

RESTORATION & ADDITION

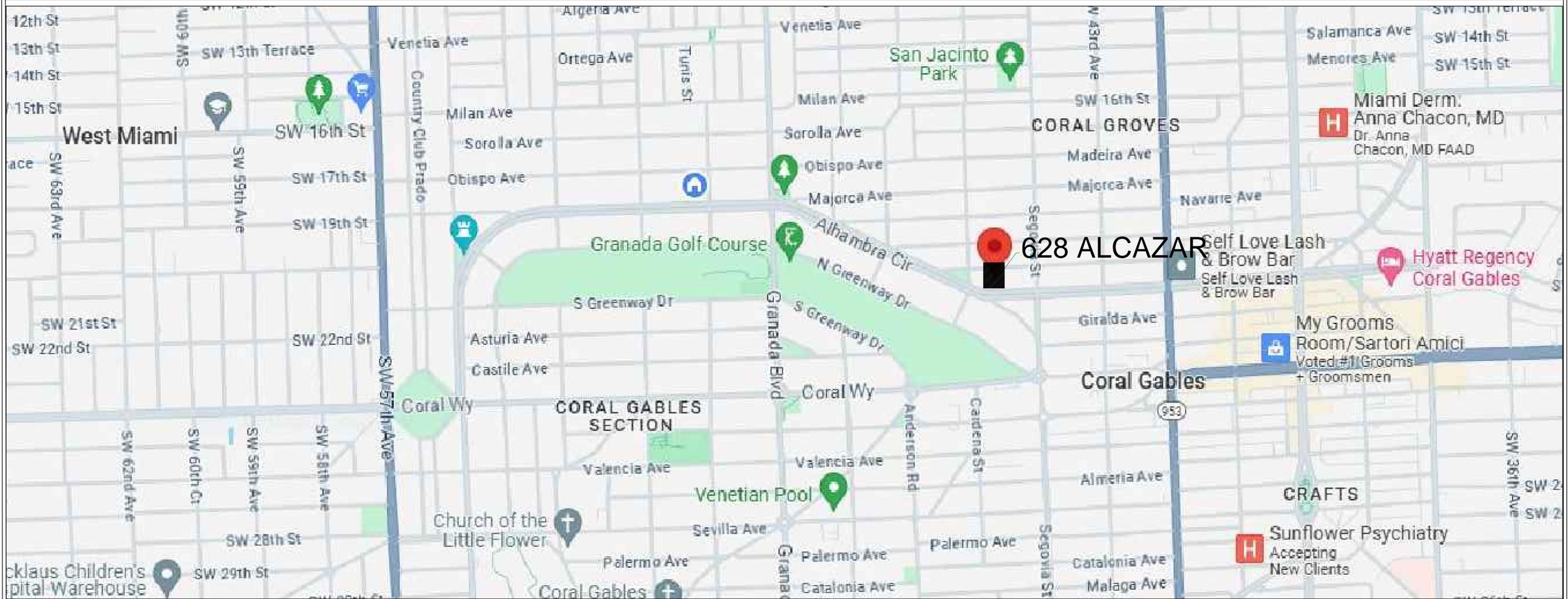
628 ALCAZAR
CORAL GABLES FLORIDA

PASCUAL PEREZ KILIDDJIAN STARR





ALCAZAR NORTH STREET VIEW



LOCATION MAP



ALCAZAR SOUTH STREET VIEW



612 ALCAZAR



640 ALCAZAR



625 ALCAZAR



614 ALCAZAR EAST NEIGHBOR



628 ALCAZAR SUBJECT PROPERTY



636 ALCAZAR WEST NEIGHBOR



645 ALCAZAR



633 ALCAZAR FRONT NEIGHBOR



637 ALCAZAR

PASCUAL PEREZ KILIDDJIAN STARR

& ASSOCIATES ARCHITECTS - PLANNERS LICENSE # AA 26001357

PETER KILIDDJIAN, RA LICENSE No. : AR 0093067

AT THE BEACON CENTER 1300 NW 84th AVENUE DORAL, FLORIDA 33126 TELEPHONE(S) 726-3748

COPYRIGHT © PASCUAL PEREZ KILIDDJIAN & ASSOCIATES, ARCHITECTS - PLANNERS. The architectural design and detail drawings of this building and/or overall project are the legal property of the architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the architect.

OWNER:

RESTORATION AND ADDITION
628 ALCAZAR
CORAL GABLES, FL, 33146

SEAL:

DATE :
SCALE : AS SHOWN
DRAWN BY : ID
CHECK BY : PK
JOB NO. :

A-002

SHEET NO. :



REAR YARD VIEW



WEST VIEW OF PROPERTY



WEST VIEW OF PROPERTY



NORTH VIEW OF MAIN FACADE



NORTH VIEW OF MAIN HOUSE



NORTH VIEW OF MAIN HOUSE & GARAGE



DETAIL VIEW OF FRONT



DETAIL VIEW OF FRONT



EAST VIEW OF MAIN HOUSE



DETAIL VIEW OF FRONT

PASCUAL PEREZ KILIDDJIAN STARR & ASSOCIATES ARCHITECTS - PLANNERS LICENSE # AA 26001357

PETER KILIDDJIAN, RA LICENSE No. : AR 0093067 AT THE BEACON CENTER 1300 NW 84th AVENUE DORAL, FLORIDA 33126 TELEPHONE) 726-3748

COMPILED BY PASCUAL PEREZ KILIDDJIAN & ASSOCIATES ARCHITECTS - PLANNERS The architectural design and detail drawings of this building and/or overall project are the legal property of and all rights are reserved by the architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the architect.

REVISIONS:

OWNER:

RESTORATION AND ADDITION 628 ALCAZAR CORAL GABLES, FL, 33146

SEAL:

EXISTING PHOTOGRAPHS

DATE : AS SHOWN SCALE : ID DRAWN BY : PK CHECK BY : JOB NO. :

A-003

SHEET NO. :



HISTORIC PHOTOGRAPH

PASCUAL
PEREZ
KILIDDJIAN
STARR

& ASSOCIATES
ARCHITECTS • PLANNERS
LICENSE # AA 26001357

PETER KILIDDJIAN, RA
LICENSE No. : AR 0093067

AT THE BEACON CENTER
1300 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE : (305) 726-3748

COPYRIGHT © PASCUAL PEREZ KILIDDJIAN & ASSOCIATES, ARCHITECTS • PLANNERS. The architectural design and detail drawings of this building and/or overall project are the legal property of, and all rights are reserved by the architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the architect.

REVISIONS:

OWNER:

RESTORATION AND ADDITION
628 ALCAZAR
CORAL GABLES, FL, 33146

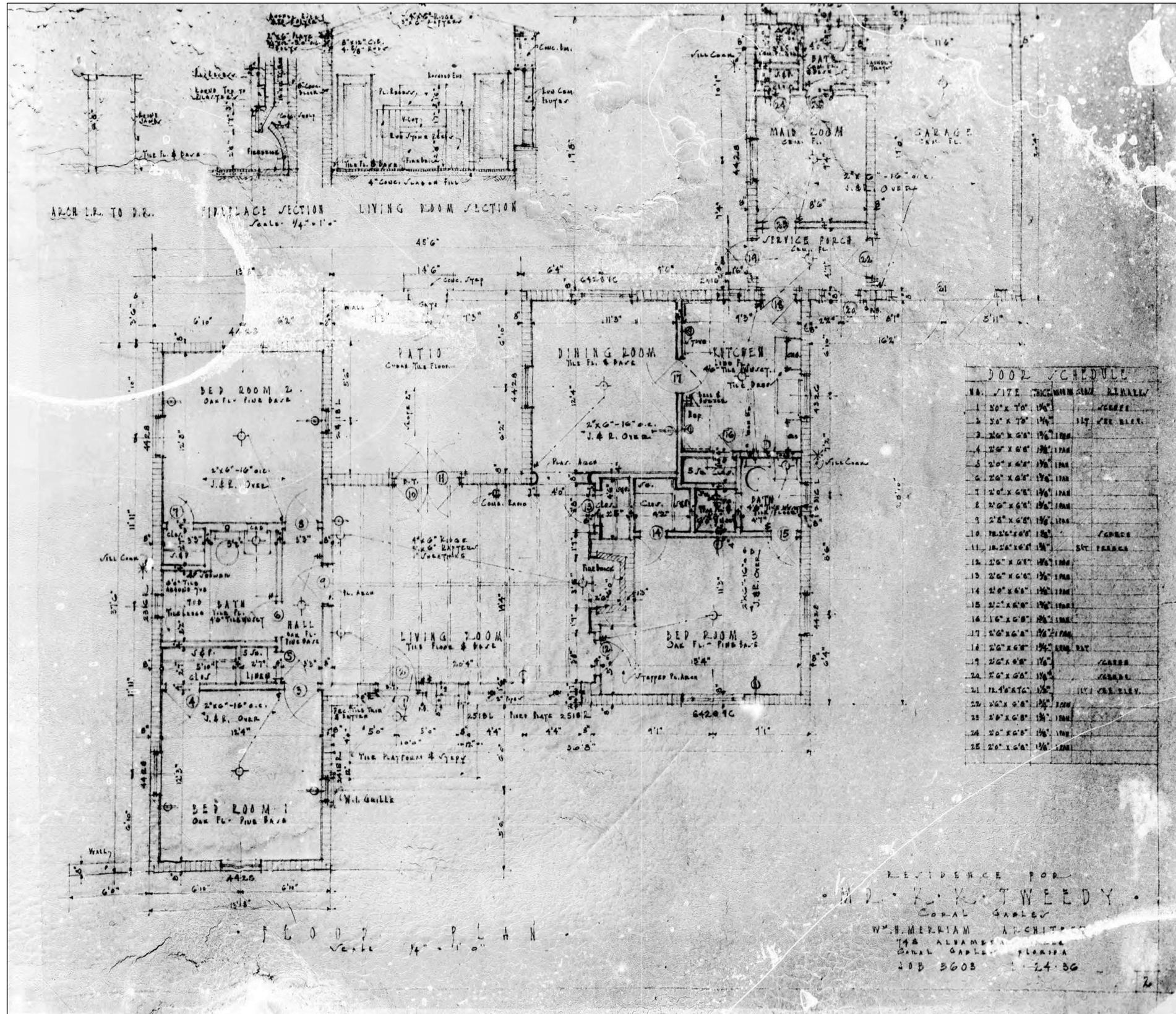
SEAL:

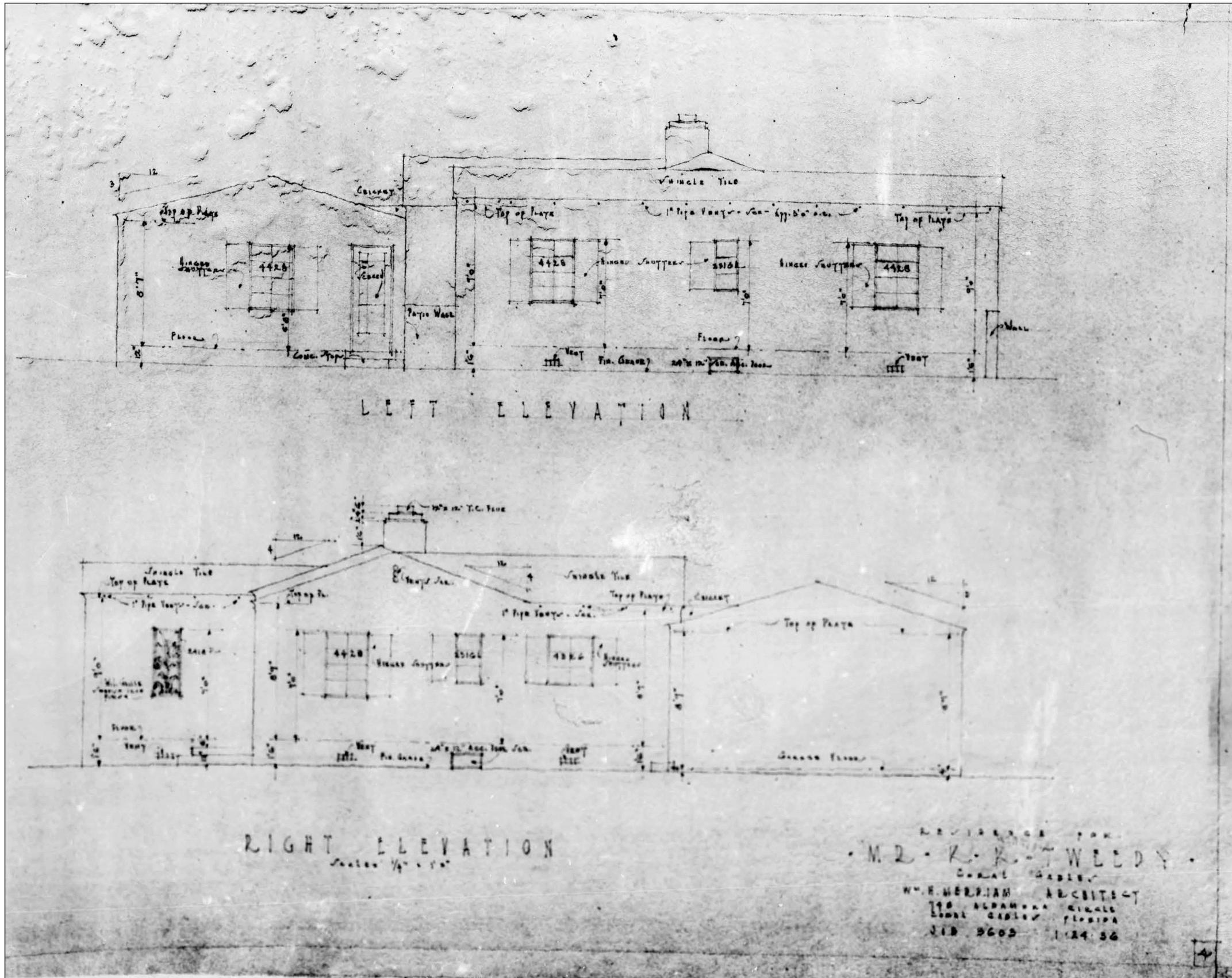
HISTORIC PHOTOGRAPH

DATE :
SCALE : AS SHOWN
DRAWN : ID
CHECK BY: PK
JOB NO.:

A-004

SHEET NO.:





LEFT ELEVATION

RIGHT ELEVATION
Scale 1/4" = 1'

REVISED FOR
 M. R. K. K. TWEEDEY
 CORAL GABLES
 W. H. HERBIAH ARCHITECT
 198 ALPAMOGA CIRCLE
 CORAL GABLES, FLORIDA
 JIB 9609 1-24-56

COPYRIGHT PASCUAL PEREZ KILIDJIAN & ASSOCIATES, ARCHITECTS - PLANNERS. The architectural design and detail drawings of this building and/or other project are the legal property of and all rights are reserved by the architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the architect.

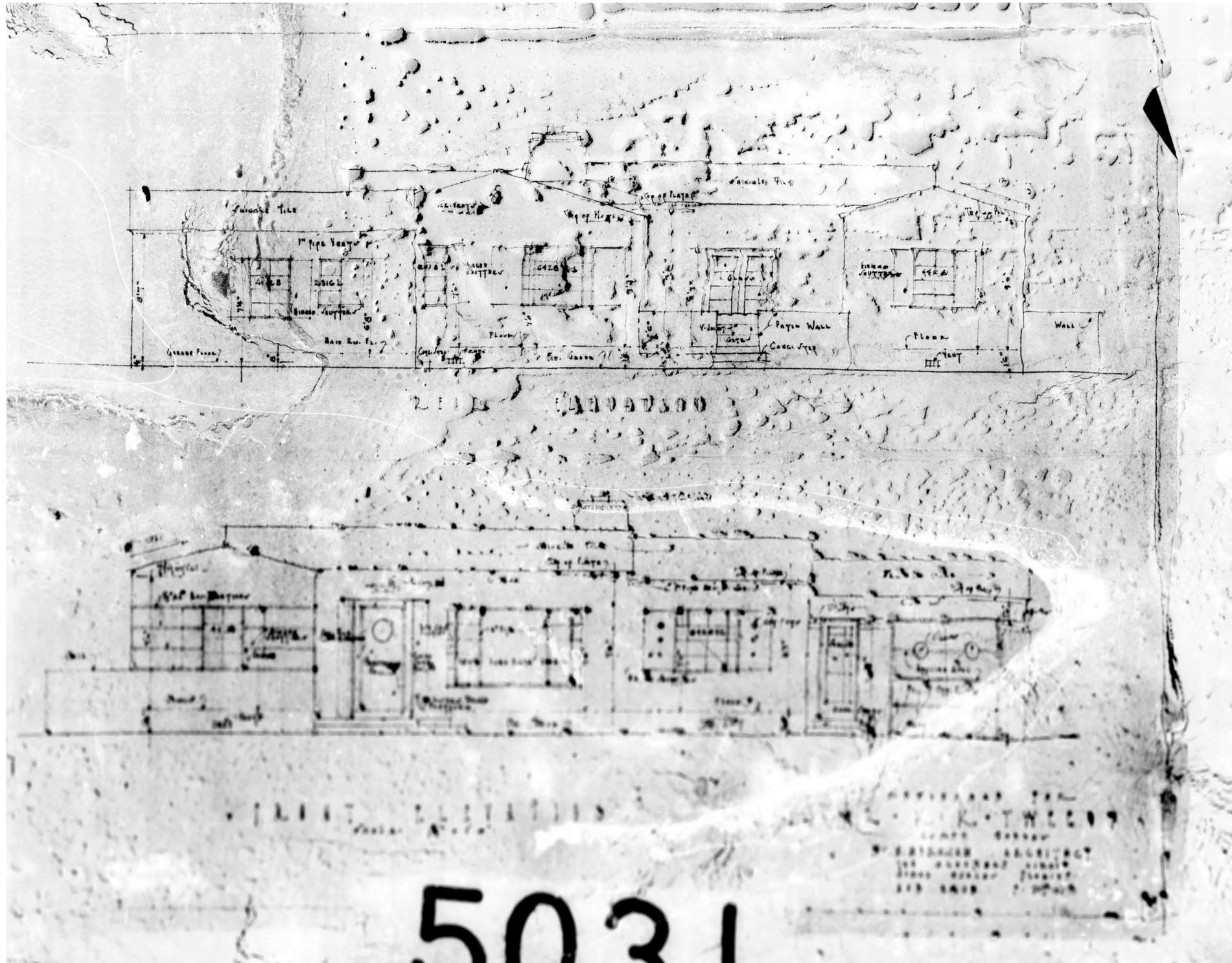
REVISIONS:

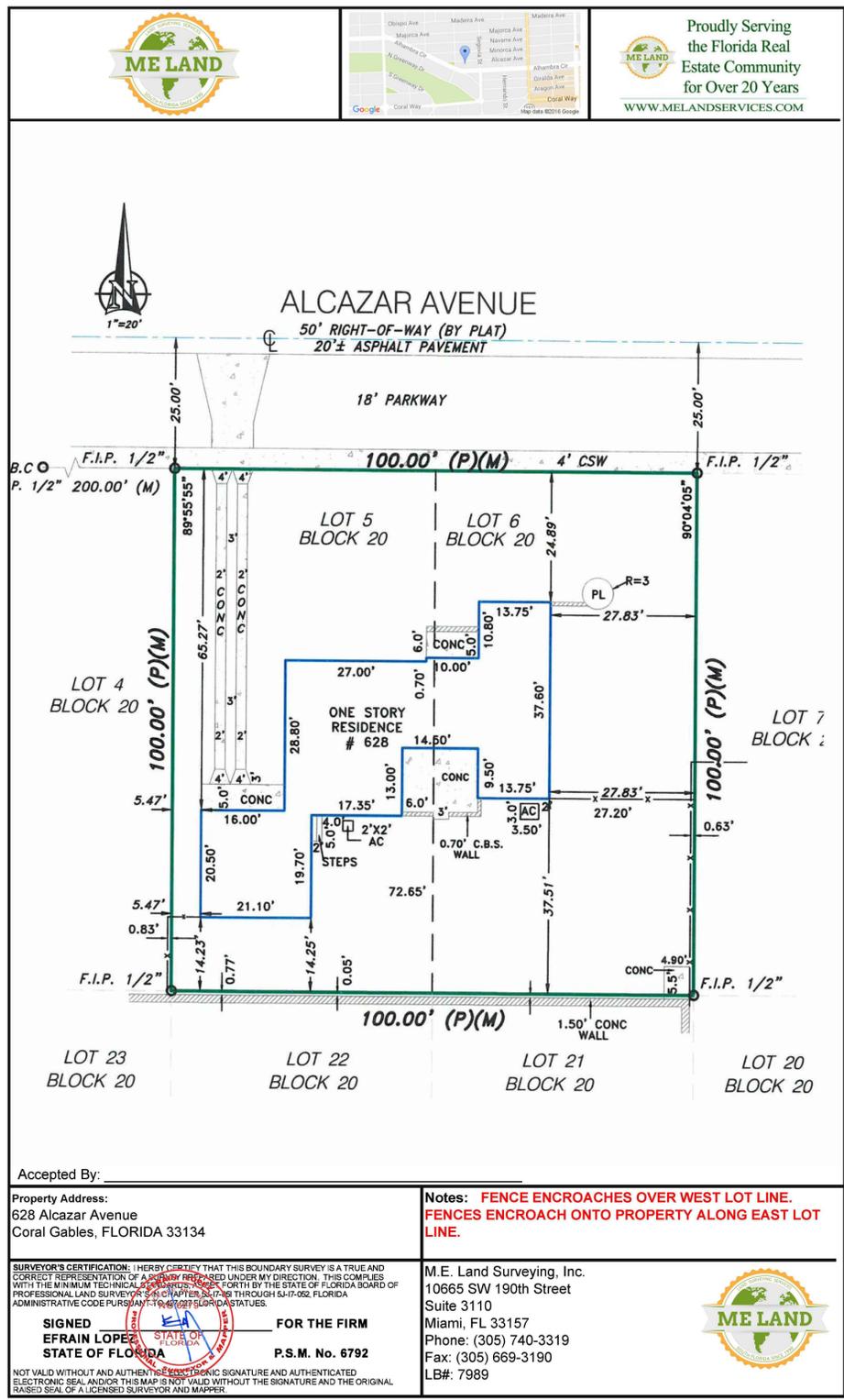
OWNER:

RESTORATION AND ADDITION
 628 ALCAZAR
 CORAL GABLES, FL, 33146

SEAL:

DATE: 8-14-24
 SCALE:
 DRAWN: ID
 CHECK BY: PK
 JOB NO.:





Accepted By: _____

Property Address:
628 Alcazar Avenue
Coral Gables, FLORIDA 33134

Notes: FENCE ENCRACHES OVER WEST LOT LINE.
FENCES ENCRACH ONTO PROPERTY ALONG EAST LOT LINE.

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A PROPERTY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS § 46 CHAPTER 62-17-01 THROUGH 62-17-02, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 19-00002 SUPPLEMENTAL STATUTES.

SIGNED **EFRAIN LOPEZ** FOR THE FIRM
STATE OF FLORIDA P.S.M. No. 6792

NOT VALID WITHOUT AND AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER.

M.E. Land Surveying, Inc.
10665 SW 190th Street
Suite 3110
Miami, FL 33157
Phone: (305) 740-3319
Fax: (305) 669-3190
LB#: 7989

SURVEY

Project Adress

628 ALCAZAR
CORAL GABLES, FL. 33134

Legal Description

LOTS 5 AND 6, BLOCK 20
CORAL GABLES SECTION "B"
PLAT BOOK 5 PAGE 111
PUBLIC RECORDS DADE COUNTY, FL.

Scope of Work

THE WORK ENTAILS LEVEL 3 ALTERATION . A 1 AND 2 STORY ADDITION INCLUDING A MASTER BEDROOM ,FAMILY ROOM, KITCHEN, ADDITIONAL,NEW GARAGE , NEW DRIVEWAY, NEW POOL ,AND TRELLIS,REPLACE ALL WINDOWS AND DOORS , RESTORE HISTORIC AREAS OF EXISTING HOUSE

Zoning Information

ZONING:	SFR	
FLOOD ZONE:	"X"	
NET LAND AREA (Lot size):	10,000 SF.	
CODE:	FBC, 2023. RESIDENTIAL	
	REQUIRED/ALLOWED (BASED 10,000 SF.)	PROPOSED
F.A.R. ALLOWED:	4,150 S.F. (48% FIRST 5,000 SF. 35% NEXT 5,000 SF., 30% REMAINING)	4,143 S.F.
LOT COVERAGE:	3,500 SF. (MAIN HOUSE MAX. 35% LOT)	3,471 SF. 34.71%
	4,500 SF. (ACCESS STRUCTURES MAX. 45%)	3,720SF. 37.2%
MIN. FLOOR ELEVATION:	12.41' NGVD	12.41' NGVD
FLOOD ZONE X	(16" ABOVE CROWN OF ROAD : 1.33'+10.80')	(NGVD ALONG FRONT PROPERTY LINE)
HEIGHT ALLOWED:	25'-0" MAX. TO EAVE	21'-2"

Setback Requirements

	REQUIRED/ALLOWED	PROPOSED
FRONT:	25'-0"	25'-0"
INTERIOR SIDE:		
FOLLOW EXISTING	20'-0" TOTAL 20% OF LOT WIDTH	5'-5" WEST SIDE EXISTING 14'-7" EAST SIDE 20'-0" TOTAL
REAR :	10'-0"	10'-0"

Site Plan Notes:

- 1 APPROACHES TO BE PERPENDICULAR TO PL.
- 2 APPROACHES TO MAINTAIN 5 LF. CLEARANCE FROM TREES 3 MAXIMUM TURN -OUT RADIUS 10'-0" MINIMUM 5'-0"
- 4 ALL RAINWATER TO BE CONTAINED WITHIN PROPERTY
- 5 ALL SETBACKS ARE EXISTING TO REMAIN

ZONING INFORMATION

PASCUAL PEREZ KILIDDJIAN STARR

& ASSOCIATES
ARCHITECTS - PLANNERS
LICENSE # AA 26001357

PETER KILIDDJIAN, RA
LICENSE No. : AR 0093067

AT THE BEACON CENTER
1300 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE : (305) 726-3748

COPYRIGHT © PASCUAL PEREZ KILIDDJIAN & ASSOCIATES, ARCHITECTS - PLANNERS. The architectural design and detail drawings of this building and/or-survey project are the legal property of, and all rights are reserved by the architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the architect.

REVISIONS:

OWNER:

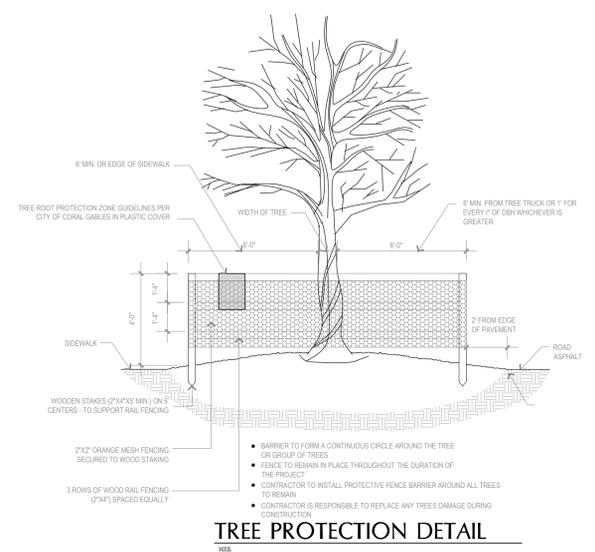
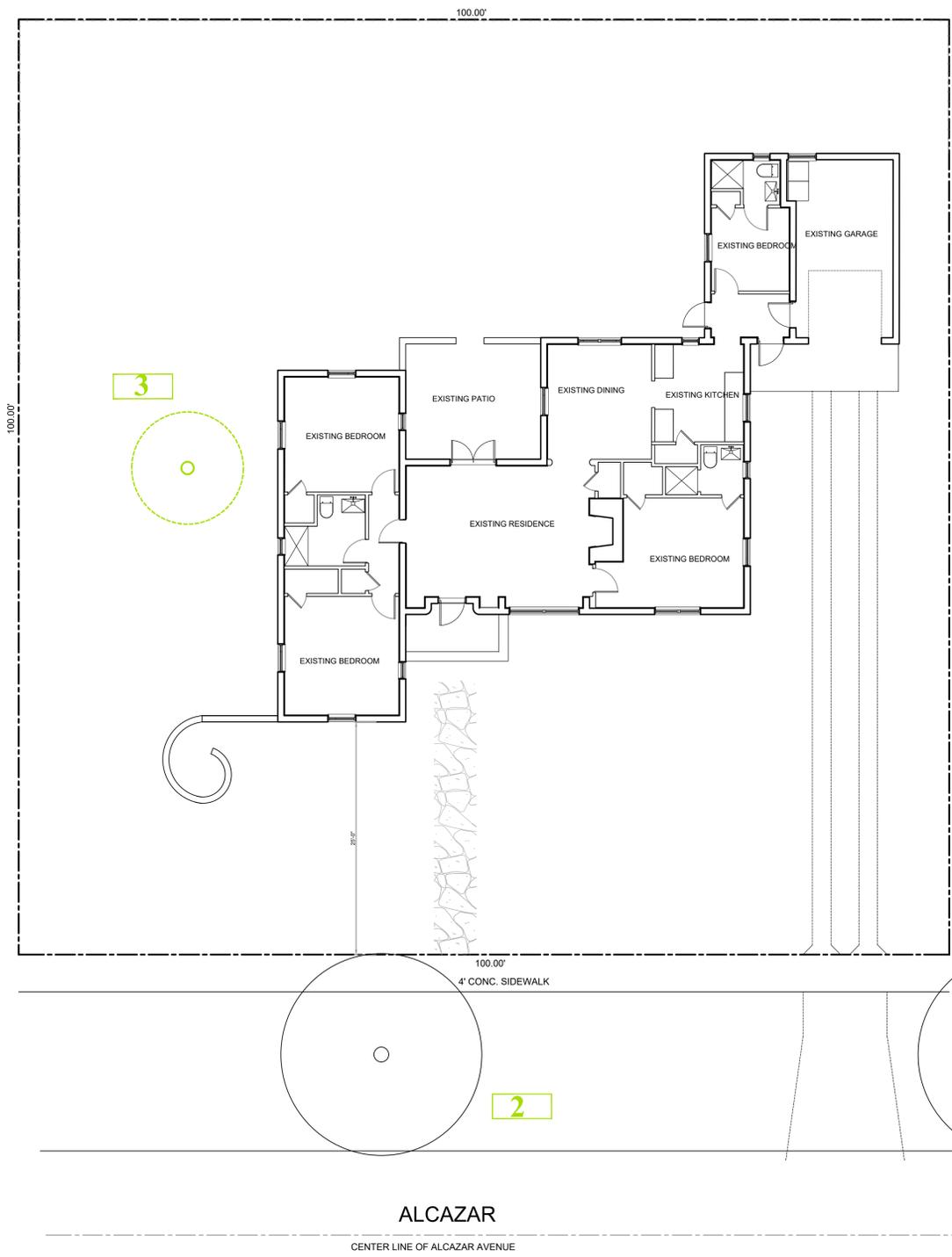
RESTORATION AND ADDITION
628 ALCAZAR
CORAL GABLES, FL, 33146

SEAL:

DATE :
SCALE : AS SHOWN
DRAWN : ID
CHECK BY: PK
JOB NO. :

A-008

SHEET NO. :

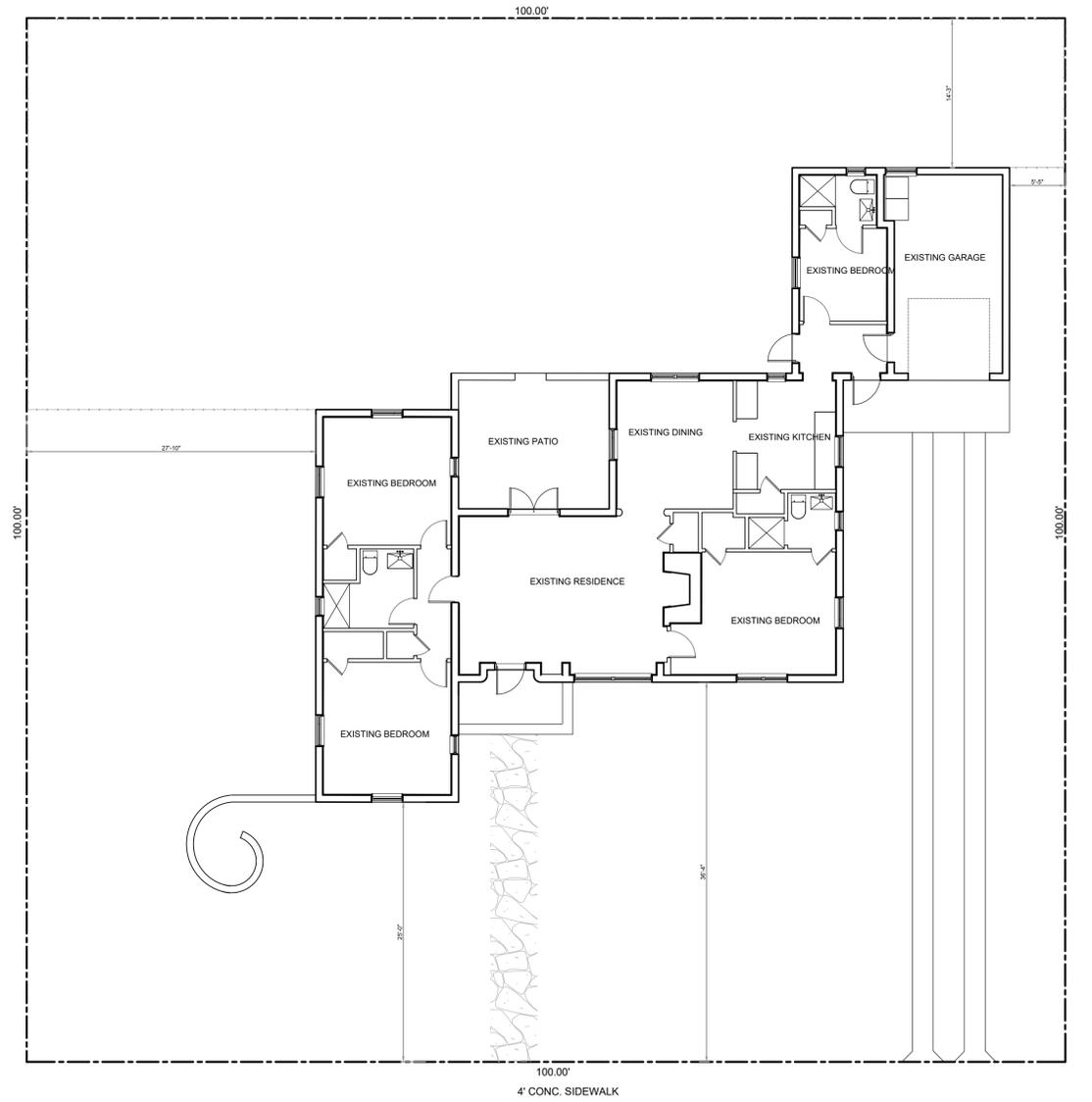


EXISTING TREE LEGEND						
TREE #	COMMON NAME LATIN NAME	DBH INCHES	SPREAD FEET	HEIGHT FEET	CANOPY SQ. FT.	STATUS
1	BLACK OLIVE	31	30	36		REMAIN
	BUCIDA BUCERAS					
2	BLACK OLIVE	31	30	36		REMAIN
	BUCIDA BUCERAS					
3	WOMAN'S TONGUE	12	10	14		PROHIBITED TREE REMOVE NO MITIGATION
	UMBRELLA TREE					

THERE ARE NO REMOVALS FROM THE PROPERTY THAT REQUIRE MITIGATION BEING PROPOSED

TREE DISPOSITION 1/8" = 1'-0"

RESTORATION AND ADDITION
628 ALCAZAR
CORAL GABLES, FL, 33146

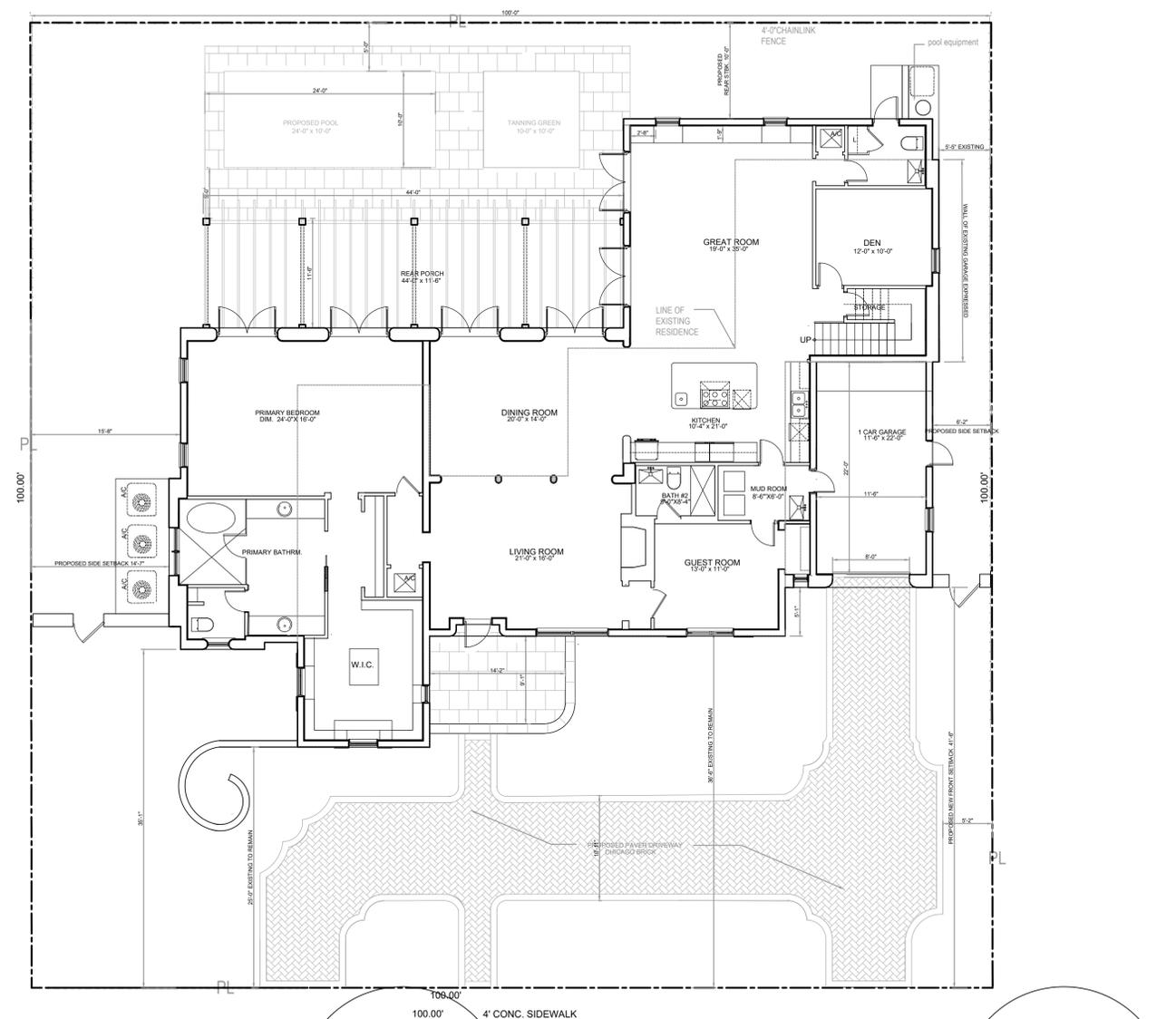


ALCAZAR

CENTER LINE OF ALCAZAR AVENUE

Existing Site Plan

1/8" = 1'-0"



ALCAZAR

CENTER LINE OF ALCAZAR AVENUE

Proposed Site Plan

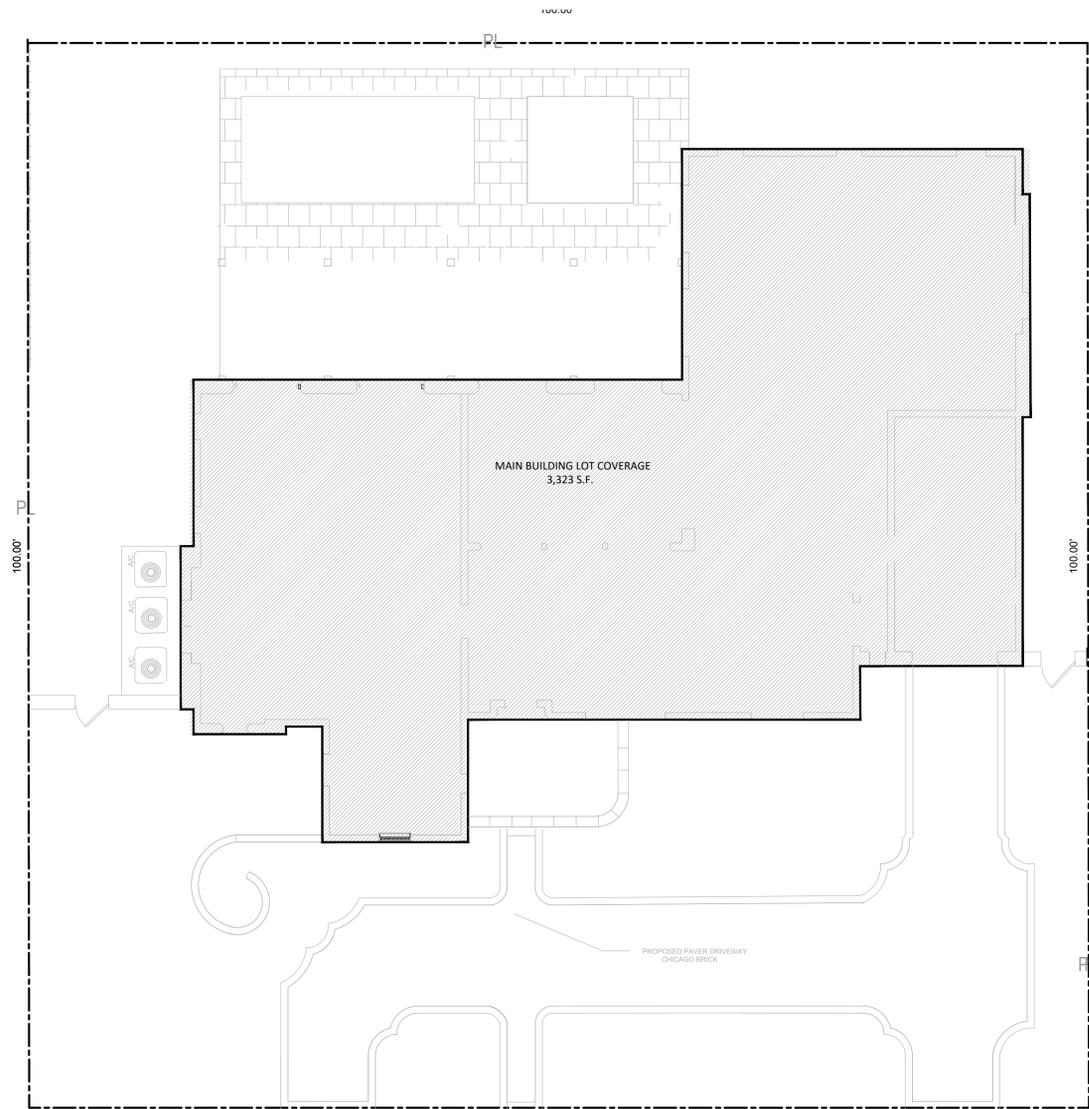
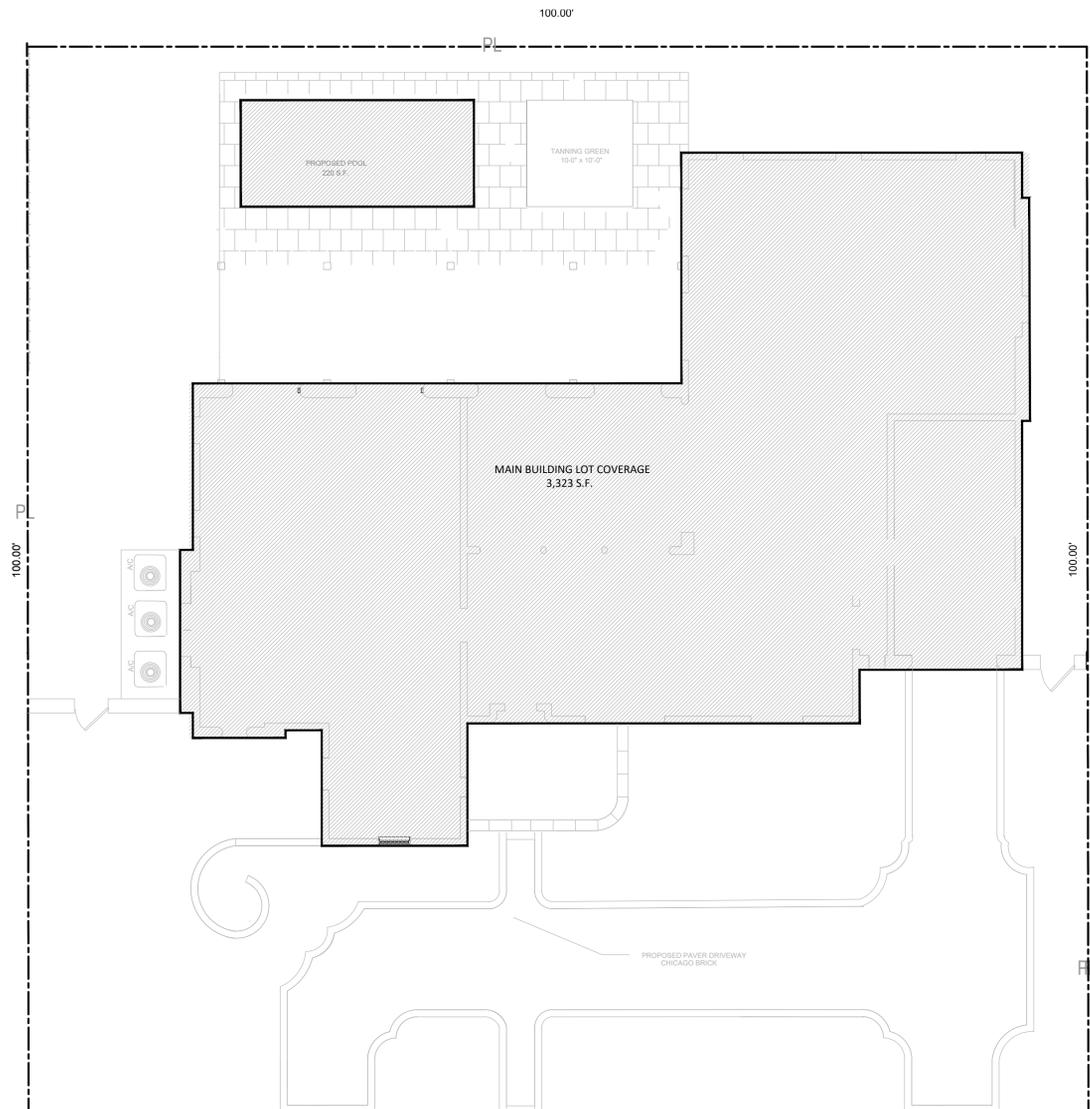
1/8" = 1'-0"

45% GROUND AREA COVERAGE CALCULATION

ZONING SINGLE FAMILY SFR		
NET LAND AREA	10,000 SF	
LOT COVERAGE	REQUIRED / ALLOWED	PROVIDED
MAIN BUILDING		3,325Sq. Ft.
POOL & SPA		220 Sq. Ft.
TOTAL	4,500 Sq. Ft. (45%)	3,545 Sq. Ft. (37.2%)

35% GROUND AREA COVERAGE CALCULATION

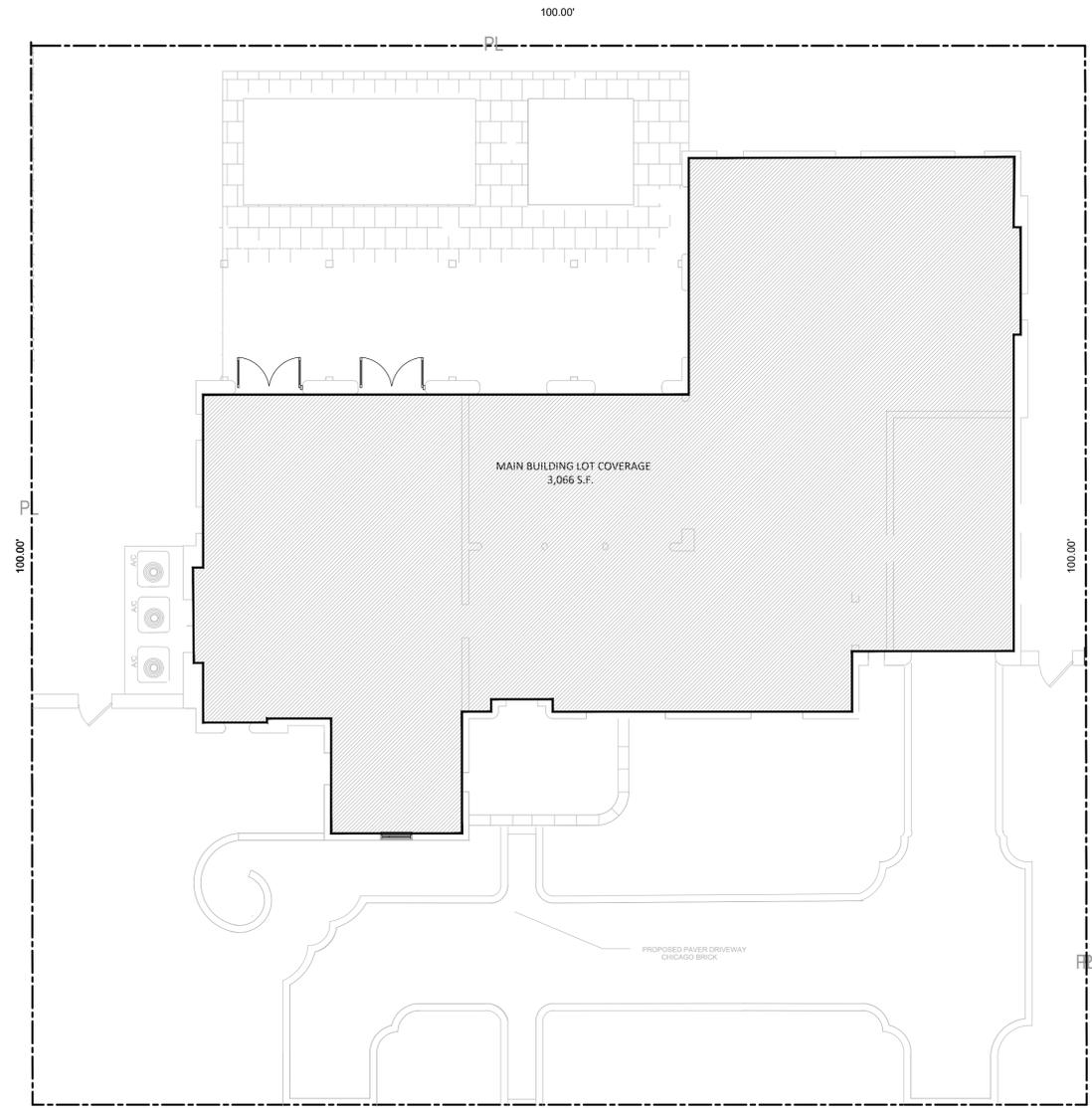
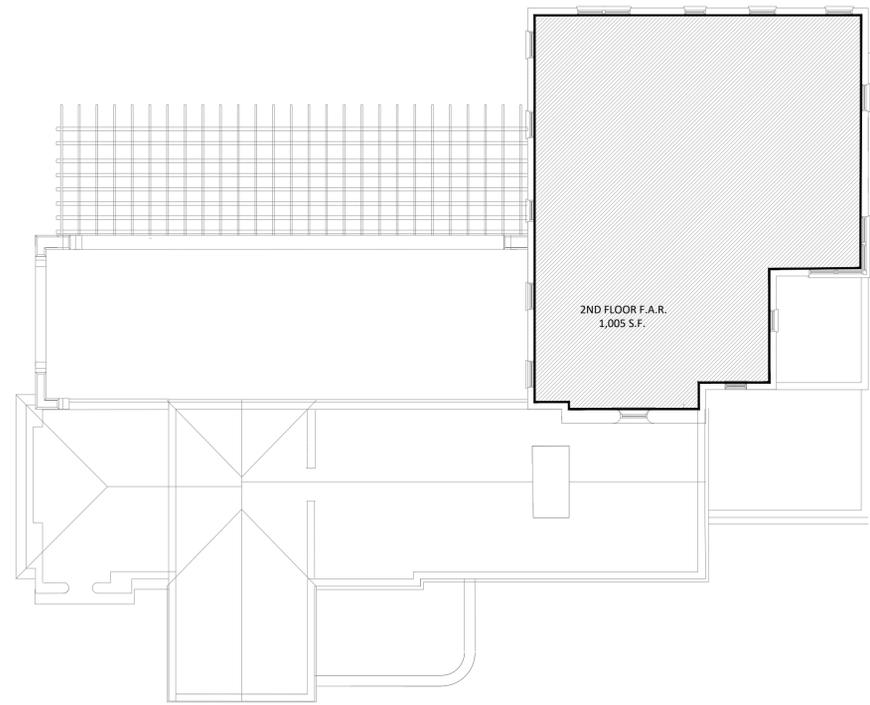
ZONING SINGLE FAMILY SFR		
NET LAND AREA	10,000 SF	
LOT COVERAGE	REQUIRED / ALLOWED	PROVIDED
MAIN BUILDING	3,500 Sq. Ft. (35%)	3,325 Sq. Ft. (32.25%)



Lot Coverage Diagrams

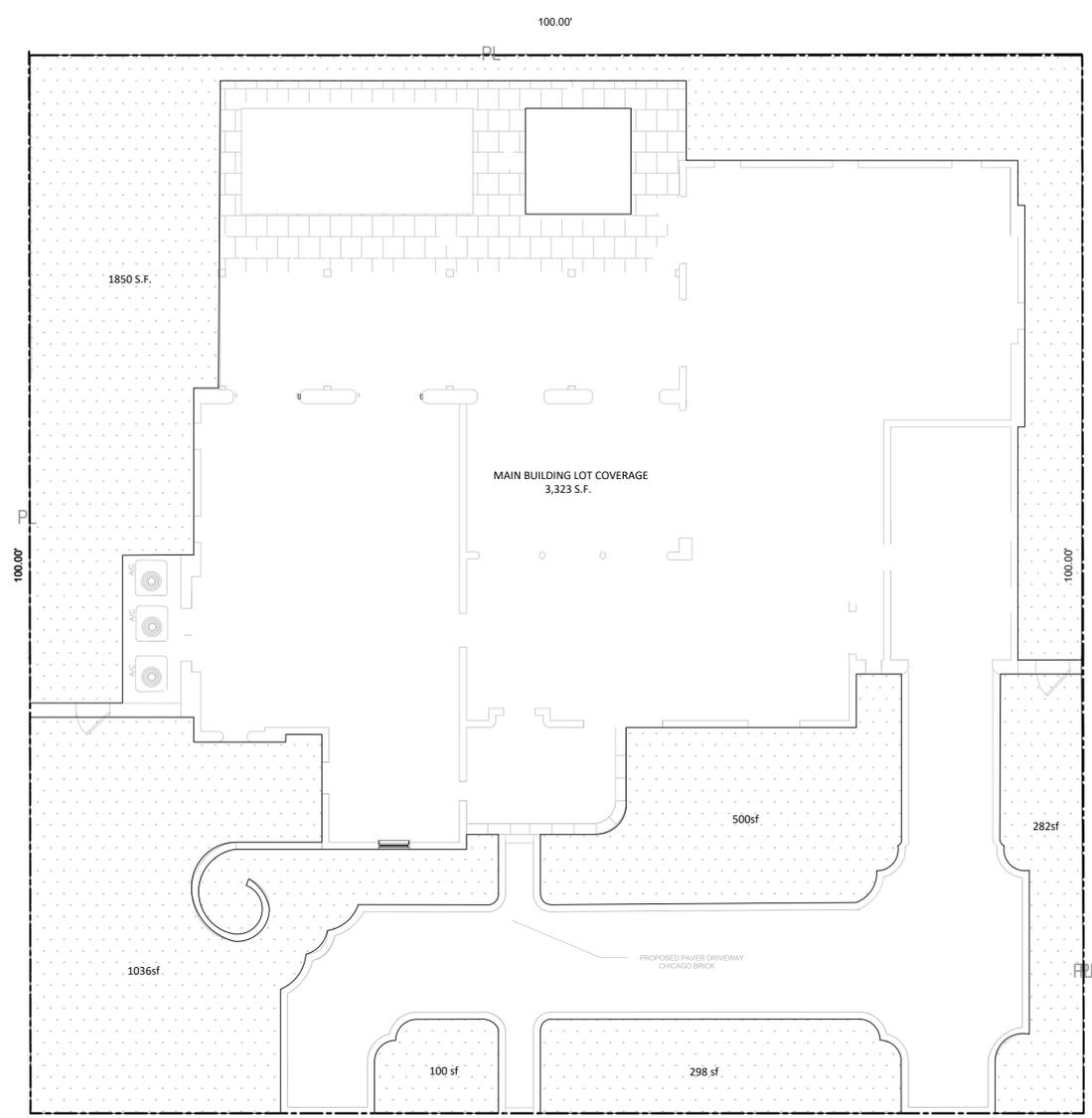
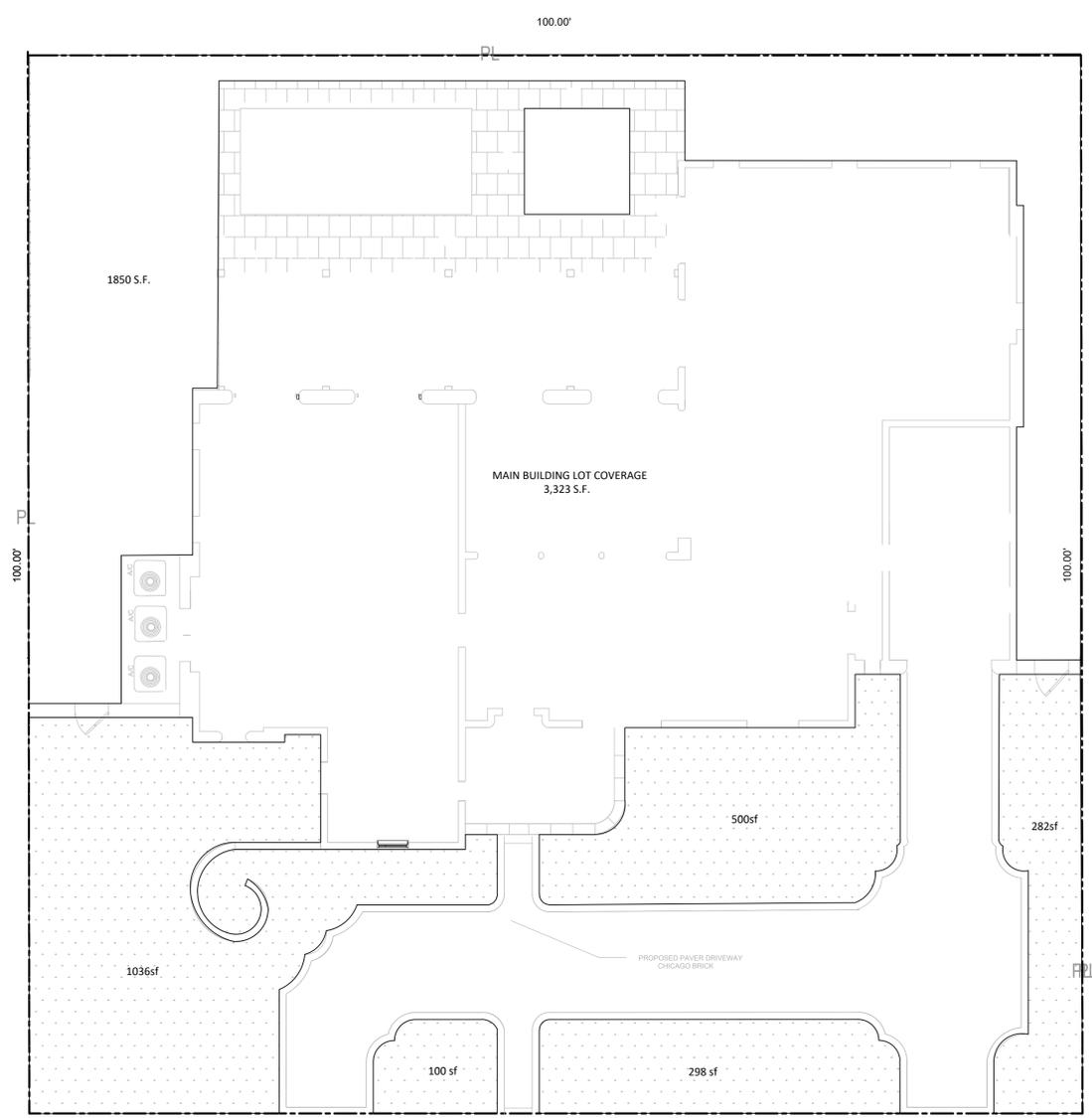
F.A.R.

ZONING	SINGLE FAMILY SFR	
NET LAND AREA	10,000 SF	
	REQUIRED / ALLOWED	PROVIDED
F.A.R	48% FIRST 5,000 S.F.+ 35% SEC OND 5,000 S.F. + 30% REMAINING S.F. = TO, F.A.R	
GROUND FLOOR		3,066 Sq. Ft.
SECOND FLOOR		1,005 Sq. Ft.
TOTAL	4,150 Sq. Ft.	4,072 Sq. Ft.



F.A.R. Diagrams

ZONING	SINGLE FAMILY SFR	
NET LAND AREA	10,000 SF	
	REQUIRED / ALLOWED	PROVIDED
LANDSCAPE OPEN SPACE		
MINIMUM 40% OF SITE	4,000 Sq. Ft. (40%)	4,066. Ft. (40.60%)
MIN. 20% OF REQD 40% IN FRONT YARD	800 Sq. Ft.	2,216 Sq. Ft.

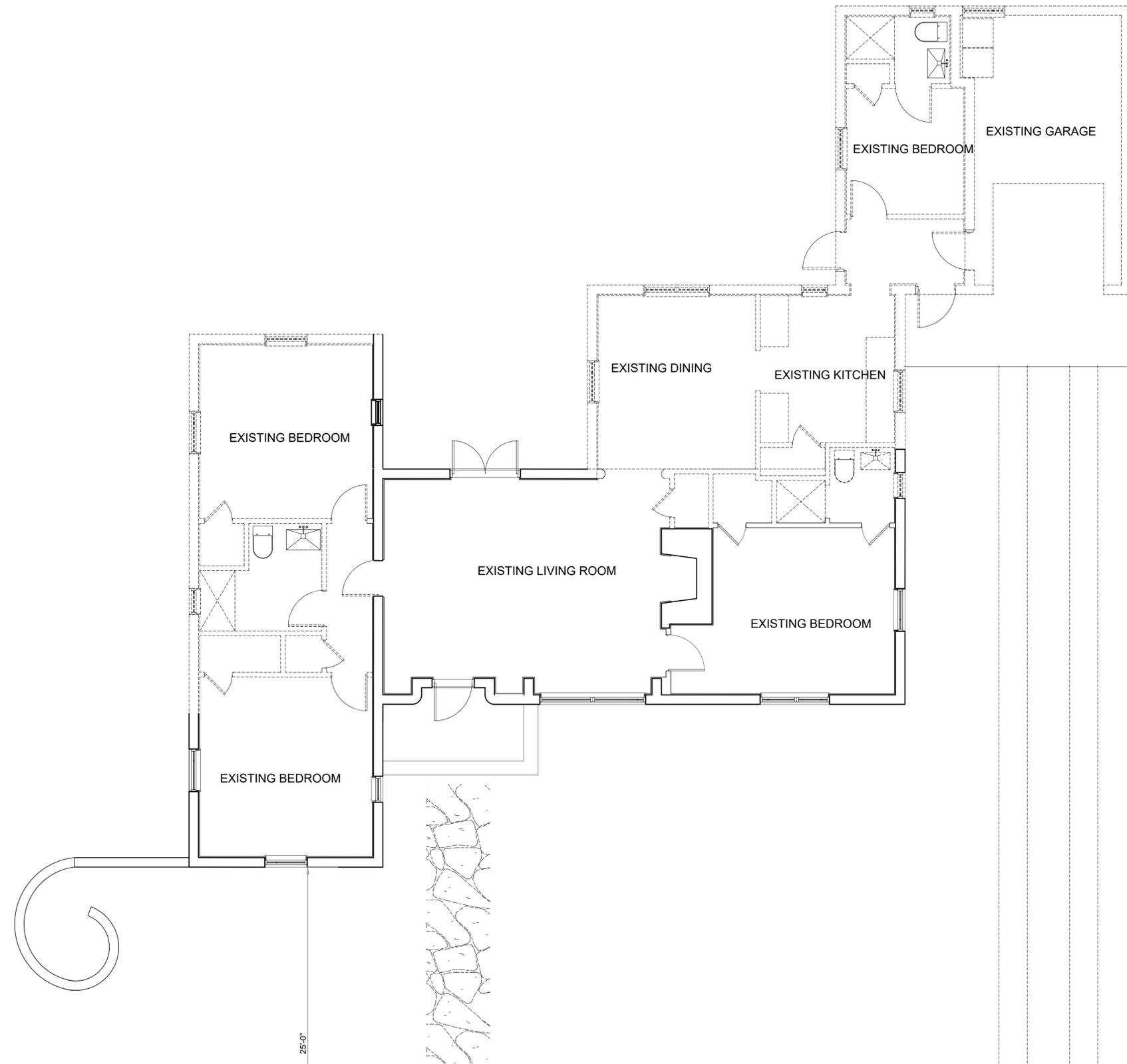


Landscaped Open Space Diagrams

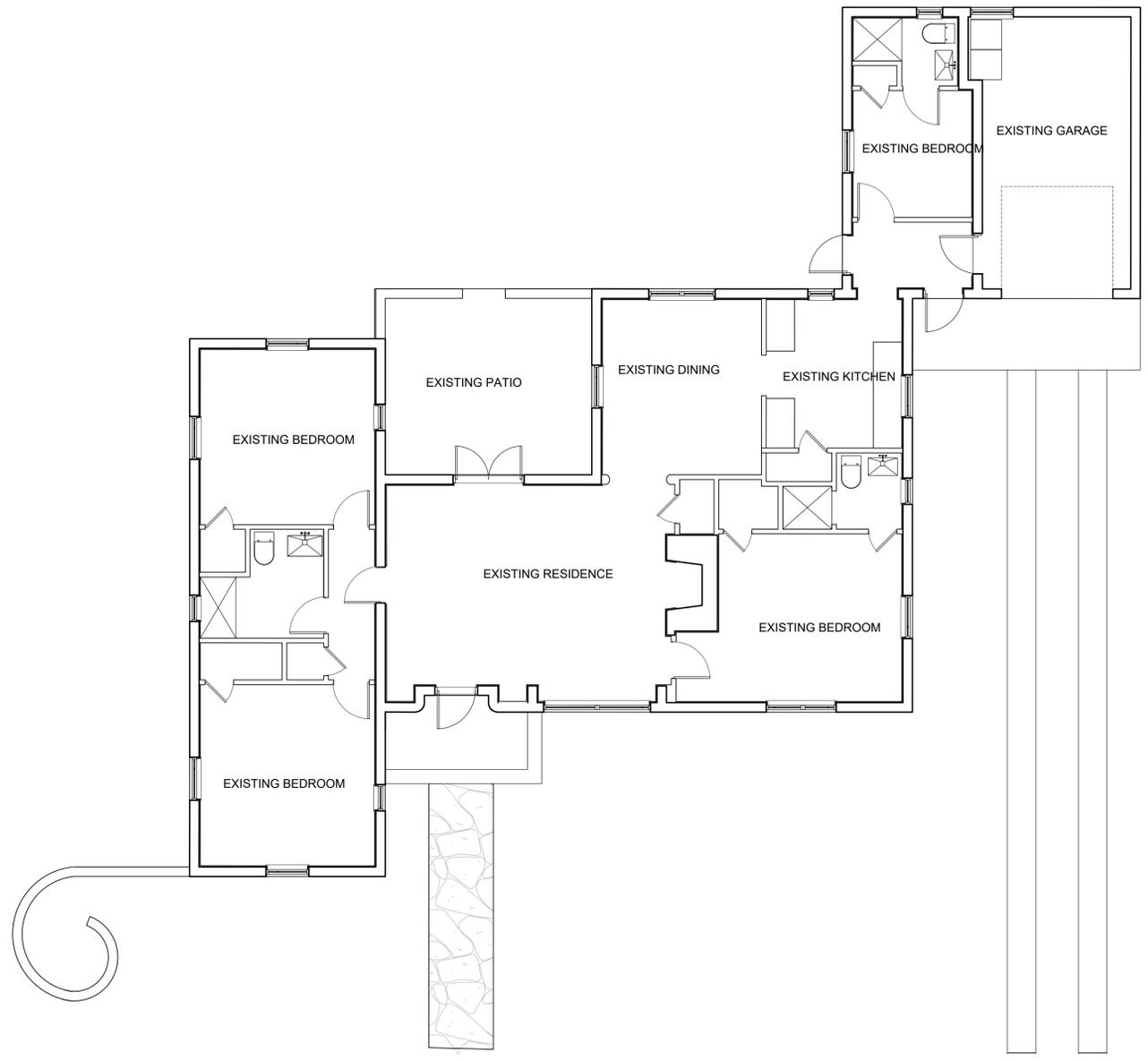
LEGEND	
	INDICATES CONSTRUCTION TO BE DEMOLISHED
	INDICATES CONSTRUCTION TO REMAIN

GENERAL DEMOLITION NOTES:

1. THIS SET OF DRAWINGS IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE JOB.
2. NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK-THROUGH OF THE PROJECT PRIOR TO SUBMITTING A BID TO THE OWNER FOR IDENTIFYING POSSIBLE CRITICAL ITEMS OMITTED/ AMBIGUOUSLY OR NOT PROPERLY ADDRESSED, WHICH REQUIRE REMOVAL/ RELOCATION.
3. SCHEDULE FOR SHUTOFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES AS REQUIRED, TOGETHER WITH DETAILS FOR DUST AND NOISE PROTECTION.
4. CEASE OPERATIONS AND NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED.
5. PROVIDE PROTECTIVE MEASURES TO COMPLY WITH CHAPTER 33 OF THE FBC, AS REQUIRED TO GUARANTEE FREE AND SAFE PASSAGE TO AND FROM THE DIFFERENT AREAS OF THE BUILDING.
6. CUT, REMOVE, REFINISH EXISTING CONSTRUCTION AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION.
7. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTING. BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON PROJECT SITE.
8. CONTRACTOR SHALL TAKE ALL PRECAUTIONS REQUIRED TO PROTECT ALL CONCEALED UTILITIES. HE IS TO INSPECT CEILING AND CHASES TO ASSURE PROPER IDENTIFICATION OF UTILITIES PRIOR TO CUTTING.
9. OPENINGS LEFT THROUGH RATED AND SMOKE PARTITIONS DUE TO REMOVAL OF DUCTWORK AND/ OR CONDUITS SHALL BE CLOSED (BOTH SIDES) AS REQUIRED TO MAINTAIN DESIGNATED RATING.
10. CONTRACTOR SHALL SAW-CUT ALL OPENINGS IN CONCRETE BLOCK WALLS. CONTRACTOR SHALL NOT DEMOLISH OPENINGS WITH SLEDGE HAMMER UNTIL ALL PERIMETER LINES HAVE BEEN CUT.
11. DEMOLITION WORK IS DENOTED BY DASHED LINES.
12. PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING, PATCHING WORK, DUST, FUMES, ETC.
13. PROTECT SURROUNDED TREES NEAR CONST. AS FOLLOW
PROVIDE 6'-8" IN DIA. AND 10'-12" BARRIERS AROUND TREES
18" IN DIA. OR GREATER.
14. CONTRACTOR TO FOLLOW ALL RECOMENDATIONS PRESCRIBED ON THE SOIL REPORT REGARDING REMOVAL AND DISPOSAL OF EXISTING FILL

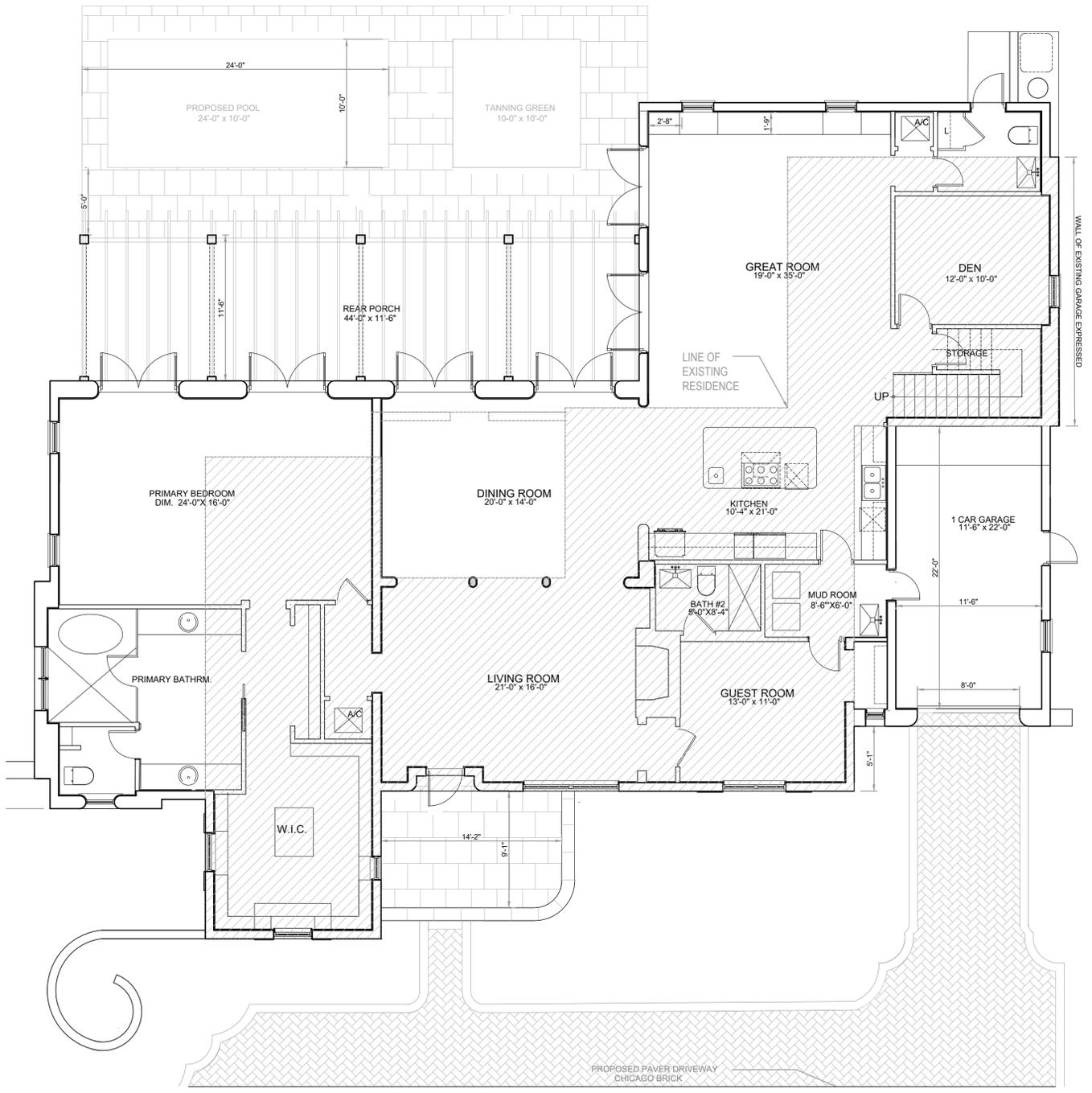


Demolition plan 1/8" = 1'-0"



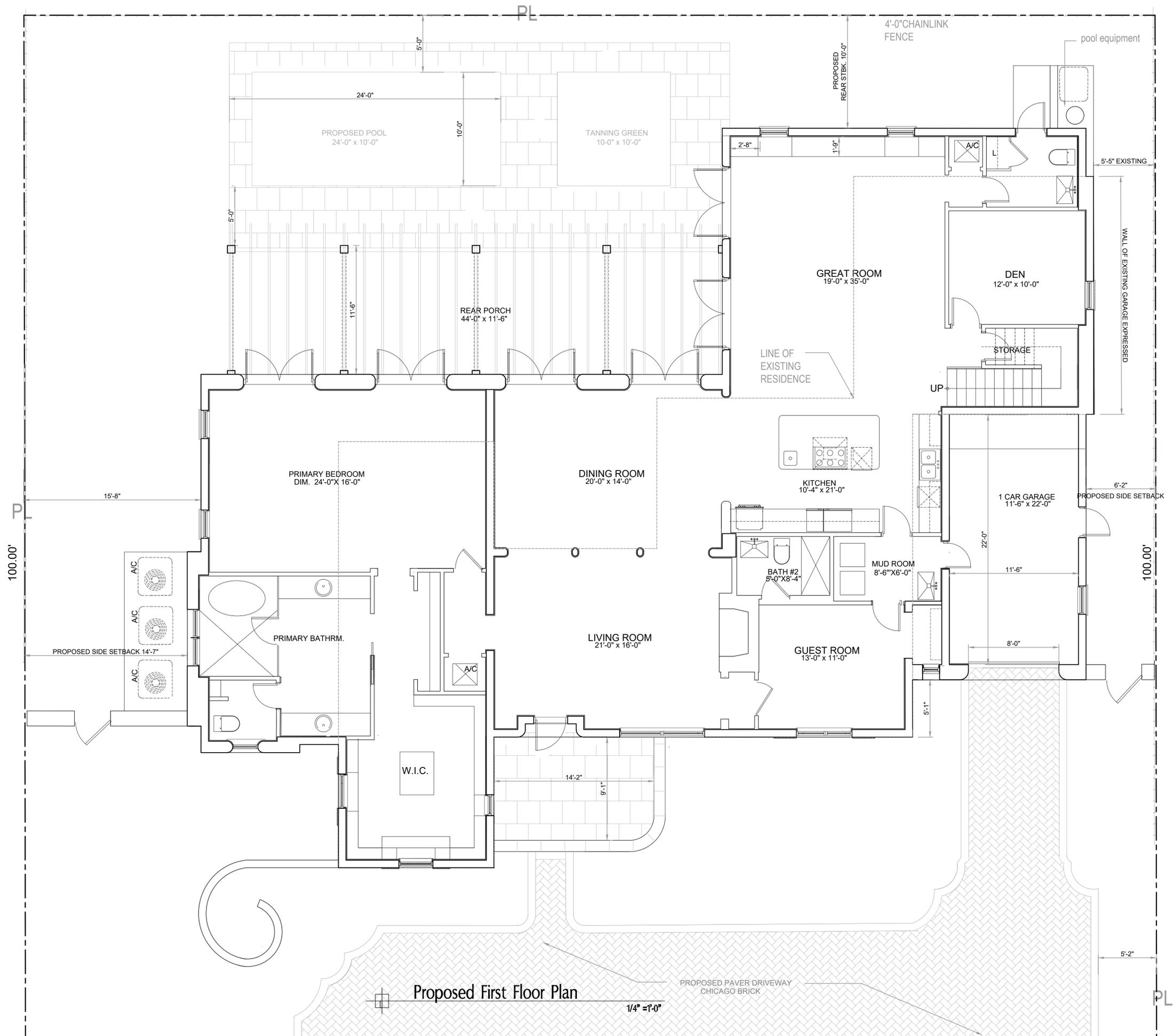
Existing First Floor Plan

3/16" = 1'-0"



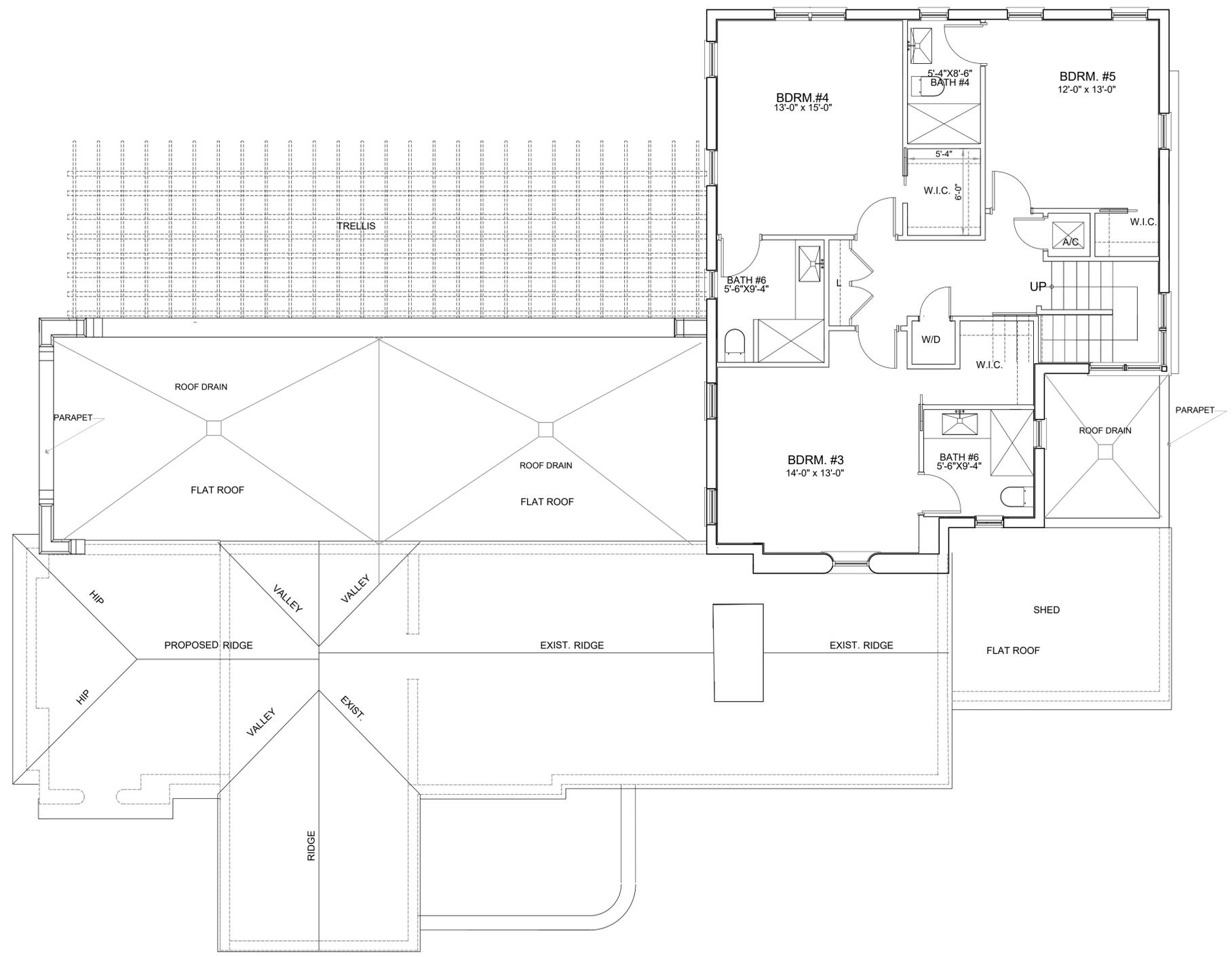
Proposed First Floor Plan

3/16" = 1'-0"



Proposed First Floor Plan

1/4" = 1'-0"



RESTORATION AND ADDITION
628 ALCAZAR
CORAL GABLES, FL, 33146

SEAL:

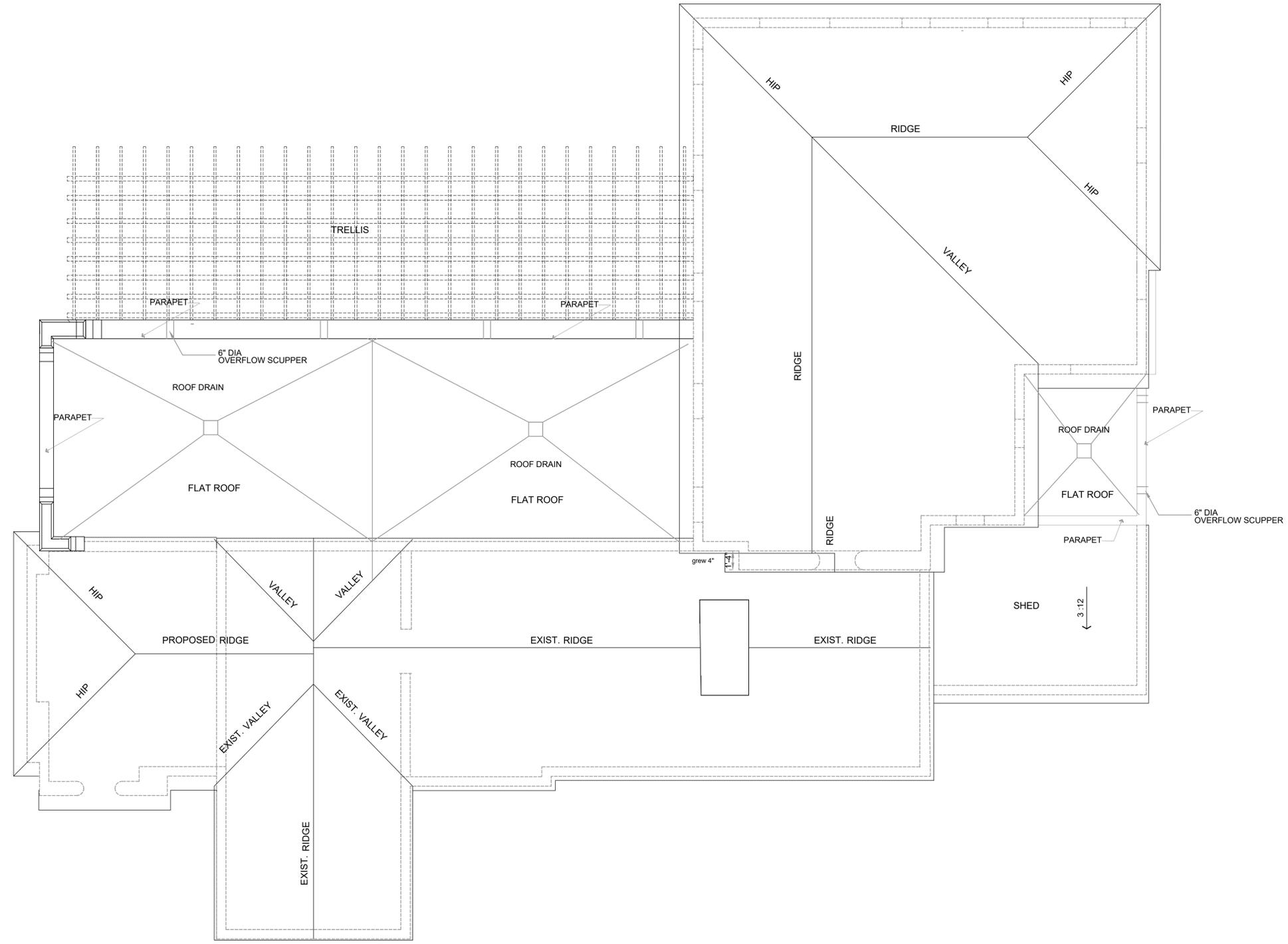
SECOND FLOOR PLANS

SITE PLAN
DATE :
SCALE : AS SHOWN
DRAWN : ID
CHECK BY: PK
JOB NO. :

A-107

SHEET NO. :

Proposed Second Floor
1/4" = 1'-0"



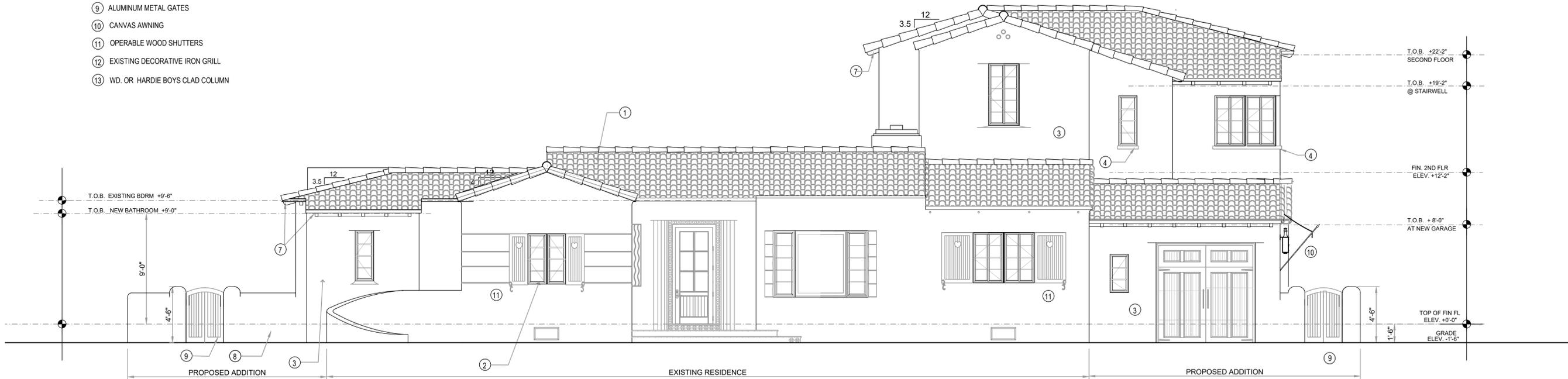
Proposed Roof Plan
1/4" = 1'-0"



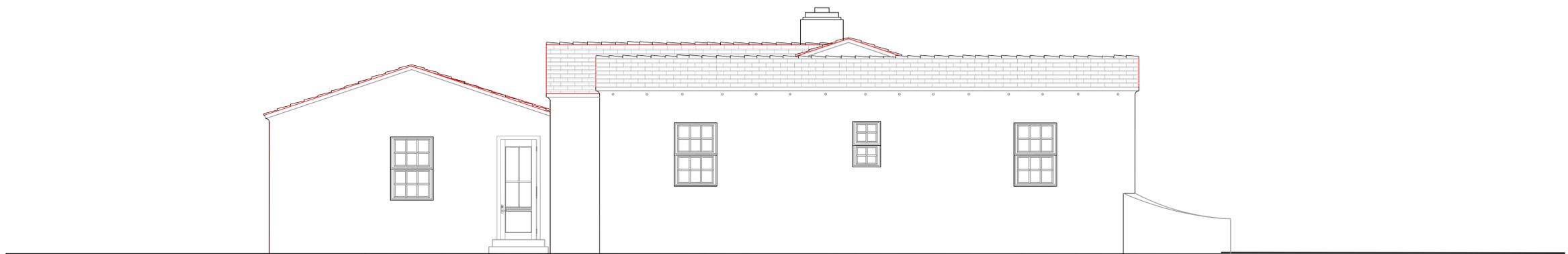
Existing Front Elevation
1/4" = 1'-0"

LEGEND

- ① CAP AND PAN BARREL TILE ROOF
- ② CASEMENT IMPACT WINDOWS THROUGHOUT HIGH PROFILE MUNITINS WHITE FRAMES CLEAR GLASS
- ③ STEEL TROWELED SEMI SMOOTH STUCCO FIN. NO CORNER BEADS THROUGHOUT
- ④ CAST IN PLACE CONCRETE SILL
- ⑤ WOOD TRELLIS
- ⑥ IMPACT RESISTANT FRENCH DOORS
- ⑦ EXPOSED WOOD RAFTER
- ⑧ LOW MASONRY WALL
- ⑨ ALUMINUM METAL GATES
- ⑩ CANVAS AWNING
- ⑪ OPERABLE WOOD SHUTTERS
- ⑫ EXISTING DECORATIVE IRON GRILL
- ⑬ WD. OR HARDIE BOYS CLAD COLUMN



Proposed Front Elevation
1/4" = 1'-0"



Existing East Elevation (right) 1/4" = 1'-0"

LEGEND

- ① CAP AND PAN BARREL TILE ROOF
- ② CASEMENT IMPACT WINDOWS THROUGHOUT HIGH PROFILE MUNTINS WHITE FRAMES CLEAR GLASS
- ③ STEEL TROWELED SEMI SMOOTH STUCCO FIN. NO CORNER BEADS THROUGHOUT
- ④ CAST IN PLACE CONCRETE SILL
- ⑤ WOOD TRELLIS
- ⑥ IMPACT RESISTANT FRENCH DOORS
- ⑦ EXPOSED WOOD RAFTER
- ⑧ LOW MASONRY WALL
- ⑨ ALUMINUM METAL GATES
- ⑩ CANVAS AWNING
- ⑪ OPERABLE WOOD SHUTTERS
- ⑫ EXISTING DECORATIVE IRON GRILL
- ⑬ WD. OR HARDIE BOYS CLAD COLUMN



Proposed East Elevation 1/4" = 1'-0"

RESTORATION AND ADDITION
 628 ALCAZAR
 CORAL GABLES, FL, 33146

SEAL:

EAST ELEVATIONS

DATE: AS SHOWN
 DRAWN: ID
 CHECK BY: PK
 JOB NO.:

A-201

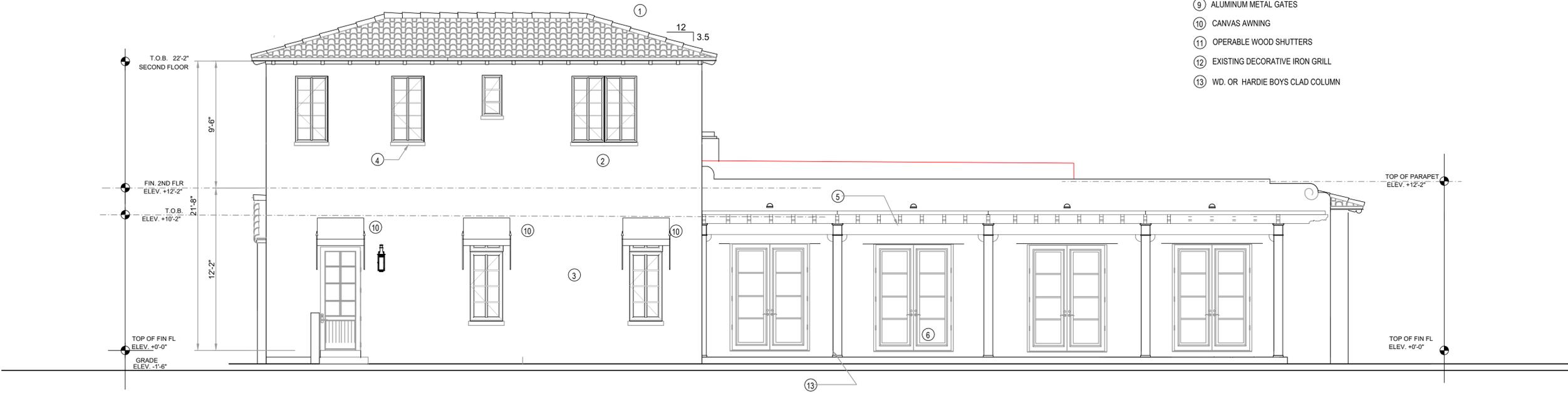
SHEET NO.:



Existing Rear Elevation
 1/4" = 1'-0"

LEGEND

- ① CAP AND PAN BARREL TILE ROOF
- ② CASEMENT IMPACT WINDOWS THROUGHOUT HIGH PROFILE MUNTINS WHITE FRAMES CLEAR GLASS
- ③ STEEL TROWELED SEMI SMOOTH STUCCO FIN. NO CORNER BEADS THROUGHOUT
- ④ CAST IN PLACE CONCRETE SILL
- ⑤ WOOD TRELLIS
- ⑥ IMPACT RESISTANT FRENCH DOORS
- ⑦ EXPOSED WOOD RAFTER
- ⑧ LOW MASONRY WALL
- ⑨ ALUMINUM METAL GATES
- ⑩ CANVAS AWNING
- ⑪ OPERABLE WOOD SHUTTERS
- ⑫ EXISTING DECORATIVE IRON GRILL
- ⑬ WD. OR HARDIE BOYS CLAD COLUMN



Proposed Rear Elevation
 1/4" = 1'-0"

RESTORATION AND ADDITION
 628 ALCAZAR
 CORAL GABLES, FL, 33146

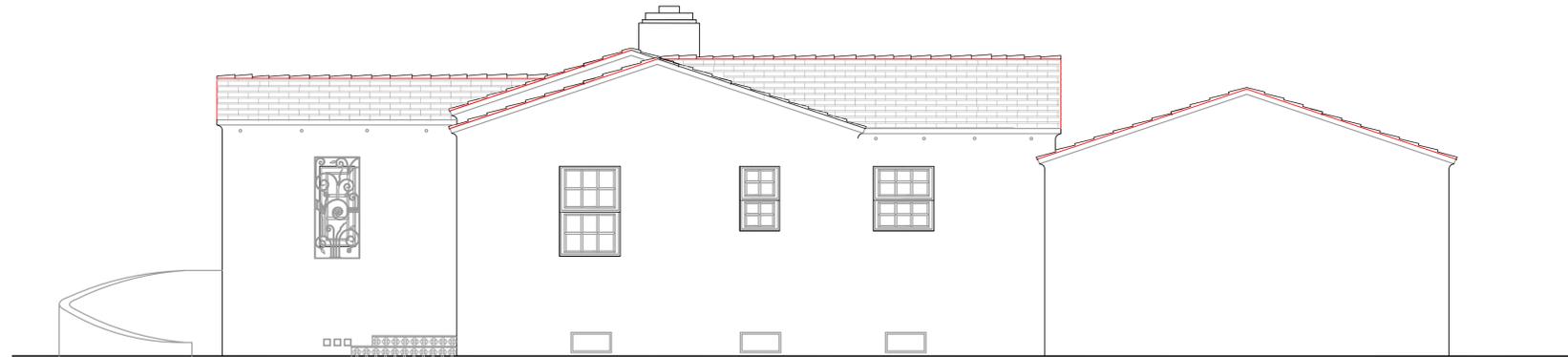
SEAL:

REAR ELEVATION

DATE : AS SHOWN
 DRAWN : ID
 CHECK BY: PK
 JOB NO. :

A-202

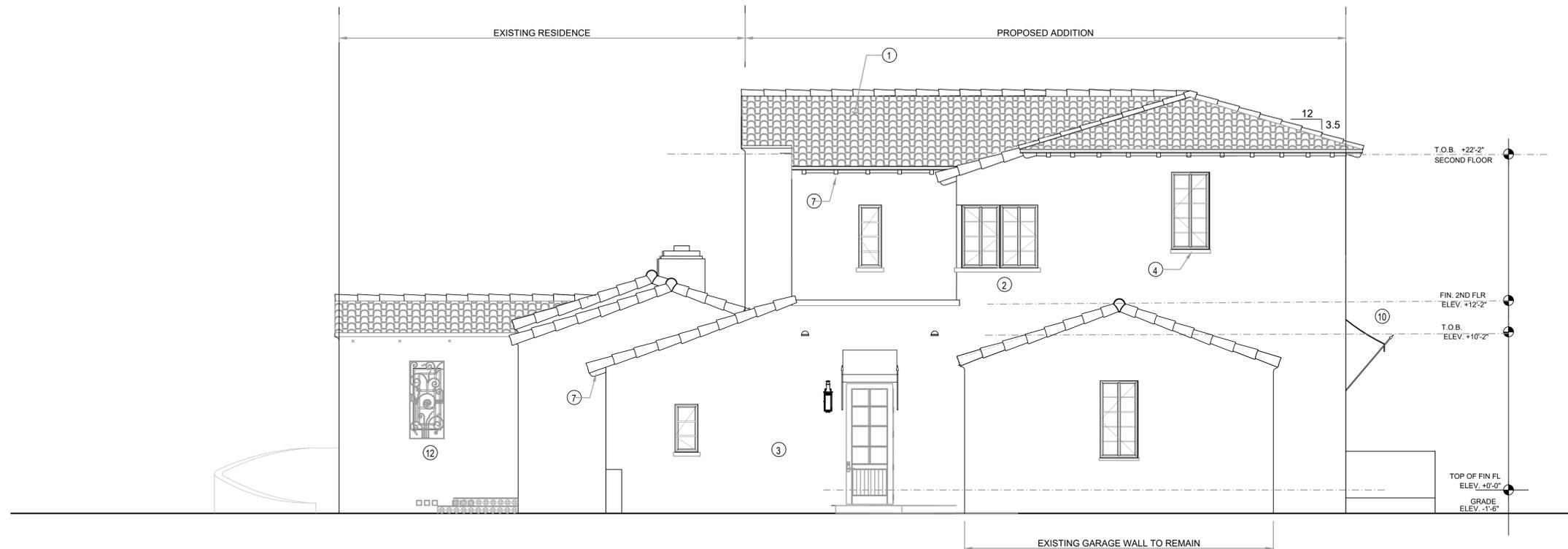
SHEET NO. :



Existing West Elevation
1/4" = 1'-0"

LEGEND

- ① CAP AND PAN BARREL TILE ROOF
- ② CASEMENT IMPACT WINDOWS THROUGHOUT HIGH PROFILE MUNTINS WHITE FRAMES CLEAR GLASS
- ③ STEEL TROWELED SEMI SMOOTH STUCCO FIN. NO CORNER BEADS THROUGHOUT
- ④ CAST IN PLACE CONCRETE SILL
- ⑤ WOOD TRELLIS
- ⑥ IMPACT RESISTANT FRENCH DOORS
- ⑦ EXPOSED WOOD RAFTER
- ⑧ LOW MASONRY WALL
- ⑨ ALUMINUM METAL GATES
- ⑩ CANVAS AWNING
- ⑪ OPERABLE WOOD SHUTTERS
- ⑫ EXISTING DECORATIVE IRON GRILL
- ⑬ WD. OR HARDIE BOYS CLAD COLUMN



Proposed West Elevation
1/4" = 1'-0"

ADDITION AND REMODELING
628 ALCAZAR
CORAL GABLES, FL, 33146

SEAL:

SECTIONS

DATE : 2018-11-05
SCALE : AS SHOWN
DRAWN : ID
CHECK BY: PK
JOB NO. :

A-203

SHEET NO. :



PROPOSED FRONT VIEW



PROPOSED FRONT ELEVATION

PASCUAL
PEREZ
KILIDDJIAN
STARR

& ASSOCIATES
ARCHITECTS - PLANNERS
LICENSE # AA 26001357

PETER KILIDDJIAN, RA
LICENSE No. : AR 0093067

AT THE BEACON CENTER
1300 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE : (305) 726-3748

COPYRIGHT PASCUAL PEREZ KILIDDJIAN & ASSOCIATES ARCHITECTS - PLANNERS. The architectural design and detail drawings of this building and/or several project are the legal property of, and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

REVISIONS:

OWNER:

RESTORATION AND ADDITION
628 ALCAZAR
CORAL GABLES, FL, 33146

SEAL:

DATE :
SCALE : AS SHOWN
DRAWN : ID
CHECK BY: PK
JOB NO. :

A-300

SHEET NO. :



PROPOSED FRONT VIEW



PROPOSED FRONT ELEVATION

PASCUAL
PEREZ
KILIDDJIAN
STARR

& ASSOCIATES
ARCHITECTS - PLANNERS
LICENSE # AA 26001357

PETER KILIDDJIAN, RA
LICENSE No. : AR 0093067

AT THE BEACON CENTER
1300 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE : (305) 726-3748

COPYRIGHT © PASCUAL PEREZ KILIDDJIAN & ASSOCIATES, ARCHITECTS - PLANNERS. The architectural design and detail drawings of this building and/or several project are the legal property of, and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

REVISIONS:

OWNER:

RESTORATION AND ADDITION
628 ALCAZAR
CORAL GABLES, FL, 33146

SEAL:

DATE : AS SHOWN
SCALE : ID
DRAWN : PK
CHECK BY:
JOB NO. :

A-301

SHEET NO. :



PROPOSED REAR VIEW



PROPOSED REAR ELEVATION

PASCUAL
PEREZ
KILIDDJIAN
STARR

& ASSOCIATES
ARCHITECTS - PLANNERS
LICENSE # AA 26001357

PETER KILIDDJIAN, RA
LICENSE No. : AR 0093067

AT THE BEACON CENTER
1300 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE : (305) 726-3748

COPYRIGHT © PASCUAL PEREZ KILIDDJIAN & ASSOCIATES, ARCHITECTS - PLANNERS. The architectural design and detail drawings of the building and/or several project are the legal property of, and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

REVISIONS:

OWNER:

RESTORATION AND ADDITION
628 ALCAZAR
CORAL GABLES, FL, 33146

SEAL:

DATE : AS SHOWN
SCALE : ID
DRAWN : PK
CHECK BY:
JOB NO. :

A-302

SHEET NO. :



PROPOSED EAST ELEVATION



PROPOSED WEST ELEVATION

PASCUAL
PEREZ
KILIDDJIAN
STARR

& ASSOCIATES
ARCHITECTS - PLANNERS
LICENSE # AA 26001357

PETER KILIDDJIAN, RA
LICENSE No. : AR 0093067

AT THE BEACON CENTER
1300 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE : (305) 726-3748

COPYRIGHT © PASCUAL PEREZ KILIDDJIAN & ASSOCIATES, ARCHITECTS - PLANNERS. The architectural design and detail drawings of this building and/or several project are the legal property of, and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

REVISIONS:

OWNER:

RESTORATION AND ADDITION
628 ALCAZAR
CORAL GABLES, FL, 33146

SEAL:

DATE :
SCALE : AS SHOWN
DRAWN : ID
CHECK BY: PK
JOB NO. :

A-303

SHEET NO. :