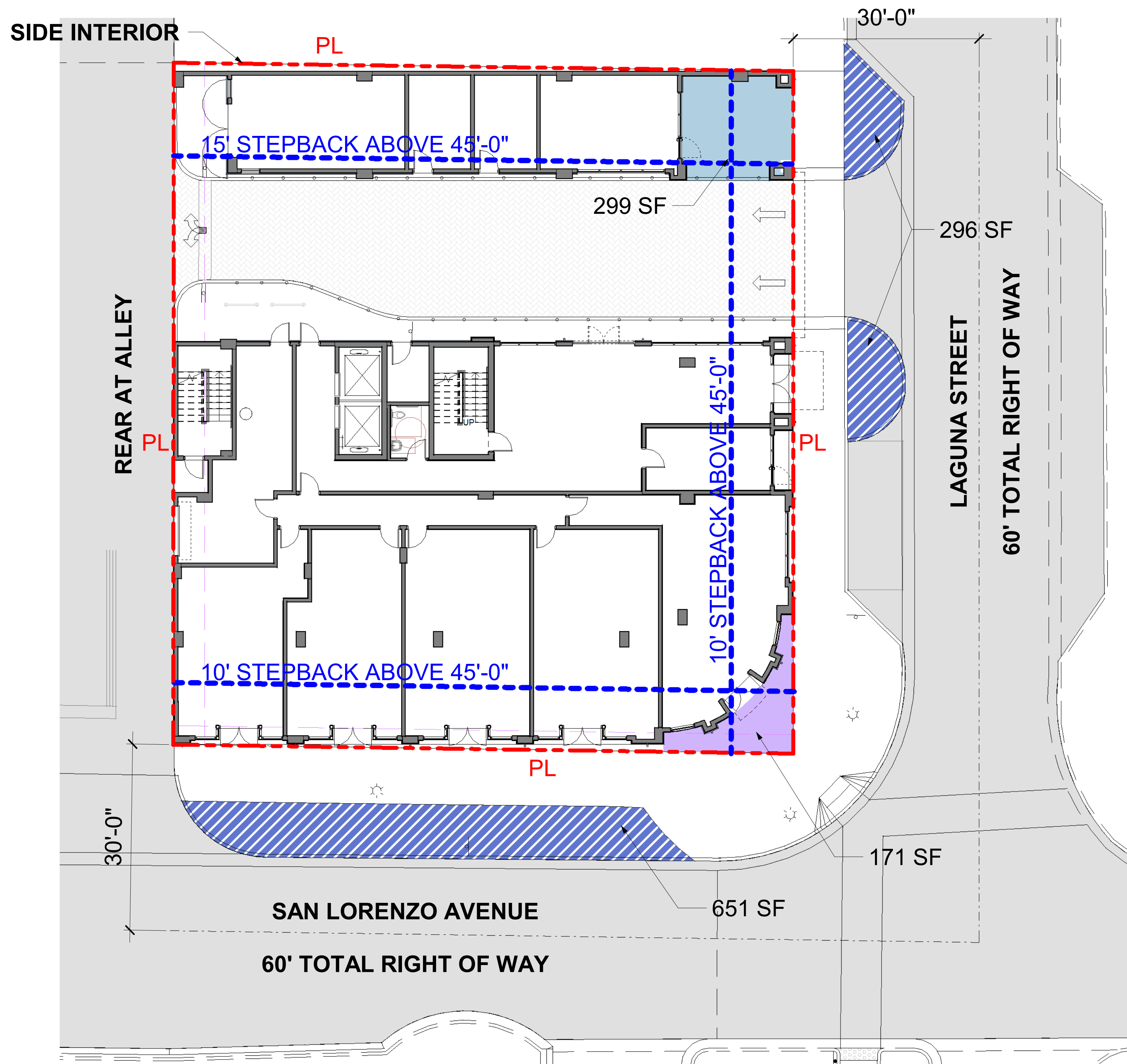
TITLE:

**WEST ELEVATION**

Project No: The Avenue  
Date: 2023.02.23  
Scale: As indicated  
Format: 24" x 36"  
Drawn: Author  
Checked: Checker

SHEET:

**A503**



**BUILDING STEPBACK DIAGRAM**  
 2  
 G003.4 3/32" = 1'-0"

**OPEN SPACE REQ. (MX2) CALCULATIONS**

SITE AREA .....10,988.26 SF  
 REQ. OPEN SPACE .....1,099 SF (10% OPEN SPACE (MX2))  
 PROVIDED OPEN SPACE.....1,342 SF (12% OPEN SPACE)  
 1,342 SF = 171 SF (WITHIN PROP. OPEN TO THE SKY) + 224 SF (299 SF X 0.75%)  
 (WITHIN PROP. NOT OPEN TO THE SKY) + 947 SF (WITHIN ROW)

- LEGEND**
- PROVIDED OPEN SPACE (WITHIN PROPERTY - OPEN TO THE SKY)
  - PROVIDED OPEN SPACE (WITHIN PROPERTY)
  - PROVIDED OPEN SPACE (WITHIN ROW)
  - BUILDING ENCROACHMENT OVER STEPBACK

**BA**

ARCHITECT:  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
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CIVIL ENGINEER:  
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STRUCTURAL ENGINEER:  
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 P: 305.442.7086

LANDSCAPE ARCHITECT:  
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 Palmetto, Bay FL 33157  
 561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
 782 NW 42nd Avenue, Suite 550  
 Miami, Florida 33126

**THE AVENUE**  
 351 SAN LORENZO AVE., CORAL  
 GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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SEAL:  
 05/05/2023  
 Agustin J. Barrera  
 LIC# AR94201

REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:  
**OPEN SPACE DIAGRAM**

Project No: The Avenue  
 Date: 2023.02.23  
 Scale: As indicated  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker

SHEET:  
**G003.4**

**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL  
 GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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 05/05/2023

Agustin J. Barrera  
 LIC# AR94201

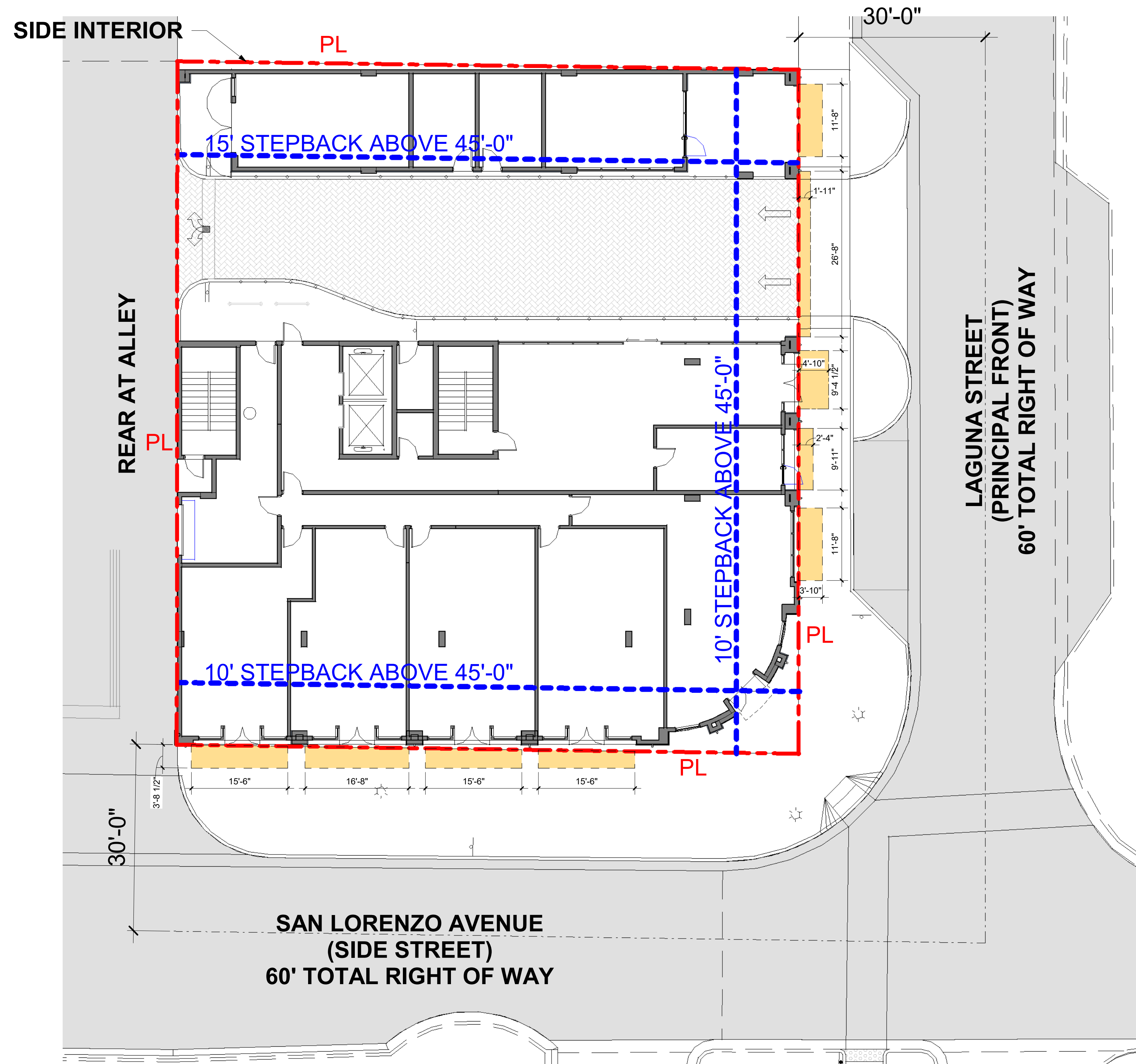
REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:  
  
**ENCROACHMENT DIAGRAM - GROUND LEVEL**

Project No: The Avenue  
 Date: 2023.02.23  
 Scale: As indicated  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker

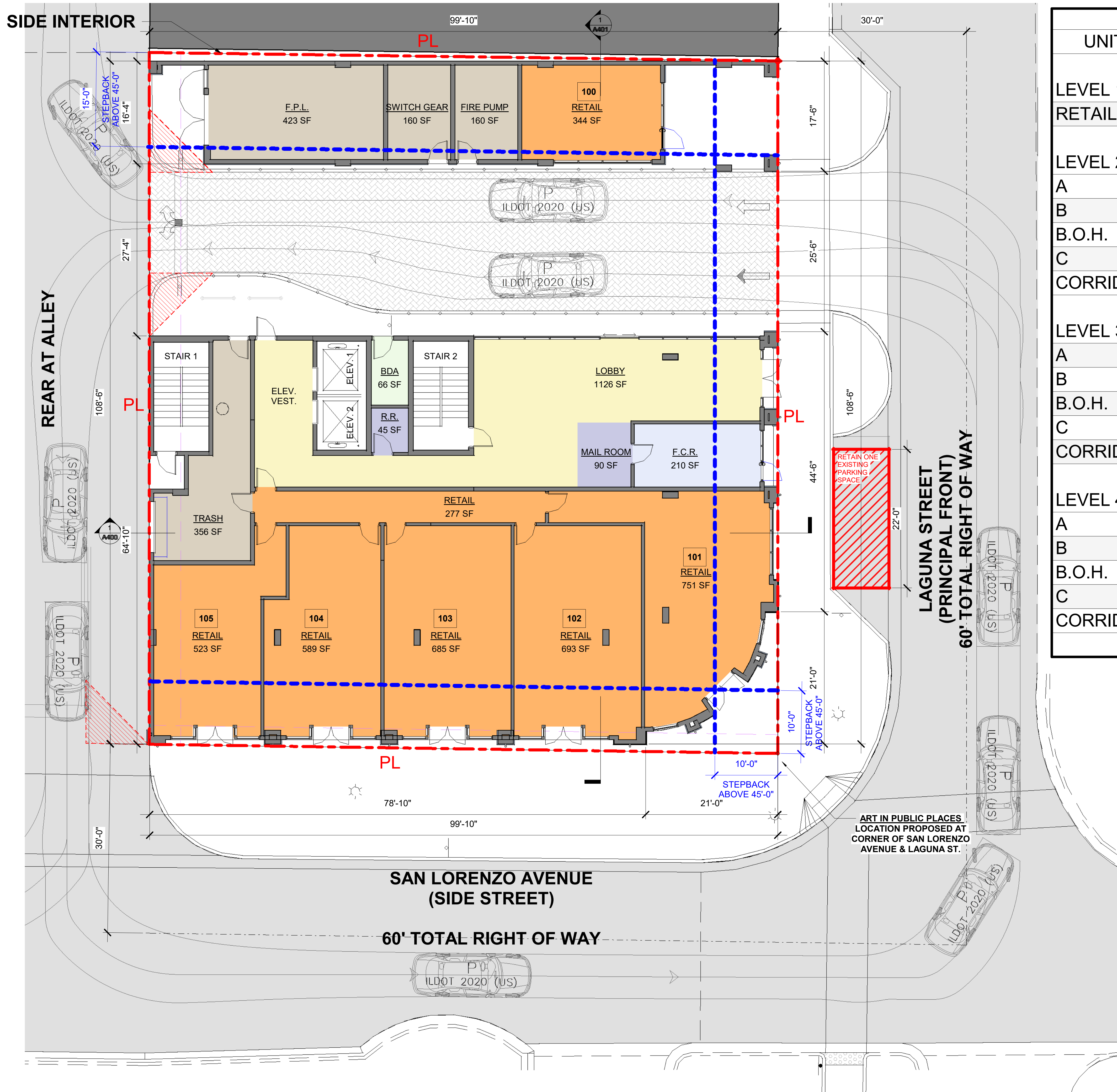
SHEET:  
**G003.6**



**LEGEND**

OVERHANG ENCROACHMENT INTO ROW = 411 SQFT





FAR - TABLE	
UNIT TYPE	FAR
<b>LEVEL 1</b>	
RETAIL	3,862 SF
	3,862 SF
<b>LEVEL 2</b>	
A	1,797 SF
B	2,733 SF
B.O.H.	102 SF
C	2,013 SF
CORRIDOR	689 SF
	7,334 SF
<b>LEVEL 3</b>	
A	1,797 SF
B	2,733 SF
B.O.H.	102 SF
C	2,013 SF
CORRIDOR	689 SF
	7,334 SF
<b>LEVEL 4</b>	
A	1,797 SF
B	2,733 SF
B.O.H.	102 SF
C	2,013 SF
CORRIDOR	689 SF
	7,334 SF

FAR - TABLE	
UNIT TYPE	FAR
<b>LEVEL 5</b>	
A	1,797 SF
B	2,733 SF
B.O.H.	102 SF
C	2,013 SF
CORRIDOR	689 SF
	7,334 SF
<b>LEVEL 6</b>	
A	1,797 SF
B	2,733 SF
B.O.H.	102 SF
C	2,013 SF
CORRIDOR	689 SF
	7,334 SF
<b>LEVEL 7</b>	
A	1,797 SF
B	2,733 SF
B.O.H.	102 SF
C	2,013 SF
CORRIDOR	689 SF
	7,334 SF
<b>ROOF DECK</b>	
ELECT.	98 SF
R.R.	106 SF
	205 SF
<b>TOTAL</b>	<b>48,073 SF</b>

**MAX. ALLOW FAR = 48,073.64 SF**

**1 GROUND FLOOR PLAN**  
A001 1/8" = 1'-0"



ARCHITECT:  
**Bermello Ajamil & Partners**  
4711 South LeJeune Road,  
Coral Gables, FL 33146  
P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
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305.670.0141

CIVIL ENGINEER:  
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9400 South Dadeland Boulevard  
Suite 601, Miami, FL, 33156  
305-378-5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
5838 Blue Lagoon Dr., Suite 400  
Miami, FL 33126  
P: 305.442.7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
7995 SW 170th Street  
Palmetto, Bay FL 33157  
561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
782 NW 42nd Avenue, Suite 550  
Miami, Florida 33126

**THE AVENUE**  
351 SAN LORENZO AVE, CORAL  
GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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SEAL:  
  
05/05/2023

Agustin J. Barrera  
LIC# AR94201

REVISIONS:

No.	DESCRIPTION	DATE:

TITLE:  
**GROUND LEVEL**

Project No: The Avenue  
Date: 2023.02.23  
Scale: 1/8" = 1'-0"  
Format: 24" x 36"  
Drawn: Author  
Checked: Checker

SHEET:  
**A001**

SIDE INTERIOR

99'-10"

PL

OPEN TO BELOW

17'-6"

25'-6"

108'-6"

44'-6"

21'-0"

10'-0"

78'-10"

99'-10"

SAN LORENZO AVENUE  
(SIDE STREET)  
60' TOTAL RIGHT OF WAY

LAGUNA STREET  
(PRINCIPAL FRONT)  
60' TOTAL RIGHT OF WAY

REAR AT ALLEY

15'-0"  
STEPBACK  
ABOVE 45'-0"  
16'-4"

27'-4"

108'-6"

PL

64'-10"

GENERATOR  
365 SF

EMERGENCY  
SWITCH GEAR DOMESTIC WATER  
124 SF 152 SF

OPEN TO BELOW

10'-0"  
STEPBACK  
21'-0" ABOVE 45'-0"

1 MEZZANINE LEVEL  
A002 1/8" = 1'-0"



ARCHITECT:  
**Bermello Ajamil & Partners**  
4711 South LeJeune Road,  
Coral Gables, FL 33146  
P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
9150 South Dadeland Blvd., Suite 900  
Miami, Florida 33156  
305.670.0141

CIVIL ENGINEER:  
**Graef-USA Inc.**  
9400 South Dadeland Boulevard  
Suite 601, Miami, FL, 33156  
305-378-5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
5838 Blue Lagoon Dr., Suite 400  
Miami, FL 33126  
P: 305.442.7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
7995 SW 170th Street  
Palmetto, Bay FL 33157  
561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
782 NW 42nd Avenue, Suite 550  
Miami, Florida 33126

THE AVENUE  
351 SAN LORENZO AVE, CORAL  
GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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SEAL:  
  
05/05/2023

Agustin J. Barrera  
LIC# AR94201

REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:  
  
**MEZZANINE LEVEL**

Project No: The Avenue  
Date: 2023.02.23  
Scale: 1/8" = 1'-0"  
Format: 24" x 36"  
Drawn: Author  
Checked: Checker

SHEET:  
  
**A002**



ARCHITECT:  
**Bermello Ajamil & Partners**  
4711 South LeJeune Road,  
Coral Gables, FL 33146  
P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
9150 South Dadeland Blvd., Suite 900  
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305.370.0141

CIVIL ENGINEER:  
**Graef-USA Inc.**  
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Suite 601, Miami, FL, 33156  
305-378-5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
5838 Blue Lagoon Dr, Suite 400  
Miami, FL 33126  
P: 305.442.7086

LANDSCAPE ARCHITECT:  
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7995 SW 170th Street  
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561-460-8499

OWNER:  
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782 NW 42nd Avenue, Suite 550  
Miami, Florida 33126

**THE AVENUE**  
351 SAN LORENZO AVE, CORAL  
GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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SEAL:  
  
05/05/2023

Agustin J. Barrera  
LIC# AR94201

REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:  
  
**SECOND LEVEL**

Project No: The Avenue  
Date: 2023.02.23  
Scale: 1/8" = 1'-0"  
Format: 24" x 36"  
Drawn: Author  
Checked: Checker

SHEET:  
  
**A003**

UNIT MIX - TABLE		
UNIT TYPE	COUNT	SF
<b>LEVEL 2</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 3</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 4</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 5</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 6</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 7</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>TOTAL</b>	<b>48</b>	<b>39,261 SF</b>



**1 SECOND LEVEL**  
A003 1/8" = 1'-0"



ARCHITECT:  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

MEP ENGINEER:  
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**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL  
 GABLES, FL, 33146

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SEAL:  
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 LIC# AR94201

REVISIONS:

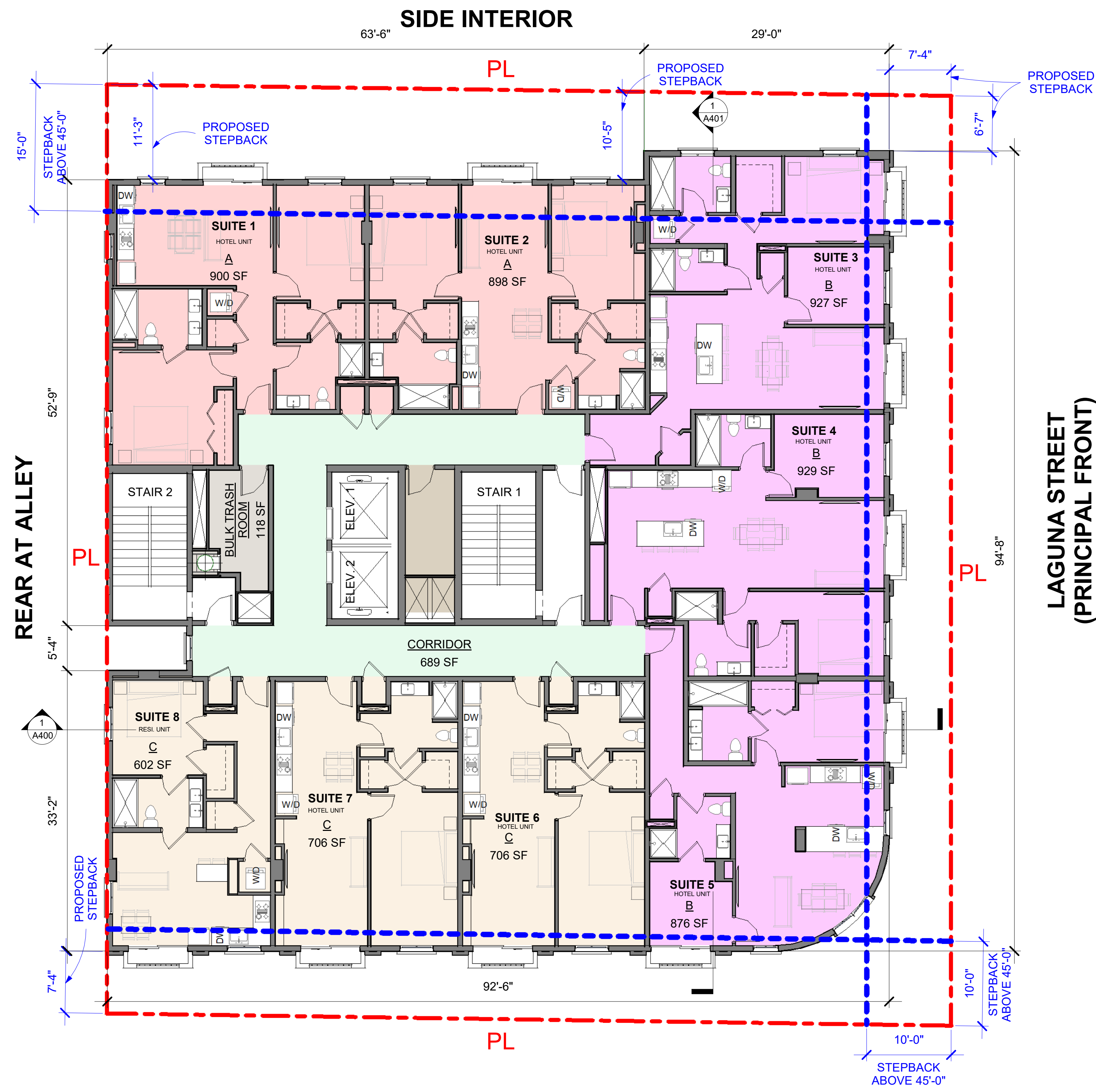
No.:	DESCRIPTION	DATE:

TITLE:  
**TYP. RES. LEVELS 3RD TO 7TH**

Project No: The Avenue  
 Date: 2023.02.23  
 Scale: 1/8" = 1'-0"  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker

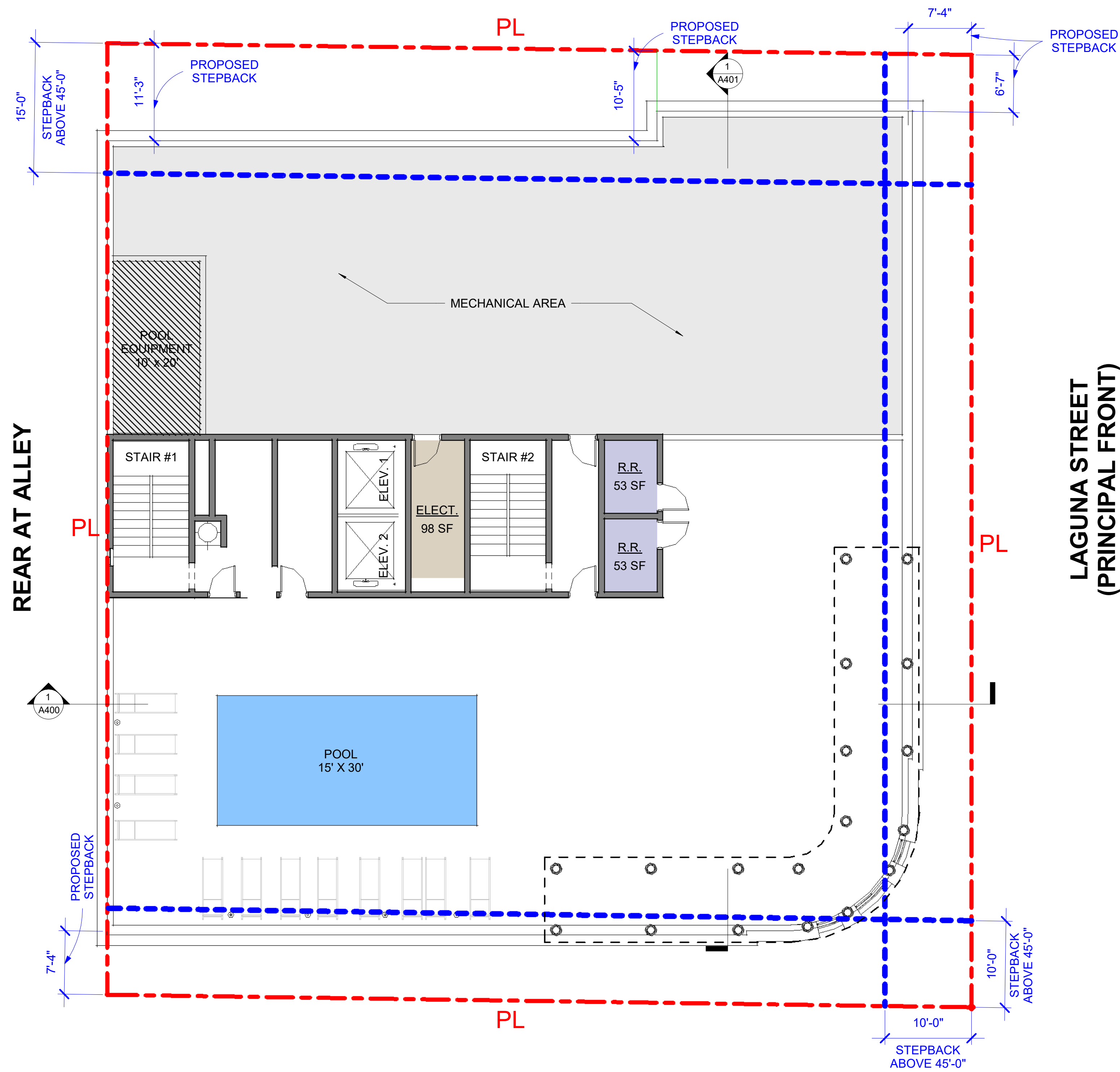
SHEET:  
**A004**

UNIT MIX - TABLE		
UNIT TYPE	COUNT	SF
<b>LEVEL 2</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 3</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 4</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 5</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 6</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 7</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>TOTAL</b>	<b>48</b>	<b>39,261 SF</b>



1 A004 TYP. RES. LEVELS 3RD TO 7TH  
 1/8" = 1'-0"

**SIDE INTERIOR**



**SAN LORENZO AVENUE  
(SIDE STREET)**

**LAGUNA STREET  
(PRINCIPAL FRONT)**

**2 ROOF DECK**  
A005 1/8" = 1'-0"

UNIT MIX - TABLE		
UNIT TYPE	COUNT	SF
<b>LEVEL 2</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 3</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 4</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 5</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 6</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>LEVEL 7</b>		
A	2	1,797 SF
B	3	2,733 SF
C	3	2,013 SF
	8	6,544 SF
<b>TOTAL</b>	<b>48</b>	<b>39,261 SF</b>



ARCHITECT:  
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Miami, Florida 33126

**THE AVENUE**  
351 SAN LORENZO AVE, CORAL  
GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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SEAL:

05/05/2023

Agustin J. Barrera  
LIC# AR94201

REVISIONS:  
No. DESCRIPTION DATE:

No.	DESCRIPTION	DATE

TITLE:

**ROOF DECK LEVEL**

Project No: The Avenue  
Date: 2023.02.23  
Scale: 1/8" = 1'-0"  
Format: 24" x 36"  
Drawn: Author  
Checked: Checker

SHEET:

**A005**



ARCHITECT:  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
 9150 South Dadeland Blvd., Suite 900  
 Miami, Florida 33156  
 305.370.0141

CIVIL ENGINEER:  
**Graef-USA Inc.**  
 9400 South Dadeland Boulevard  
 Suite 601, Miami, FL 33126  
 305-378-5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
 5838 Blue Lagoon Dr., Suite 400  
 Miami, FL 33126  
 P: 305.442.7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
 7995 SW 170th Street  
 Palmetto, Bay FL 33157  
 561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
 782 NW 42nd Avenue, Suite 550  
 Miami, Florida 33126

**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL  
 GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:  
  
 05/05/2023

Agustin J. Barrera  
 LIC# AR94201

REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:  
  
**MODEL**

Project No: The Avenue  
 Date: 2023.02.23  
 Scale:  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker

SHEET:  
  
**G002.4**



1 SAN LORENZO AVE  
A900



ARCHITECT:  
**Bermello Ajamil & Partners**  
4711 South LeJeune Road,  
Coral Gables, FL 33146  
P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
9150 South Dadeland Blvd., Suite 900  
Miami, Florida 33156  
305.670.0141

CIVIL ENGINEER:  
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9400 South Dadeland Boulevard  
Suite 601, Miami, FL, 33156  
305-378-5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
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Miami, FL 33126  
P: 305.442.7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
7995 SW 170th Street  
Palmetto, Bay FL 33157  
561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
782 NW 42nd Avenue, Suite 550  
Miami, Florida 33126

THE AVENUE  
351 SAN LORENZO AVE, CORAL  
GABLES, FL, 33146

PHASE:  
**PROGRESS SET**

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SEAL:  
  
03/06/2023

Agustin J. Barrera  
LIC# AR94201

REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:  
  
**PERSPECTIVE**

Project No: The Avenue  
Date: 2023.02.23  
Scale:  
Format: 24" x 36"  
Drawn: Author  
Checked: Checker

SHEET:  
  
**A900**



1 CORNER VIEW AERIAL  
A902



ARCHITECT:  
**Bermello Ajamil & Partners**  
4711 South LeJeune Road,  
Coral Gables, FL 33146  
P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
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Miami, Florida 33156  
305.670.0141

CIVIL ENGINEER:  
**Graef-USA Inc.**  
9400 South Dadeland Boulevard  
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305-378-5555

STRUCTURAL ENGINEER:  
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Miami, FL 33126  
P: 305.442.7086

LANDSCAPE ARCHITECT:  
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7995 SW 170th Street  
Palmetto, Bay FL 33157  
561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
782 NW 42nd Avenue, Suite 550  
Miami, Florida 33126

**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL  
 GABLES, FL, 33146

PHASE:  
**PROGRESS SET**

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SEAL:

03/06/2023

Agustin J. Barrera  
LIC# AR94201

REVISIONS:

No.	DESCRIPTION	DATE:

TITLE:  
**PERSPECTIVE**

Project No: The Avenue  
Date: 2023.02.23  
Scale:  
Format: 24" x 36"  
Drawn: Author  
Checked: Checker

SHEET:

**A902**





ARCHITECT:  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
 9150 South Dadeland Blvd., Suite 900  
 Miami, Florida 33156  
 305-370-0141

CIVIL ENGINEER:  
**Graef-USA Inc.**  
 9400 South Dadeland Boulevard  
 Suite 601, Miami, FL 33156  
 305-378-5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
 5838 Blue Lagoon Dr., Suite 400  
 Miami, FL 33126  
 P: 305.442.7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
 7995 SW 170<sup>th</sup> Street  
 Palmetto, Bay FL 33157  
 561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
 782 NW 42nd Avenue, Suite 550  
 Miami, Florida 33126

**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL  
 GABLES, FL, 33146

PHASE:  
**PROGRESS SET**

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SEAL:  
  
 03/06/2023

Agustin J. Barrera  
 LIC# AR94201

REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:  
  
**PERSPECTIVE**

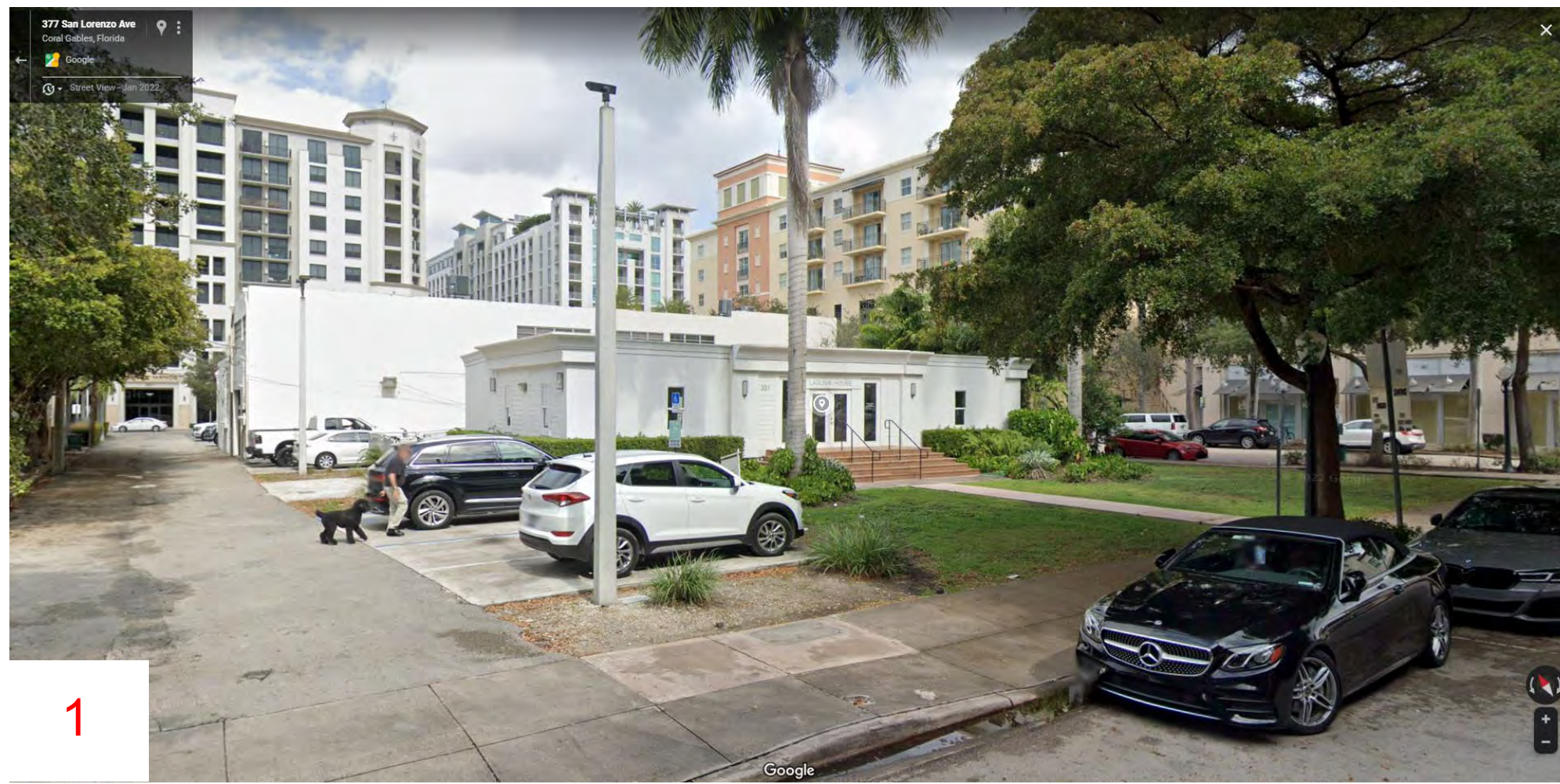
Project No: The Avenue  
 Date: 2023.02.23  
 Scale:  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker

SHEET:  
  
**A903**



**1 CORNER OF SAN LORENZO AVE. & LAGUNA STREET**

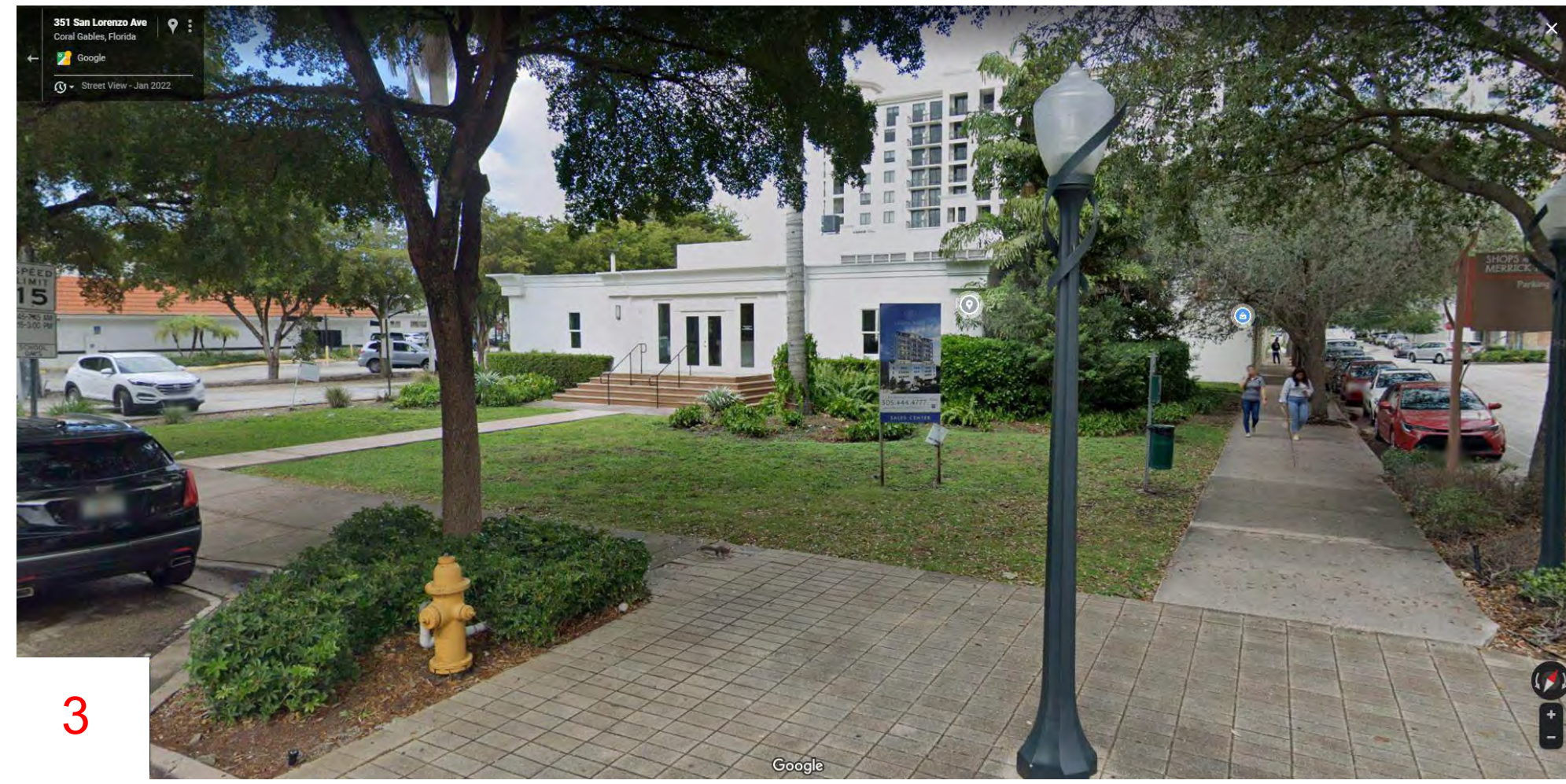
A903



1



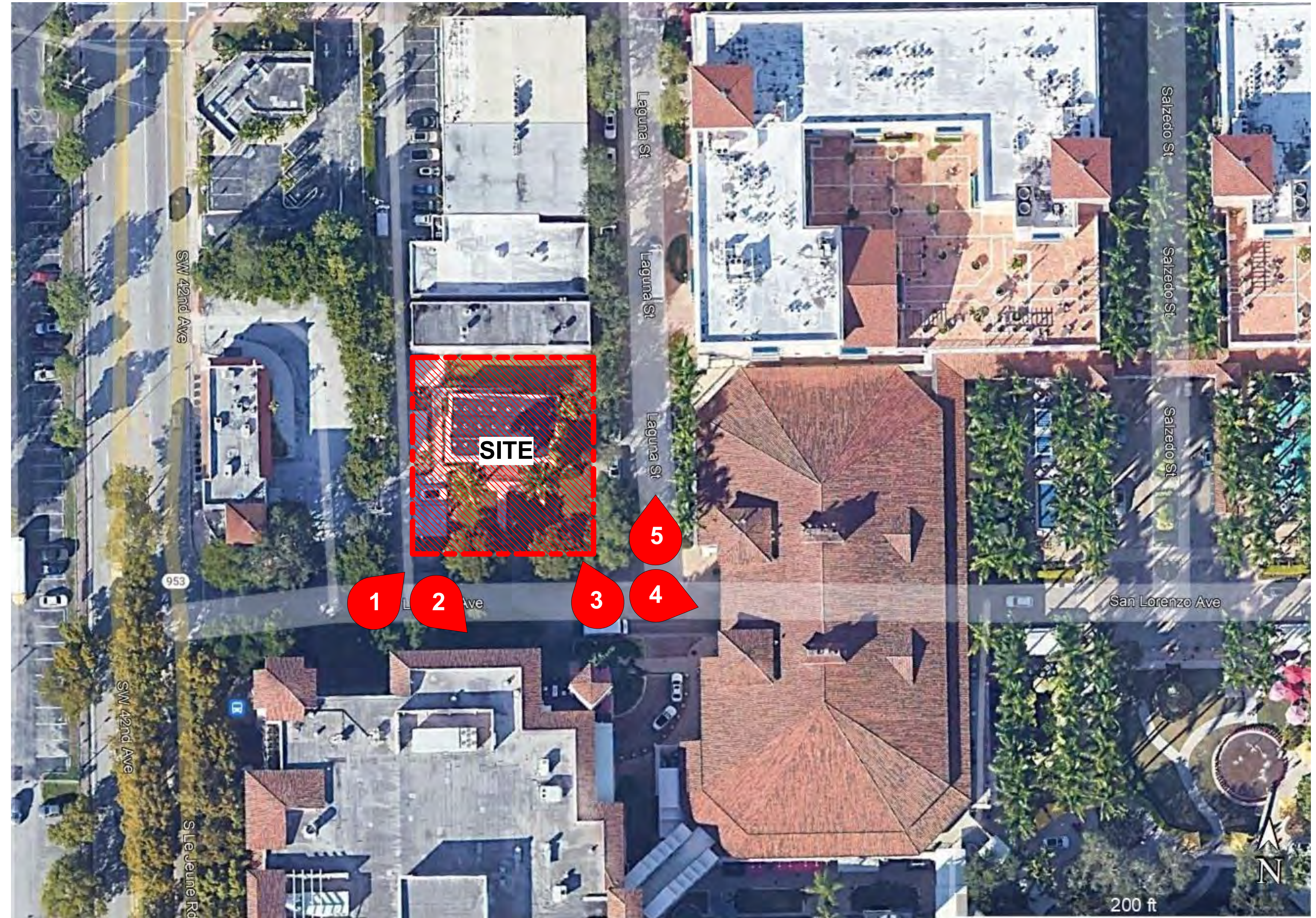
2



3



4



5



ARCHITECT:  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

MEP ENGINEER:  
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 Miami, Florida 33156  
 305.378.0141

CIVIL ENGINEER:  
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 9400 South Dadeland Boulevard  
 Suite 601, Miami, FL 33156  
 305.378.5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
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 Miami, FL 33126  
 P: 305.442.7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
 7995 SW 170th Street  
 Palmetto, Bay FL 33157  
 561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
 782 NW 42nd Avenue, Suite 550  
 Miami, Florida 33126

**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL  
 GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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SEAL:  
  
 05/05/2023

Agustin J. Barrera  
 LIC# AR94201

REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:  
**SITE CONTEXT**

Project No: The Avenue  
 Date: 2023.02.23  
 Scale: 12" = 1'-0"  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker

SHEET:  
**G002.2**



ARCHITECT:  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
 9150 South Dadeland Blvd., Suite 900  
 Miami, Florida 33156  
 305.670.0141

CIVIL ENGINEER:  
**Graef-USA Inc.**  
 9400 South Dadeland Boulevard  
 Suite 601, Miami, FL, 33156  
 305-378-5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
 5838 Blue Lagoon Dr., Suite 400  
 Miami, FL 33126  
 P: 305.442.7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
 7995 SW 170<sup>th</sup> Street  
 Palmetto, Bay FL 33157  
 561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
 782 NW 42nd Avenue, Suite 550  
 Miami, Florida 33126

**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL  
 GABLES, FL, 33146

PHASE:  
**PROGRESS SET**

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SEAL:  
  
 03/06/2023  
  
 Agustin J. Barrera  
 LIC# AR94201

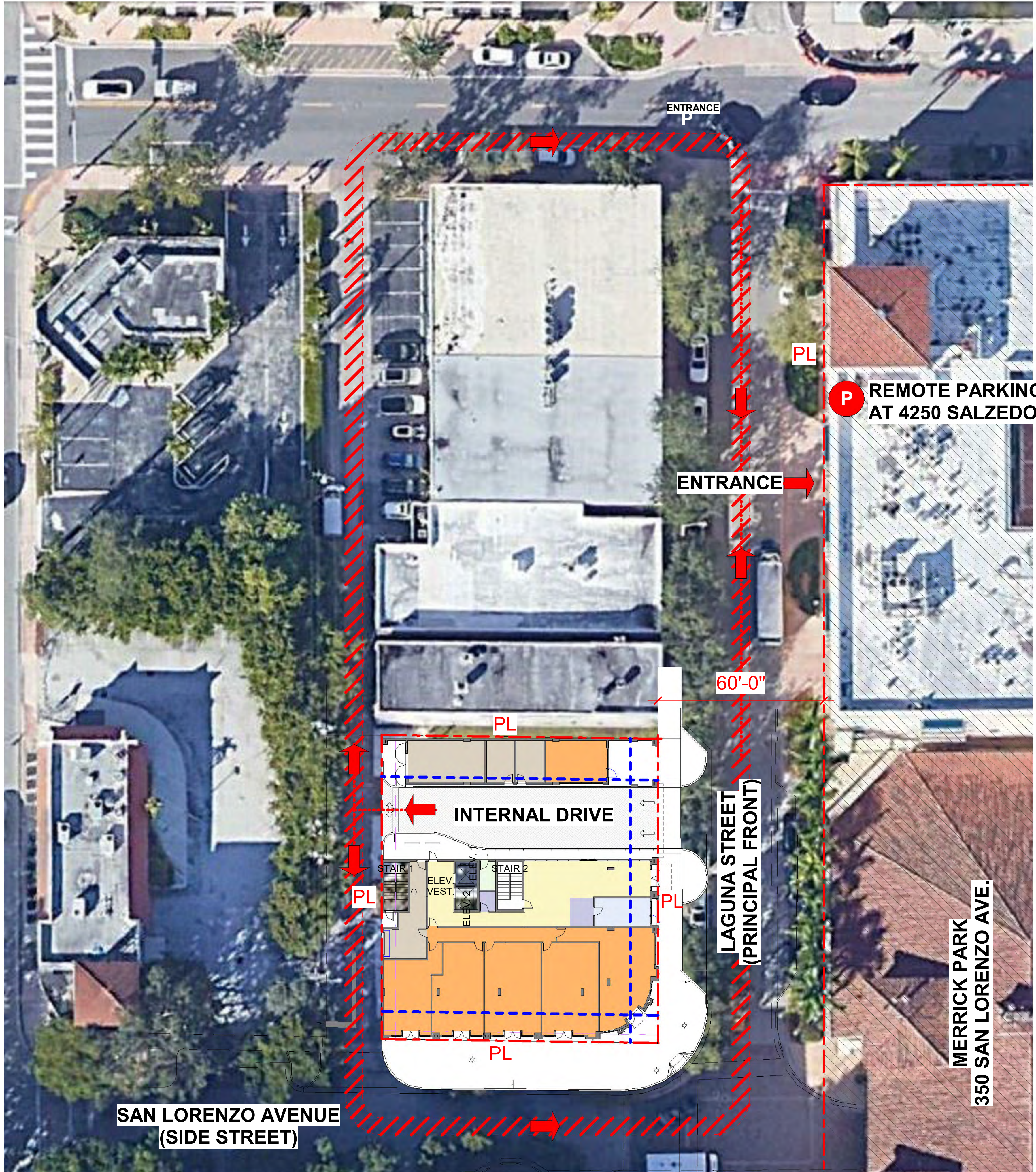
REVISIONS:

No.:	DESCRIPTION	DATE:

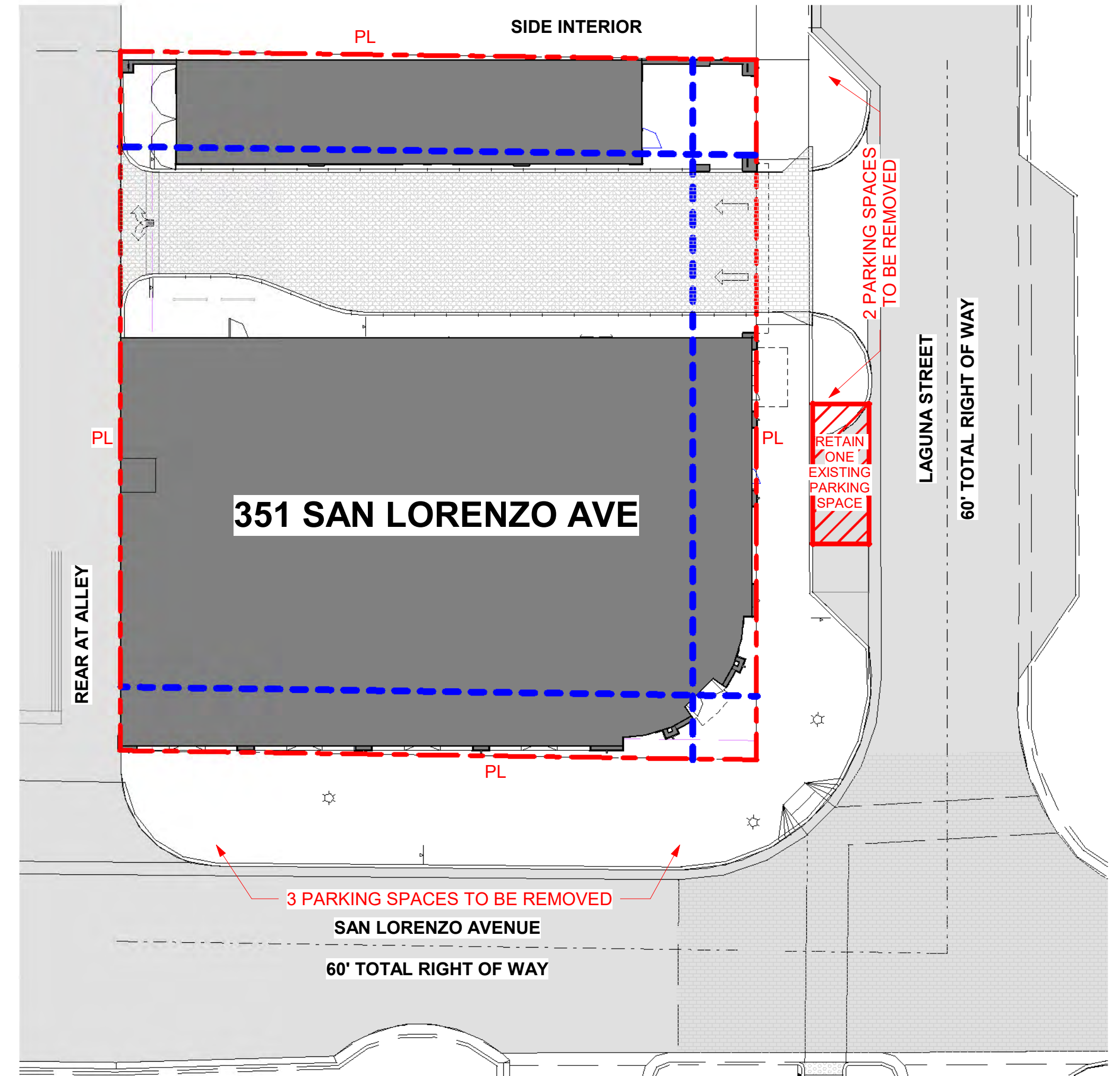
TITLE:  
  
**RENDERING**

Project No: The Avenue  
 Date: 2023.02.23  
 Scale:  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker

SHEET:  
  
**A905**



1 REMOTE PARKING LOCATION  
G002.3 NTS



2 ON STREET PARKING ANALYSIS  
G002.3 1/16" = 1'-0"



ARCHITECT:  
**Bermello Ajamil & Partners**  
4711 South LeJeune Road,  
Coral Gables, FL 33146  
P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
9150 South Dadeland Blvd., Suite 900  
Miami, Florida 33156  
305.670.0141

CIVIL ENGINEER:  
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305-378-5555

STRUCTURAL ENGINEER:  
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LANDSCAPE ARCHITECT:  
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7995 SW 170th Street  
Palmetto, Bay FL 33157  
561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
782 NW 42nd Avenue, Suite 550  
Miami, Florida 33126

**THE AVENUE**  
351 SAN LORENZO AVE, CORAL  
GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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SEAL:

05/05/2023

Agustin J. Barrera  
LIC# AR94201

REVISIONS:  
No. DESCRIPTION DATE:

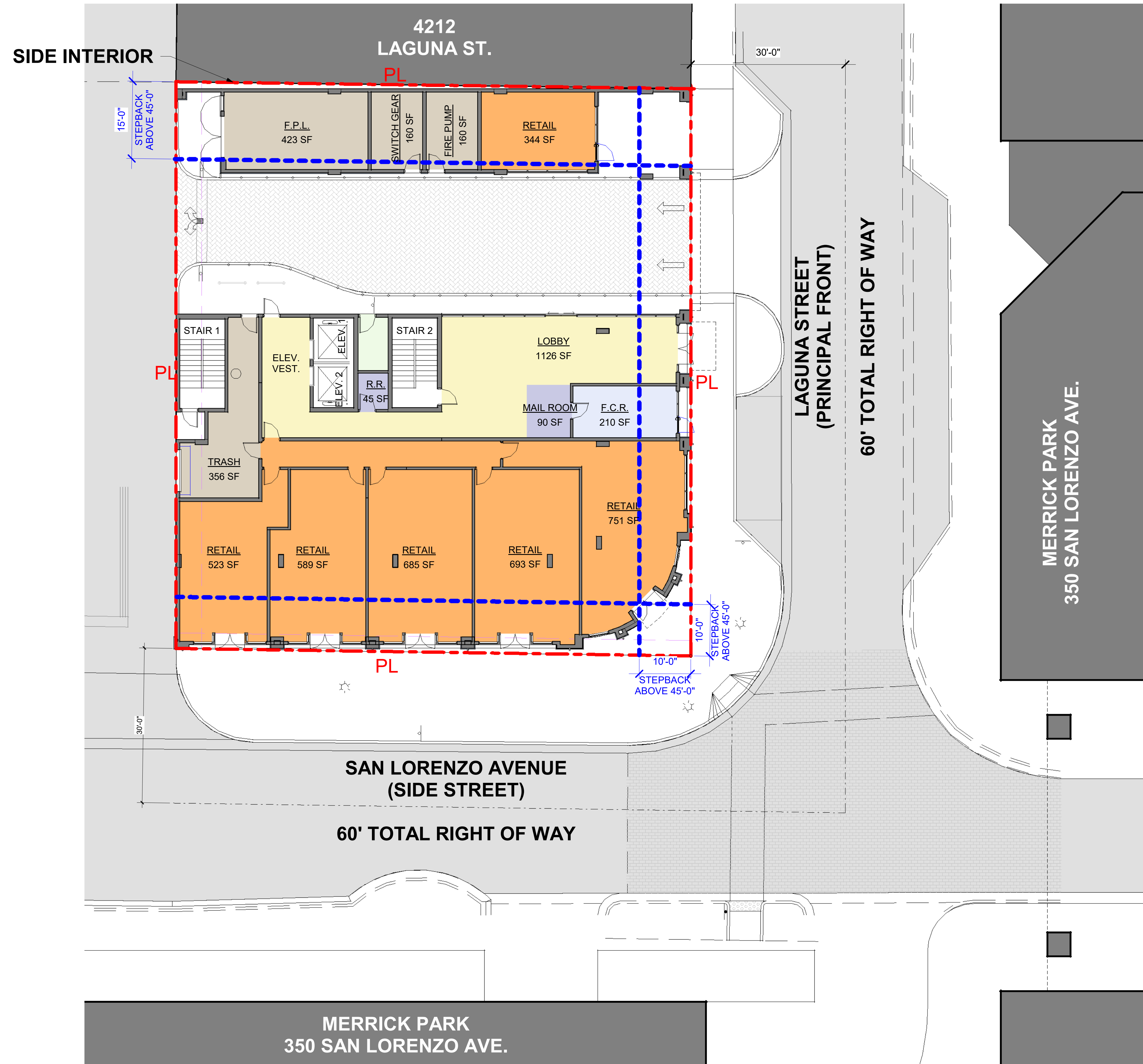
No.	DESCRIPTION	DATE

TITLE:  
**REMOTE PARKING LOCATION / ON STREET PARKING ANALYSIS**

Project No: The Avenue  
Date: 2023.02.23  
Scale: As indicated  
Format: 24" x 36"  
Drawn: Author  
Checked: Checker

SHEET:

**G002.3**



ARCHITECT:  
**Bermello Ajamil & Partners**  
 4711 South LeJeune Road,  
 Coral Gables, FL 33146  
 P: 305.859.2050

MEP ENGINEER:  
**Louis J. Aguirre & Associates, P.A.**  
 9150 South Dadeland Blvd., Suite 900  
 Miami, Florida 33156  
 305.670.0141

CIVIL ENGINEER:  
**Graef-USA Inc.**  
 9400 South Dadeland Boulevard  
 Suite 601, Miami, FL, 33156  
 305-378-5555

STRUCTURAL ENGINEER:  
**BNI Engineers**  
 5838 Blue Lagoon Dr., Suite 400  
 Miami, FL 33126  
 P: 305.442.7086

LANDSCAPE ARCHITECT:  
**Greenspacestrategies Inc.**  
 7995 SW 170th Street  
 Palmetto, Bay FL 33157  
 561-460-8499

OWNER:  
**San Lorenzo Property, LLC**  
 782 NW 42nd Avenue, Suite 550  
 Miami, Florida 33126

**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL  
 GABLES, FL, 33146

PHASE:  
**PLANNING AND ZONING BOARD**

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SEAL:

05/05/2023

Agustin J. Barrera  
 LIC# AR94201

REVISIONS:

No.:	DESCRIPTION	DATE:

TITLE:  
**SITE PLAN**

Project No: The Avenue  
 Date: 2023.02.23  
 Scale: 3/32" = 1'-0"  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker

SHEET:  
**SP001**

**CONTACT PHONE NUMBERS:**  
 MIAMI-DADE COUNTY DEVELOPMENT SERVICES  
 DIVISION: (305)375-2800  
 MIAMI-DADE COUNTY  
 LAND DEVELOPMENT DIVISION: (305) 375-2141  
 CITY OF CORAL GABLES  
 DEVELOPMENT SERVICES DEPARTMENT: (305)460-5245

**PROPERTY ADDRESS:**  
 351 SAN LORENZO AVE  
 CORAL GABLES, FL 33146

**FOLIO NUMBER:**  
 03-4120-017-1570

**LAND AREA:**  
 10,988± SQ.FT. (0.25± acres)

**ZONED:**  
 M - INDUSTRIAL - LIGHT MANUFACTURING  
 (PER MIAMIDADE.GOV-PROPERTY APPRAISER)  
 I - INDUSTRIAL DISTRICT (PER CITY OF CORAL GABLES ZONING AND  
 ZONING DIVISION ZONING MAP - PLATE 9)  
 MX2 - MIXED USE DISTRICT (PER CORAL GABLES ZONING MAP)

**SITE RESTRICTIONS:**  
 ALL SITE RESTRICTIONS WERE OBTAINED ON APRIL 4, 2022 PER CORAL GABLES ZONING  
 CODE - ARTICLE 2. ZONING DISTRICTS - SECTION 2-200. MIXED USE DISTRICTS (MX).  
 FOR OFFICIAL INFORMATION, PLEASE REFER TO THE CORAL GABLES ZONING CODE.

**UTILITY COMPANIES:**

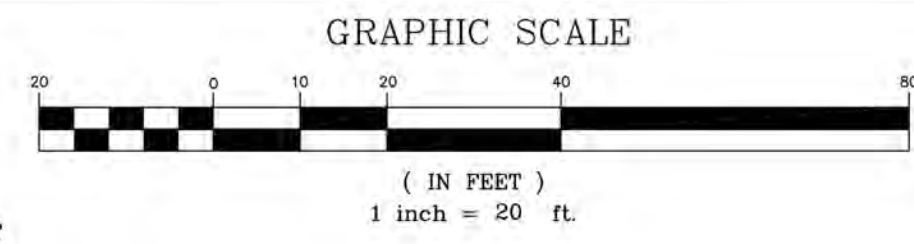
Florida Power & Light - 305-377-6108  
 AT&T - 786-489-6418  
 Water & Sewer - 786-268-5360

**STATEMENT OF ENCROACHMENTS:**

THERE ARE NO VISIBLE ENCROACHMENTS.

NO EARTH MOVING WORK, BUILDING CONSTRUCTION OR  
 BUILDING ADDITIONS HAVE BEEN NOTICED.

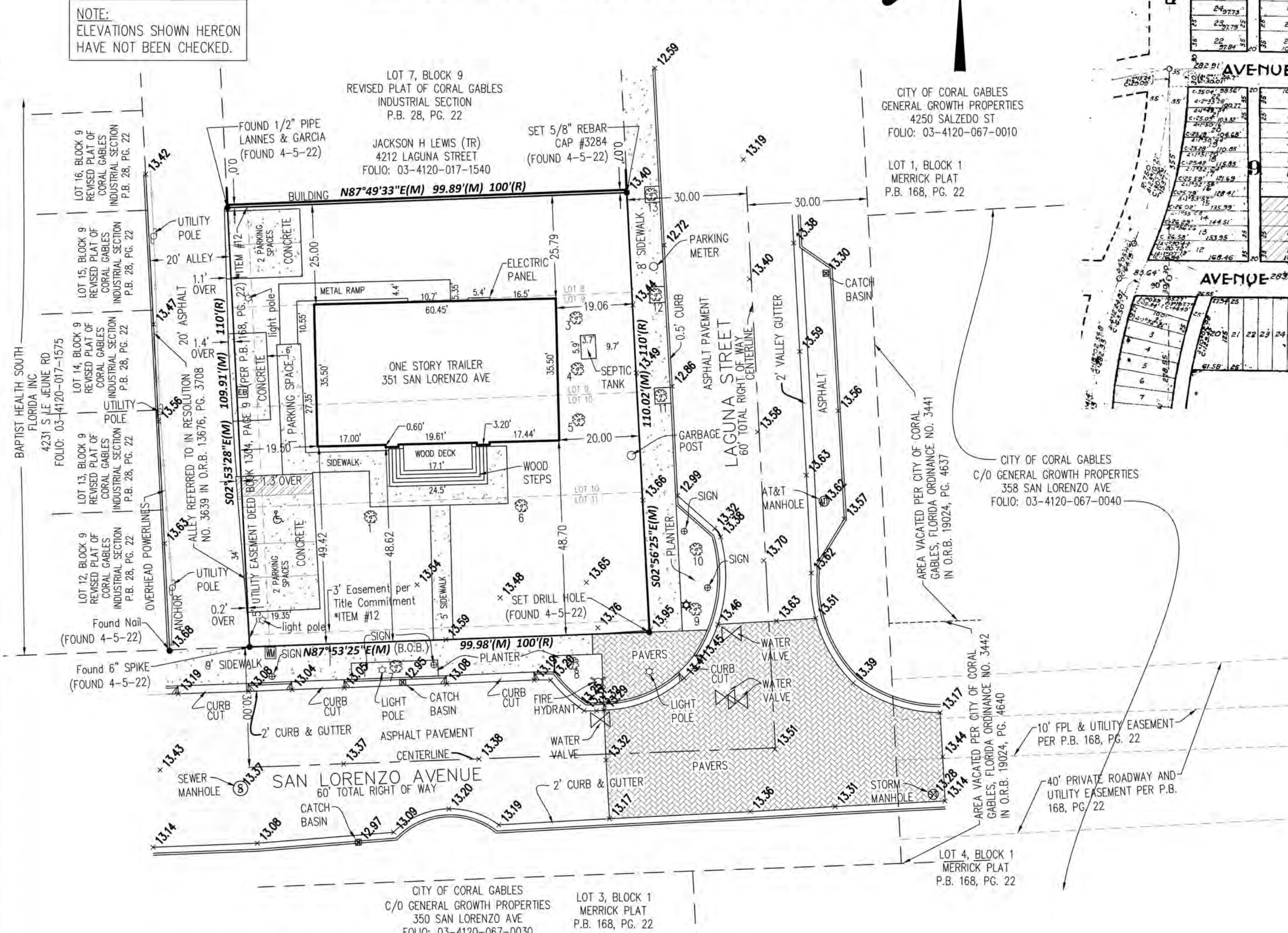
THERE IS NO PHYSICAL EVIDENCE THAT THE SITE WAS EVER  
 USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.



# ALTA/NSPS Land Title Survey

**LEGEND**

- WATER METER
- CATCH BASIN
- FIRE HYDRANT
- CLEAN OUT
- SANITARY MANHOLE
- STORM MANHOLE
- FPL MANHOLE
- DRAINAGE MANHOLE
- INLET
- WATER VALVE
- GAS VALVE
- UTILITY POLE
- CONCRETE UTILITY POLE
- TRAFFIC BOX
- TREE
- P.B. PLAT BOOK
- PG. PAGE
- O.R.B. OFFICIAL RECORDS BOOK
- SQ.FT. SQUARE FEET
- ± MORE OR LESS
- ELEV. ELEVATION
- INV. INVERT
- C CENTERLINE
- P PROPERTY LINE
- ENCR. ENCROACHMENT
- (M) MEASURED
- (P) PLAT
- (C) CALCULATED
- (B.O.B.) BASIS OF BEARING
- OVERHEAD POWER LINES
- WATER MAIN
- SEWER MAIN
- TELEPHONE LINE
- CHAIN LINK FENCE
- BACKFLOW PREVENTER
- HANDICAP PARKING
- ELECTRIC BOX
- COLUMN
- TBM TEMPORARY BENCH MARK
- ⊕ STREET LIGHT POLE



#	TREE NAME	DIAMETER (IN)	HEIGHT (FT)±	SPREAD (FT)±
1	ROYAL PALM TREE	20	40	15
2				
3	FISHTAIL PALM	20	30	15
4	FISHTAIL PALM	20	30	15
5	FISHTAIL PALM	20	30	15
6	ROYAL PALM TREE	20	40	15
7	BLACK OLIVE TREE	9	20	20
8	BLACK OLIVE TREE	9	20	20
9	OAK TREE	10	25	20
10	OAK TREE	10	25	20
11	OAK TREE	10	25	20
12	OAK TREE	10	25	20
13	OAK TREE	10	25	20

**LEGAL DESCRIPTION**  
 Lots 8, 9, 10 and 11, Block 9, of REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION, according to the Plat thereof, as recorded in Plat Book 28, Page 22, of the Public Records of Miami-Dade County, Florida.

**SURVEYOR'S NOTES**

- SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X", BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 12086C0457L, WITH A DATE OF IDENTIFICATION OF 09-11-09, FOR COMMUNITY NUMBER 120639, IN MIAMI-DADE COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY
- LANDSCAPE WITH RECORDED PLAT
- OWNERSHIP IS SUBJECT TO OPINION OF TITLE
- TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY
- LEGAL DESCRIPTION: FURNISHED BY CLIENT
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTIES
- UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON. CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- THE SURVEYOR OF RECORD DOES NOT DETERMINE OWNERSHIP OF FENCES. MEASUREMENTS SHOWN HEREON DEPICT PHYSICAL LOCATION OF FENCE
- WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1:10,000FT.
- IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
- NO ATTEMPT HAS BEEN MADE TO LOCATE ANY FOUNDATION BENEATH THE SURFACE OF THE GROUND.
- BEARINGS HEREON REFER TO AN ASSUMED VALUE OF N87°53'25"E FOR THE NORTH RIGHT-OF-WAY LINE OF SAN LORENZO AVENUE.

**CERTIFICATION**

To:  
 San Lorenzo Property, LLC  
 Laguna Merrick, LLC  
 C Bridge, Inc.  
 FLEITAS PLLC  
 Old Republic National Title Insurance Company  
 Greenberg Traurig, P.A.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(c), 8, 9, 13, 16, and 19 of Table A thereof. The fieldwork was completed on 03-08-2022. Date of Plat or Map: 04-05-2022.

**Waldo F Paez**  
 Digitally signed by Waldo F Paez  
 Date: 2022.05.23 15:08:05 -0400'  
 By: Waldo F. Paez, Professional Surveyor and Mapper No. LS3284 State of Florida

DELTA MAPPING AND SURVEYING, INC.  
 13301 S.W. 132ND AVENUE  
 SUITE 117  
 MIAMI, FL 33186  
 LB No. 7950  
 TEL: 786-429-1024  
 FAX: 786-592-1152

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY WALDO F. PAEZ, LS3284 ON MAY 23, 2022 USING A DIGITAL SIGNATURE CERTIFIED BY IDENTRUST.

DIGITALLY SIGNED PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY WALDO F. PAEZ, LS3284 ON MAY 23, 2022.

Section 2-200 Mixed Use Districts Table

Use categories	MX1	MX2	MX3
<b>A. Lot occupation</b>			
1 Building Site Area Minimum (square feet)	2,500	10,000	2,500
2 Building Site Width Minimum (feet)	25	100	25
3 Ground Coverage Minimum	NA	NA	NA
4 Open Space Minimum	10%	10%	10%
<b>B. Density</b>			
1 Density (DU/Acre)	125	125	125
2 Unit Size Minimum (square feet)	500	500	500
3 Floor Area Ratio (FAR)	3.0	3.0	3.0
4 FAR Med. Bonus I	3.2	3.2	3.2
5 FAR Med. Bonus II	3.5	3.5	3.5
<b>C. Setback minimums (feet)</b>			
1 Principal Front	0	0	0
2 Side Interior	0	0	0
3 Side Street	0	0	0
4 Rear	10	10	10
5 Rear at Alley	0	0	0
6 Waterway	35	35	35
<b>D. Stepback minimums (feet)</b>			
1 Stepback Front	NA	10	10
2 Stepback Side	NA	15	15
3 Stepback Side Street	NA	10	10
4 Stepback Rear	NA	10	10

4/5/22, 11:07 AM Print

Use categories	MX1	MX2	MX3
<b>E. Building height maximums (stories/feet)</b>			
1 Principal Building	45	45	70
2 Mediterranean Bonus I	NA	5 stories /63.5	7 stories /83.5
3 Mediterranean Bonus II	NA	6 stories /77	8 stories /97

- General Notes:**
- Additional story limitations for Principal Building heights shall apply to properties identified in Appendix A Site Specifics.
  - Additional requirements may apply according to Section 6-105, Landscape Requirements for Zoning Districts or other regulations in Article 6.
  - Additional requirements and exceptions may apply according to Section 2-201, and Section 2-400, Overlay Districts or other regulations in Article 2.
  - There shall be no density limitation in the CBD and Design & Innovation District Overlays.
  - Deviation from required setbacks may be permitted pursuant to Section 5-201, Coral Gables Mediterranean style design standards.

THE PROPERTY HAS DIRECT PHYSICAL ACCESS TO SAN LORENZO AVENUE AND LAGUNA STREET, DEDICATED PUBLIC STREETS.

**PARKING NOTE**  
 THE TOTAL NUMBER OF STRIPED PARKING SPACES REQUIRED BY LOCAL ZONING ORDINANCE IS INCLUDING DESIGNATED AS HANDICAPPED SPACES. THE NUMBER OF ACTUAL STRIPED PARKING SPACES LOCATED ON THE SUBJECT PROPERTY IS SIX INCLUDING ONE DESIGNATED AS HANDICAPPED SPACES.

**TITLE COMMITMENT PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AMERICAN LAND TITLE ASSOCIATION COMMITMENT**  
 COMMITMENT NUMBER: FILE NO.: 22043377  
 COMMITMENT EFFECTIVE DATE: APRIL 20, 2022 AT 08:00AM, REVISED DATE: MAY 20, 2022 8:00 am

- SCHEDULE B-II EXCEPTIONS**
- ITEM NO. 1 NOT A SURVEYING MATTER NOT PLOTTABLE
  - ITEM NO. 2 SURVEY SHOWN ON THIS PAGE
  - ITEM NO. 3 NOT A SURVEYING MATTER NOT PLOTTABLE
  - ITEM NO. 4 NOT A SURVEYING MATTER NOT PLOTTABLE
  - ITEM NO. 5 ANY EASEMENTS WHICH HAVE BEEN PROVIDED TO SURVEYOR HAVE BEEN PLOTTED.
  - ITEM NO. 6 NOT A SURVEYING MATTER NOT PLOTTABLE
  - ITEM NO. 7 NOT A SURVEYING MATTER NOT PLOTTABLE
  - ITEM NO. 8 REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION P.B. 28, PG. 22 AFFECTS PROPERTY BLANKET IN NATURE
  - ITEM NO. 9 EASEMENT DEED BOOK 839, PG. 106 AFFECTS PROPERTY AS TO: "...IN, UPON, ALONG, ACROSS, OVER AND UNDER THE REAR PROPERTY LINES OF LOTS NOW OR HERE-AFTER PLATTED OR THE SIDE LINES OF SAID LOTS"
  - ITEM NO. 10 EASEMENT DEED BOOK 939, PG. 435 NOT LEGIBLE
  - ITEM NO. 11 EASEMENT DEED BOOK 939, PG. 443 AFFECTS PROPERTY AS TO "...ALL PROPERTY OF EVERY KIND, NATURE OR DESCRIPTION USED OR USEFUL IN THE BUSINESS OF SUPPLYING AND DISTRIBUTING WATER IN AND ABOUT CORAL GABLES"
  - ITEM NO. 12 WARRANTY DEED DEED BOOK 1304, PG. 1 -NOT PROVIDED TO SURVEYOR DEED BOOK 1304, PG. 9 -AFFECTS PROPERTY BLANKET IN NATURE AND PLOTTED AS SHOWN RELEASE OF REVERTER DEED BOOK 1315, PG. 126 -NOT PROVIDED TO SURVEYOR
  - ITEM NO. 13 INTENTIONALLY DELETED
  - ITEM NO. 14 INTENTIONALLY DELETED
  - ITEM NO. 15 INTENTIONALLY DELETED
  - ITEM NO. 16 INTENTIONALLY DELETED
  - ITEM NO. 17 AGREEMENT O.R.B. 29648, PG. 2537 AFFECTS PROPERTY BLANKET IN NATURE
  - ITEM NO. 18 AGREEMENT O.R.B. 29687, PG. 915 AFFECTS PROPERTY BLANKET IN NATURE
  - ITEM NO. 19 RESTRICTIVE COVENANT O.R.B. 30245, PG. 2235 AFFECTS PROPERTY BLANKET IN NATURE
  - ITEM NO. 20 AGREEMENT O.R.B. 30323, PG. 3280 AFFECTS PROPERTY AS TO RIGHT-OF-WAY BLANKET IN NATURE
  - ITEM NO. 21 NOT A SURVEYING MATTER NOT PLOTTABLE

**ARCHITECT:**  
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**THE AVENUE**  
 351 SAN LORENZO AVE, CORAL GABLES, FL, 33146

**PHASE:**  
**PLANNING AND ZONING BOARD**

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**SEAL:**

05/05/2023

Agustin J. Barrera  
 LIC# AR94201

**REVISIONS:**

No.	DESCRIPTION	DATE:

**TITLE:**  
**SURVEY**

Project No: The Avenue  
 Date: 2023.02.23  
 Scale:  
 Format: 24" x 36"  
 Drawn: Author  
 Checked: Checker  
 SHEET:

**Delta Mapping and Surveying, INC**  
 13301 SW 132nd Avenue  
 MIAMI, FL 33186  
 SUITE 117 PHONE: (786) 429-1024

EST. 2017  
 Surveyors, Land Planners & Mappers

**ALTA/NSPS SURVEY**

DATE: 05-09-2022  
 SCALE: 1" = 20'  
 DRAWN BY: M.G.  
 DRAWING NO: 22-0156  
 SHEET NO: 1 OF 1