Professional Land Surveyors & Mappers MAP OF BOUNDARY SURVEY WWW.IBAF 777 N.W. 72nd AVENUE **SUITE 823** MIAMI, FLORIDA 33126 FINAL SURVEY Valnera Ave PH: (305) 262-0400 PH: (239) 540-2660 FAX: (239) 540-2664 4414 Granada Boulevard ABBREVIATIONS AND MEANINGS **GRAPHIC SCALE** Colma Ct (IN FEET) 1 INCH = 20 FEET TOTAL RW =7450.00 =555.92 **LOCATION SKETCH LEGAL DESCRIPTION:** LOT 17, LESS THE NORTH 50 FEET THEREOF, ALL OF LOT 18 AND THE NORTH 25 FEET THE NORTH 50' LESS OUT (N.A.P.) LOT 17 BLOCK 99 OF LOT 19, BLOCK 99, CORAL GABLES COUNTRY CLUB, PART 5, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 23, PAGE 55 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND ALSO ALL LAND LYING BETWEEN THE NORTHERLY AND SOUTHERLY LINES OF THE ABOVE PROPERTY EXTENDED WESTERLY TO THE PRESENT EASTERLY LINE OF CORAL GABLES WATERWAY, TOGETHER WITH THI ELEV=10.22' TREE TABLE IMPROVEMENTS LOCATED IN THE ABOVE DESCRIBED PROPERTY KNOW AND NO CAP Diameter Height Spread DESIGNATED AS 4414 GRANADA BOULEVARD, CORAL GABLES, FLORIDA 33146. (Ft.) (Ft.) BRICK PROPERTY ADDRESS: 1.05 20 12 4414 GRANADA BOULEVARD, SLAB 12 PALM 1.05 20 CORAL GABLES, FLORIDA, 33146 № 89°8'30 A/C ELV _ PALM 0.35 35 EL.=9.64 PALM 0.35 35 35.00 0.35 PALM 7300 ASPHALT JULIAN JOSE NEBREDA MARQUEZ AND MARIA ADELA BELLO REBAGLIATI 6.00 30 16 BAMBOO RETURN BAMBOO 6.00 PALM .0.0 1.25 $\langle \hat{Q} \rangle$ TRAVELER PALM 0.85 0.85 10 TRAVELER PALM 10 LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY. 0 0.85 II TRAVELER PALM GARAGE SET T.B.M. NAIL & DISK THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY. 40 10 • EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED 13 TRAVELER PALM 25 10 0.60 INSTRUMENTS. IF ANY. AFFECTING THE PROPERTY. • THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR 14 TRAVELER PALM 0.65 EASEMENTS OF RECORD. 15 TRAVELER PALM 0.65 L=125.00' LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY. • BOUNDARY SURVEY MEANS A DRAWING AND/ OR A GRAPHIC REPRESENTATION OF THE SURVEY Tan=62.50 T.B.M. 0.65 35 10 WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; 17 TRAVELER PALM 0.65 D THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES. • EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE Δ=0°57'41" 18 | COCONUT PALM | 0.60 40 19 COCONUT PALM 0.60 • THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS. CH= 125.00' • ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE 0.55 50 ALUMINUM-RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION. 1.65 BOAT LIFT 22 1.15 15 12 PALM • UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR ONE STORY 15 12 23 1.15 • FENCE OWNERSHIP NOT DETERMINED. 24 PALM 1.15 15 12 • THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED RES. # 4414 25 PALM 1.15 15 12 HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY PALM WOOD DOCK 27 PALM 1.15 15 28 40 PALM 2.25 16 Ø WEST LINE OF LOT 18 .B. 23, PG. 5 TRAVELER PALM C.B DAVIT 29 5.00 40 18 30 4.50 18 40 THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN GROUP FLOOD ZONE: "AH" BASE FLOOD ELEVATION: 9.00 FT. BOATLIFT *UNDUG WATERW! 1.25 25 12 22 PALM ASPHALT (A) COMMUNITY 1.25 25 25 1.25 PALM 12 RETURN DATE OF FIRM: 09/11/2009 THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA. 34 0.50 18 15 TREE 0.50 18 15 CORAL GABLES 36 TREE 0.50 18 15 SURVEYOR'S NOTES: 1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN 20 Y Z BLOCK 99 12 PALM 1.00 20 THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO 20 20 PALM 1.00 WATERWAY COUNTY, TOWNSHIP MAPS. 39 1.00 12 2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT. 40 1.00 20 12 3. CERTIFICATE OF AUTHORIZATION LB # 7806. 4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM 21.C.V. P.I.P. 112" NO BY PLAT 2.8' SEAWALL DECK 1.00 20 OF 1929 MIAMI-DADE COUNTY BENCH MARK #CG-17. LOCATOR No. 4153 S; ELEVATION IS 42 PALM 1.00 20 1.00 20 12 1.00 20 12 1.00 20 12 1.00 20 12 12.67 FEET OF N.G.V.D. OF 1929 PALM 44 PALM POOL 45 PALM EQUIPMENT 46 1.00 20 12 R=7450.00' NORTH 25' OF LOT 19 150.00' (R) 47 20 | 12 PALM 1.00 **SURVEYOR'S CERTIFICATION:** 1.00 20 12 48 PALM OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVIVED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA 1.00 20 20 12 12 C.P.2 Q 12 50 1.00 PALM ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES. GAZEBO PALM 1.00 20 12 ELEV.=8.99 L6.1'X7.2' LA' CORAL STONE 1.00 20 | 12 PLASTIC 53 1.00 20 12 PALM 11/04/2020 1.00 JACUZZI 54 PALM 20 12 LOT 19 BLOCK 99 JOHN IBARRA (DATE OF FIELD WORK) 1.00 20 20 PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA 56 1.00 12 20 12 2 PALM 1.00 NO ID 74. CL 58 1.00 20 | 12 1.00 20 12 59 PALM 150.00 1.00 20 12 60 PALM 20 20 12 PALM 1.00 REVISED ON: 1.00 62 PALM 63 1.00 20 12 **LEGEND** 0.75 30 25 64 OAK = OVERHEAD UTILITY LINES OAK 0.75 30 25 65 = CONCRETE BLOCK WALL DRAWN BY: DP \times \times \times \times = CHAIN LINK FENCE 0 0 0 = IRON FENCE FIELD DATE: 11/04/2020 # # # = WOOD FENCE = BUILDING SETBACK LINE --- = UTILITY EASEMENT SURVEY NO: | 12-001135-2 _____ = LIMITED ACCESS R/W ____ = NON-VEHICULAR ACCESS R/W × 0.00 = EXISTING ELEVATIONS 1 OF 1 SHEET:

JOHN IBARRA & ASSOCIATES, INC.

Residential Level 2 Alteration + Additions / Site Improvements

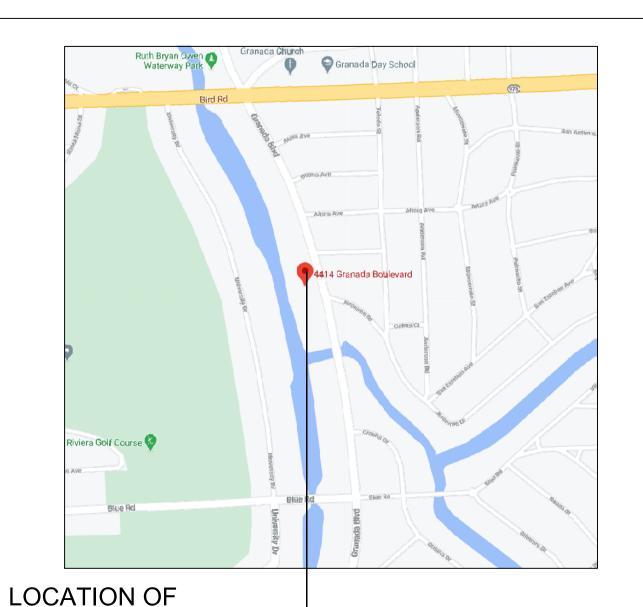
The Nebreda Residence:

4414 Granada Boulevard Coral Gables, Florida 33146

100% Board of Architects Preliminary Submittal December 11, 2020

Legal Description:

LOT 17, LESS THE NORTH 50 FEET THEREOF, ALL OF LOT 18 AND THE NORTH 25 FEET OF THE LOT 19, BLOCK 99, CORAL GABLES COUNTRY CLUB, PART 5, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 23, PAGE 55 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND ALSO ALL LAND LYING BETWEEN THE NORTHERLY AND SOUTHERLY LINES OF THE ABOVE PROPERTY EXTENDED WESTERLY TO THE PRESENT EASTERLY LINE OF CORAL GABLES WATERWAY, TOGETHER WITH THE IMPROVEMENTS LOCATED IN THE ABOVE RESCRIBED PROPERTY KNOWN AND DESIGNATED AS 4414 GRANADA BOULEVARD. CORAL GABLES, FLORIDA 33146.



LOCATION MAP A100 N.T.S.

SCOPE OF WORK:

PROPERTY

EXISTING 4,021 S.F., 1-STORY. CBS RESIDENCE SHALL RECEIVE LEVEL 2 MODIFICATIONS AND ADDITIONS AS DESCRIBED HEREIN AND OUTLINED AS FOLLOWS:

- NEW ADDITIONS AT THE FRONT OF EXISTING RESIDENCE SHALL ADD 144 S.F. OF ADDITIONAL LIVING AREA IN (2) SEPARATE ADDITIONS.
- NEW 605 S.F. COVERED TERRACE ATTACHED TO REAR EXISTING CBS RESIDENCE
- 3. NEW POOL AND POOL DECK AS DESCRIBED HEREIN.
- 4. INTERIOR REMODELING OF FRONT PART OF EXISTING RESIDENCE AS DESCRIBED HEREIN.

INDEX OF DRAWINGS

A100 - SITE PLAN, PROJECT DATA A001- CONTEXT PHOTOS D200- DEMOLITION FLOOR PLAN A200 - NEW CONSTRUCTION PLAN A300 - EXTERIOR ELEVATIONS A301 - EXTERIOR ELEVATIONS A302 - EXTERIOR ELEVATIONS A303 - EXTERIOR ELEVATIONS

A400 - SECTIONS A401 - SECTIONS A402 - SECTIONS A403 - SECTIONS

Occupancy Classification: (FBC 2017) -RS-3 Single Family Residential

(GROSS LOT AREA = 21,970 S.F.) Zoning Classification: SFR

Max. Lot Coverage: (35% of Gross Lot Area) GROSS LOT AREA: X 35% ALLOWABLE: EXISTING LOT COVERAGE: 4,021 SQ. FT.

PROPOSED: COVERED REAR TERRACE: 605 SQ.FT.

TOTAL PROPOSED OVERALL LOT COVERAGE: 4,770 SQ.FT MAX. ALLOWABLE LOT COVERAGE=(7,690 SQ.FT.) 4,770 SQ.FT. (OK)

MAX. ALLOWABLE LOT COVERAGE WITH ACCESSORY STRUCTURE (45%) = 21,970 X .45% = 9,886 S.F

PROPOSED (ACCESSORY) POOL AREA= 500 S.F

TOTAL PROPOSED MAX. LOT COVERAGE = 4,770 S.F. + 500 S.F. (POOL) = 5,270 S.F. (OK)

BUILDING CODE VERSION STATEMENT THIS PROJECT HAS BEEN DESIGNED AND IS BEING PERMITTED UNDER THE 2017 FLORIDA BUILDING CODE WITH ALL

SUPPLEMENTS APPLICABLE WORK SHALL COMPLY WITH NFPA 241: STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND **DEMOLITION OPERATIONS**

FLOOD ZONE: AH-9

BASE FLOOR ELEVATION: COMMUNITY: 120639 PANEL: 0457 SUFFIX: DATE OF FIRM: 09/11/2009

GENERAL NOTES:

1. THE GENERAL NOTES AND CONSTRUCTION DOCUMENTS HEREWITH SHALL APPLY TO THE WORK OF THIS PROJECT, AND SHALL BE CAREFULLY REVIEWED BY THE GENERAL CONTRACTOR AND ALL OF HIS SUB-CONTRACTORS. THE GENERAL CONTRACTOR SHALL COORDINATE EACH SUBCONTRACTORS' PARTICULAR WORK WITH ALL OTHER SUBCONTRACTORS' WORK ASSOCIATED WITH THIS

2. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL CARRY WORKMENS COMPENSATION INSURANCE IN STATUTORY AMOUNTS AS REQUIRED BY LAW; LIABILITY, BODILY INJURY, AUTOMOTIVE, AND OTHER INSURANCES IN AMOUNTS AND FOR PERIODS SATISFACTORY TO THE GENERAL CONTRACTOR. T THE FULLEST EXTENT PERMITTED BY LAW, THE GENERAL CONTRACTOR AND ALL OF HIS SUBCONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT AND HIS CONSULTING ENGINEERS AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES RESULTING FROM THE PERFORMANCE OF THE WORK ASSOCIATED WITH THIS

3. EXISTING CONDITIONS: BEFORE BIDDING, THE CONTRACTOR SHALL VISIT THE JOB SITE AND ASCERTAIN ALL EXISTING CONDITIONS WHICH WILL AFECT HIS WORK. FAILURE TO DO SO WILL NOT BE ACCEPTED AS A REASON FOR REQUESTING EXTRA PAY WHEN THE EXISTING CONDITIONS RESULT IN EXTRA MATERIALS. ANY EXISTING CONDITIONS FOUND BY THE CONTRACTOR WHICH WILL ADVERSELY AFFECT THE WORK SHALL BE IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETELY ASSESSED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENTS OR REPAIR OF ANY OTHER PHASE OF THE

4. ALL WORK PERFORMED FOR THIS PROJECT SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES HAVING JURISDICTION, THE FLORIDA BUILDING CODE 2017, AND WITH THE REQUIREMENTS OF THE UTILITY COMPANIES WHOSE SERVICES SHALL BE UTILIZED. ALL MODIFICATIONS REQUIRED BY THE BUILDING DEPARTMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO, OR AT THE TIME OF PERMITTING. ANY REQUIRED CHANGES WILL BE SHOWN, AS DETERMINED BY THE ARCHITECT, ON REVISED DRAWINGS ISSUED TO THE GENERAL CONTRACTOR.

INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.

5. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL MAKE ARRANGEMENTS FOR. OBTAIN, AND PAY FOR ALL PERMITS, TESTS, INSPECTIONS AND APPROVALS REQUIRED OR HIS PORTION OF WORK

RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ALL MANDATORY BUILDING INSPECTIONS REQUIRED BY THE BUILDING DEPARTMENT TO BE MADE BY THE ARCHITECT OR ANY OF HIS ENGINEERS UPON ISSUANCE OF THE PERMIT. THI GENERAL CONTRACTOR MUST ENSURE THAT THE INSPECTIONS PROCESS IS IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE INSPECTIONS SECTION, OF THE FLORIDA BUILDING CODE 2017

7. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE TO BE AWARE OF ALL COMMENTS AND NOTES MADE BY THE BUILDING OFFICIAL UPON THE PERMITTED, SIGNED AND SEALED JOBSITE SET OF CONSTRUCTION DOCUMENTS, AND SHALL INCORPORATE ALL INFORMATION WITHIN THE APPLICABLE CONTRACTORS' SCOPE OF WORK. IT SHALL, AS WELL, BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KEEP AN AS-BUILT SET F CONSTRUCTION DOCUMENTS, AND TO NOTIFY THE ARCHITECT OF ANY AND ALL CHANGES MADE DUE TO FIELD DIRECTIVES BY THE BUILDING INSPECTORS. AT SUBSTANTIAL COMPLETION OF THE PROJECT, THE GENERAL CONTRACTOR SHALL DELIVER THE AS-BUILT SET OF DRAWINGS TO THE ARCHITECT, WITH ALL AUTHORIZED FIELD CHANGES CLEARLY INDICATED IN RED INK OR PENCIL.

8. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE INDIVIDUALLY RESPONSIBLE FOR THE PROTECTION OF BUILDING OCCUPANTS FROM ALL HAZARDS ASSOCIATED WITH HIS PARTICULAR WORK. THE CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN ALL BARRICADES, BARRIERS, AND DUST CONTROL SYSTEMS NECESSARY TO PROTECT THE HEALTH

WRITTEN DIMENSIONS AND NOTES ARE TYPICAL FOR SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS OR NOTES ARE NOT INDICATED THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR RESOLUTION.

10. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO PROPERLY COMPLETE THE WORK OF HIS CONTRACT. NO CONTRACTOR SHALL ENDANGER THE WORK OF ANY OTHER CONTRACTOR. ANY FEES/COSTS INCURRED TO REPAIR DEFECTIVE OR LIMITED WORK SHALL BE BORNE BY THE SUBCONTRACTOR RESPONSIBLE THEREFOR

11. THE GENERAL CONTRACTOR SHALL SUBMIT PRODUCT APPROVALS, SHOP DRAWINGS, SAMPLES, AND EQUIPMENT SPECIFICATION SHEETS AS CALLED FOR IN THE CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: ELECTRICAL AND AIR CONDITIONING EQUIPMENT; PLUMBING FIXTURES; APPLIANCES; CABINETRY; AND FINISHES. ALL SUBMITTALS SHALL BE DELIVERED TO THE OWNER SUFFICIENTLY IN ADVANCE TO ALLOW FOR REVIEW AND CORRECTION OR APPROVAL. PROCUREMENT AND/OR FABRICATION SHALL NOT COMMENCE UNTIL SUBMITTALS ARE REVIEWED AND APPROVED BY THE

12. ALL REQUIRED TESTS PERTAINING TO THIS PROJECT SHALL BE PERFORMED AT THE EXPENSE OF THE GENERAL CONTRACTOR, AND BY A LICENSED TESTING

13. THE GENERAL CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS. THIS SHALL APPLY EVEN TO THOSE STRUCTURAL MEMBERS NOT INDICATED IN THE CONSTRUCTION DOCUMENTS.

14. NO STRUCTURAL MEMBER SHALL BE CUT, REMOVED, OR MODIFIED (UNLESS SPECIFIED IN THE CONSTRUCTION DOCUMENTS) WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR HIS ENGINEER.

15. ALL EXISTING DISTURBED OR DAMAGED SURFACES (I.E. DRYWALL, STUCCO, PAINT, ETC.), WITHIN THE AREA OF CONSTRUCTION, SHALL BE REPAIRED, AS

16. AFTER COMPLETION OF CONSTRUCTION, ALL WORK AREAS SHALL BE LEFT CLEAN AND FREE OF ANY PLASTER, PAINT SMEARS OR SPLATTERS, AND THE BUILDING IS TO BE BROOM CLEANED

THE GENERAL CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS SHALL PROVIDE AND INSTALL 2X WOOD BACKING BETWEEN STUDS FOR ANY BASE AND WALL-MOUNTED CABINETRY AND SURFACE-MOUNTED ACCESSORIES PRIOR TO THE INSTALLATION OF ANY WALLBOARD. PROVIDE BACKING EVEN IF CABINETRY AND ACCESSORIES ARE "BY OTHERS" OR "NOT IN CONTRACT" (N.I.C.). CONTRACTOR SHALL MARK LOCATION OF BACKING ON WALLBOARD FOR THE USE OF THE CABINET/EQUIPMENT INSTALLERS.

18. CABINET MANUFACTURER SHALL FIELD MEASURE EXACT FINISHED LOCATION OF ALL CABINETRY AND ELECTRICAL RECEPTACLES AT THE JOBSITE PRIOR TO FABRICATION OF ANY CABINETRY. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS FOR RESOLUTION 19. ALL WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS, AND PERFORMED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS, SHALL BE GIVEN A ONE (1) YEAR WARRANTY FROM THE DATE OF THE CITY OR COUNTY'S FINAL INSPECTION, AND WITH THE OWNER'S APPROVAL OF SATISFACTION. DURING

THE GENERAL CONTRACTOR'S WORK FORCE, OR THAT OF HIS SUBCONTRACTORS. 20. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF CONSTRUCTION AND REMAIN THE PROPERTY OF THE ARCHITECT. ANY REPRODUCTION OF SAID DRAWINGS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT, IS STRICTLY PROHIBITED BY COPYRIGHT PROTECTION LAWS.

THIS PERIOD, THE CONTRACTOR AGREES TO REPAIR AND/OR REPLACE, AS NECESSARY, ANY WORK PERFORMED UNDER HIS CONTRACT WHICH IS DEFECTIVE

OR DAMAGED DUE TO CIRCUMSTANCES ASSOCIATED WITH THE WORKMANSHIP OF

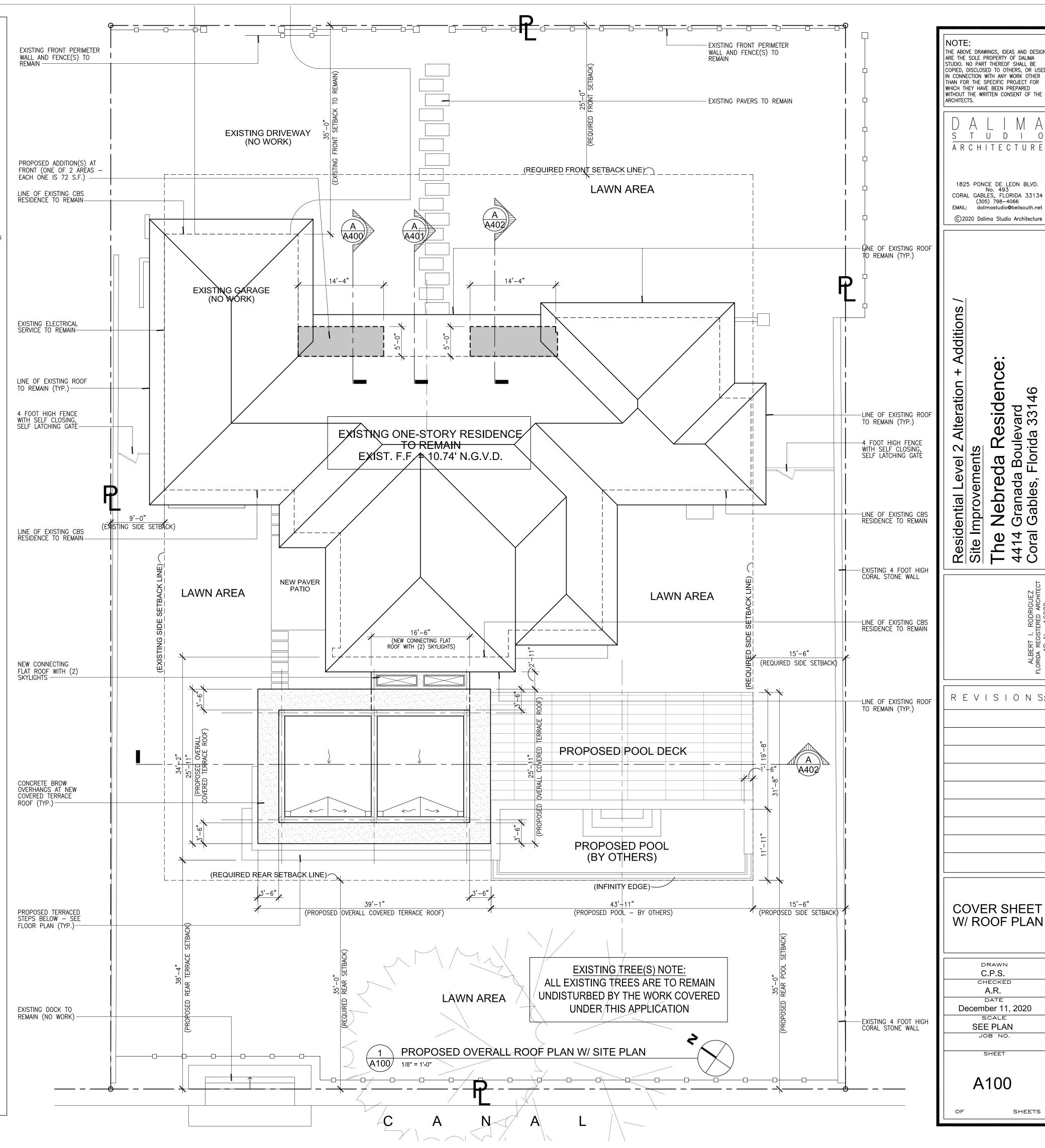
21. PLANS: DRAWINGS ARE BASICALLY DIAGRAMS INTENDED TO DEPICT APPROXIMATELY EQUIPMENT LOCATIONS AND ARRANGEMENTS, NOT TO SHOW EVERY MINOR DETAIL. PLANS SHALL NOT BE SCALED TO DETERMINE EXACT 22. INTERFERENCE: THE CONTRACTOR SHALL COORDINATE HIS WORK WITH

OTHER TRADES SO THAT INTERFERENCE WITH EXISTING CONDITIONS, CONDUITS, PIPING, EQUIPMENT, ARCHITECTURAL AND STRUCTURAL MEMBERS BE AVOIDED. 23. SUBSTITUTIONS: PRODUCTS AND MATERIALS CALLED OUT BY TRADE NAME AND/OR CATALOG NUMBERS ESTABLISH A STANDARD OF QUALITY, APPEARANCE

PERFORMANCE AND DIMENSION. CONTRACTORS SHALL BASE HIS PROPOSAL ON THOSE ITEMS AS THEY SHALL BE CONSIDERED AS A BASIS OF BIDDING. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT/ENGINEER. DEMONSTRATING THAT PRODUCT IS OF COMPARABLE ANI BASIC DESIGN, CONSTRUCTION, STANDARDS AND WARRANTIES, DIMENSIONS TO FIT WITHOUT CHANGE, AND DOES NOT CAUSE EXTRA WORK TO OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EQUALITY OF SUBSTITUTION: ARCHITECT/ENGINEER WILL. UNDER NO CIRCUMSTANCES. BI REQUIRED TO PROVE SUCH ITEM IS OR IS NOT OF EQUAL QUALITY TO THE SPECIFIED ITEM. ARCHITECT/ENGINEER EXPENSES INCURRED DUE TO CONTRACTOR'S REQUESTED REVISIONS OR SUBSTITUTIONS SHALL BE PAID BY

24. RECORD DRAWINGS: MAINTAIN A COMPLETE SET OF PRINTS FOR INDICATING ALL CHANGES. USE COLORED PENS TO MARK CHANGES AT THE TIME OF EXECUTION AND DELIVER THE SET TO THE ARCHITECT/ENGINEER UPON COMPLETION. CONTRACTOR SHALL STAMP "AS BUILT" ON PRINTS AND PLANS,

25. SCHEDULING: CONTRACTOR SHALL COORDINATE WITH OWNER APPROPRIATE TIMES TO PERFORM WORK. CONTRACTOR MUST BE AWARE OF VARYING AVAILABILITY OF APPROPRIATE TIME WINDOWS. CLOSE CONSULTATION WITH OWNER IS THEREFORE NECESSARY.

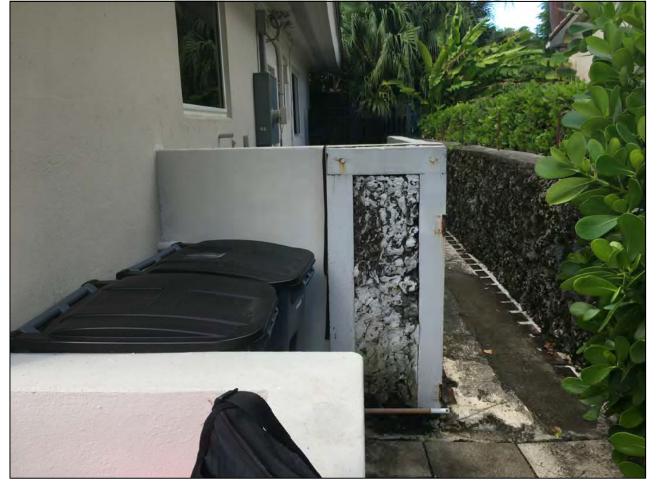




















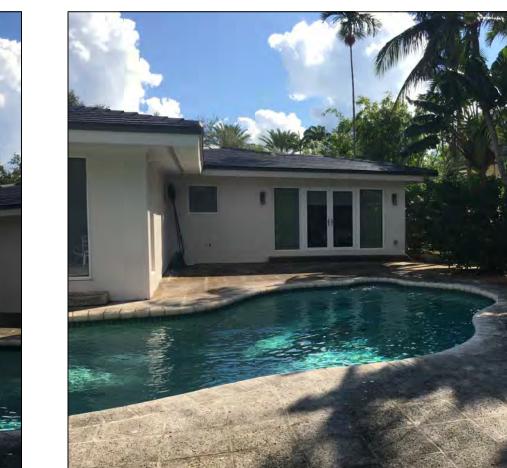
















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Residential Level 2 Alteration + Add Site Improvements

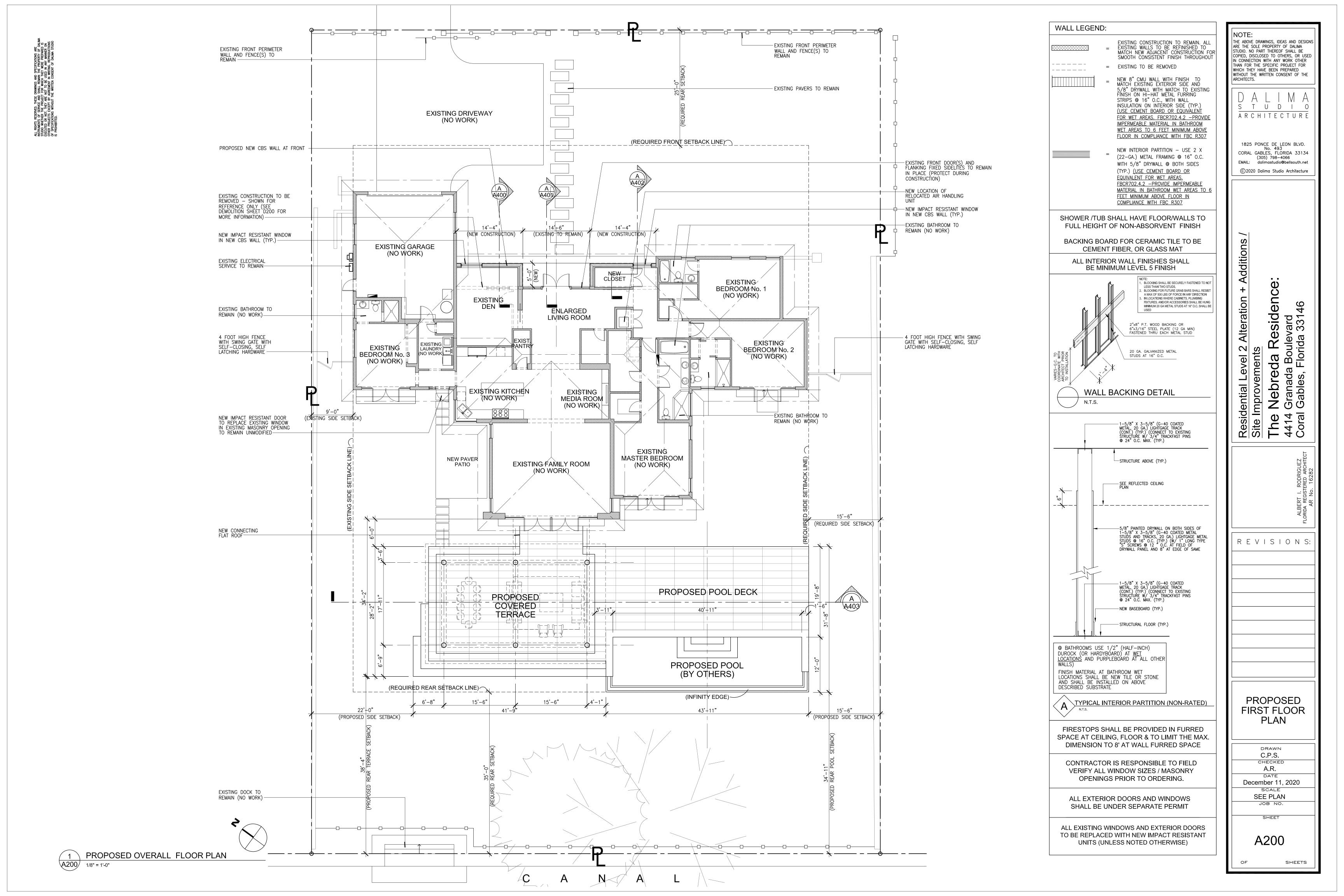
The Nebreda Residence:
4414 Granada Boulevard
Coral Gables, Florida 33146 REVISIONS:

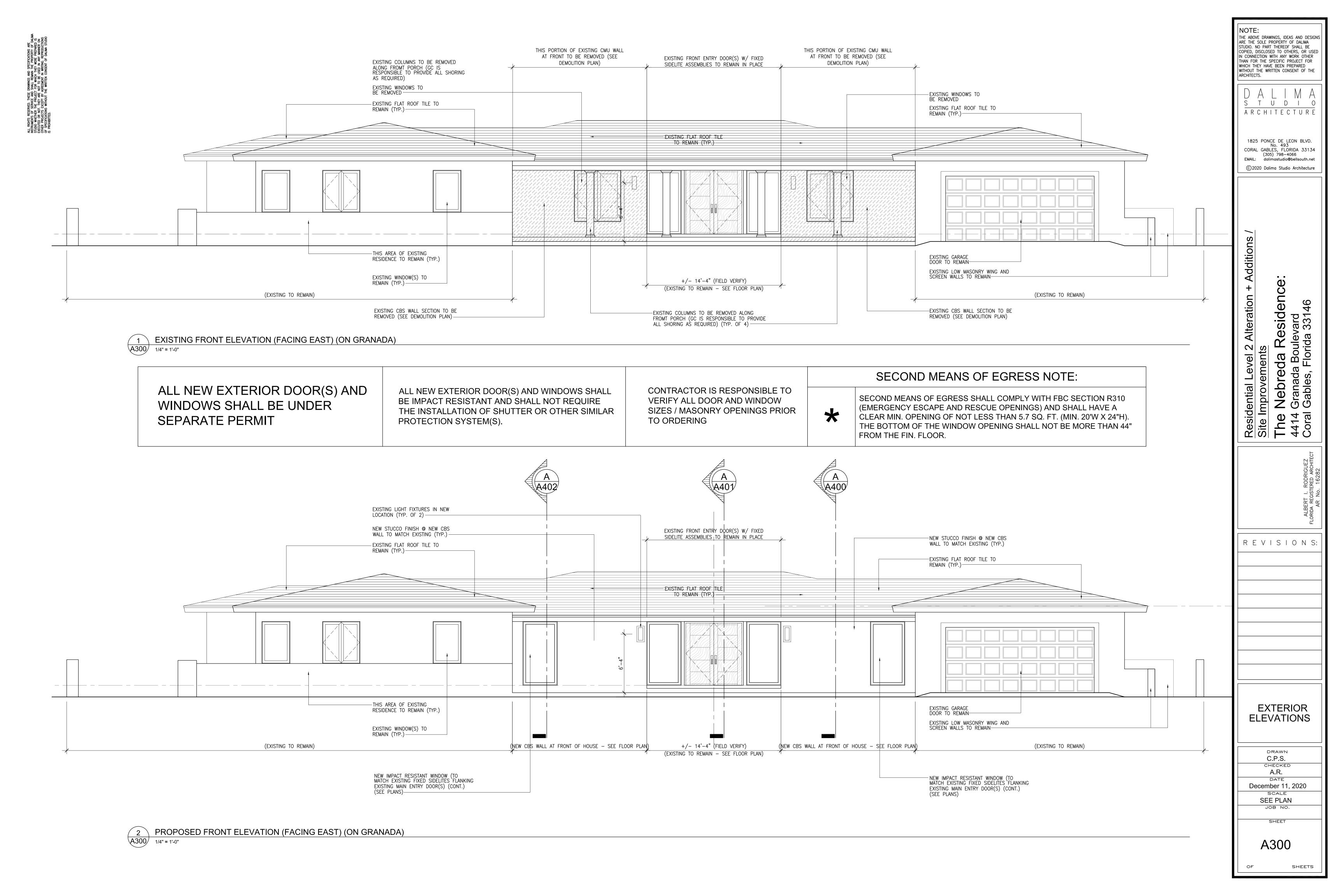
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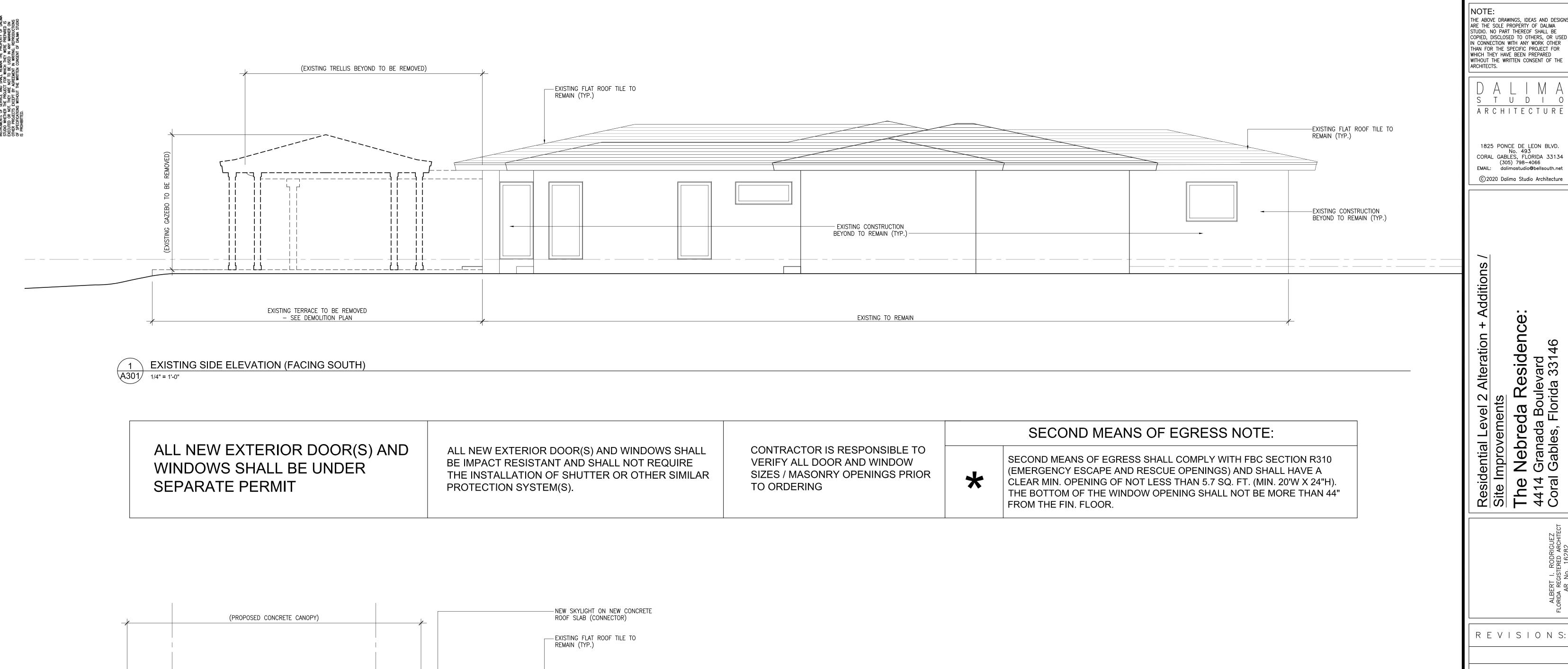
DRAWN C.C. CHECKED A.R. DATE
December 11, 2020
SCALE

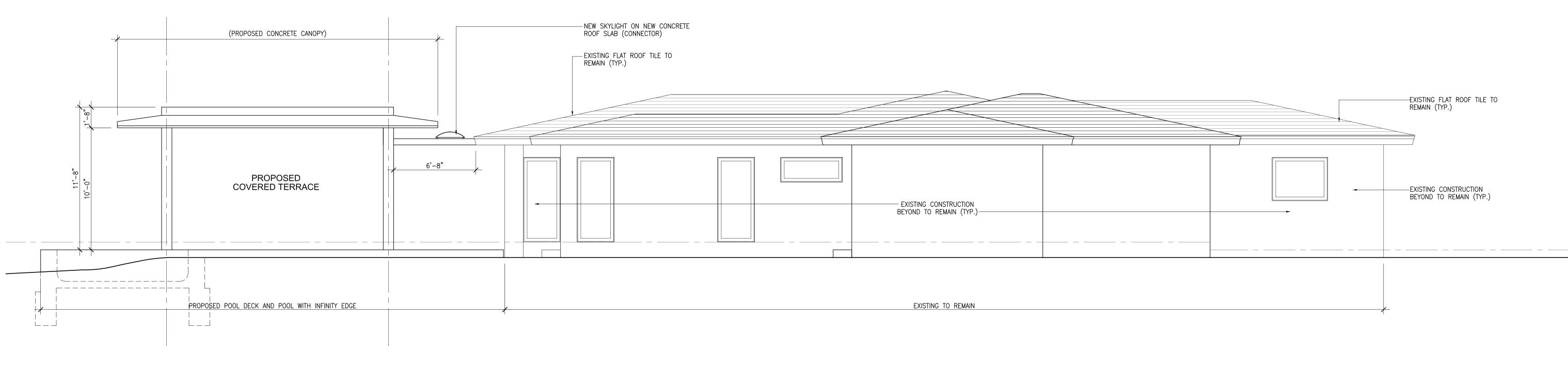
SEE PLAN

A001 SHEETS









2 PROPOSED SIDE ELEVATION (FACING SOUTH)
A301 1/4" = 1'-0"

A301

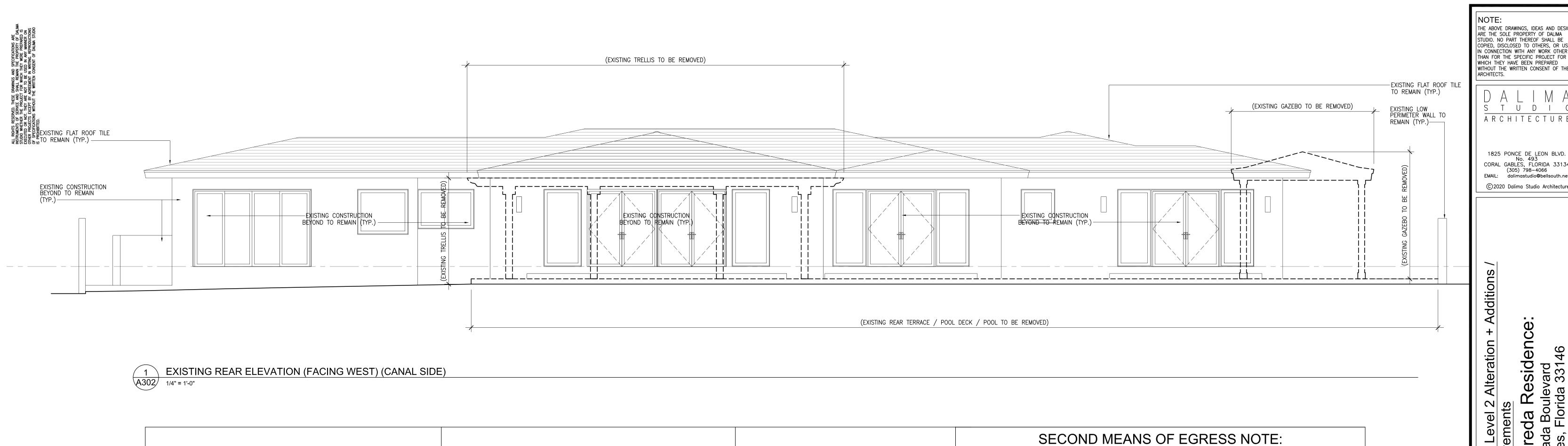
EXTERIOR

ELEVATIONS

C.P.S.

DATE
December 11, 2020
SCALE
SEE PLAN
JOB NO.

SHEET

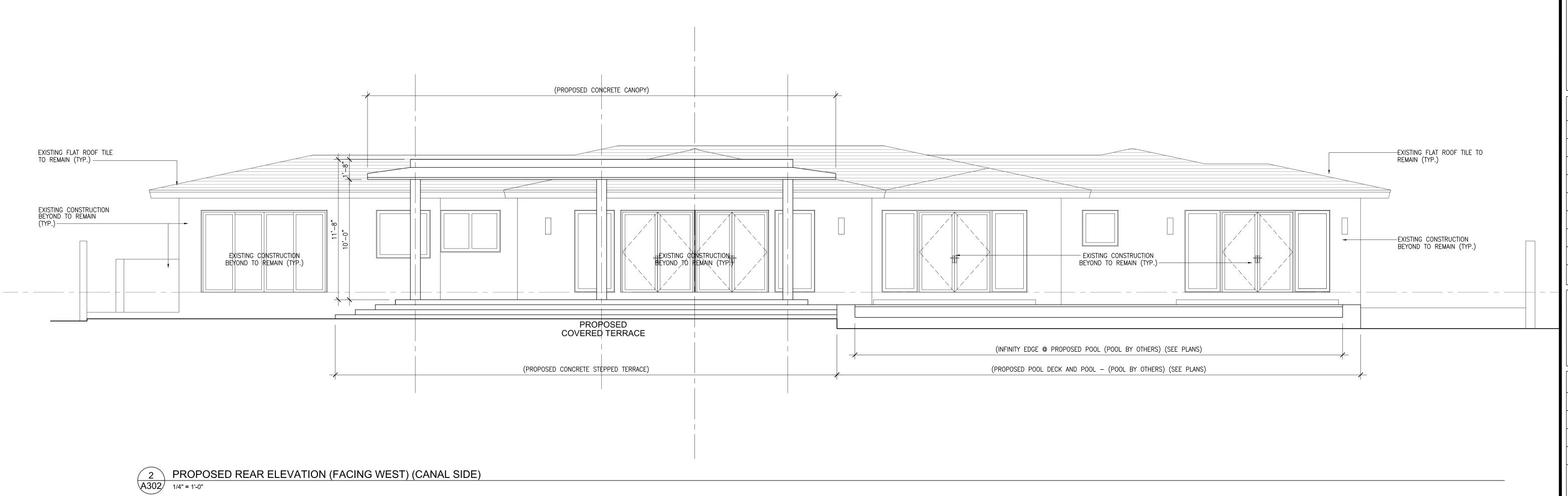


ALL NEW EXTERIOR DOOR(S) AND WINDOWS SHALL BE UNDER SEPARATE PERMIT

ALL NEW EXTERIOR DOOR(S) AND WINDOWS SHALL BE IMPACT RESISTANT AND SHALL NOT REQUIRE THE INSTALLATION OF SHUTTER OR OTHER SIMILAR PROTECTION SYSTEM(S).

CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DOOR AND WINDOW SIZES / MASONRY OPENINGS PRIOR TO ORDERING

SECOND MEANS OF EGRESS SHALL COMPLY WITH FBC SECTION R310 (EMERGENCY ESCAPE AND RESCUE OPENINGS) AND SHALL HAVE A CLEAR MIN. OPENING OF NOT LESS THAN 5.7 SQ. FT. (MIN. 20'W X 24"H). THE BOTTOM OF THE WINDOW OPENING SHALL NOT BE MORE THAN 44" FROM THE FIN. FLOOR.



COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF THE

D A L I M A S T U D I O

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Residential Level 2 Alteration +
Site Improvements

The Nebreda Residence
4414 Granada Boulevard
Coral Gables, Florida 33146

REVISIONS:

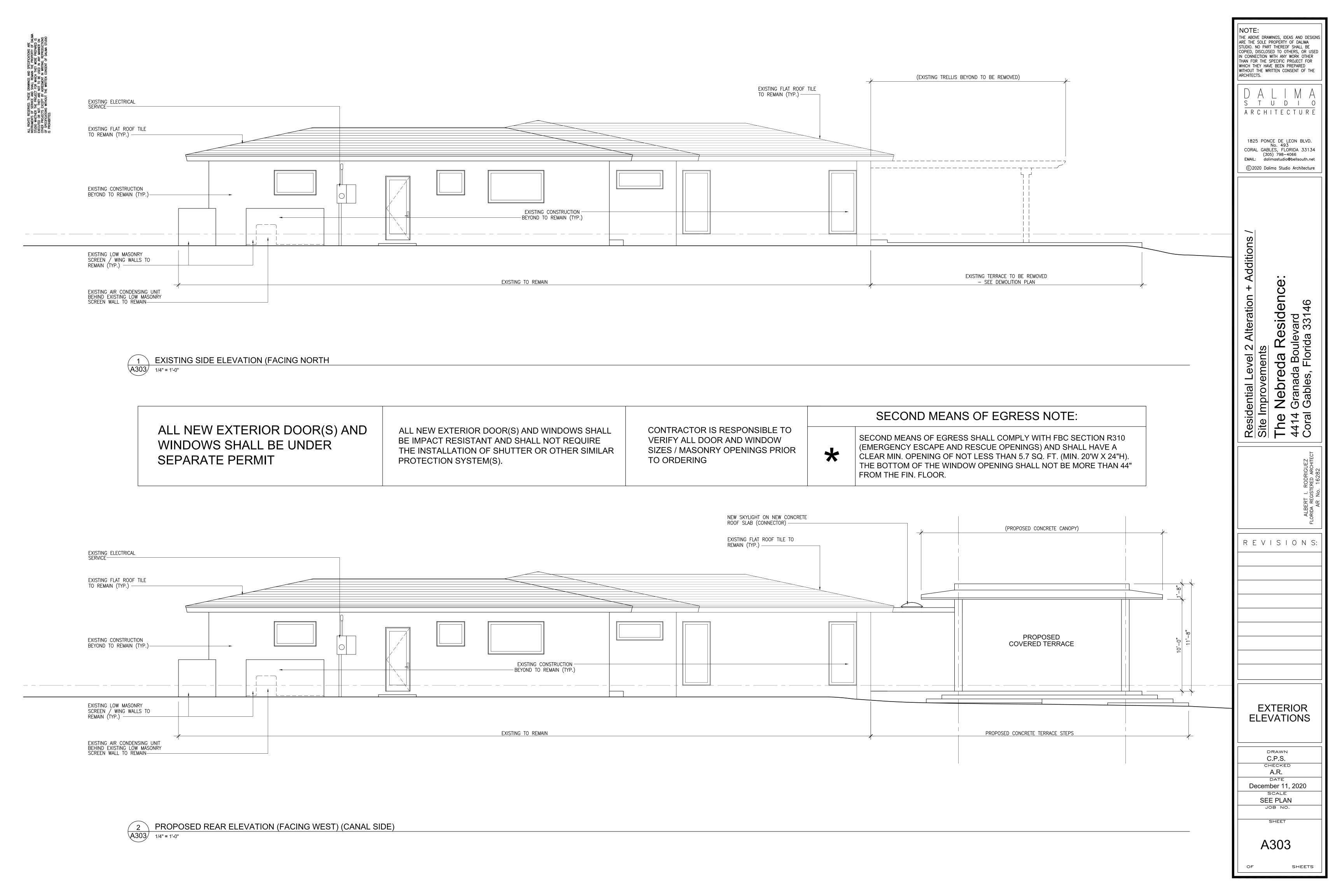
EXTERIOR ELEVATIONS

DRAWN C.P.S. CHECKED A.R. DATE December 11, 2020 SCALE

SEE PLAN JOB NO.

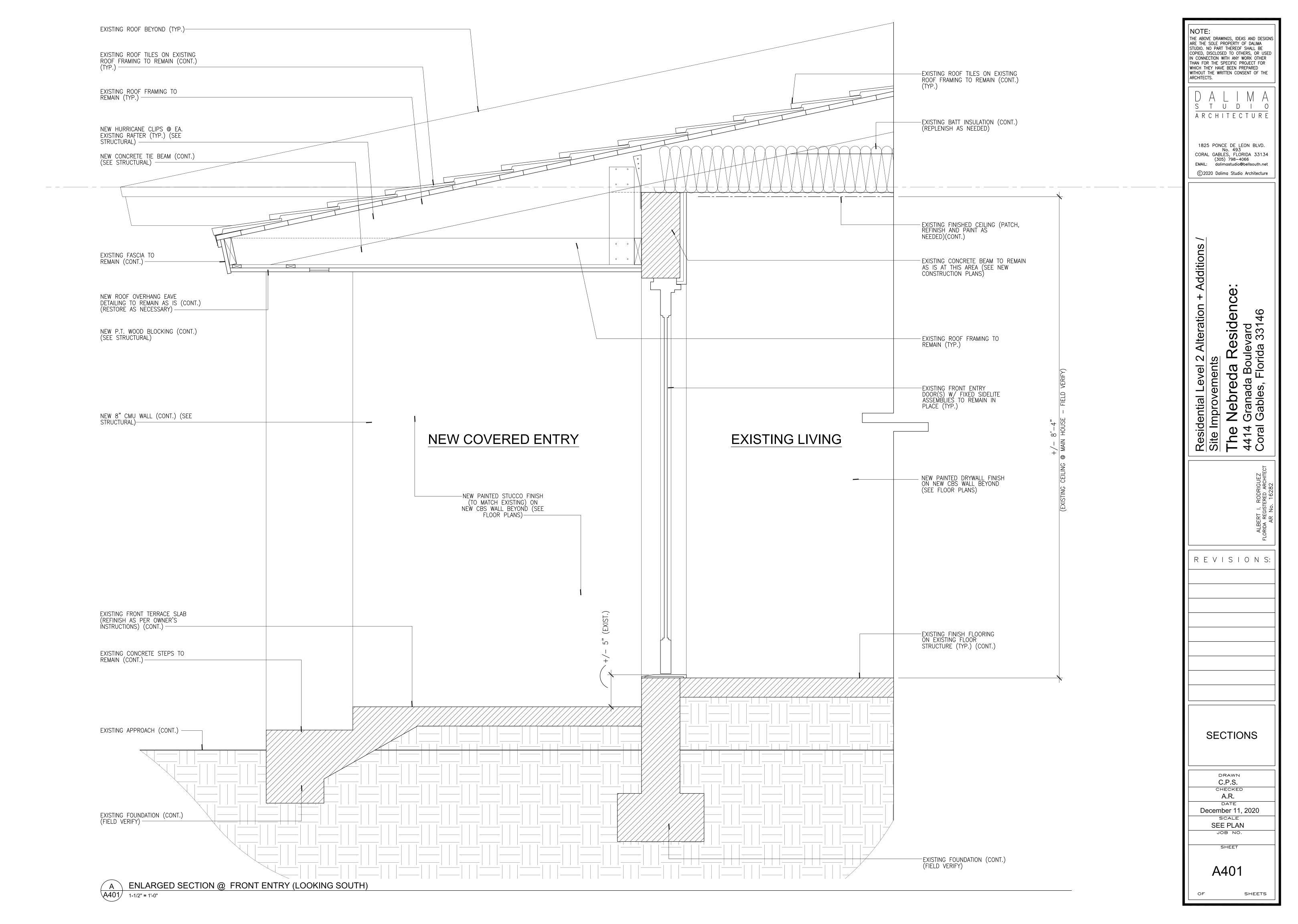
A302

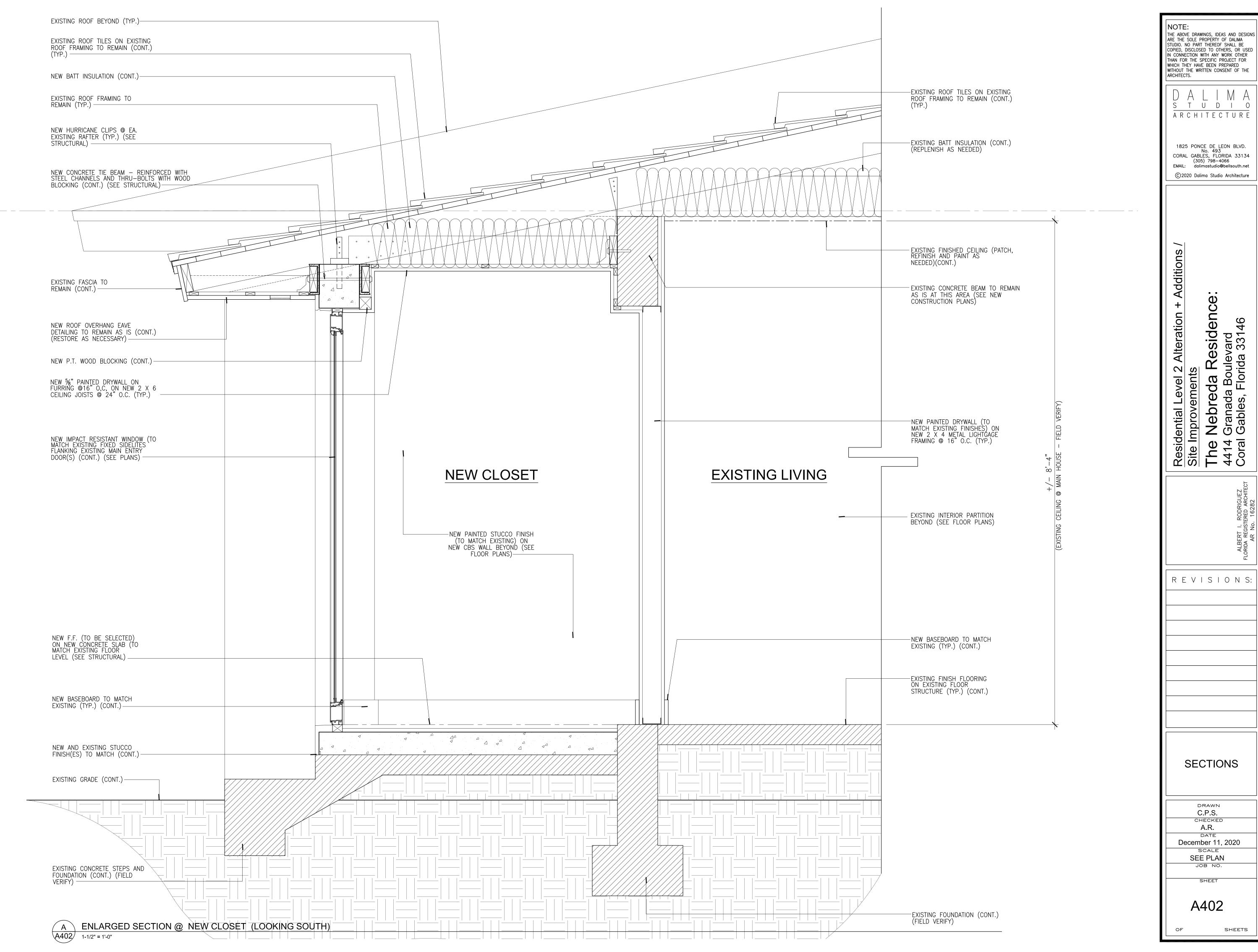
SHEET



A400 1-1/2" = 1'-0"

SHEETS





A LONGI7 A403 1/4" = 1'-0"

LONGITUDINAL SECTION @ NEW TERRACE / POOL DECK (LOOKING EAST)

Residential Level 2 Alteration + Add Site Improvements

The Nebreda Residence:
4414 Granada Boulevard
Coral Gables, Florida 33146

Additions

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D A L I M A s T U D I O

ARCHITECTURE

1825 PONCE DE LEON BLVD.
No. 493
CORAL GABLES, FLORIDA 33134
(305) 798-4066
EMAIL: dalimastudio@bellsouth.net

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REVISIONS:

SECTIONS

DRAWN C.P.S. CHECKED A.R. DATE

December 11, 2020 SCALE SEE PLAN JOB NO.

SHEET

A403