















418



# IRASTORZA RESIDENCE

418 Castania Avenue - Coral Gables, Florida 33146



## PACHECO ARCHITECTURE, PLLC.

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## CONSULTANTS:





REAR NEIGHBOR HOUSES



LEFT SIDE NEIGHBOR HOUSE

PROPERTY: 418 CASTANIA AVENUE

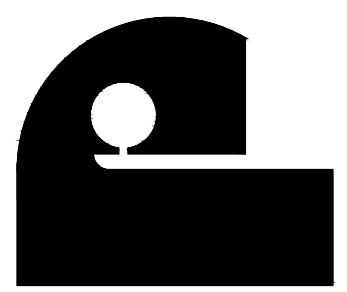
RIGHT SIDE NEIGHBOR HOUSE

CASTANIA AVENUE

FRONT NEIGHBOR HOUSES



CONTEXT IMAGES



Architect is the author and owner of all drawings and specifications and other documents, including those in electronic form, prepared by the Architect and the Architect's consultant and the Architect shall retain all common law, statutory and other reserved rights, including copyright for this project. The owner and/or others shall not use the Architect's drawings and specifications on other projects.

date	09-27-2021	revisions
issued		△
drawn	JF	△
checked	RP	△
project no.	2114	△

sheet no.





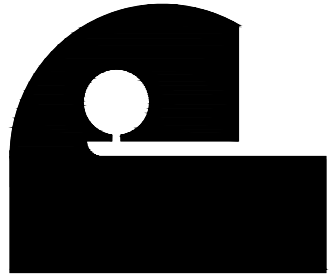
405 MARMORE AVENUE  
CORAL GABLES



6345 RIVIERA DR  
CORAL GABLES, FL 33146



CONTEXT PRECEDENTS



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NEW RESIDENCE FOR:

revisions

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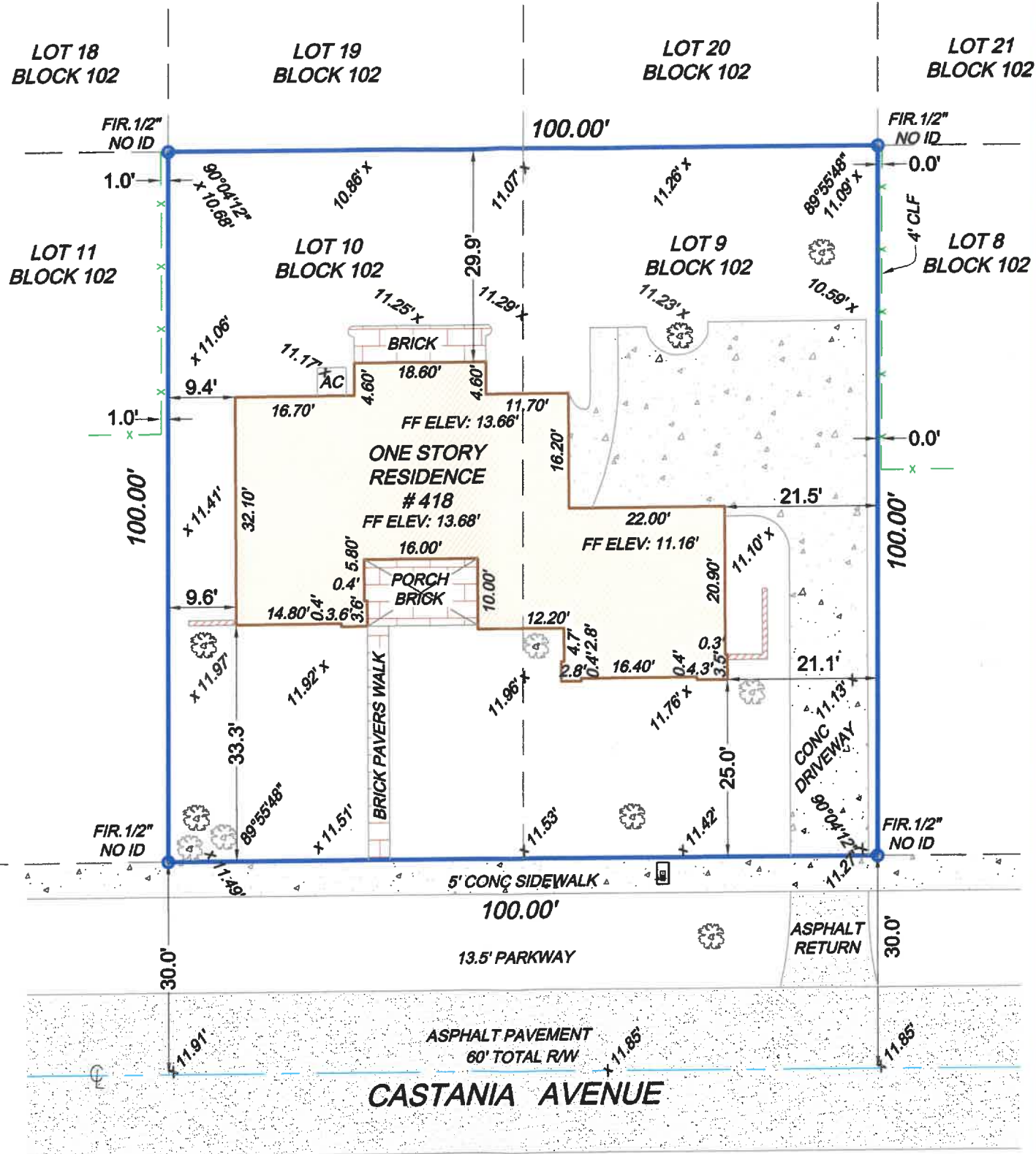


- GENERAL LEGEND:**
- BCR = BROWARD COUNTY RECORDS
  - BM = BENCHMARK
  - CB = CATCH BASIN
  - C/L = CENTERLINE
  - CLF = CHAINLINK FENCE
  - CLP = CONCRETE LIGHT POLE
  - CBS = CONCRETE BLOCK STRUCTURE
  - CONC = CONCRETE
  - C/S = CONCRETE SLAB
  - DE = DRAINAGE EASEMENT
  - D = DELTA (CENTRAL ANGLE)
  - E = EAST
  - ELE = ELEVATION
  - X 0.00' = EXISTING ELEVATION
  - EOP = EDGE OF PAVEMENT
  - EOW = EDGE OF WATER
  - FF = FINISHED FLOOR
  - FH = FIRE HYDRANT
  - FN = FOUND NAIL
  - INV = INVERT
  - FIP = FOUND IRON PIPE
  - FIR = FOUND IRON ROD
  - FND = FOUND NAIL AND DISC
  - L = ARC LENGTH
  - MDCR = MIAMI DADE COUNTY RECORDS
  - N = NORTH
  - N/D = NAIL AND DISC
  - MF = METAL FENCE
  - ORB = OFFICIAL RECORDS BOOK
  - O/S = OFFSET
  - PB = PLAT BOOK
  - PBCR = PALM BEACH RECORDS
  - PC = POINT OF CURVATURE
  - PG = PAGE
  - PL = PROPERTY LINE
  - POB = POINT OF BEGINNING
  - POC = POINT OF COMMENCEMENT
  - PVCF = PLASTIC FENCE
  - R = RADIUS
  - R/W = RIGHT OF WAY
  - S = SOUTH
  - SW = SIDEWALK
  - SIR = SET 1/2" IRON ROD
  - SND = SET NAIL & DISC
  - UE = UTILITY EASEMENT
  - UP = UTILITY POLE
  - W = WEST
  - W/F = WOOD FENCE
  - W/M = WATER METER

S.W. 42nd AVENUE

FIR. 1/2"  
NO ID  
BLOCK  
CORNER

200.00'




**LEGAL DESCRIPTION:**  
LOTS 9 AND 10, IN BLOCK 102, OF " REVISED PLAT  
CORAL GABLES RIVIERA SECTION PART 2 "  
ACCORDING TO THE PLAT THEREOF, AS RECORDED  
IN PLAT BOOK 28, PAGE 18, OF THE PUBLIC RECORDS  
OF MIAMI-DADE COUNTY, FLORIDA.

- SURVEYORS NOTES:**
- (1). ANGLES IF SHOWN ARE REFERENCED TO THE RECORD PLAT AND ARE AS MEASURED.
  - (2). LEGAL DESCRIPTION PROVIDED BY CLIENT UNLESS OTHERWISE NOTED.
  - (3). NO UNDERGROUND IMPROVEMENTS LOCATED EXCEPT AS SHOWN.
  - (4). THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT THEREFOR THE ONLY SURVEY MATTERS SHOWN ARE PER THE RECORD PLAT. THERE MAY BE ADDITIONAL MATTERS OF RECORD, NOT SHOWN WHICH CAN BE FOUND IN THE PUBLIC RECORDS OF THE CORRESPONDING COUNTY OF RECORD.
  - (5). THIS SURVEY IS FOR CONVEYANCE PURPOSES ONLY
  - (6). THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND/OR NEW DESIGN.
  - (7). NGVD = NATIONAL GEODETIC VERTICAL DATUM OF 1929  
THE FLOOD ZONE DATUM SHOWN BELOW IS REFERENCED TO XXXX

**CERTIFICATION OF BOUNDARY SURVEY:**

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF; THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 TO 17.052 FLORIDA ADINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

  
JULIO S. PITA, P.L.S. 10/15/2020  
DATE

PROFESSIONAL LAND SURVEYOR  
LICENSE No. PSM 5789  
STATE OF FLORIDA

**Boundary Survey**

**PROPERTY ADDRESS:**  
418 CASTANIA AVENUE,  
CORAL GABLES, FL., 33146

**FLOOD ZONE DATA:**  
ZONE: X N/A  
COMMUNITY #: 120639  
PANEL & SUFFIX: 0457 L  
DATE OF FIRM: 9/11/09

**REVISIONS:**

TREE LOCATIONS/ELEVATIONS

DATE:

02/15/2021

SCALE: 1" = 20'

CADD: I.C.

CHECKED BY: JSP

GL-11751

SHEET # 1 OF 1

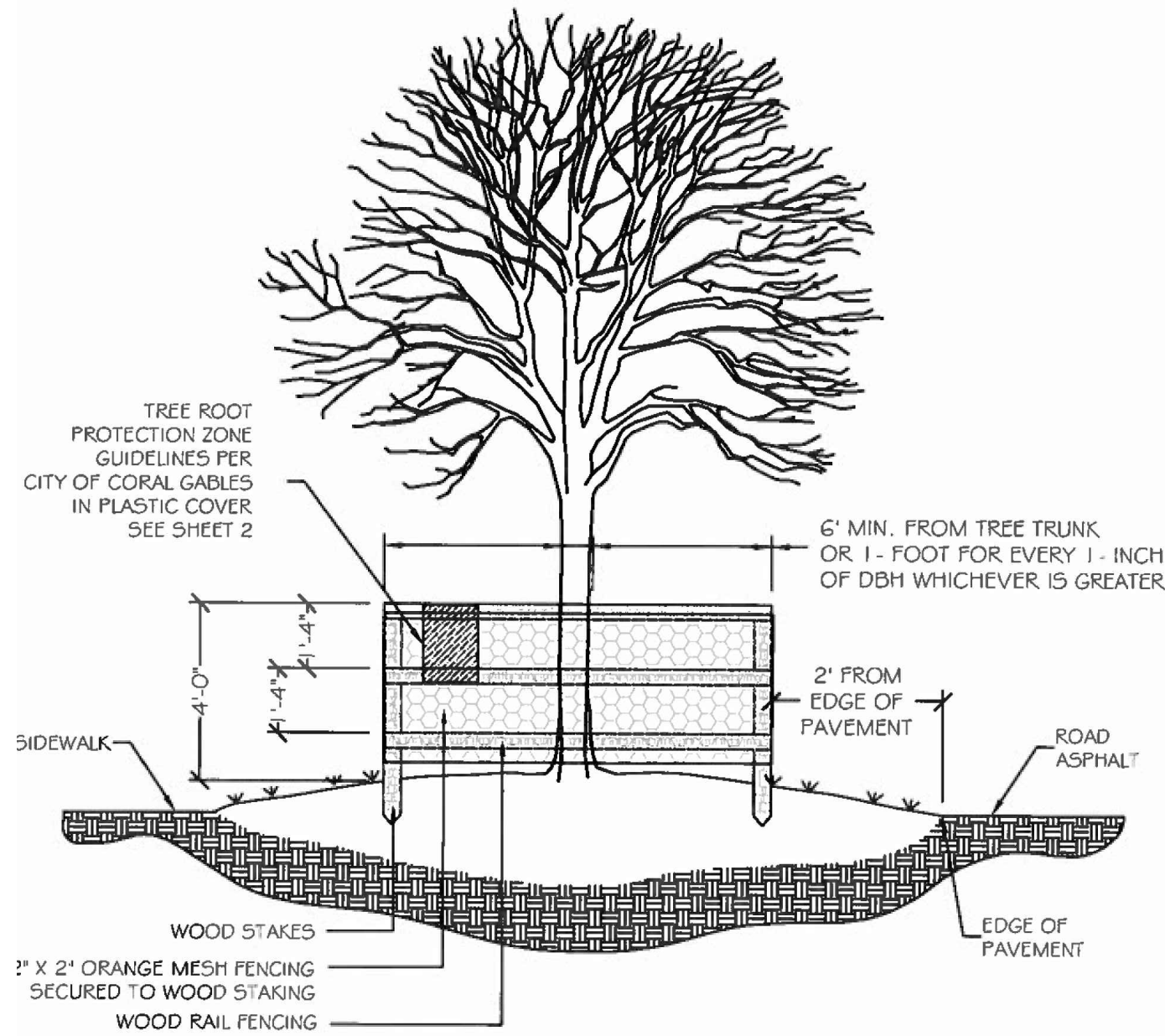
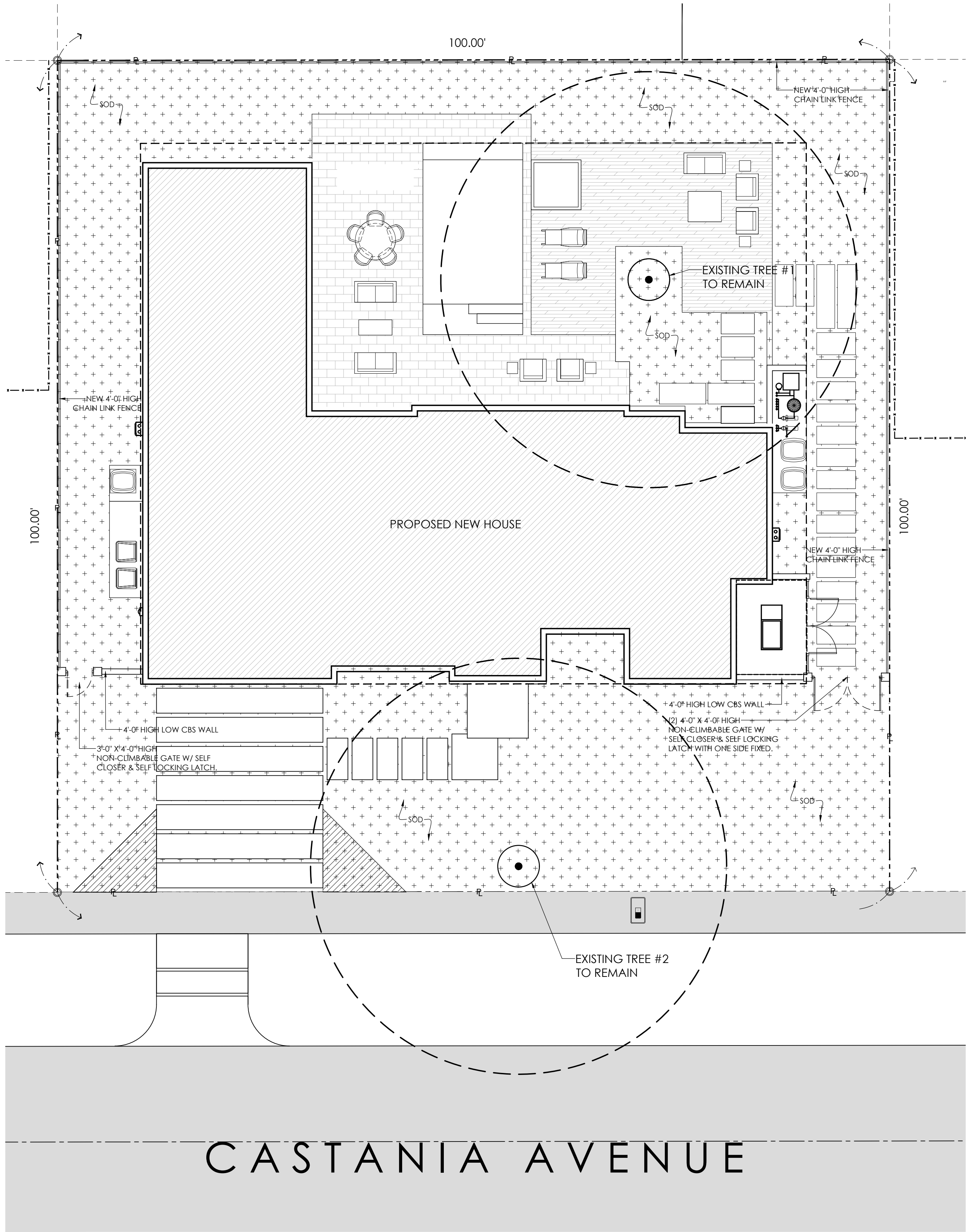
**CERTIFIED TO:**

JEAN PAUL IRASTORZA  
QUESADAS VALDES, PLLC  
OLD REPUBLIC NATIONAL TITLE INSURANCE CO.



**GAVY & ASSOCIATES, INC**  
**LAND SURVEYORS**  
LB # 6971  
2001 S.W. 67th AVENUE # 449  
MIAMI, FL. 33155  
PHONE: (786) 236-8344





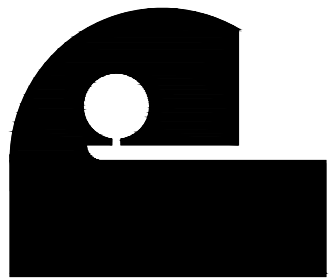
- NOTES**
- WOODEN STAKES (2"x4"x5' MIN.) ON 5' CENTERS - TO SUPPORT RAIL FENCING
  - BARRIER TO FORM A CONTINUOUS BARRIER AROUND THE TREE OR GROUP OF TREES
  - THREE ROWS OF RAIL FENCING (2"x4") SPACED EQUALLY TO BE PLACED AROUND ALL EXISTING TREES TO REMAIN
  - CONTRACTOR TO INSTALL PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES TO REMAIN - AT THE START OF THE PROJECT - FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT
  - CONTRACTOR SHALL TAKE EXTRA CARE DURING EARTHWORK AND UTILITY OPERATIONS TO PROTECT ALL EXISTING TREES - AND SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED DURING CONSTRUCTION.

### TREE PROTECTION DETAIL

NOT TO SCALE

ALL EXISTING TREES TO REMAIN

EXISTING TREE TABLE					
No.	TREE NAME	DIAMETER (feet)	HEIGHT (feet)	SPREAD (feet)	DISPOSITION
1	QUERCUS VIRGINIANA/ LIVE OAK	5'-0"	30'-0"	30'-0"	TO REMAIN
2	QUERCUS VIRGINIANA/ LIVE OAK	5'-0"	30'-0"	40'-0"	TO REMAIN



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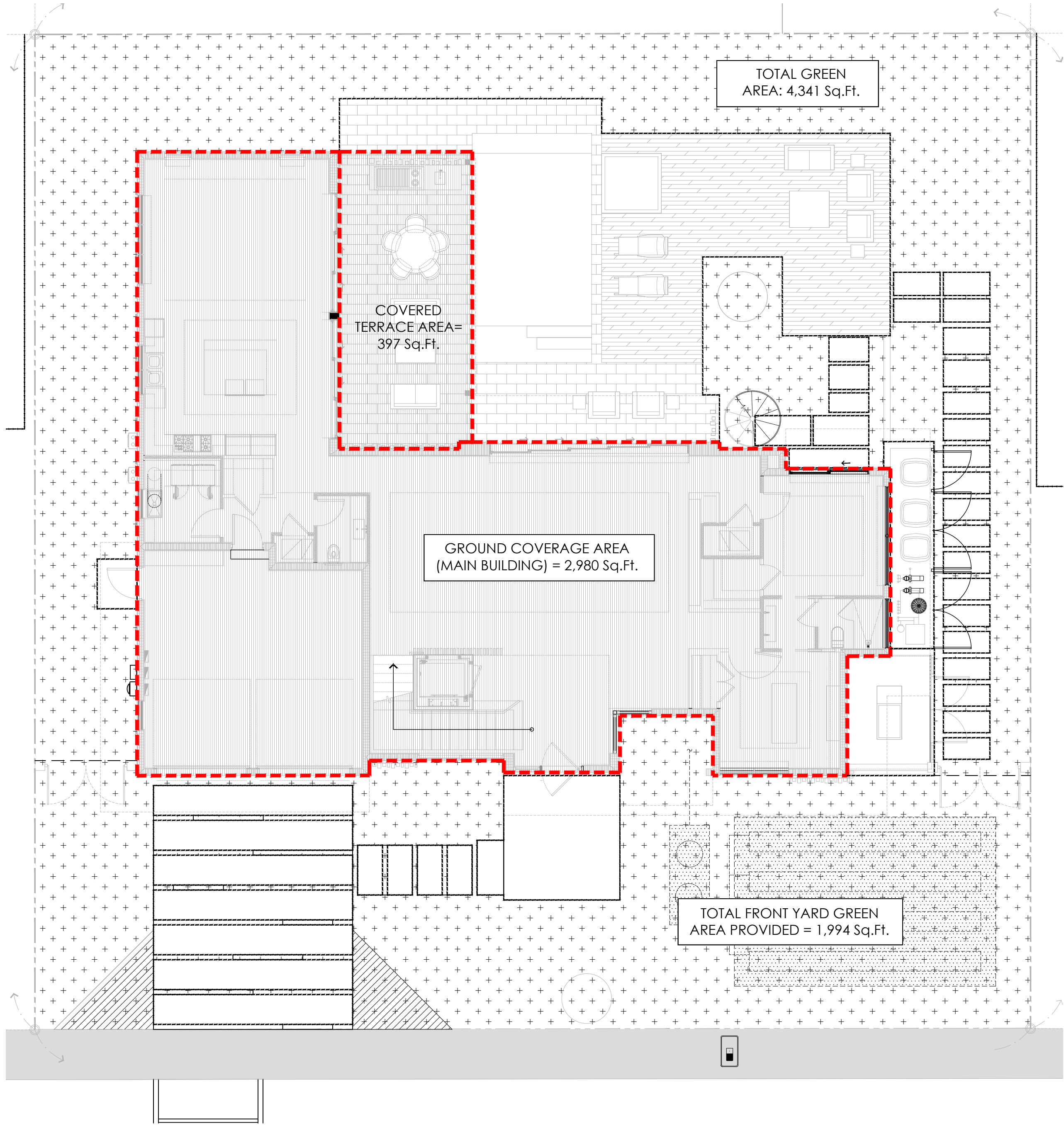
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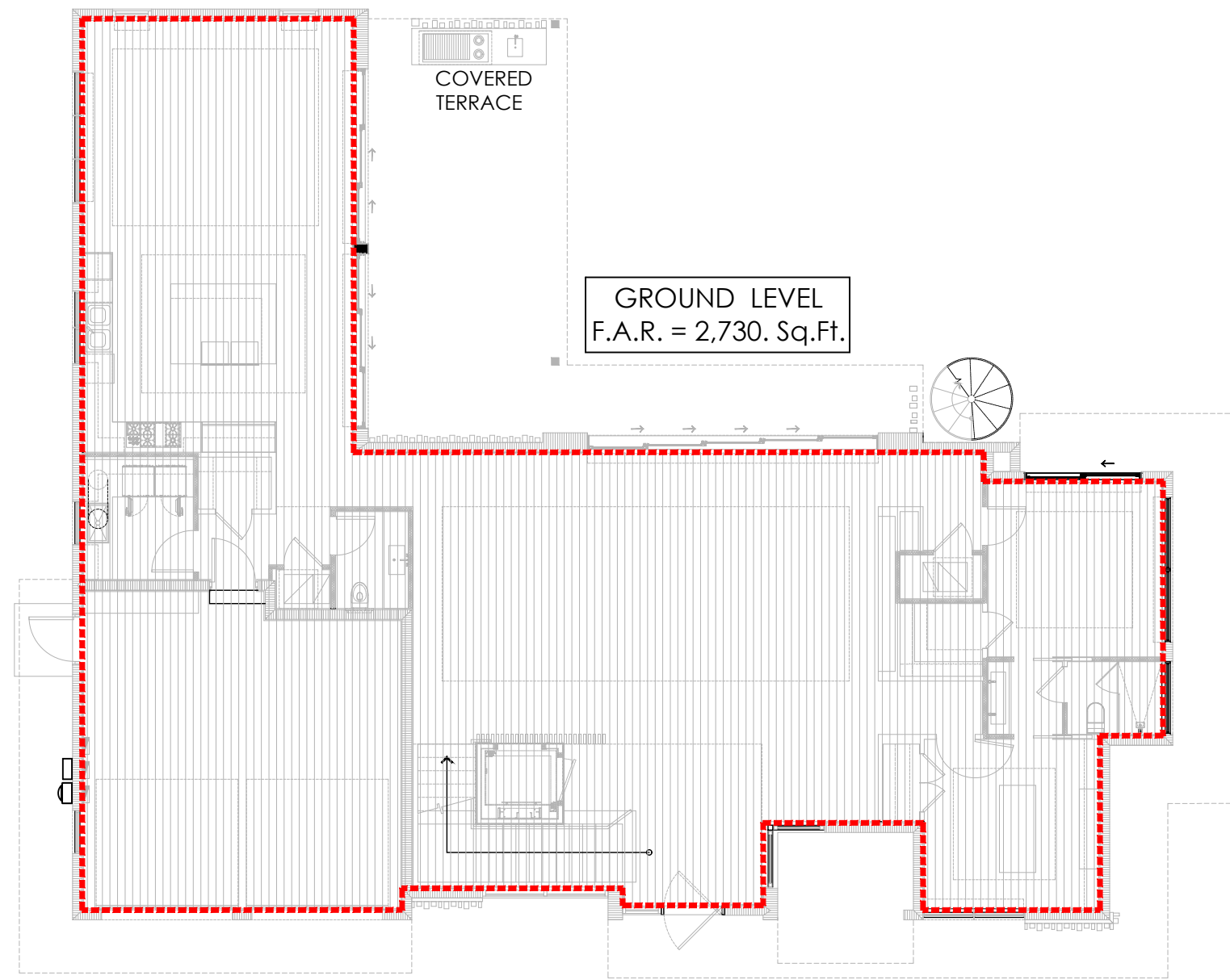
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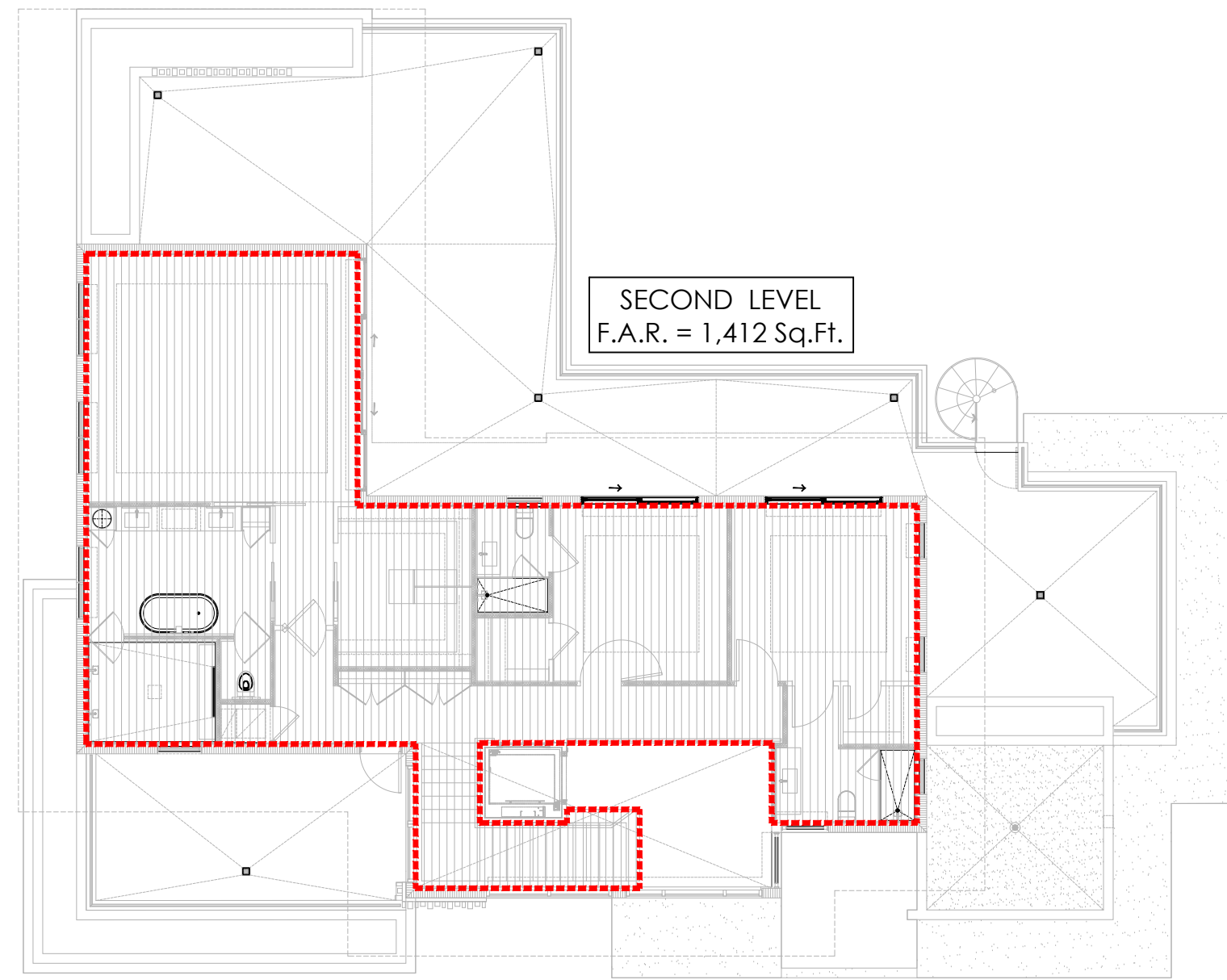
LOT COVERAGE / GREEN AREA CALCULATIONS

SCALE: 1/8"= 1'-0"



GROUND LEVEL F.A.R. CALCULATION

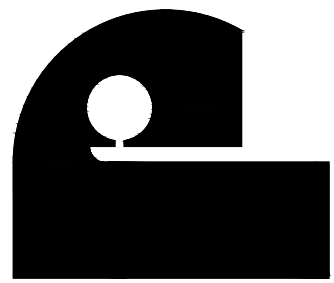
SCALE: 3/32"= 1'-0"



SECOND LEVEL F.A.R. CALCULATION

SCALE: 3/32"= 1'-0"

AREA COMPUTATIONS FOR CORAL GABLES			
SFR -SINGLE FAMILY RESIDENTIAL			
LOT COVERAGE			
LOT AREA =	10,000	SQ. FT.	
MAXIMUM MAIN BUILDING COVERAGE ALLOWED (35%)=	3,500	SQ. FT.	
MAIN BUILDING COVERAGE PROVIDED=	2,980	SQ. FT.	
MAXIMUM LOT COVERAGE ALLOWED (45%)=	4,500	SQ. FT.	
LOT COVERAGE PROVIDED=	3,377	SQ. FT.	
GREEN AREA CALCULATIONS			
MINIMUM GREEN AREA ALLOWED (40%)=	4,000	SQ. FT.	
GREEN AREA PROVIDED=	4,341	SQ. FT.	
MINIMUM FRONT YARD GREEN AREA ALLOWED(20% OF 40%)=	800	SQ. FT.	
FRONT YARD GREEN AREA PROVIDED=	1,994	SQ. FT.	
ALLOWED F.A.R.			
5,000 SQ. FT. @ 48%	2,400	SQ. FT.	
5,000 SQ. FT. @ 35%	1,750	SQ. FT.	
	BASE F.A.R. ALLOWED=	4,150	SQ. FT.
RESIDENCE SQUARE FOOTAGE F.A.R.			
FIRST FLOOR F.A.R. AREA:	2,730	SQ. FT.	
SECOND FLOOR F.A.R. AREA:	1,412	SQ. FT.	
TOTAL F.A.R. AREA PROVIDED	4,142	SQ. FT.	
NOTE FAR TABULATION PROVIDED PER ZONING CODE, ARTICLE 4, DIVISION 1, SINGLE FAMILY DISTRICT ITEMS (9) AND (10).			
GROSS SQUARE FOOTAGE:			
FIRST FLOOR A/C GROSS	2,466	SQ. FT.	
SECOND FLOOR A/C GROSS	1,715	SQ. FT.	
	TOTAL A/C AREA PROVIDED=	4,181	SQ. FT.
GARAGE AREA:	490	SQ. FT.	
TERRACES AREA:	1,237	SQ. FT.	
	TOTAL GROSS AREA=	5,908	SQ. FT.



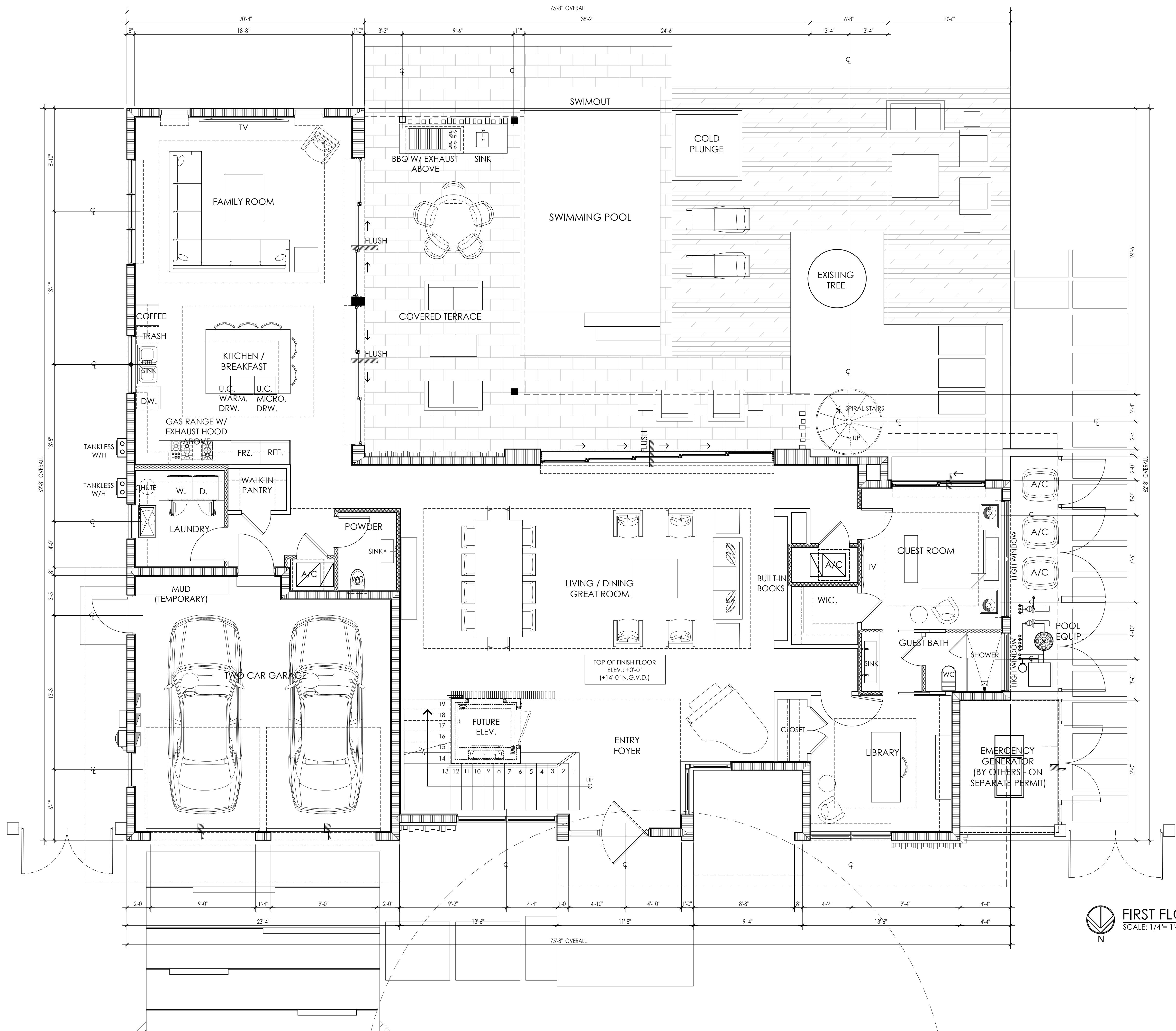
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revisions		date	
△	issued	09-27-2021	
△	drawn		JF
△	checked		RP
△	project no.		2114

sheet no.



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FIRST FLOOR PLAN  
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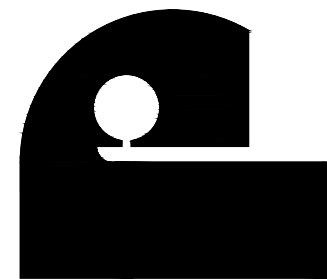
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project no.	2114

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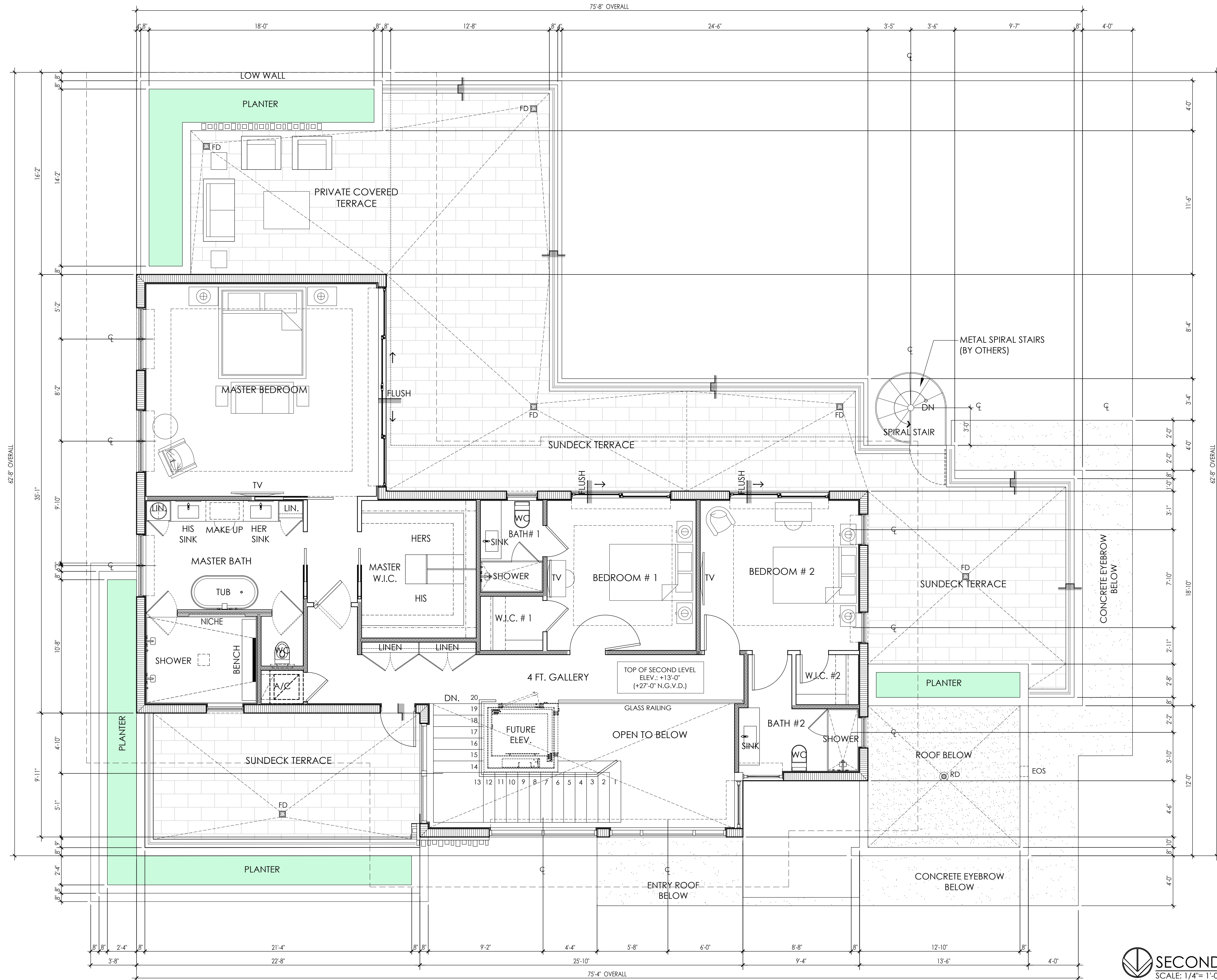
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 **SECOND FLOOR PLAN**  
SCALE: 1/4"= 1'-0"

date		revisions	
issued			
drawn	JF		
checked	RP		
project no.	2114		

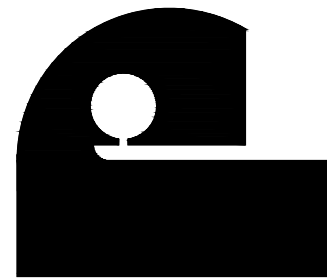
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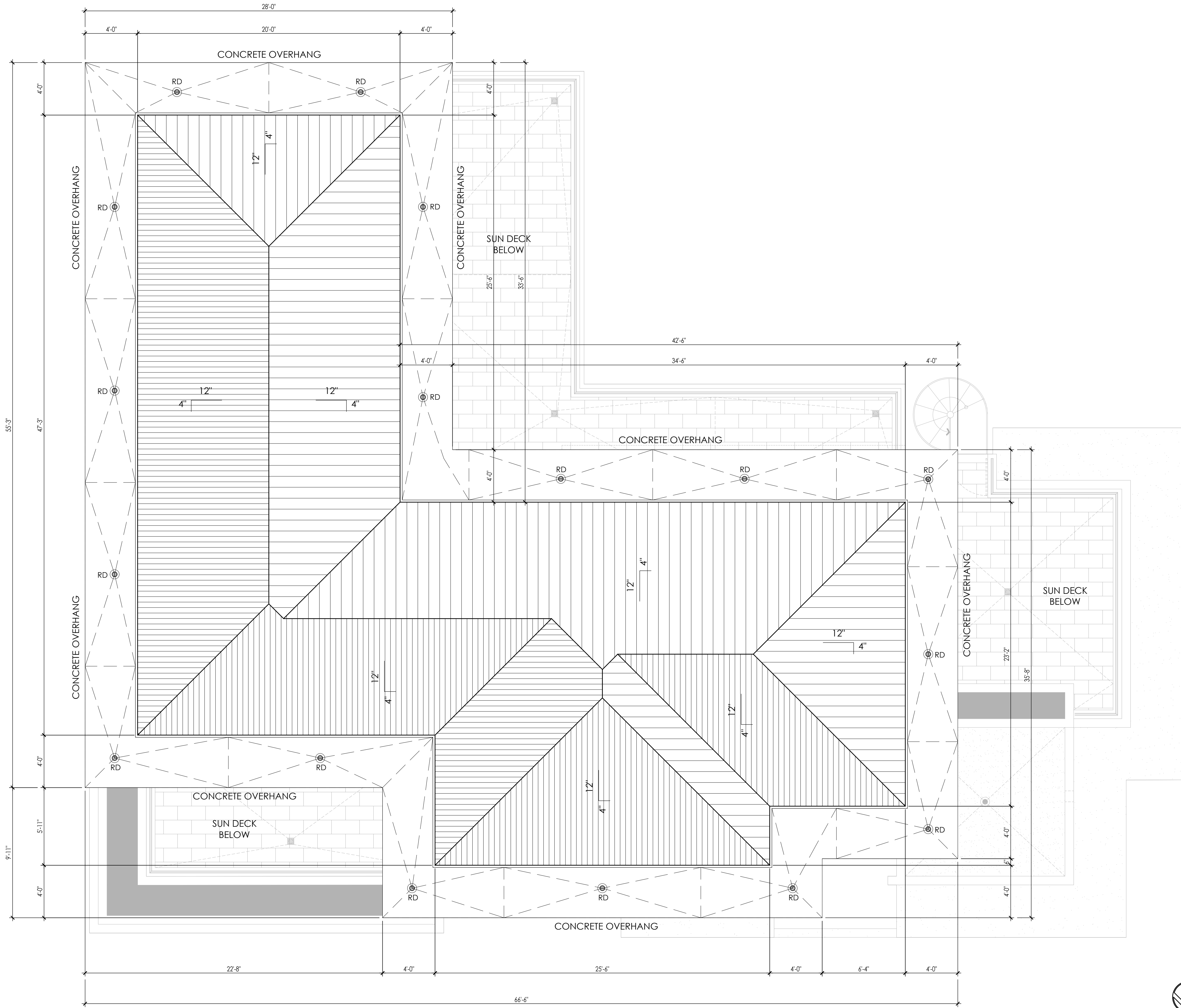
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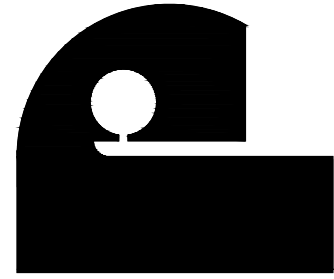
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





 **ROOF PLAN**  
SCALE: 1/4"= 1'-0"



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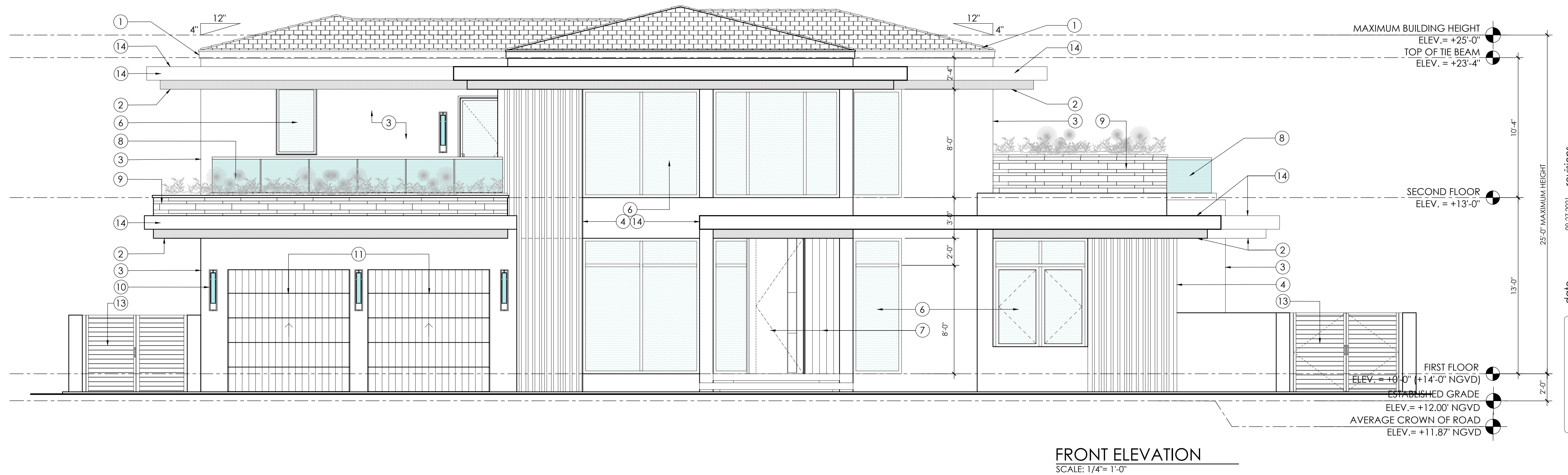
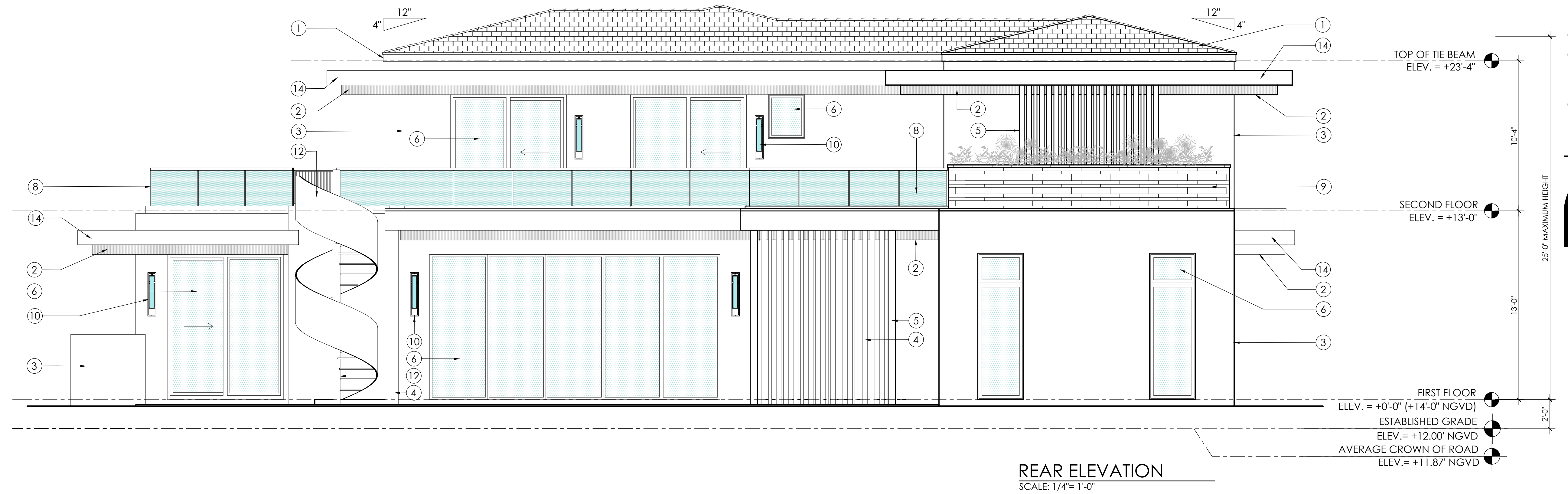
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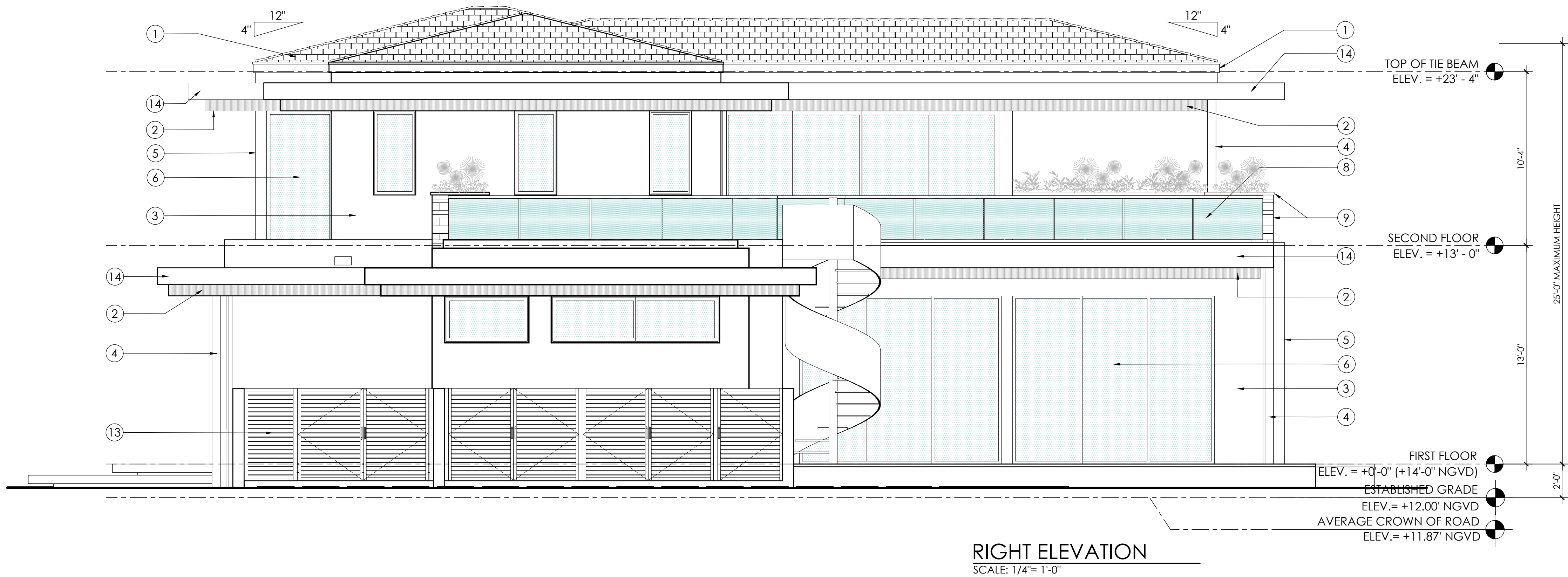
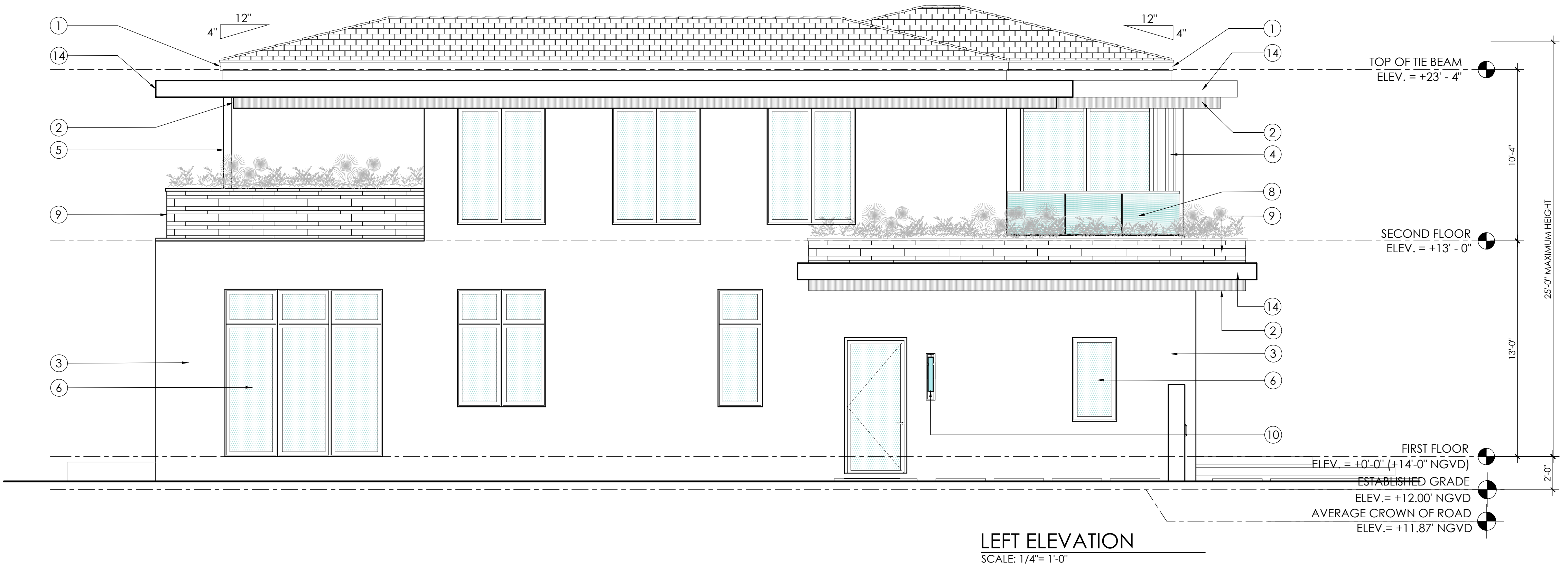
# FINISH LEGEND

- 1 DARK GREY FLAT CEMENT TILE ROOF, UNDER SEPARATE PERMIT BY ROOFING SUBCONTRACTOR W/ DARK BROWN CONTINUOUS GUTTER
- 2 ASHWOOD THERMOY T & G UNDERSIDES OF OVERHANGS (TYPICAL)
- 3 SMOOTH STUCCO FINISH (TYPICAL) PAINTED OFF-WHITE
- 4 ASHWOOD THERMOY WOOD SLATS - SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL
- 5 DARK BRONZE METAL CLAD WRAPPED STRUCTURAL COLUMNS
- 6 DARK BRONZE IMPACT RESISTANT WINDOW AND DOORS W/ IMPACT GLASS, UNDER SEPARATE PERMIT, SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL.
- 7 DARK BROWN WOOD MAIN ENTRY PIVOT DOOR, BY OTHERS - UNDER SEPARATE PERMIT (SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL)
- 8 IMPACT GLASS RAILINGS BY OTHERS, UNDER SEPARATE PERMIT (SUBMIT SHOP DRAWINGS FOR REVIEW)
- 9 STONE VENEER (SELECTED BY OWNER / ARCHITECT) W/ MATCHING STONE CAP (DARK GREY)
- 10 DARK BRONZE LIGHT FIXTURES (SELECTED BY OWNER / ARCHITECT)
- 11 DARK BRONZE METAL / IMPACT RESISTANT GARAGE DOORS, UNDER A SEPARATE PERMIT BY OTHERS (SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL)
- 12 DARK BRONZE METAL PRE-FABRICATED SPIRAL STAIRS, UNDER A SEPARATE PERMIT BY OTHERS (SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL)
- 13 DARK BRONZE METAL SIDE YARD GATES, UNDER SEPARATE PERMIT BY OTHERS (SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL)
- 14 CONCRETE EYE BROW.

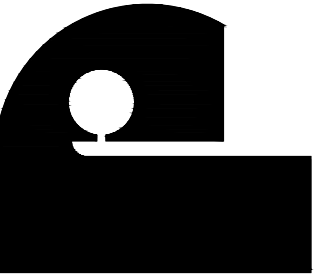




FINISH LEGEND	
①	DARK GREY FLAT CEMENT TILE ROOF. UNDER SEPARATE PERMIT BY ROOFING SUBCONTRACTOR W/ DARK BROWN CONTINUOUS GUTTER
②	ASHWOOD THERMORY T & G UNDERSIDES OF OVERHANGS (TYPICAL)
③	SMOOTH STUCCO FINISH (TYPICAL) PAINTED OFF-WHITE
④	ASHWOOD THERMORY WOOD SLATS - SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL
⑤	DARK BRONZE METAL CLAD WRAPPED STRUCTURAL COLUMNS
⑥	DARK BRONZE IMPACT RESISTANT WINDOW AND DOORS W/ IMPACT GLASS, UNDER SEPARATE PERMIT, SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL.
⑦	DARK BROWN WOOD MAIN ENTRY PIVOT DOOR, BY OTHERS - UNDER SEPARATE PERMIT (SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL)
⑧	IMPACT GLASS RAILINGS BY OTHERS, UNDER SEPARATE PERMIT (SUBMIT SHOP DRAWINGS FOR REVIEW)
⑨	STONE VENEER (SELECTED BY OWNER / ARCHITECT) W/ MATCHING STONE CAP (DARK GREY)
⑩	DARK BRONZE LIGHT FIXTURES (SELECTED BY OWNER / ARCHITECT)
⑪	DARK BRONZE METAL / IMPACT RESISTANT GARAGE DOORS, UNDER A SEPARATE PERMIT BY OTHERS (SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL)
⑫	DARK BRONZE METAL PRE-FABRICATED SPIRAL STAIRS, UNDER A SEPARATE PERMIT BY OTHERS (SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL)
⑬	DARK BRONZE METAL SIDE YARD GATES, UNDER SEPARATE PERMIT BY OTHERS (SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL)
⑭	CONCRETE EYE BROW.



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drawn	△
checked	△
project no.	2114

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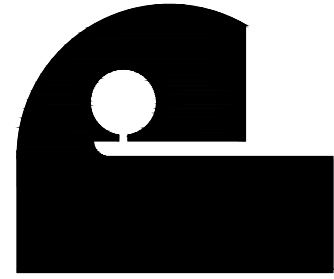
FRONT RENDERS



REAR RENDERS

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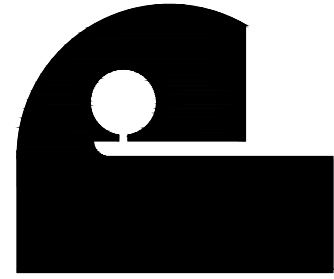
FRONT RENDERS



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