

Addition and Renovations to: Robboy Residence (Designated Historic)

1206 Cordova Street Coral Gables, FL 33134

GENERAL NOTES

A. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT OF RECORD.

B. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.

C. THESE DRAWINGS PROVIDE FOR THE LABOR, MATERIAL, EQUIPMENT AND SUPERVISION BY THE CONTRACTOR FOR A COMPLETE LOCK AND KEY JOB WITH THE ITEMS SPECIFICALLY NOTED FURNISHED BY THE CONTRACTOR OR AS AN ALLOWANCE. THE WORK SHALL BE EXECUTED IN A THOROUGH, SUBSTANTIAL AND NEAT MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.

D. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT OF RECORD IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.

E. ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA RESIDENTIAL BUILDING CODE (2014) AND ALL AUTHORITIES HAVING JURISDICTION.

F. AIA DOCUMENT A-105 (2007) GENERAL CONDITIONS OF THE CONTRACT IS HEREBY MADE A PART OF THESE DRAWINGS AND SPECIFICATIONS.

G. THE CONTRACTOR SHALL DETERMINE THE SEQUENCE OF CONSTRUCTION ITEMS, AS WELL AS THOSE PROVIDED FOR BY SEPARATE PERMIT. THE CONTRACTOR SHALL ARRANGE FOR INSPECTION AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL FEES AND COSTS FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT PRIOR TO FINAL PAYMENT DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING AND ZONING DEPARTMENT.

H. THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APURTENANCE SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.

I. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.

J. AFTER THE AWARD OF THE CONTRACT AND PRIOR TO START OF ANY WORK A PRE-WORK CONFERENCE WILL BE HELD BETWEEN THE CONTRACTOR, ARCHITECT, OWNER AND REPRESENTATIVES OF THE CONTRACTOR. THE TIME AND PLACE OF THIS CONFERENCE WILL BE SET BY THE OWNER. THE CONTRACTOR SHALL PREPARE A BRIEF WORK DESCRIPTION TO BE PROCEDURE TO BE USED IN THE PERFORMANCE OF THE WORK AND PROVIDE A SCHEDULE (BAR CHART) FOR THE PROJECT.

K. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE FAMILIAR WITH THE NATURE AND LOCATION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING THOSE BEARING ON TRANSPORTATION, HANDLING AND STORAGE OF DEBRIS, ACCESS TO THE SITE, AND THE EQUIPMENT AND FACILITIES NEEDED TO PERFORM THE WORK.

L. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.

M. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO THE PREMISES AT ALL TIMES.

N. ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED AND/OR AS SELECTED BY THE ARCHITECT OR OWNER.

O. THE CONTRACTOR SHALL ALLOW THE A/E TEAM A RESPONSE TIME OF 7 WORKING DAYS FOR RFIs AND 14 WORKING DAYS FOR SHOP-DRAWING REVIEWS.

P. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR REPAIRS. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.

Q. AT COMPLETION, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SURPLUS MATERIALS, LEAVING THE PROJECT "BROOM CLEAN".

R. THE CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.

S. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.

T. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

U. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.

V. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH PARTIAL RELEASE OF LIEN FOR EACH PAYMENT, AND A FINAL RELEASE OF LIEN AT COMPLETION.

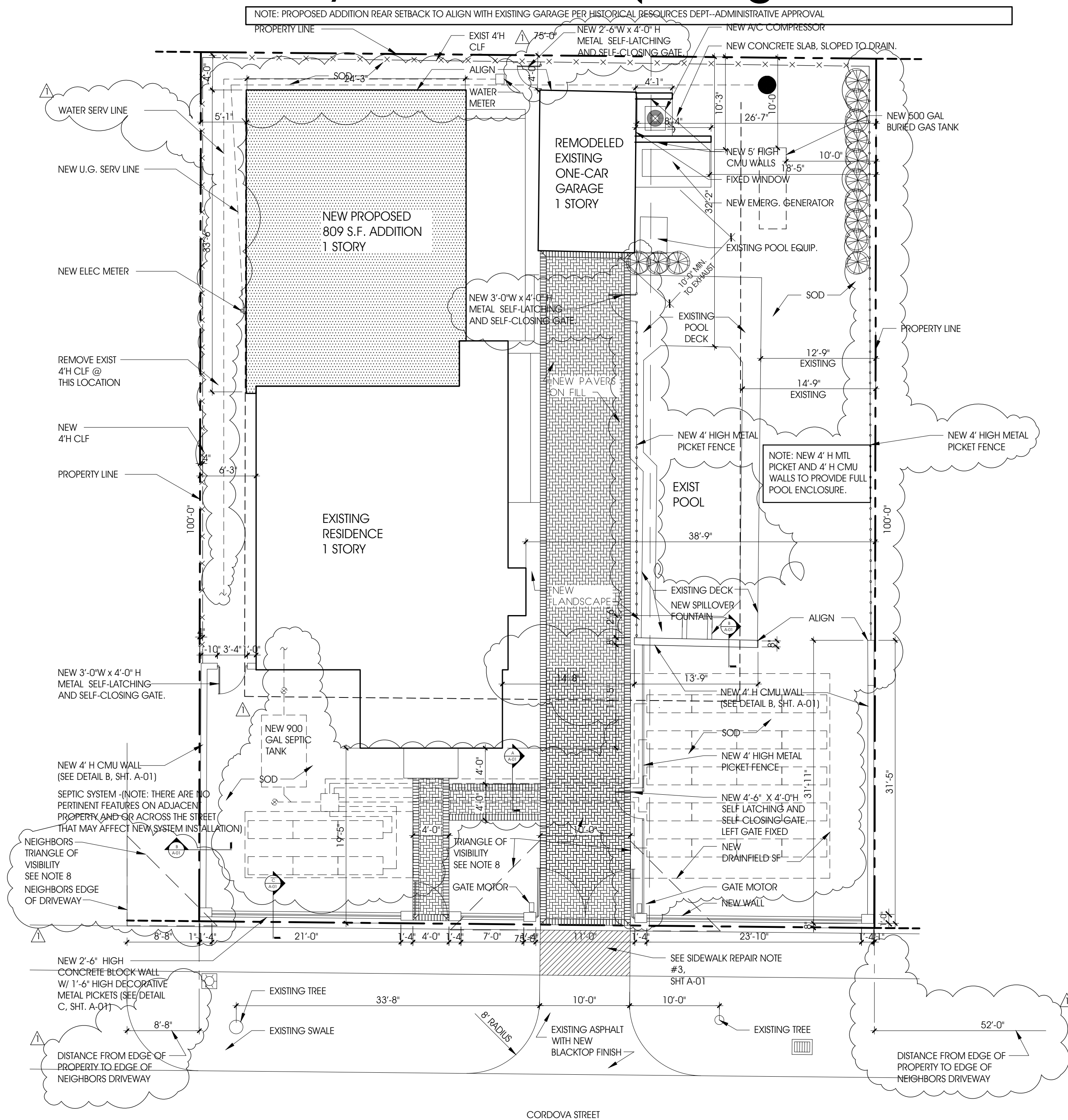
W. FINAL DISBURSEMENT TO THE CONTRACTOR SHALL NOT BE MADE UNTIL THE OWNER'S PUNCH-LIST HAS BEEN SATISFIED.

SYMBOLS KEY

BUILDING SECTION		ELEVATION	
WALL SECTION		INTERIOR ELEVATION	
DETAIL		DOOR ID	
DETAIL @ SECTION		PARTITION TYPE	
		REVISION	
		EQUIPMENT ID	
		GLAZING ID	

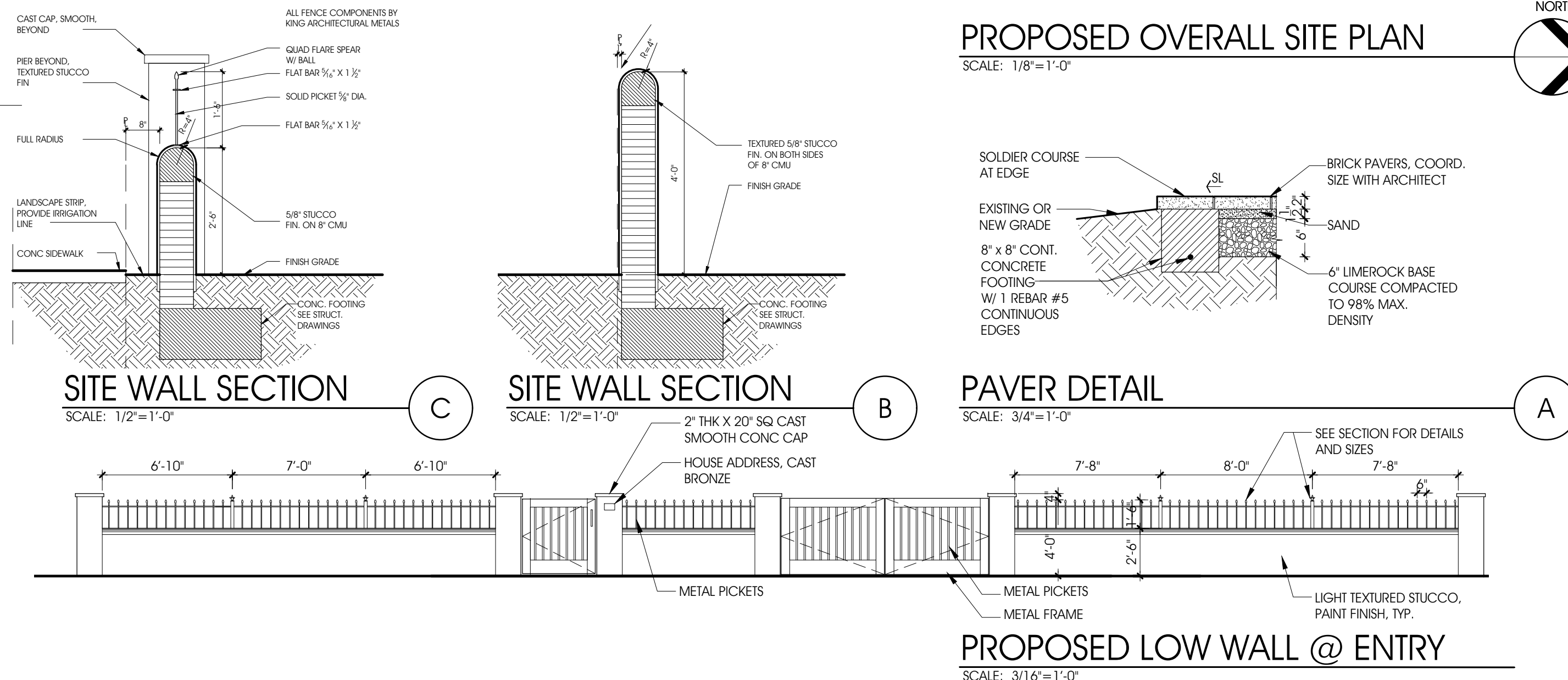
NOTES

- ALL RAINWATER MUST BE RETAINED ON PROPERTY.
- LANDSCAPING WILL COMPLY WITH CORAL GABLES ZONING CODE ARTICLE 5, DIVISION II, LANDSCAPE SECTION.
- NEW 6 INCHES REINFORCED CORAL GABLES BEIGE CONCRETE SIDEWALK REPLACEMENT AT NEW APPROACH AREA.
- FILL SHALL NOT BE BROUGHT UNTO SITE.
- SOIL TERMITE CONTROL: THE ENTIRE SOIL AREA TO BE COVERED BY FOOTINGS, SLABS, PORCHES, ETC., SHALL BE TREATED WITH FUMISEAL OR EQUAL FOR TERMITES IN ACCORDANCE WITH SPECIFICATIONS. PROVIDE OWNER WITH A PRINTED GUARANTEE AGAINST SUBTERRANEAN TERMITES FOR 5 YEARS, AND OTHER TERMITES FOR 2 YEARS, FROM DATE OF COMPLETION.
- NO TREES TO BE REMOVED OR AFFECTED BY THE ADDITION.
- THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.



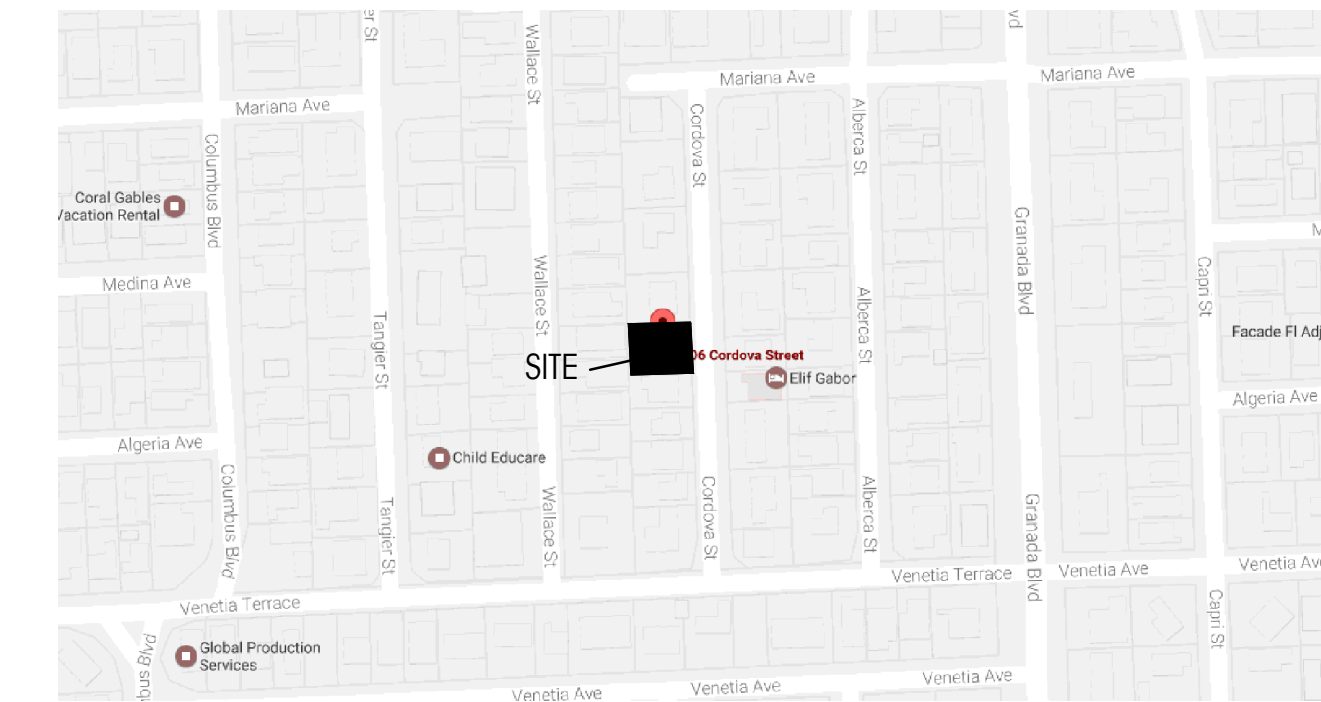
PROPOSED OVERALL SITE PLAN

SCALE: 1/8"=1'-0"



PROPOSED LOW WALL @ ENTRY

SCALE: 3/16"=1'-0"



LOCATION SKETCH

SCALE: NTS

LEGAL DESCRIPTION

LOTS 7 & S1/2 & LOT 8 BLOCK 1, OF THE CORAL GABLES RIVERIA SECTION PART 1, AS RECORDED IN THE MIAMI-DADE PROPERTY RECORDS REV PB 13-51.

SCOPE OF WORK

THE WORK ENTAILS THE DEMOLITION OF 293 SQ FT AT REAR PORTION OF THE MAIN HOUSE. REMOVAL OF CARPORT, REPLACEMENT OF EXISTING WINDOWS AND SITE IMPROVEMENTS. THE ADDITION OF 809 SQ FT TO REAR PORTION OF MAIN HOUSE AND THE RENOVATION OF THE EXISTING GARAGE.

ZONING INFORMATION

ZONED:	SFR	
FLOOD ZONE:	X	
LOT SIZE:	7,200 SF	
CODE:	FBC 2014	
ALTERATION LEVEL:	3	
	REQUIRED / ALLOWED	PROPOSED / EXISTING
MAX. FLOOR AREA ALLOWED	3,170 SF (48% FIRST 5,000 S.F. 35% NEXT 5,000 S.F., 30% REMAINING)	2,025 S.F.
LOT COVERAGE ALLOWED	2,520 SF (35%) 3,240 SF (45%) W/AUXILIARY BLDG. (GARAGE)	1,839 S.F. (A/C AREA) 2,322 S.F. (INCLUDE POOL & AUXILIARY BLDG. (GARAGE))
HEIGHT ALLOWED	2 STORIES OR 29'-0" (FROM EST. GRADE ELEV. (10.45' N.G.V.D.))	12'-7" AFF EXISTING / 13'-7" AFF PROP. (10.5' FROM EST. GRADE AT PROP. ADDITION 9'-4" FROM EST. GRADE AT EXIST. GARAGE)
LANDSCAPE AREA REQUIRED	2,880 SF (40%) 576 SF (FRONT)	3,590 S.F. (45.5%) *20% OF RES. 40% OPEN LANDSCAPE SHALL BE PROVIDED AT FRONT (1400-1655 SF MIN. 1,031 SF PROVIDED (31% PROVIDED))
MIN. FLOOR ELEVATION GARAGE	11.0' (5' + 10.50' AVG. CROWN OF ROAD)	10.44' EXISTING AT GARAGE 10.94' PROPOSED AT GARAGE 12.15' EXISTING AT MAIN HOUSE
SETBACK REQUIREMENTS:	REQUIRED	PROPOSED / EXISTING
FRONT: East	25'-0"	19'-5" EXISTING HOUSE
SIDE: North	5'-0" MIN. (BOTH SIDES MUST ADD UP TO 20% OF LOT WIDTH: 75' X 20% = 15'-0")	26'-7" EXISTING GARAGE 38'-9" EXISTING MAIN HOUSE
SIDE: South		6'-3" EXISTING HOUSE 5'-0" PROPOSED NEW ADDITION
REAR: West	10'-0"	4'-0" EXISTING HOUSE 4'-0" PROPOSED NEW ADDITION
PROPOSED	FIRST FLOOR	TOTAL
ENCLOSED AC:	1,340 S.F. EXISTING (- 228 S.F.) DEMO 727 S.F. PROPOSED	1,112 S.F. EXISTING 727 S.F. PROPOSED
CARPORT:	(- 229 S.F.) DEMO	
COVERED PORCH:	(- 27 S.F.) DEMO	
GARAGE:	(186 S.F. EXISTING)	(186 S.F. EXISTING) - AUXILIARY
POOL:	(297 S.F. EXISTING)	(297 S.F. EXISTING) - AUXILIARY
TOTALS	1,839 S.F.	1,839 S.F.

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PERMIT SUBMITTAL: SEPTEMBER 22, 2017

KEYNOTES

NO.	REVISION/SUBMISSION	DATE
	OWNER REVIEW	06-07-17
	BOA PRELIM REVIEW	06-10-17
	BOA PRELIM REVISION	06-22-17
	ZONING REVIEW & HISTORICAL RESOURCES SUBMITTAL	06-22-17
	PERMIT SUBMITTAL	09-22-17
	BUILDING COMMENTS	01-25-18

PROJECT

Robboy Residence
Addition and Alterations

1206 Cordova Street
Coral Gables, Florida 33134

DRAWING

PROPOSED SITE PLAN,
SITE DETAILS AND GEN NOTES

SEAL

SCALE VARIES

DRAWN

REVIEWED

NEL

PROJ. NO.

239

Sheel No.

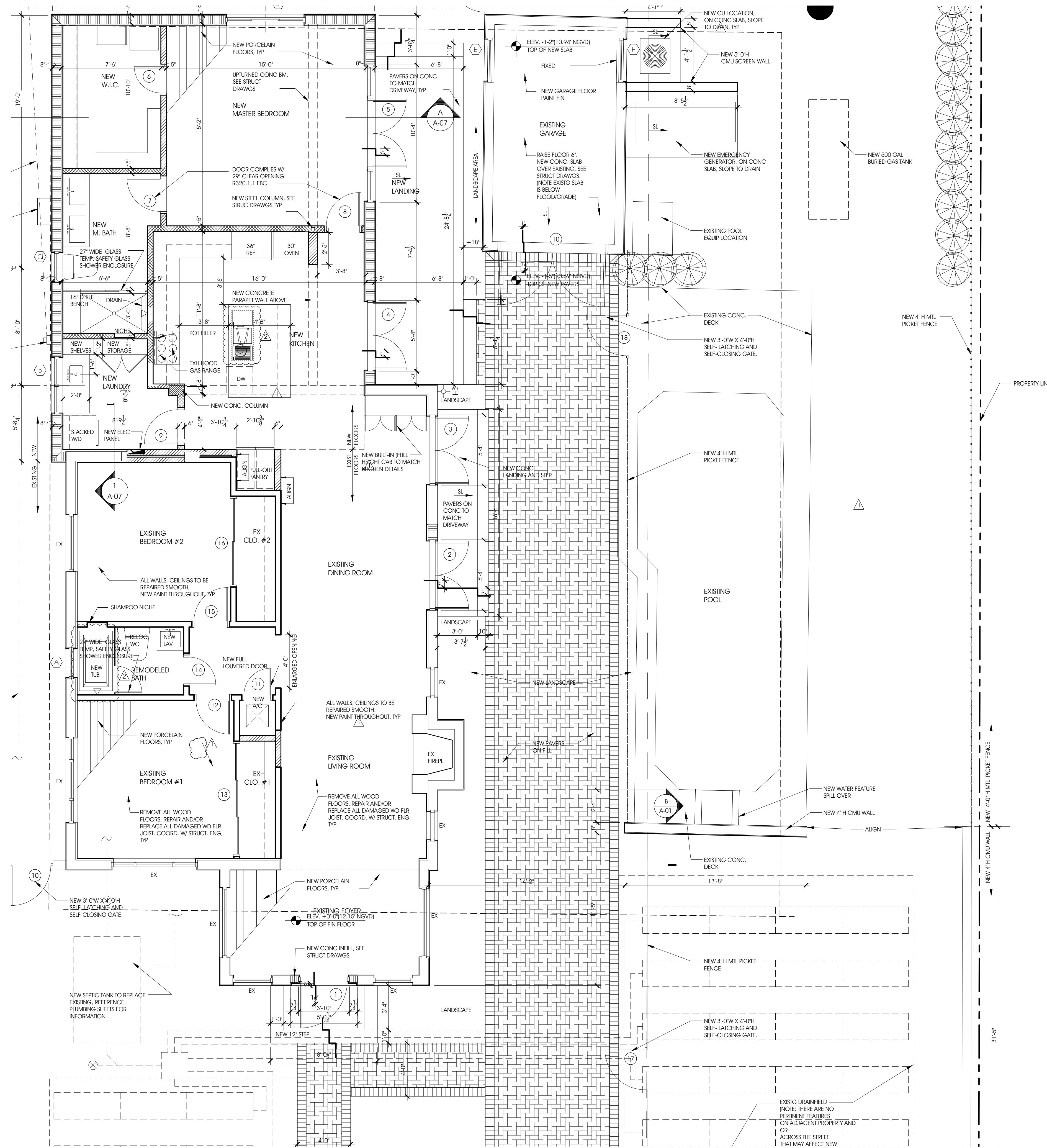
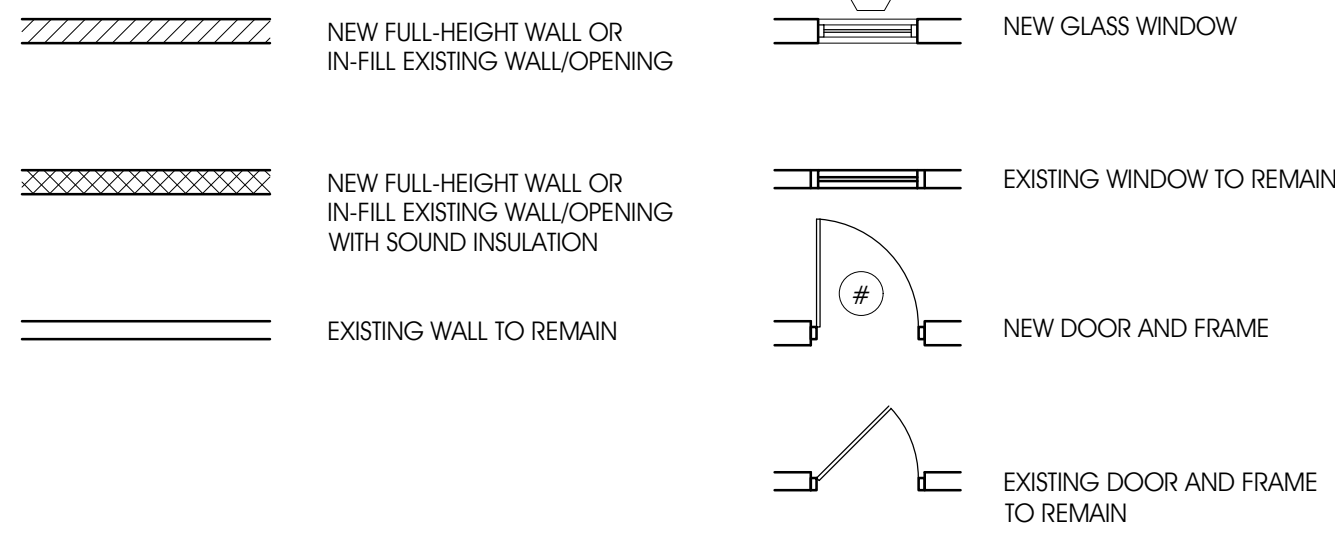
A-01

Nelson de Leon
AR 13937

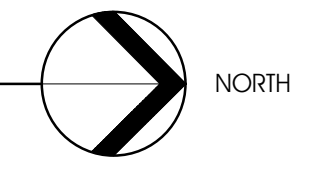
NOTES:

1. CONTRACTOR TO PAINT ALL NEW INTERIOR WALLS, CEILINGS, & EXTERIOR WALLS. COORDINATE COLORS WITH OWNERS.
2. CONTRACTOR TO VERIFY EXACT LOCATION OF ALL TOILET ROOM, LAUNDRY ROOM, CLOSET AND KITCHEN ACCESSORIES WITH OWNER. PROVIDE P.T. WOOD BLOCKING AT ALL CABINETS AND BATHROOM ACCESSORIES.
3. FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 8' AT INTERCONNECTIONS, BETWEEN STAIR STRINGERS, AT OPENING, AT FLOOR JOISTS AROUND DOOR POCKETS AS PER FBC R440.0.7
4. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273.
5. AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE AT OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS BETWEEN 1/4" AND 1/2".
6. NEW CEILINGS SHALL MATCH EXISTING (MINIMUM HEIGHT 7'-0" CLEAR, TYP).
7. COORD. FLOORING, APPLIANCES, CABINETS, HARDWARE, PLUMBING, AND LIGHTING FIXTURES WITH OWNER SELECTIONS.

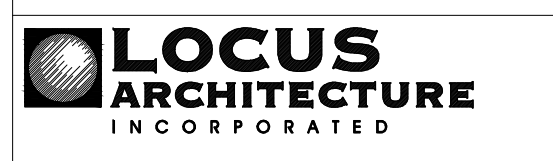
LEGEND



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYNOTES



500 South Dixie Highway, Suite 307
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NO.	REVISION/SUBMISSION	DATE
	OWNER REVIEW	06-07-17
	BOA PRELIM REVIEW	06-10-17
	BOA PRELIM REVISION	06-22-17
	ZONING REVIEW & HISTORICAL RESOURCES SUBMITTAL	06-22-17
	PERMIT SUBMITTAL	09-22-17
	BUILDING COMMENTS	01-25-18
	OWNER REVISION	03-08-19

PROJECT
Robboy Residence
Addition and Alterations

1206 Cordova Street
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DRAWING
PROPOSED FLOOR PLAN

SEAL	SCALE
	1/4" = 1'-0"
	DRAWN
	REVIEWED
	NEL
	PROJ. NO.
	239
	SHEET NO.

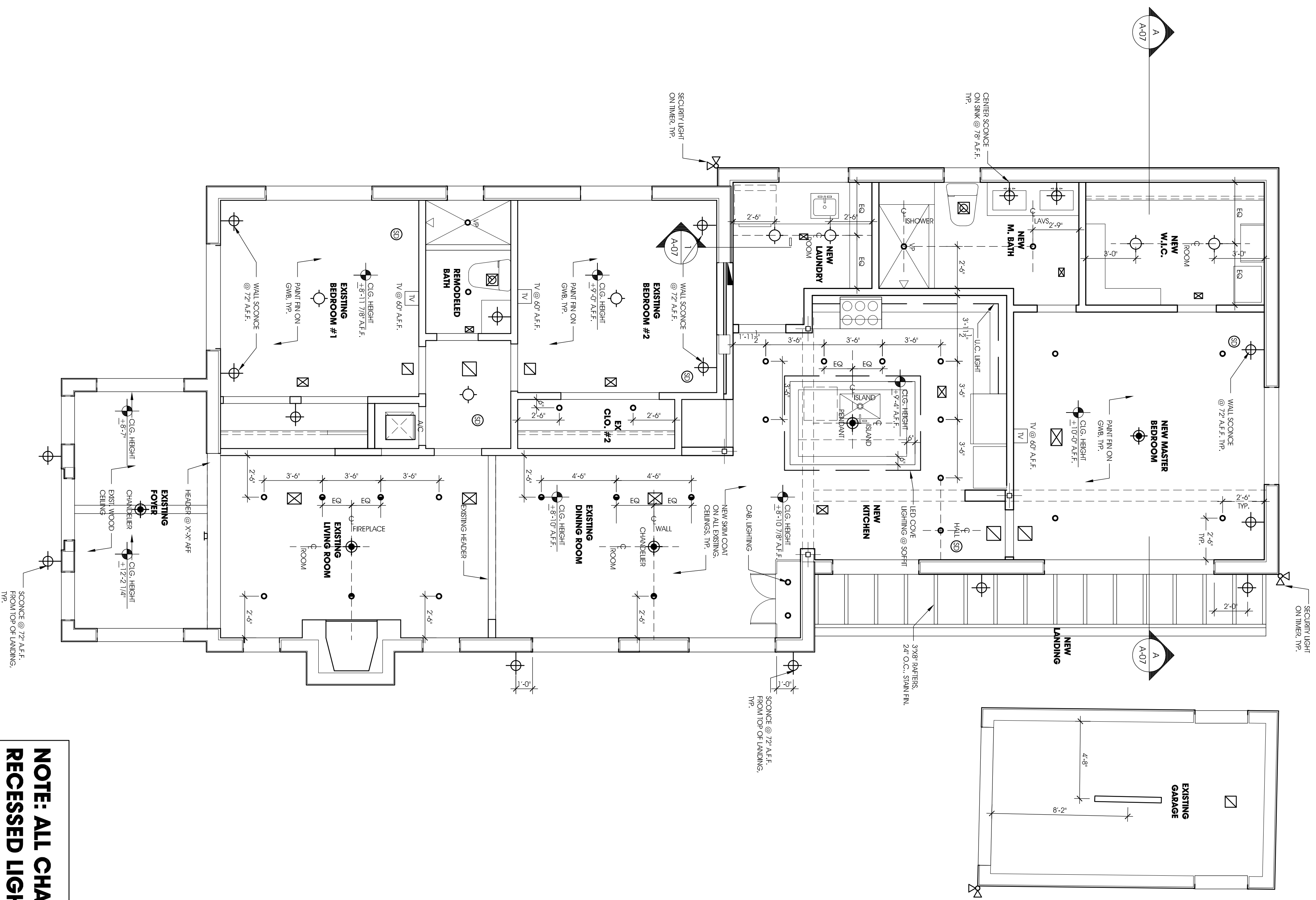
Nelson de Leon
AR 13937
A-03

NOTES:

1. CONTRACTOR TO PAINT ALL NEW INTERIOR WALLS, CEILING, & EXTERIOR WALLS. COORDINATE COLORS WITH OWNERS.
2. CONTRACTOR TO VERIFY EXACT LOCATION OF ALL TOILET ROOM, LAUNDRY ROOM, CLOSET AND KITCHEN ACCESSORIES WITH OWNER. PROVIDE P1, WOOD BLOCKING AT ALL CABINETS AND BATHROOM ACCESSORIES.
3. THE ROOMS SHALL BE PROVIDED WITH COVER BY A INTERCONNECTORS, BETWEEN SHAR SHINGERS, AT 1/4" AND 1/2" ON CENTER.
4. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273.
5. AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE AT OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS BETWEEN 1/4" AND 1/2".
6. NEW CEILING SHALL MATCH EXISTING MINIMUM HEIGHT 7'-0" CLEAR. TYP.
7. COORD. FLOODING, APPLIANCES, CABINETS, HARDWARE, FIXTURES, AND LIGHTING FIXTURES WITH OWNER SELECTIONS.

CEILING LEGEND

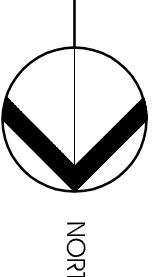
- RECESSED DOWNLIGHT
- INCANDESCENT WALL WASHER
- PENDANT LIGHT OR CHANDELER
- (BOX RATED FOR 100 BS)
- SURFACE MOUNTED CEILING LIGHT
- SURFACE MOUNTED WALL SCONCE
- RETURN AIR DIFFUSER
- SUPPLY AIR DIFFUSER
- FLUSH MOUNTED FLUORESCENT LIGHT
- UNDER CABINET LED LIGHT
- ⊗ SMOKE DETECTOR
- ⊗ EXHAUST FAN
- ⊗ EXT SECURITY LIGHT ON TIMER



NOTE: ALL CHANDELIERS, PENDANTS, SCONCES AND RECESSED LIGHTS ON DIMMER SWITCHES

PROPOSED REFLEC. CEILING PLAN

SCALE: 1/4" = 1'-0"



REVISIONS

NO.	REVISION/SUBMISSION	DATE
1	REVISION/SUBMISSION	06-07-17
2	OWNER REVIEW	06-07-17
3	BOA PRELIM REVIEW	06-10-17
4	BOA PRELIM REVISION	06-22-17
5	ZONING REVIEW & HISTORICAL RESOURCES	06-22-17
6	SUBMITTAL	09-22-17
7	PERMIT SUBMITTAL	09-22-17



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CONSULTANTS

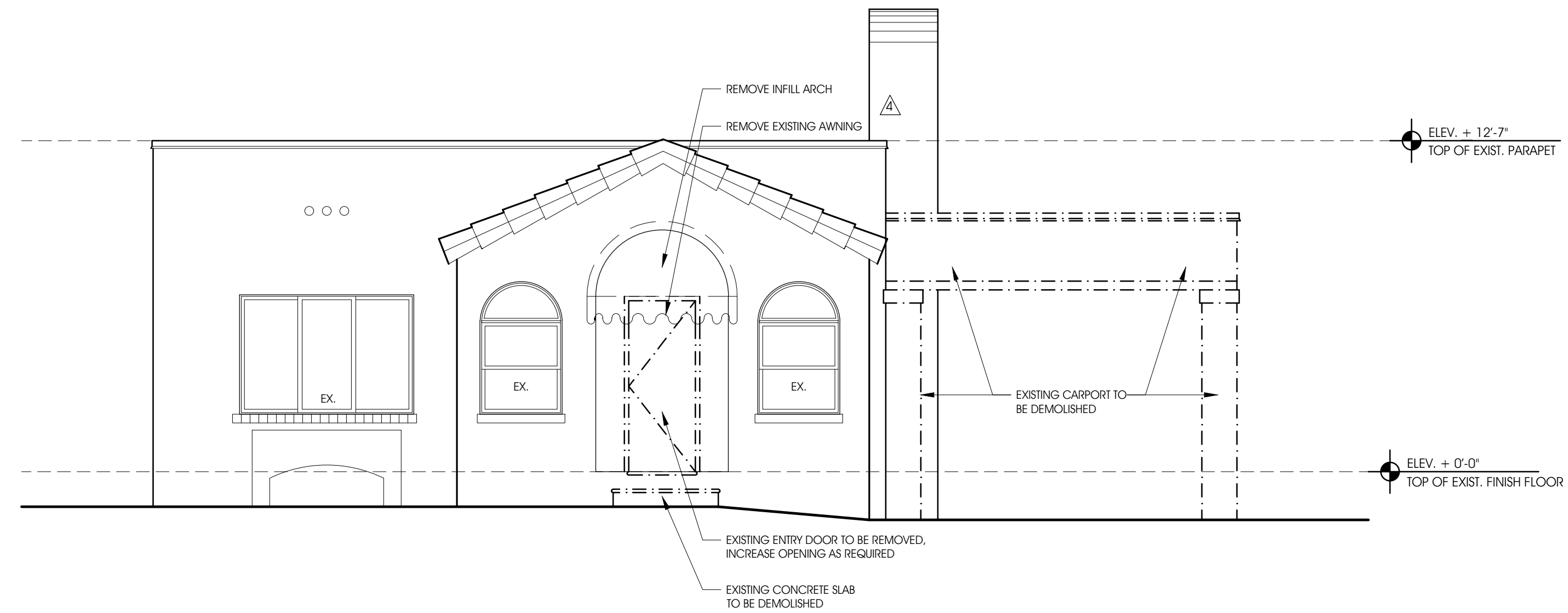
PROJECT	REVISION/SUBMISSION	DATE
Robby Residence Addition and Alterations	REVISION/SUBMISSION	06-07-17
	OWNER REVIEW	06-07-17

1204 Corning Street
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PROPOSED REFLECTED CEILING PLAN

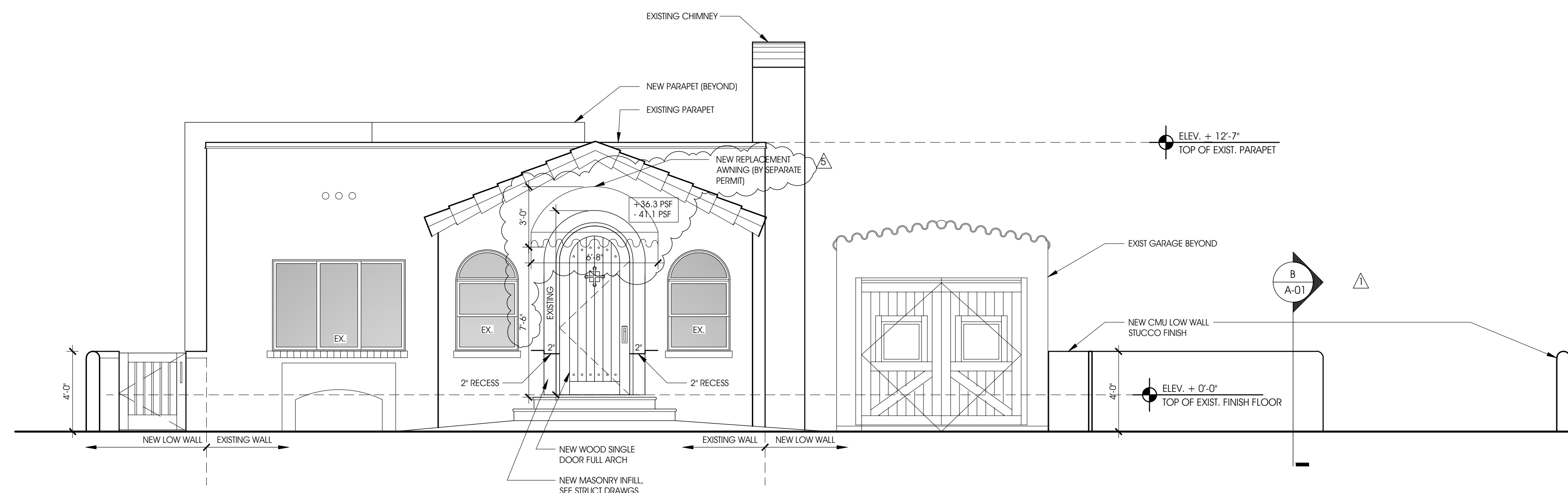
SCALE	SCALE
1/4" = 1'-0"	1/4" = 1'-0"
DATE	DATE
06-07-17	06-07-17
REVISION	REVISION
1	1
PROJECT NO.	PROJECT NO.
AR 13937	AR 13937
SHEET NO.	SHEET NO.
239	239

A-03.1



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



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CONSULTANT(S)

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	ZONING REVIEW & HISTORICAL RESOURCES SUBMITTAL	06-22-17
	PERMIT SUBMITTAL	09-22-17
	BUILDING COMMENTS	01-25-18
	HISTORICAL COORD.	04-22-21
	HISTORICAL COORD.	07-22-21

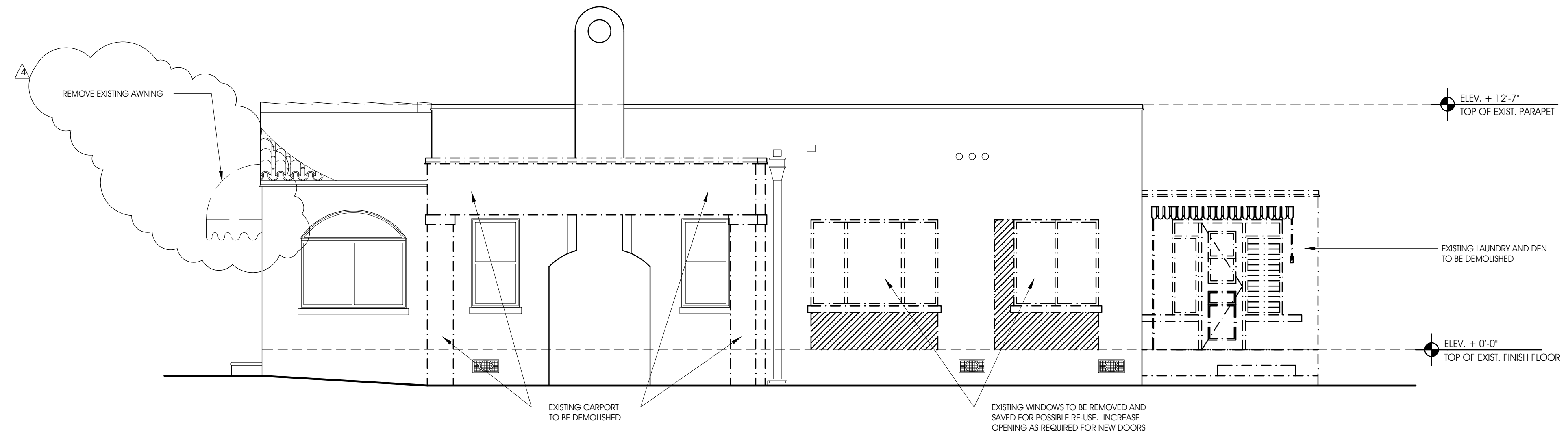
PROJECT
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DRAWING
EXISTING AND PROPOSED EAST EXTERIOR ELEVATIONS

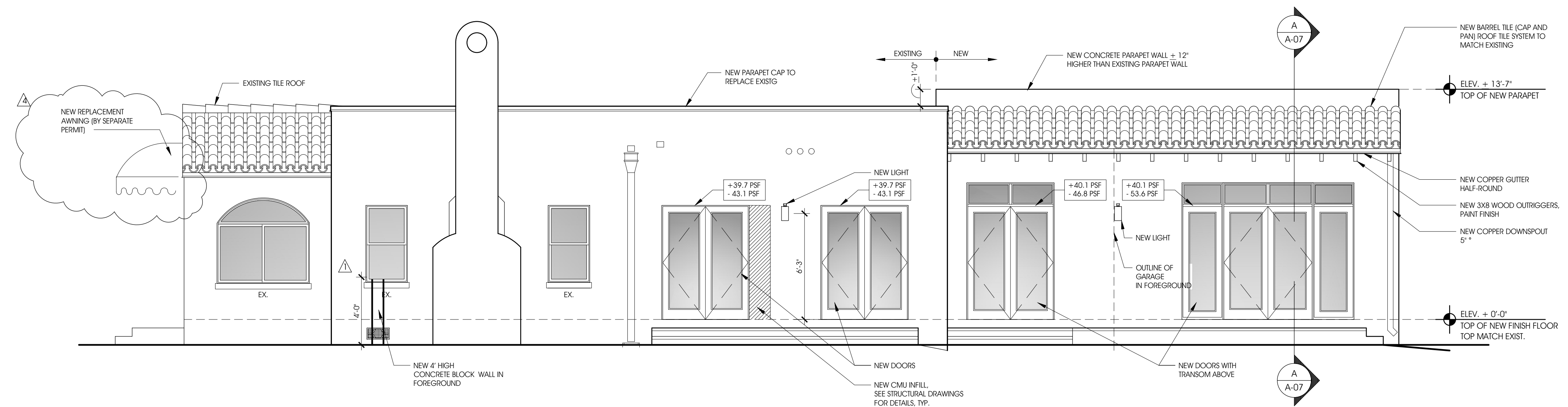
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Nelson de Leon AR 13937	PROJ. NO. 239

SHEET NO.
A-05



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION (POOL SIDE)

SCALE: 1/4" = 1'-0"



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	HISTORICAL COORD.	04-22-21

PROJECT
**Robboy Residence
Addition and Alterations**

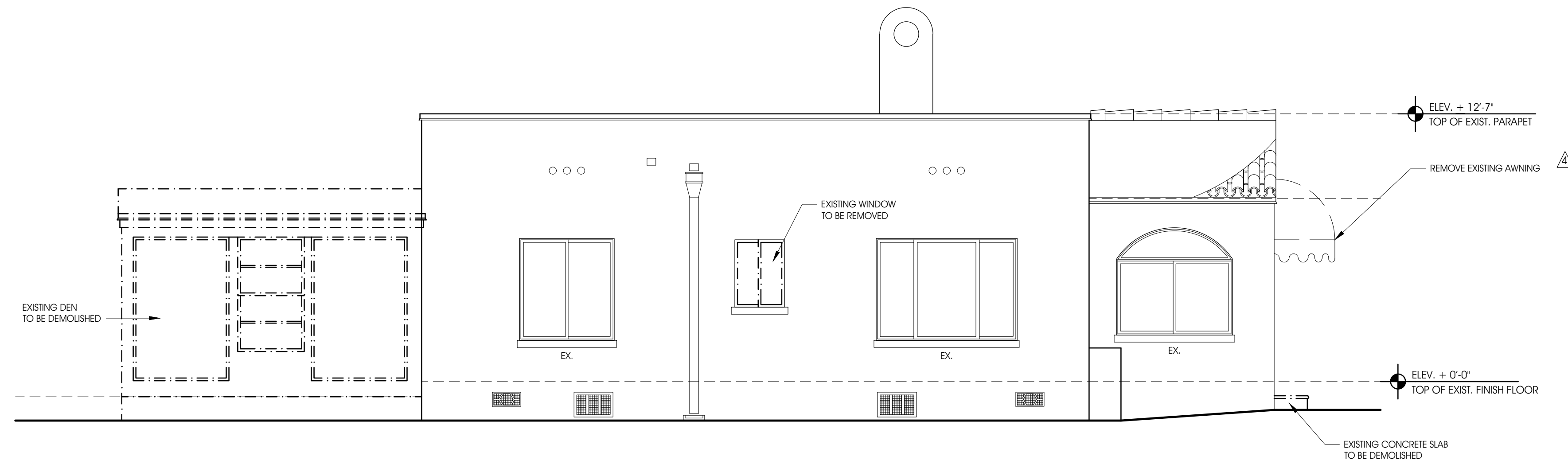
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DRAWING
**EXISTING AND PROPOSED
NORTH EXTERIOR ELEVATIONS**

SCALE	SCALE
	1/4" = 1'-0"
DRAWN	
REVIEWED	
NEL	
PROJ. NO.	239

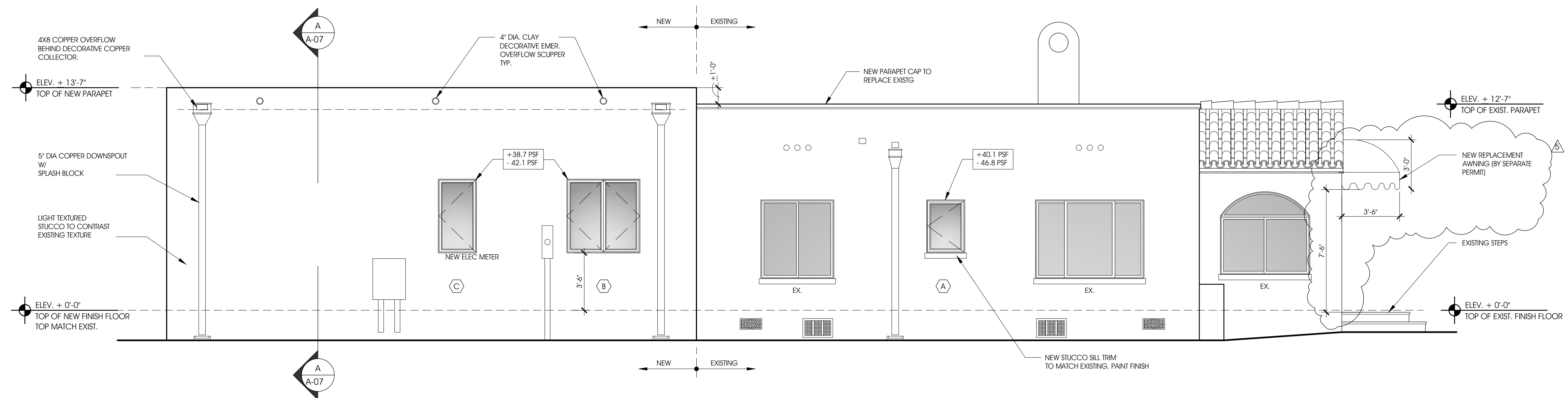
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A-06



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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	HISTORICAL COORD.	04-22-21
	HISTORICAL COORD.	07-22-21

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Addition and Alterations**

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DRAWING
**EXISTING & PROPOSED
SOUTH EXTERIOR ELEVATIONS**

SEAL	SCALE 1/4" = 1'-0"
	DRAWN
	REVIEWED NEL
Nelson de Leon AR 13937	PROJ. NO. 239

SHEET NO.
A-07

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1	OWNER REVIEW	06-07-17
2	BOA PRELIM REVIEW	06-10-17
3	BOA PRELIM REVISION	06-22-17
4	ZONING REVIEW & HISTORICAL RESOURCES SERVICES	06-22-17
5	PERMIT SUBMITTAL	09-22-17

PROJECT
Robboy Residence
Addition and Alterations

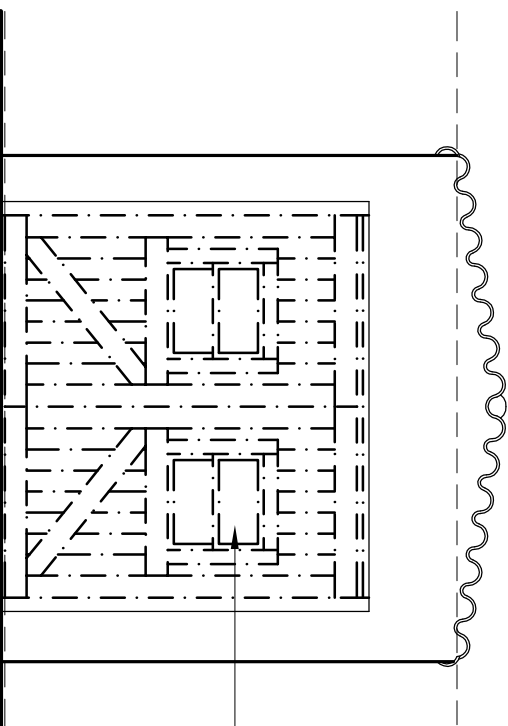
1204 Cordova Street
Coral Gables, Florida 33134

DRAWING
EXISTING AND PROPOSED
GARAGE EXTERIOR ELEVATIONS

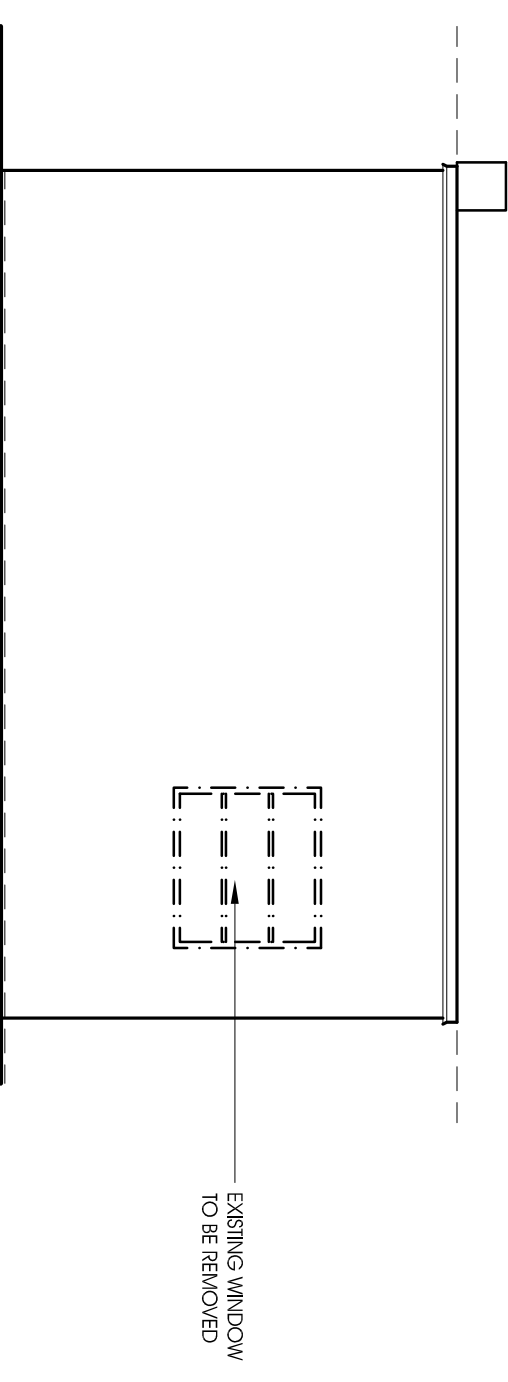
SHEET	SCALE	DATE	REVISION
1/4" = 1'-0"	1/4" = 1'-0"	DAWN	NEE
239			

Nelson de Leon
AR 13937
SHEET NO. 239
PROJ. NO.

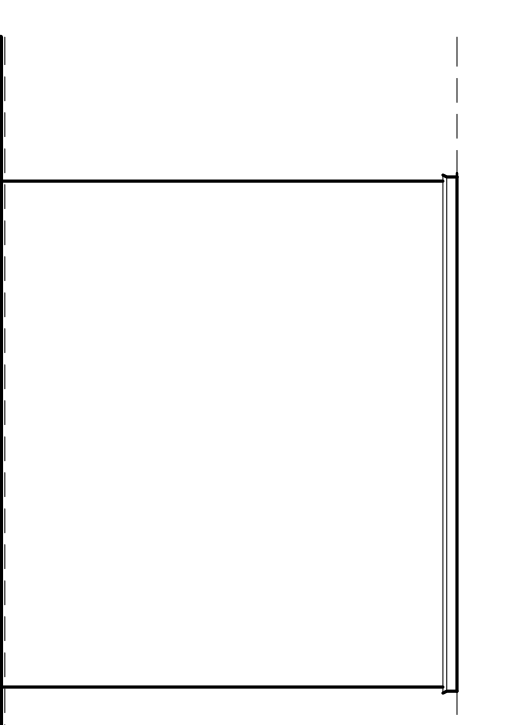
A-09



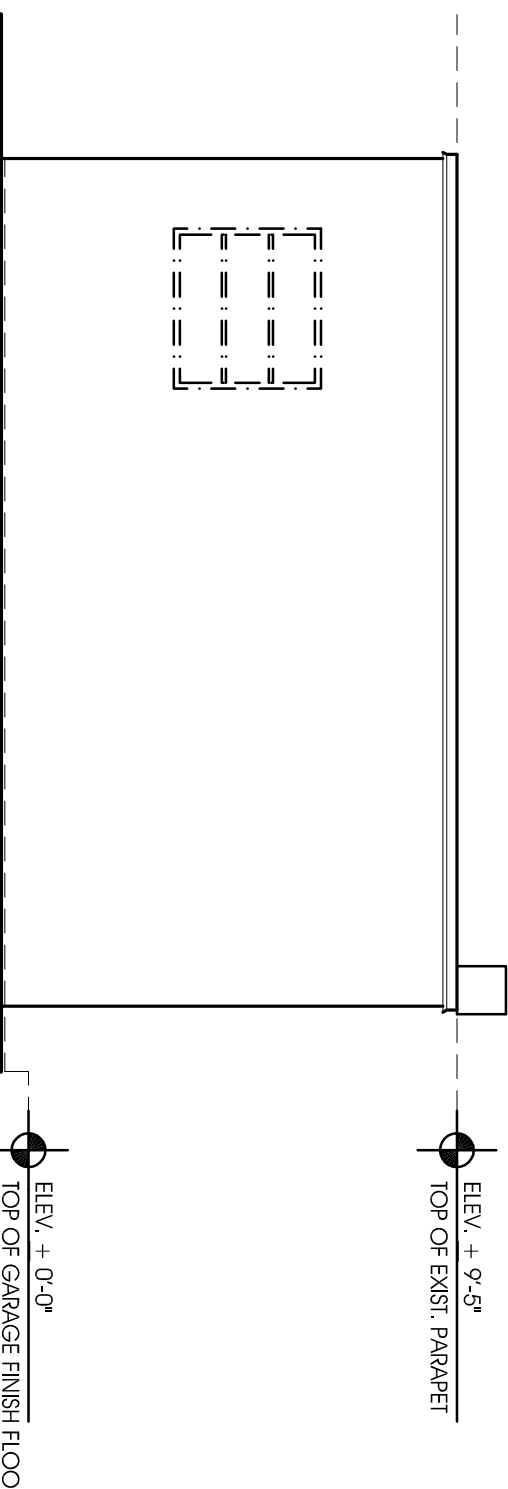
EXISTING GARAGE EAST ELEVATION
SCALE: 1/4" = 1'-0"



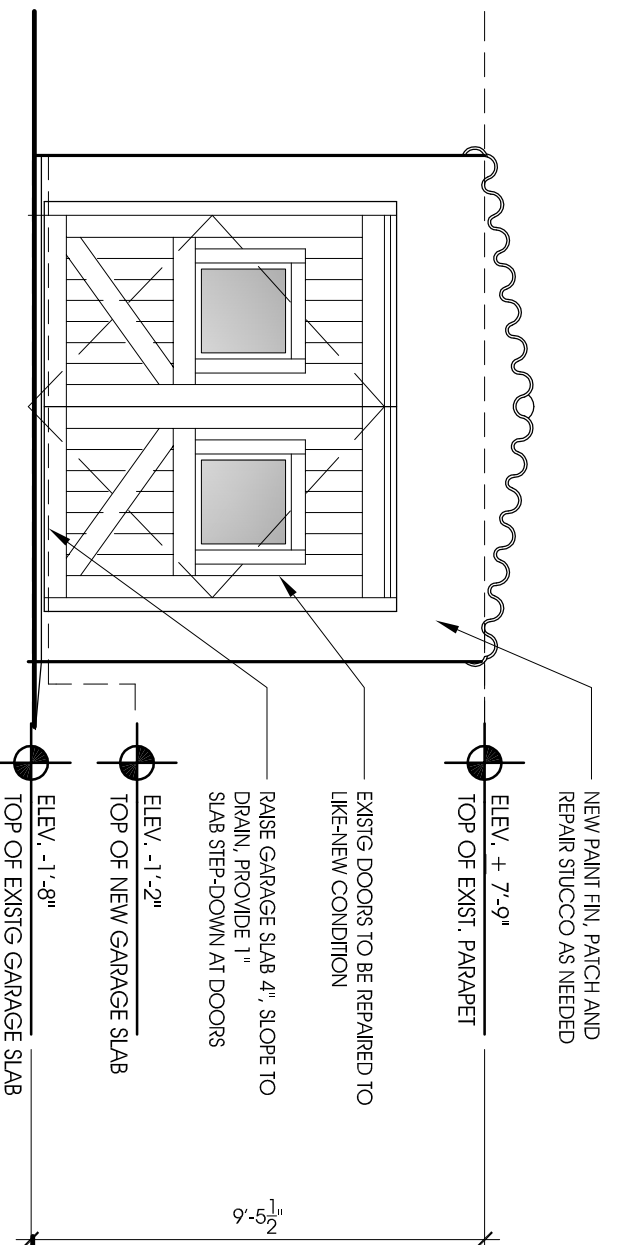
EXISTING GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



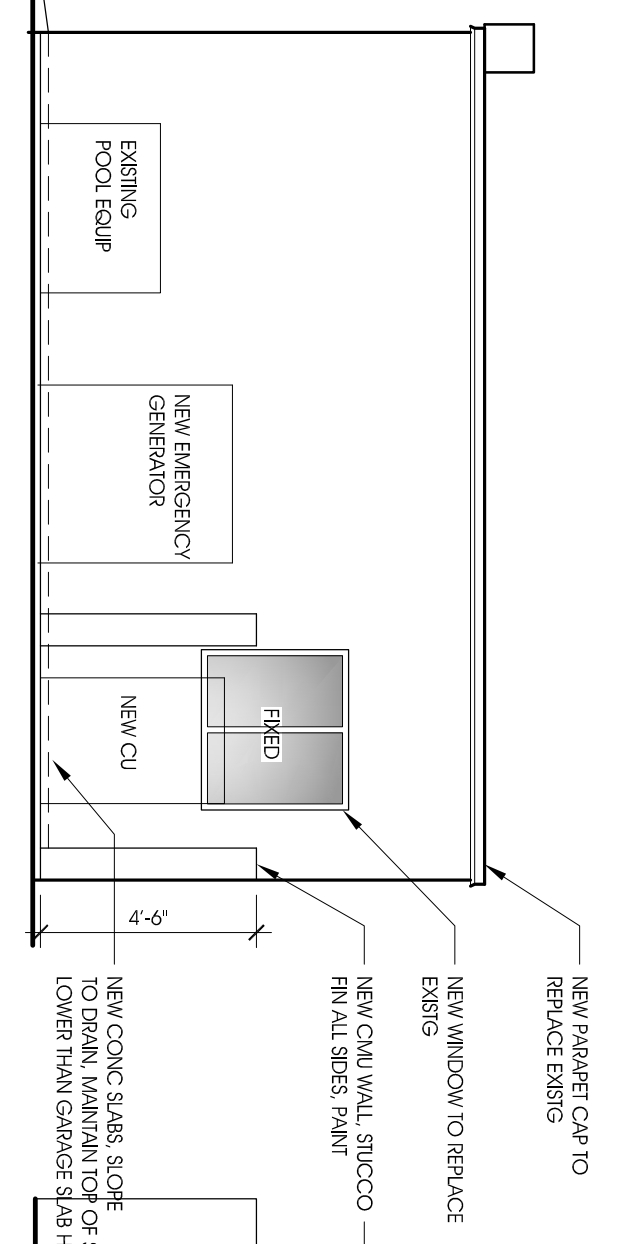
EXISTING GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"



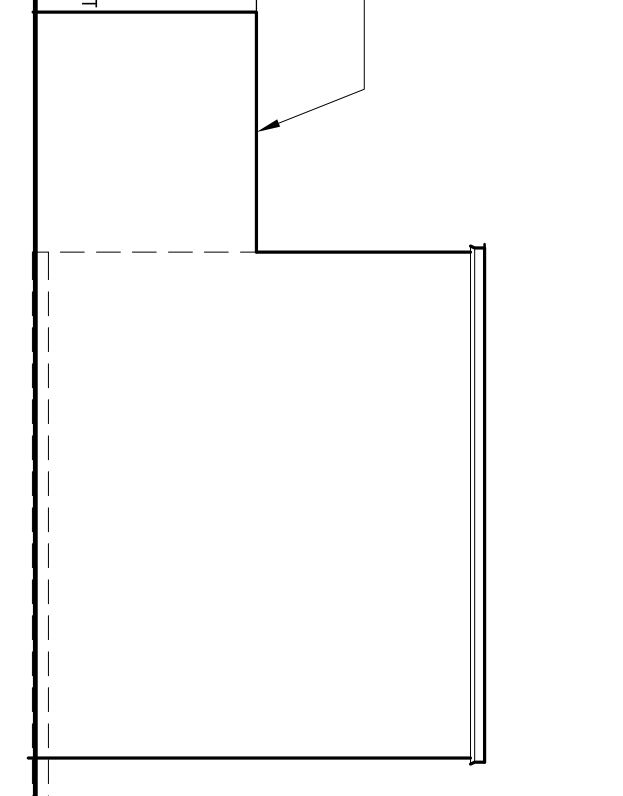
EXISTING GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



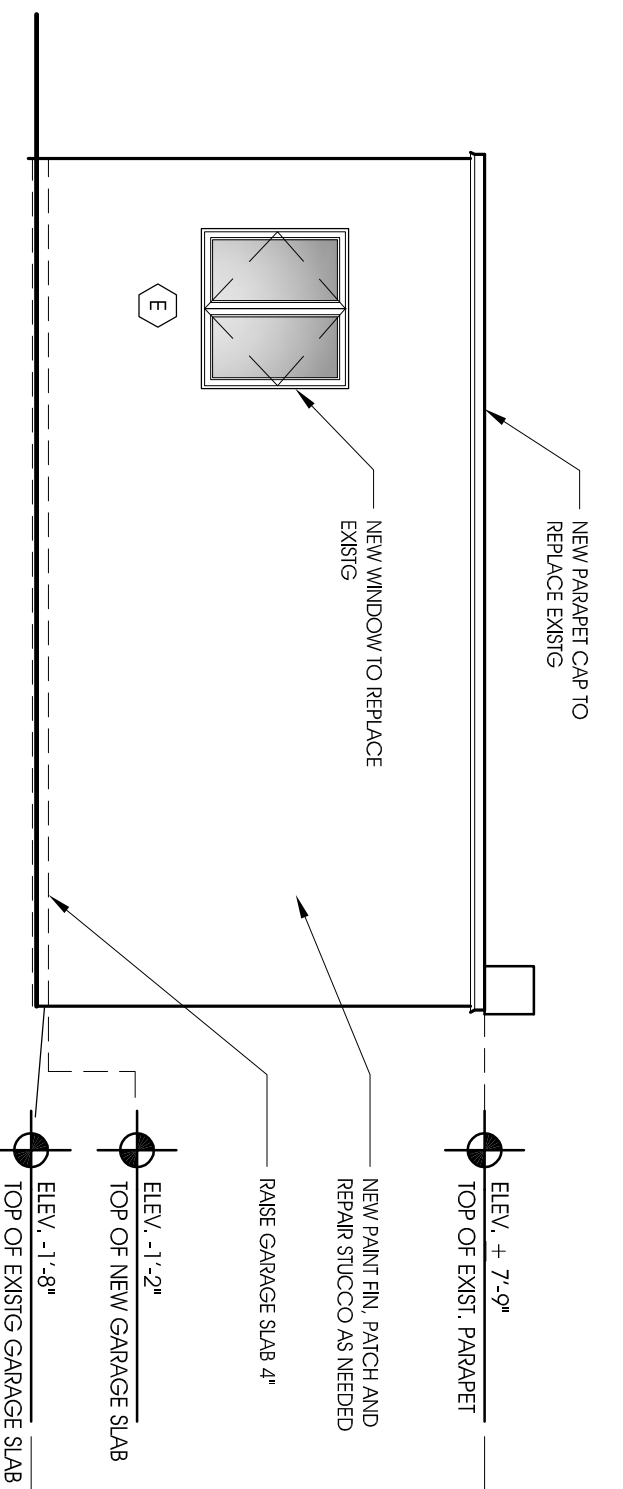
PROPOSED GARAGE EAST ELEVATION
SCALE: 1/4" = 1'-0"



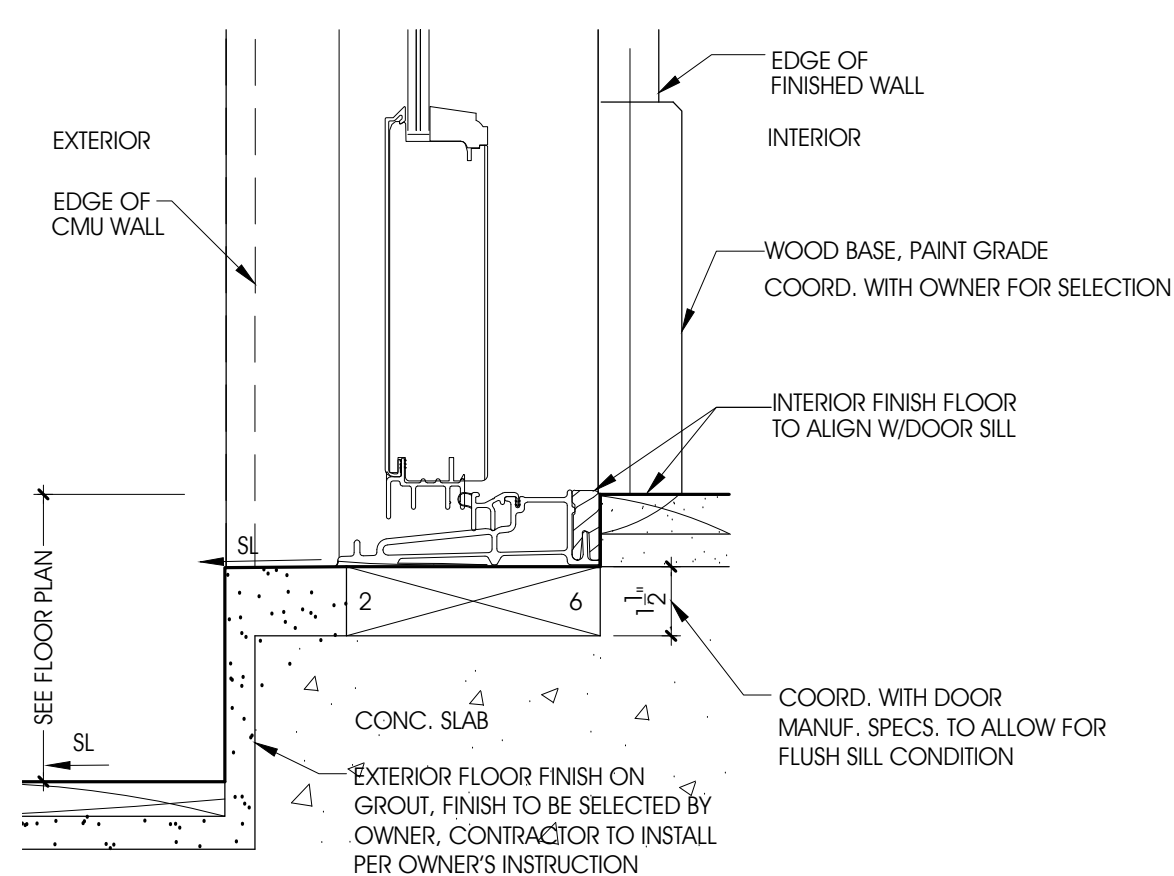
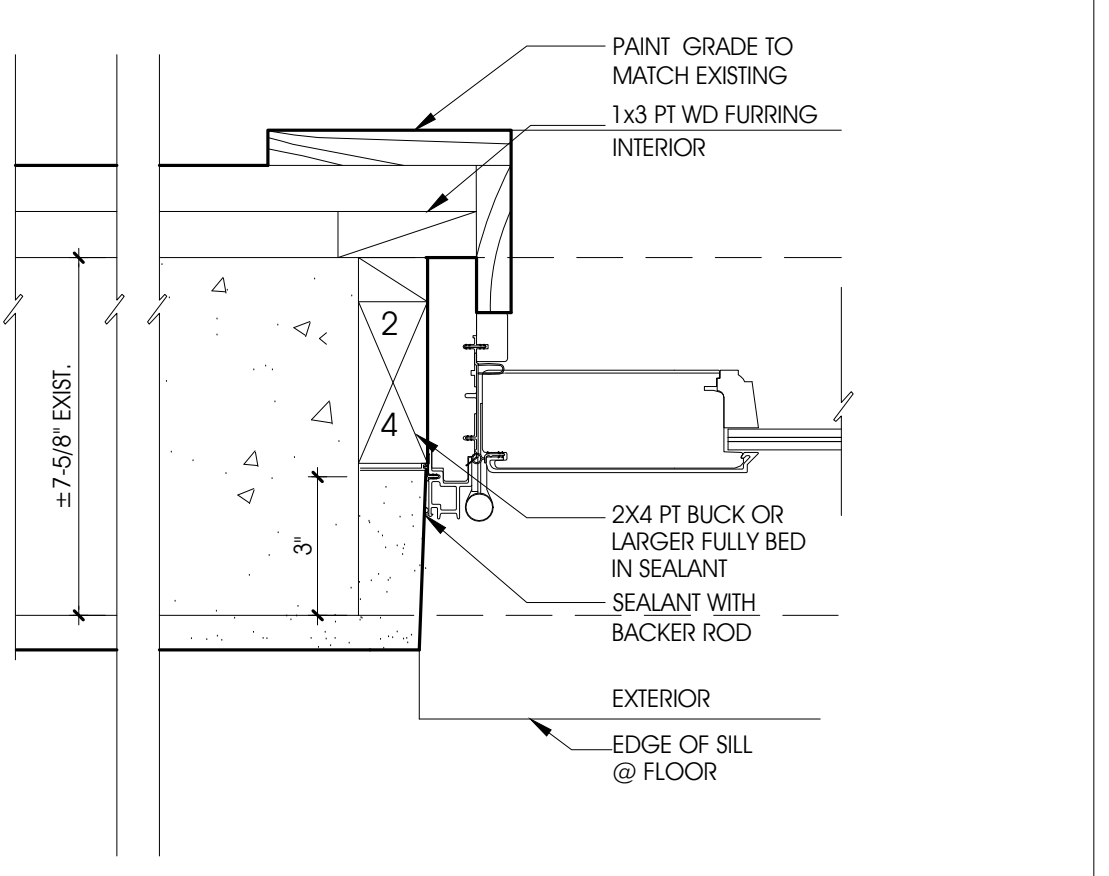
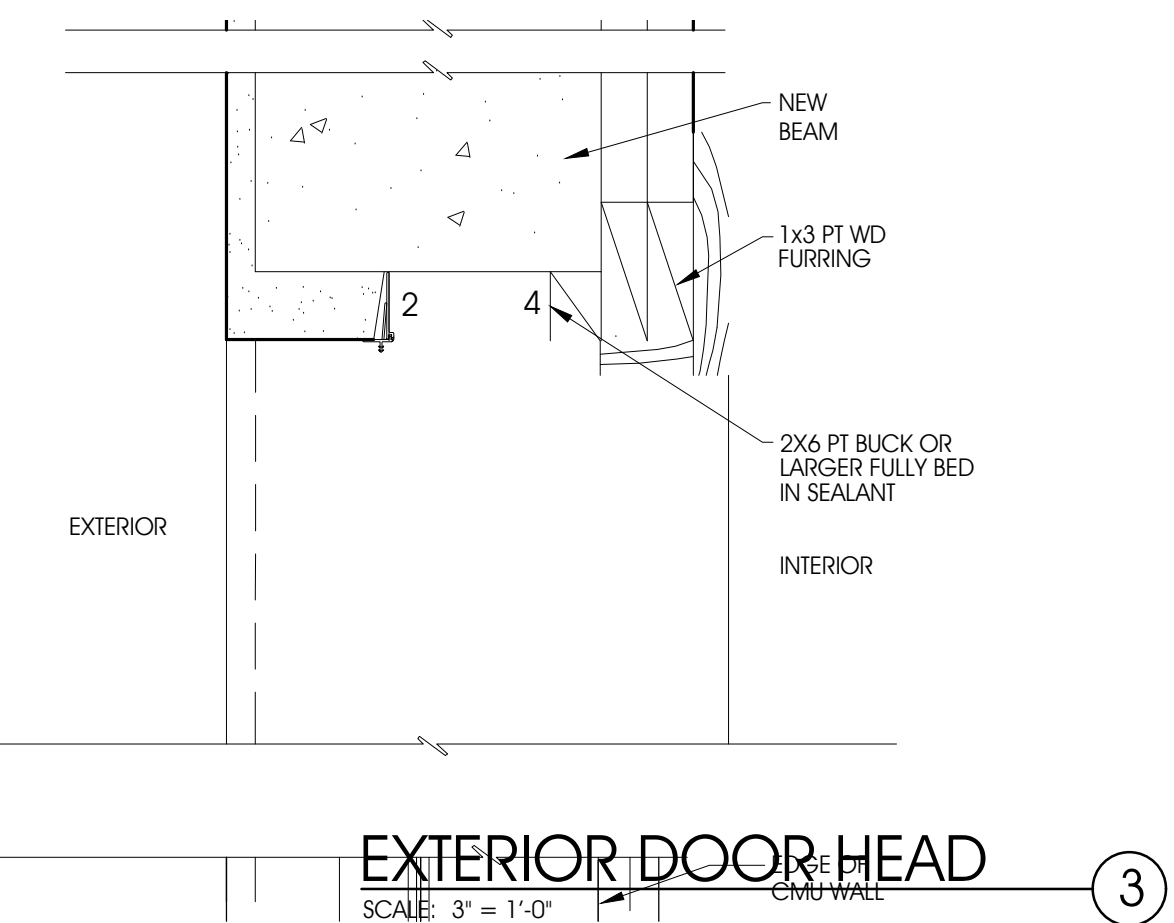
PROPOSED GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"

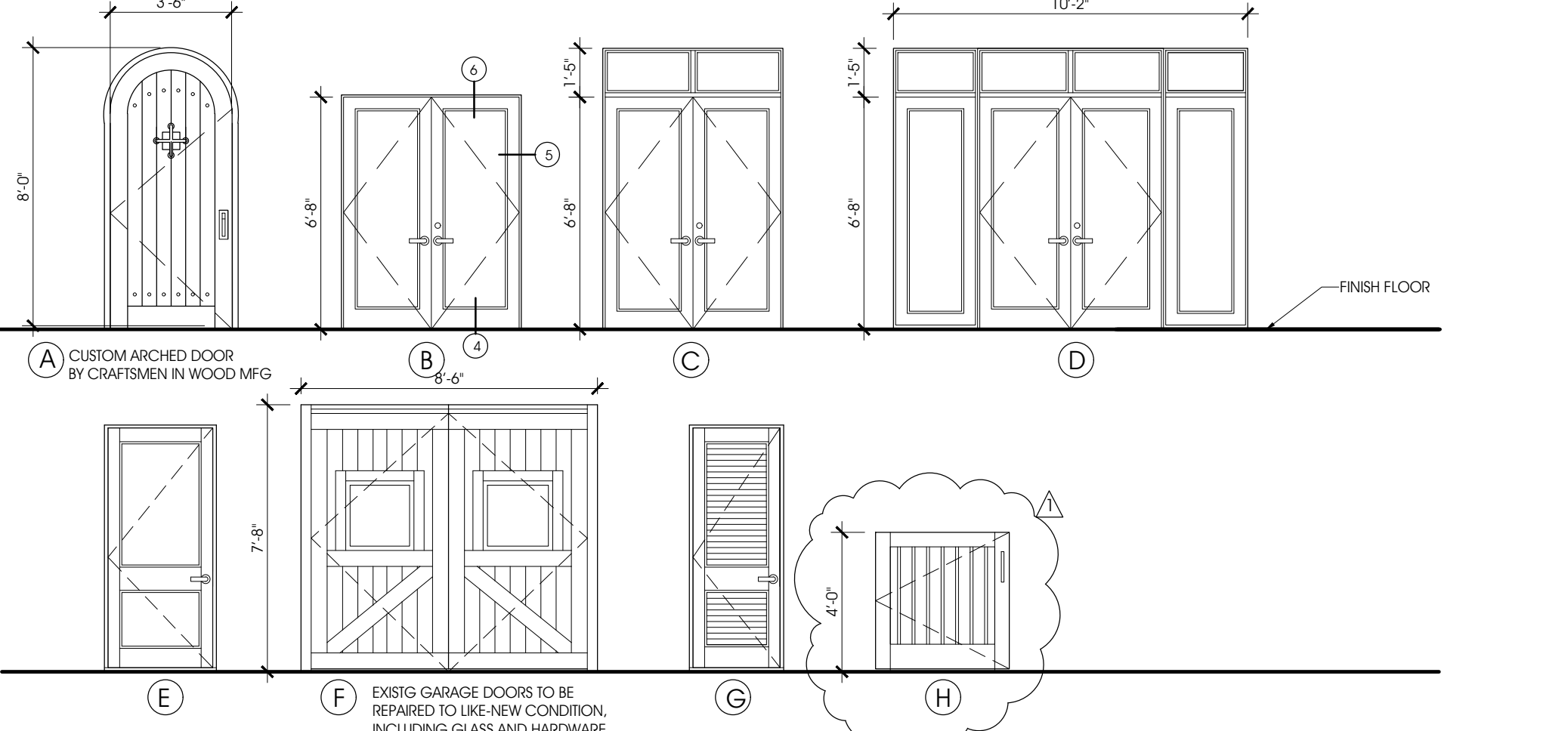


PROPOSED GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



DOOR SCHEDULE

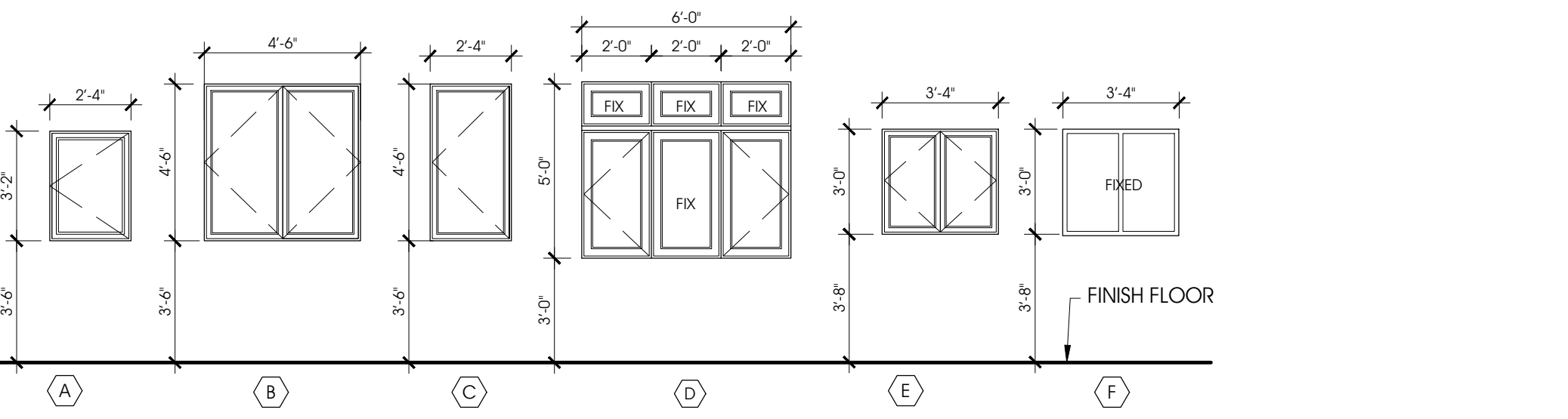
DOOR #	TYPE	MAT.	FIN.	SIZE			FRAMES					IMPACT	HOW. GROUP	REMARKS	
				WIDTH	HEIGHT	THICK	TYPE	MAT.	FIN.	JAMB	HEAD				SILL
1	A	WD/GL	-	3'-6"	8'-0"	2 1/4"	MTL	-	-	-	-	-	-	-	CUSTOM ARCHED WOOD DOOR BY CRAFTSMEN IN WOOD MFG
2	B	MTL/GL	-	(2) 2'-6"	6'-8"	-	MTL	-	-	-	-	-	-	-	WEATHERSEAL & THRESHOLD, GLASS, DOOR STOP W/ LOCK
3	B	MTL/GL	-	(2) 2'-6"	6'-8"	-	MTL	-	-	-	-	-	-	-	WEATHERSEAL & THRESHOLD, GLASS, DOOR STOP W/ LOCK
4	C	MTL/GL	-	(2) 2'-6"	6'-8"	-	MTL	-	-	-	-	-	-	-	WEATHERSEAL & THRESHOLD, GLASS DOOR STOP W/ LOCK
5	D	MTL/GL	-	(2) 2'-6"	6'-8"	-	MTL	-	-	-	-	-	-	-	TRANSOM, WEATHERSEAL & THRESHOLD, GLASS, DOOR STOP W/ LOCK, SIDE
6	E	WD	PAINT	2'-0"	6'-8"	-	WD	-	-	-	-	-	-	-	-
7	E	WD	PAINT	2'-6"	6'-8"	-	WD	-	-	-	-	-	-	-	HC DOOR COMPLIES WITH 29" CLEAR OPENING R320.1.1 FBC
8	E	WD	PAINT	2'-6"	6'-8"	-	WD	-	-	-	-	-	-	-	-
9	E	WD	PAINT	2'-8"	6'-8"	-	WD	-	-	-	-	-	-	-	-
10	F	WD/GL	-	8'-6"	7'-8"	-	MTL	-	-	-	-	-	-	-	REPAIR EXISTING DOOR/HARDWARE TO NEW CONDITION
11	G	WD	-	2'-4"	6'-8"	-	WD	-	-	-	-	-	-	-	FULL LOUVERED
12	E	WD	PAINT	2'-6"	6'-8"	-	WD	-	-	-	-	-	-	-	-
13	E	WD	PAINT	(3) 2'-10"	6'-8"	-	WD	-	-	-	-	-	-	-	SLIDING CLOSET DOORS
14	E	WD	PAINT	2'-0"	6'-8"	-	WD	-	-	-	-	-	-	-	-
15	E	WD	PAINT	2'-6"	6'-8"	-	WD	-	-	-	-	-	-	-	-
16	E	WD	PAINT	(2) 3'-4"	6'-8"	-	WD	-	-	-	-	-	-	-	SLIDING CLOSET DOORS
17	H	MTL	PAINT	3'-0"	4'-0"	-	MTL	-	-	-	-	-	-	-	SELF-LATCHING AND SELF-CLOSING GATE
18	H	MTL	PAINT	3'-0"	4'-0"	-	MTL	-	-	-	-	-	-	-	SELF-LATCHING AND SELF-CLOSING GATE
19	H	MTL	PAINT	2'-6"	4'-0"	-	MTL	-	-	-	-	-	-	-	SELF-LATCHING AND SELF-CLOSING GATE



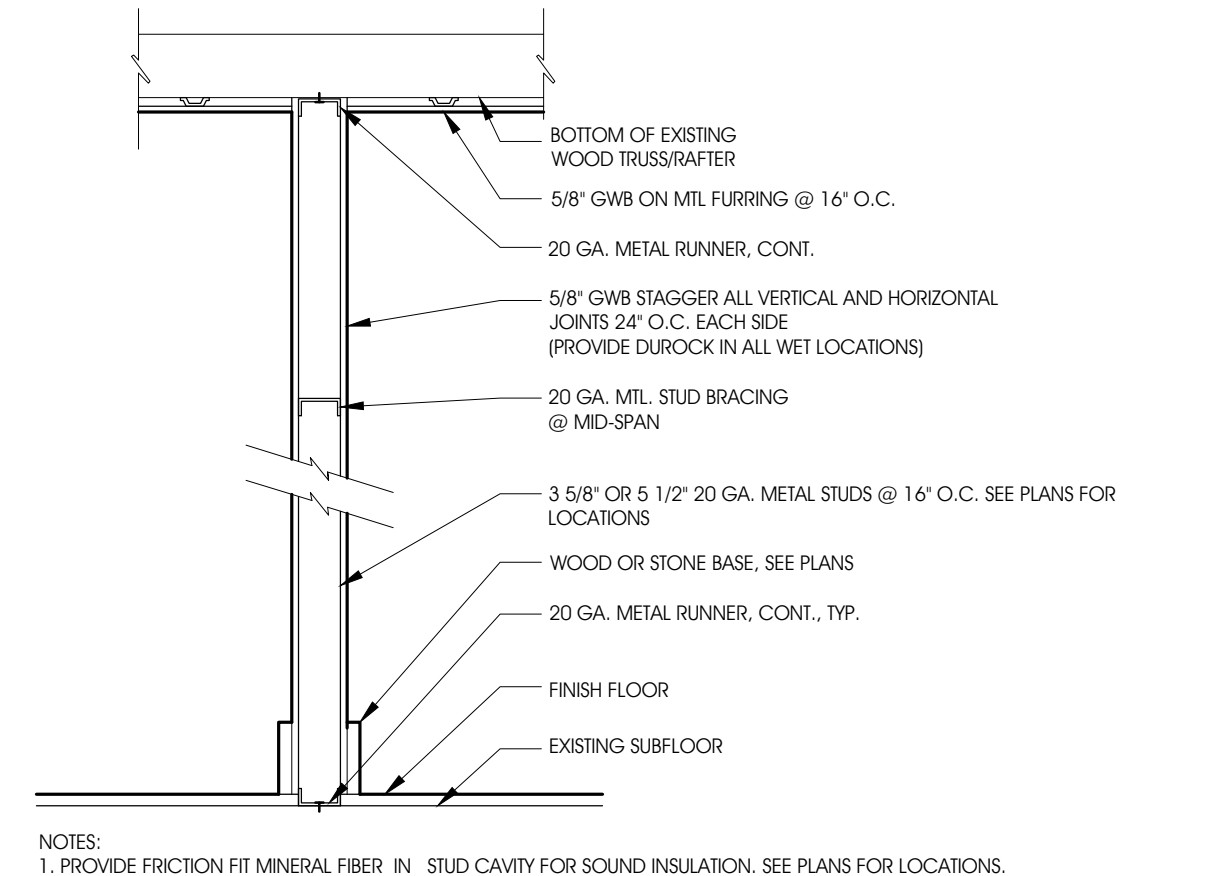
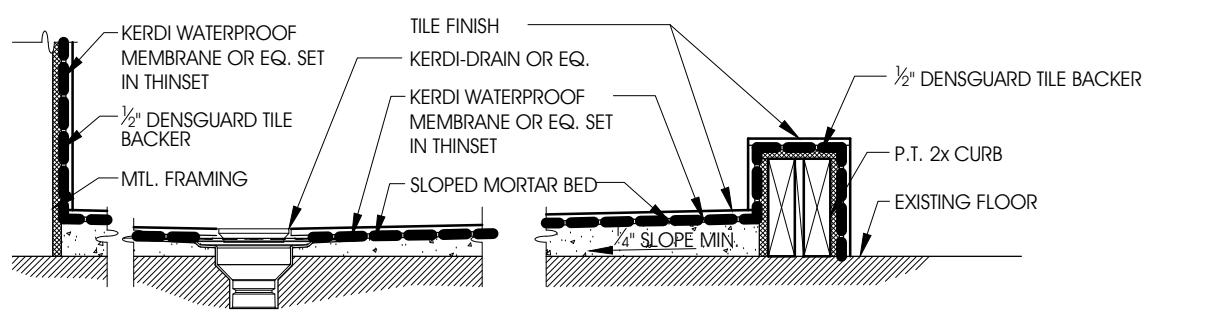
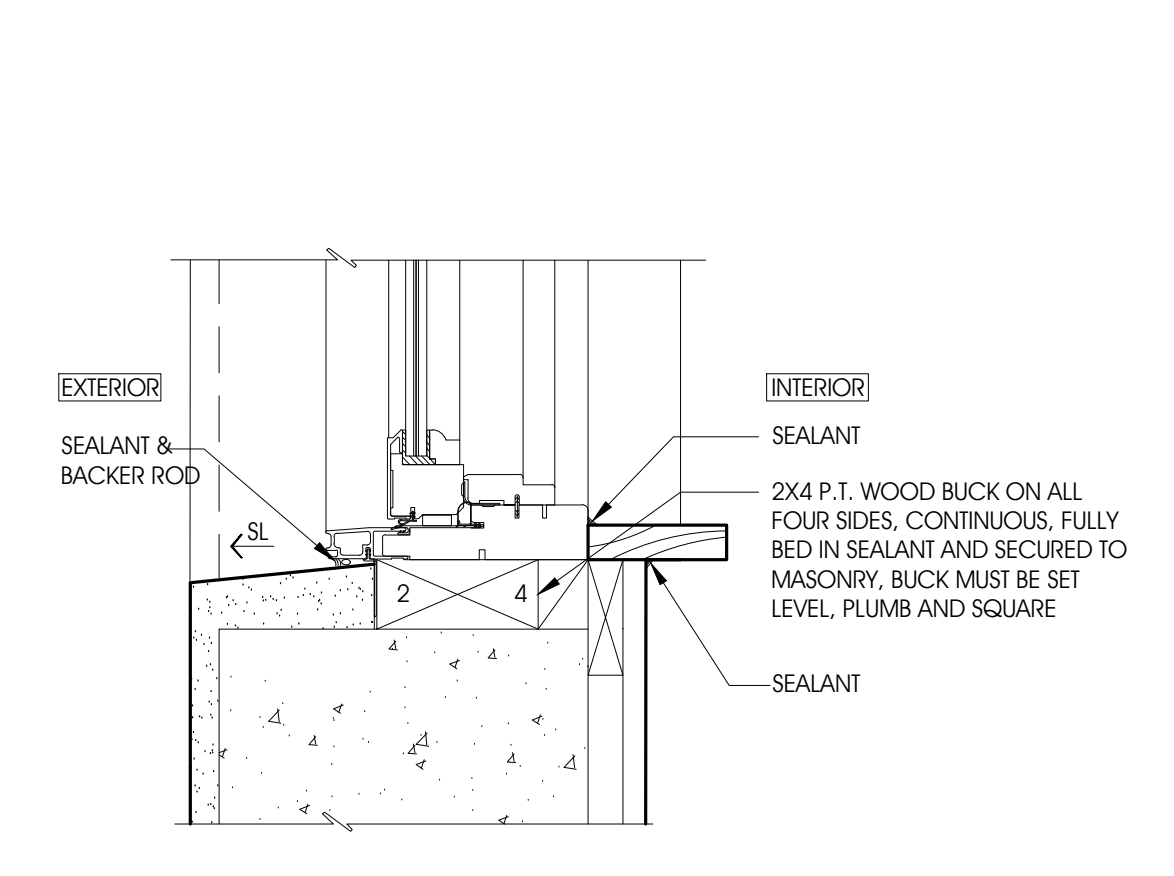
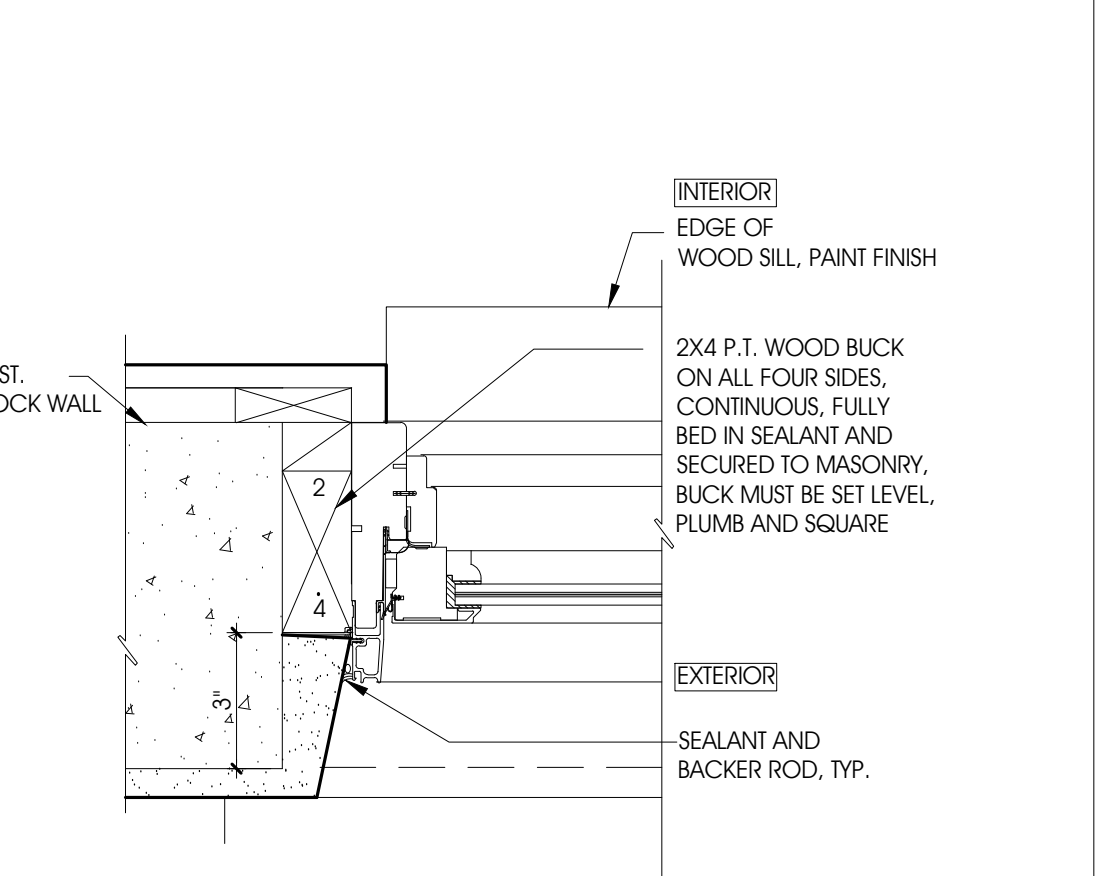
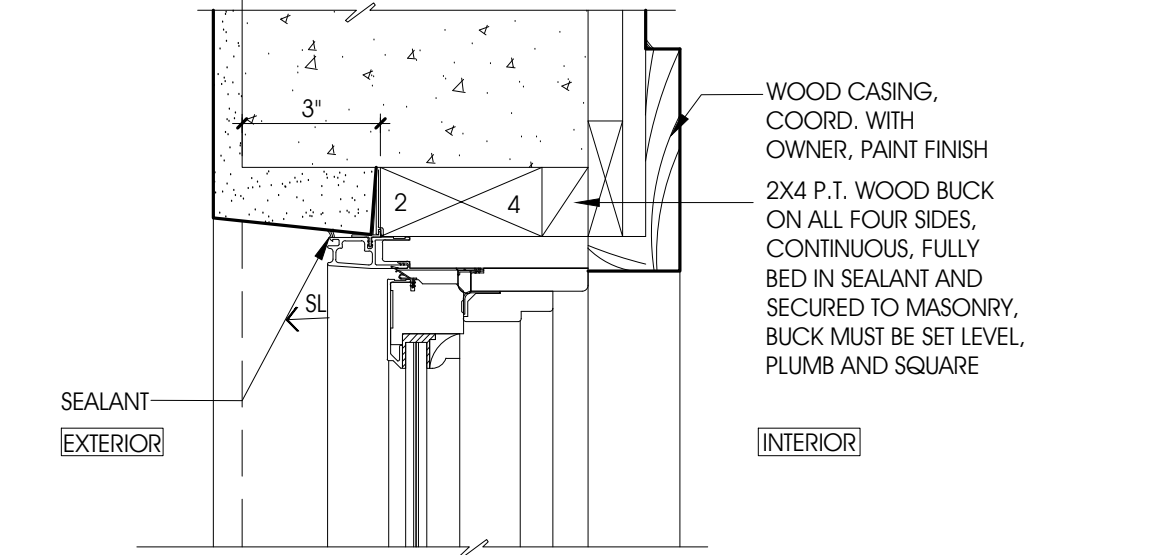
NOTES:
 1. ALL DOORS EXTERIOR DOORS IMPACT RATED BY PGT.
 2. HARDWARE AS SELECTED BY OWNER.
 3. ALL INTERIOR DOORS SHALL BE SOLID CORE-TO MATCH EXISTING. (INTERIOR DOORS TO MATCH EXISTING HEIGHT OF EXISTING DOORS THROUGHOUT MAIN HOME, VIF)
 4. ALL EXTERIOR DOORS SHALL BE IMPACT RESISTANT 1/2" FRAMES TO MATCH EXISTING.
 5. ALL GLASS SHOWER DOORS WILL BE 3/4" TEMP. SAFETY GLASS.

WINDOW SCHEDULE

WDW	WINDOW TYPE	DIMENSIONS		DETAILS				GLASS TYPE	REMARKS
		WIDTH	HEIGHT	HEAD	JAMB 1	JAMB 2	SILL		
A	CASEMENT	2'-4"	3'-2"	-	-	-	-	IMPACT	-
B	CASEMENT	4'-6"	4'-6"	-	-	-	-	*	-
C	CASEMENT	2'-4"	4'-6"	-	-	-	-	*	-
D	CASEMENT/TRANS.	6'-0"	5'-0"	-	-	-	-	*	FIXED TRANSOM ABOVE
E	CASEMENT	3'-4"	3'-0"	-	-	-	-	*	-
F	FIXED	3'-4"	3'-0"	-	-	-	-	*	-



NOTES:
 1. WINDOW MANUF. (PGT INDUSTRIES).
 2. ALL WINDOWS SHALL BE IMPACT RESISTANT.
 3. HARDWARE AS SELECTED BY OWNER, INSTALLED BY CONTRACTOR.
 4. EGRESS WINDOWS; PROVIDE CLEAR OPENING FOR NO LESS THAN 20" IN WIDE AND 24" IN HEIGHT AND 5.7 SF OF AREA. BOTTOM OF OPENINGS SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR.
 5. OPERABLE WINDOWS WILL HAVE SCREENS.
 6. WINDOW MANUFACTURER TO FIELD VERIFY ALL EXISTING OPENINGS; SHOWN ON ELEVATIONS FOR REFERENCE PURPOSES.
 7. COORDINATE DIRECTION OF SWING WITH ELEVATIONS.
 8. GC TO SUBMIT PRODUCT APPROVALS AND SHOP-DRAWINGS FOR ALL WINDOWS AND DOORS TO BUILDING DEPARTMENT (UNDER SEPERATE PERMIT).
 9. CONTRACTOR TO PROVIDE ALL NEW WINDOW AND DOOR BLOCKING AT PERIMETER OF OPENING TO COMPLY W/ MIAMI-DADE COUNTY NOA'S.
 10. PERIMETER WALL SURFACES AT ALL NEW WINDOW AND DOOR OPENINGS SHALL BE REPAIRED TO MATCH EXISTING WALL SURFACES.
 11. WINDOW/DOOR U FACTOR IS TO MEET/EXCEED=AS PER ENERGY LOAD CALC.)
 12. GC TO SUBMIT MIAMI-DADE COUNTY NOA'S/PRODUCT APPROVALS.



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 Fax (305) 740-5798
 License No. AA0002733

CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	OWNER REVIEW	06-07-17
	BOA PRELIM REVIEW	06-10-17
	BOA PRELIM REVISION	06-22-17
	ZONING REVIEW & HISTORICAL RESOURCES SUBMITTAL	06-22-17
	PERMIT SUBMITTAL	09-22-17
	BUILDING COMMENTS	01-25-18

PROJECT
 Robboy Residence Addition and Alterations

1206 Cordova Street
 Coral Gables, Florida 33134

DRAWING
 WINDOW & DOOR SCHEDULES

SEAL	SCALE
	1/4" = 1'-0"
	DRAWN
	REVIEWED
	NEL
Nelson de Leon AR 13937	PROJ. NO. 239

SHEET NO.
A-10