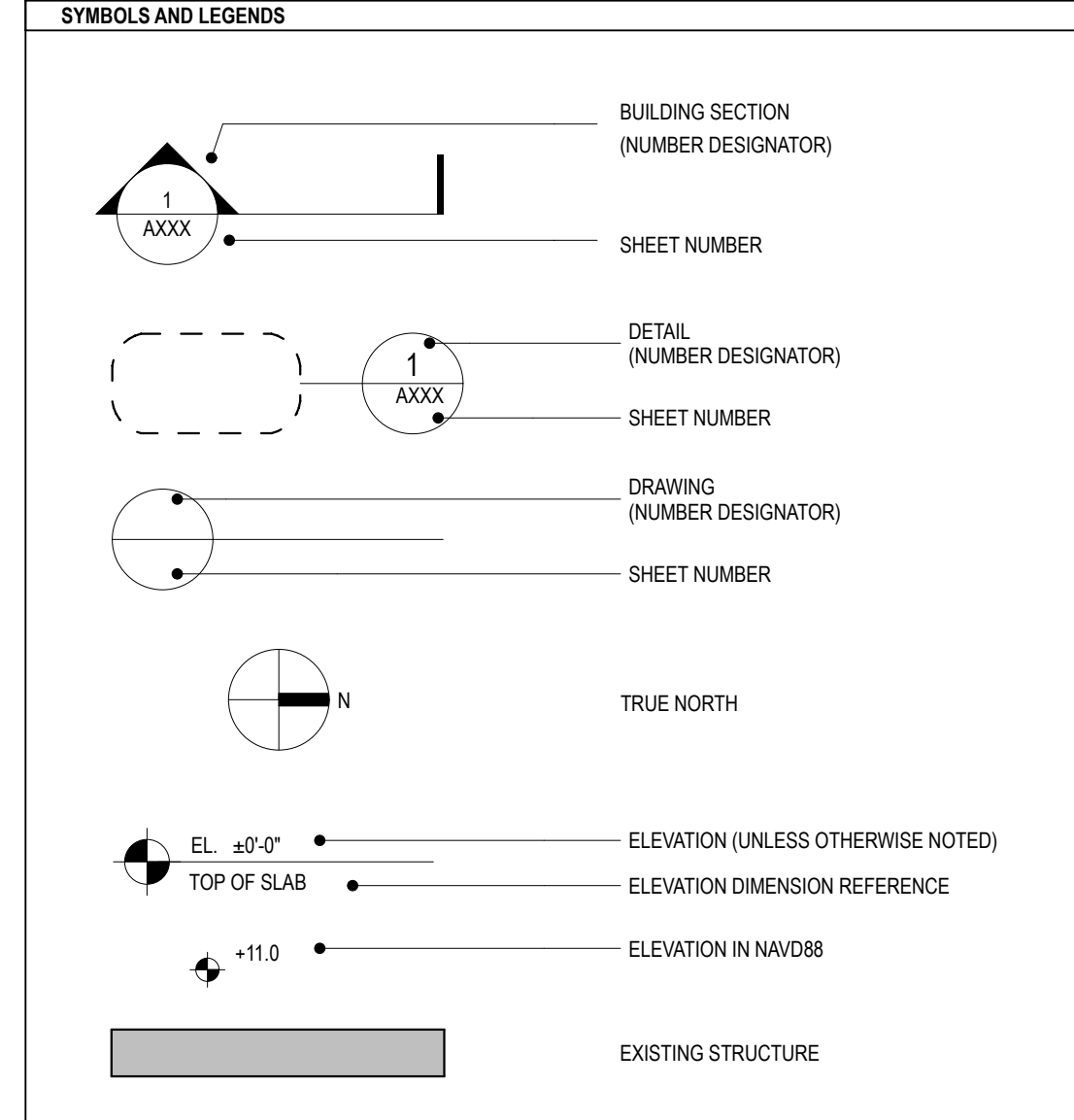




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ABBREVIATIONS	
AC	AIR CONDITION
ADA	AMERICANS WITH DISABILITY ACT
AFF	ABOVE FINISH FLOOR
AHU	AIR HANDLING UNIT
CLG	CEILING
CLR	CLEAR
DEMO	DEMOLISH/ DEMOLITION
EL	ELEVATION
ELEC	ELECTRICAL
FF	FINISH FLOOR
FLR	FLOOR
MEP	MECHANICAL, ELECTRICAL & PLUMBING ENGINEER
MTL	METAL
NAVD	NORTH AMERICAN VERTICAL DATUM
NGVD	NATIONAL GEODETIC VERTICAL DATUM OF 1929
RCP	REFLECTED CEILING PLAN
SDK	SIDEWALK
SF / SQFT	SQUARE FOOT
SI	SQUARE INCHES
TOS	TOP OF SLAB
TYP.	TYPICAL



- | GENERAL NOTES |  |
|---------------|--|
| 1.            | THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS TO COORDINATE WITH EXISTING BUILDING CONDITIONS. ANY VARIANCE OR DISCREPANCIES THAT ARISE FROM THE ABOVE REVIEW SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION. ALL DELAYS AND ADDITIONAL COST RESULTING FROM THE INCOMPLETE OR UNTIMELY SUBMISSION OF THE ABOVE REPORT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REMEDY.   |
| 2.            | ALL WORK MATERIAL AND INSTALLATION SHALL BE IN FULL CONFORMANCE WITH THE ADA AND LATEST FEDERAL, STATE AND LOCAL CODES, LAW AND ORDINANCES, INCLUDING THE MOST RECENT REVISIONS, ADDITIONS, AMENDMENTS, AND INTERPRETATIONS.   |
| 3.            | THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT FOR IMMEDIATE RESOLUTION ANY CODE VIOLATIONS, INCORRECT CONSTRUCTION, OR SAFETY PROBLEMS THAT ARE EXISTING FIELD CONDITIONS.  |
| 4.            | ALL EXISTING HAZARDOUS MATERIALS SHALL BE REPORTED TO OWNER/LANDLORD AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATES CODES. NO NEW OR EXISTING CONSTRUCTION SHALL CONTAIN HAZARDOUS OR PROHIBITED MATERIAL OF ANY KIND.  |
| 5.            | ALL DIMENSIONS ARE TO BE AS INDICATED ON THE DRAWINGS OR AS CLARIFIED BY THE ARCHITECT IN WRITING. UNDER NO CIRCUMSTANCES SHALL DIMENSIONS BE DETERMINED BY SCALING THE DRAWINGS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR PART OF AN EXISTING FIELD CONDITION.   |
| 6.            | DIMENSIONS ARE TO FACE OF FINISH, FACE OF COLUMN OR CENTERLINE OF WINDOW UNLESS OTHERWISE NOTED.   |
| 7.            | ALL CLEAR DIMENSIONS ARE TO BE WITHIN 1/8" (+/-) ALONG FULL HEIGHTS AND WIDTH OF WALLS. THE CONTRACTOR SHALL NOT ADJUST ANY DIMENSION MARKED "CLEAR" WITHOUT WRITTEN INSTRUCTION FROM THE ARCHITECT.   |
| 8.            | SCHEDULE ALL WORK IN COMPLIANCE WITH LOCAL ORDINANCES AND REQUIREMENTS.  |
| 9.            | REMOVE AND LAWFULLY DISPOSE OFF SITE ALL RUBBISH AND DEBRIS RESULTING FROM CONTRACTORS OPERATION DAILY. KEEP PROJECT AREA BROOM CLEAN.   |
| 10.           | COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF ELECTRICAL WORK. ESTABLISH ROUTING OF PIPING, WIRING, DUCTWORK AND CONDUIT PARALLEL WITH THE LINE OF THE BUILDING. UTILIZE SPACES EFFICIENTLY TO MAXIMIZE ACCESSIBILITY FOR OTHER INSTALLATION, MAINTENANCE, AND REPAIRS.  |
| 11.           | THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AREAS ADJACENT TO DEMOLITION AND NEW CONSTRUCTION FROM NOISE, DEBRIS AND DUST THROUGHOUT THE PERFORMANCE OF THE WORK.   |
| 12.           | THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL EXISTING FINISHES TO REMAIN, AND REPAIR ANY DAMAGES THAT OCCURS. PATCH AND FINISH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES. EXTEND PATCH TO THE NEAREST NATURAL BREAK POINT, INSIDE CORNER, EXISTING JOINT OR LOCATION APPROVED BY ARCHITECT. REPAIR FIREPROOFING ON FIRE RATED ASSEMBLIES TO MATCH EXISTING REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THE INTEGRITY OF ALL SCAFFOLDING, DUST BARRIERS, BARRICADES, BRACING, SHORING, AND STRUCTURAL SYSTEMS REQUIRED FOR THE INSTALLATION OF THE WORK.  |
| 13.           | THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, COORDINATION AND EXECUTION OF CONSTRUCTION METHODS AND PROCEDURES AND PROVIDE PROTECTION AS REQUIRED FOR SAFETY OF TENANTS, PEDESTRIANS AND JOB SITE PERSONNEL.  |
| 14.           | CONSTRUCTION OPERATIONAL PROCEDURES AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR INSOFAR AS THEY DO NOT PRESENT HAZARDS TO PERSONNEL OR PROPERTY OR INFRINGE ON WORK SCHEDULES FOR NORMAL SITE ACTIVITIES, OTHER CONTRACTORS, VENDORS AND THE BUILDING STANDARDS FOR CONSTRUCTION ACTIVITIES.  |
| 15.           | ALL WORK SHALL BE PLUMB, SQUARE, AND LEVEL, IN PROPER ALIGNMENT AND SECURELY FASTENED AS REQUIRED TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS.   |
| 16.           | TRANSPORT, DELIVER, HANDLE AND STORE MATERIALS AND EQUIPMENT AT THE JOB SITE IN SUCH A MANNER AS TO PREVENT DAMAGE, INCLUDING DAMAGE WHICH MIGHT RESULT FROM INTRUSION OF FOREIGN MATTER OR MOISTURE FROM ANY SOURCE. COMPLY WITH MATERIAL AND MANUFACTURER'S INSTRUCTIONS REGARDING TEMPERATURE LIMITATIONS AND OTHER ENVIRONMENTAL CONDITIONS WHICH ARE REQUIRED TO MAINTAIN THE ORIGINAL QUALITY OF MATERIALS AND EQUIPMENT.  |
| 17.           | THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF THE CONTRACT DOCUMENTS FOR RECORD MARK-UP PURPOSES THROUGHOUT THE CONTRACT TIME. MARK-UP THESE DRAWINGS DURING THE PROGRESS OF THE WORK TO DOCUMENT CHANGES AND ACTUAL INSTALLATION IN SUFFICIENT FORM TO COMPRISE AN ACCURATE AND COMPLETE RECORD FOR THE OWNER'S PURPOSES. GIVE PARTICULAR ATTENTION TO WORK WHICH WILL BE CONCEALED AND DIFFICULT TO MEASURE AND RECORD AT A LATER DATE, AND TO WORK WHICH MAY REQUIRE SERVICING OR REPLACEMENT DURING THE LIFE OF THE PROJECT. BIND PRINTS INTO MANAGEABLE SETS WITH DURABLE PAPER COVERS LABELED "AS-BUILT DRAWINGS" AND TRANSMIT TO OWNER. |
| 18.           | INSTALL ALL WORK PER MANUFACTURERS RECOMMENDATIONS.  |

- | GENERAL NOTES FOR PAINTING  |  |
|---|--|
| PROVIDE ALL PAINTING MATERIALS FROM ONE MANUFACTURER. ACCEPTABLE PAINT MANUFACTURER SHERWIN WILLIAMS OR APPROVED EQUAL. |  |
| A.  | EXTERIOR SURFACES PAINT SCHEDULE (PROVIDE A MINIMUM OF 4 COLORS AS SHOWN IN ELEVATIONS)<br>1. STUCCO WALLS:<br>1ST COAT ACRYLIC PRIMER-SEALER PIGMENTED.<br>2ND COAT ACRYLIC LATEX SEMI-GLOSS.<br>3RD COAT ACRYLIC LATEX SEMI-GLOSS.<br>2. METAL DOORS AND FRAMES:<br>1ST COAT FIELD APPLIED RUST INHIBITIVE PRIMER OVER SHOP PRIMER.<br>2ND COAT ACRYLIC LATEX ENAMEL.<br>3RD COAT ACRYLIC LATEX ENAMEL.<br>3. STUCCO CEILINGS:<br>1ST COAT ACRYLIC LATEX PRIMER.<br>2ND COAT ACRYLIC LATEX SEMI-GLOSS.<br>3RD COAT ACRYLIC LATEX SEMI-GLOSS. |
| B.  | INTERIOR AND EXTERIOR METALS PAINT SCHEDULE<br>1. GALVANIZED METAL: APPLY NEUTRALIZER AND ALLOW TO DRY THOROUGHLY.<br>1ST COAT GALVANIZED METAL PRIMER.<br>2ND COAT ACRYLIC LATEX ENAMEL.<br>3RD COAT ACRYLIC LATEX ENAMEL.<br>2. EXPOSED FERROUS METAL:<br>1ST COAT RUST INHIBITIVE PRIMER.<br>2ND COAT ACRYLIC LATEX ENAMEL.<br>3RD COAT ACRYLIC LATEX ENAMEL.   |

- | GENERAL NOTES FOR FINISHES |  |
|----------------------------|--|
| 1.                         | SUBMIT WITH FINISH SAMPLES, EVIDENCE OF COMPLIANCE WITH FIRE AND BUILDING CODES AND REGULATIONS IN RESPECT TO FLAME SPREAD, SMOKE AND RELATED AND APPURTENANT ITEMS, CONDUCT MATERIALS AND ASSEMBLIES TESTING AS APPLICABLE AND AS REQUIRED. |
| 2.                         | CONTRACTOR SHALL OBTAIN ALL REQUIRED PRODUCT APPROVALS.  |
| 3.                         | ALL FINISHES SHALL BE APPLIED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR THE PARTICULAR SURFACE.   |
| 4.                         | PRIOR TO APPLICATION OF PAINT, ALL WALLS SHALL BE PREPARED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS.  |

- | SHOP DRAWING SCHEDULE   |                |
|---|----------------|
| THE FOLLOWING SCHEDULE OF "ENGINEERED" SHOP DRAWINGS TO BE SUBMITTED BY THE GENERAL CONTRACTOR TO THE ARCHITECT AND BUILDING DEPARTMENT. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE OTHER SHOP DRAWINGS REQUIRED BY THE BUILDING DEPARTMENT AND ANY OTHER AUTHORITY HAVING JURISDICTION. |                |
| 1.  | ROOFING SYSTEM |

### SHEET INDEX:

Layout ID	Layout Name	Ba	PERMIT	REV 01
A000	COVER SHEET	06.16.22	X	R
A001	SITE PHOTOS		X	U
EX100	EXISTING SITE PLAN WITH DEMO			X
EX200	EXISTING ELEVATIONS WITH DEMO			X
EX300	EXISTING ENLARGED PATIO W/ DEMO			X
A100	SITE PLAN	X	U	R
A200	ELEVATIONS	X	U	R
A300	ENLARGED PATIO PLAN	X	R	U
A400	MATERIAL & MASSING	X	U	U
S100	STRUCTURAL DETAILS		X	U
E100	ELECTRICAL PLANS		X	R

X = NEW  
 R = REVISED SHEET  
 U = RESUBMITTED UNREVISED SHEET  
 D = DELETED SHEET



### ARCHITECT

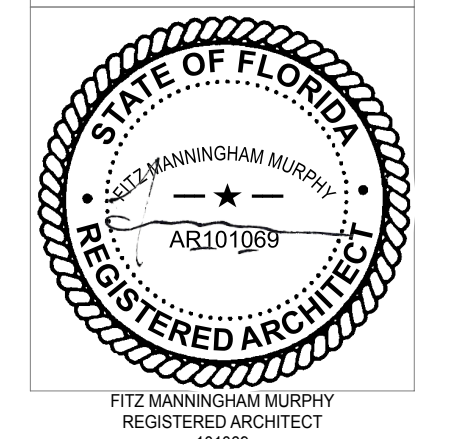


3434 MCKINLEY STREET | HOLLYWOOD, FL 33021  
 T. 954.631.8371  
 HTTP://WWW.SENGAARCHITECTURE.COM

### SENGA ARCHITECTURE LLC

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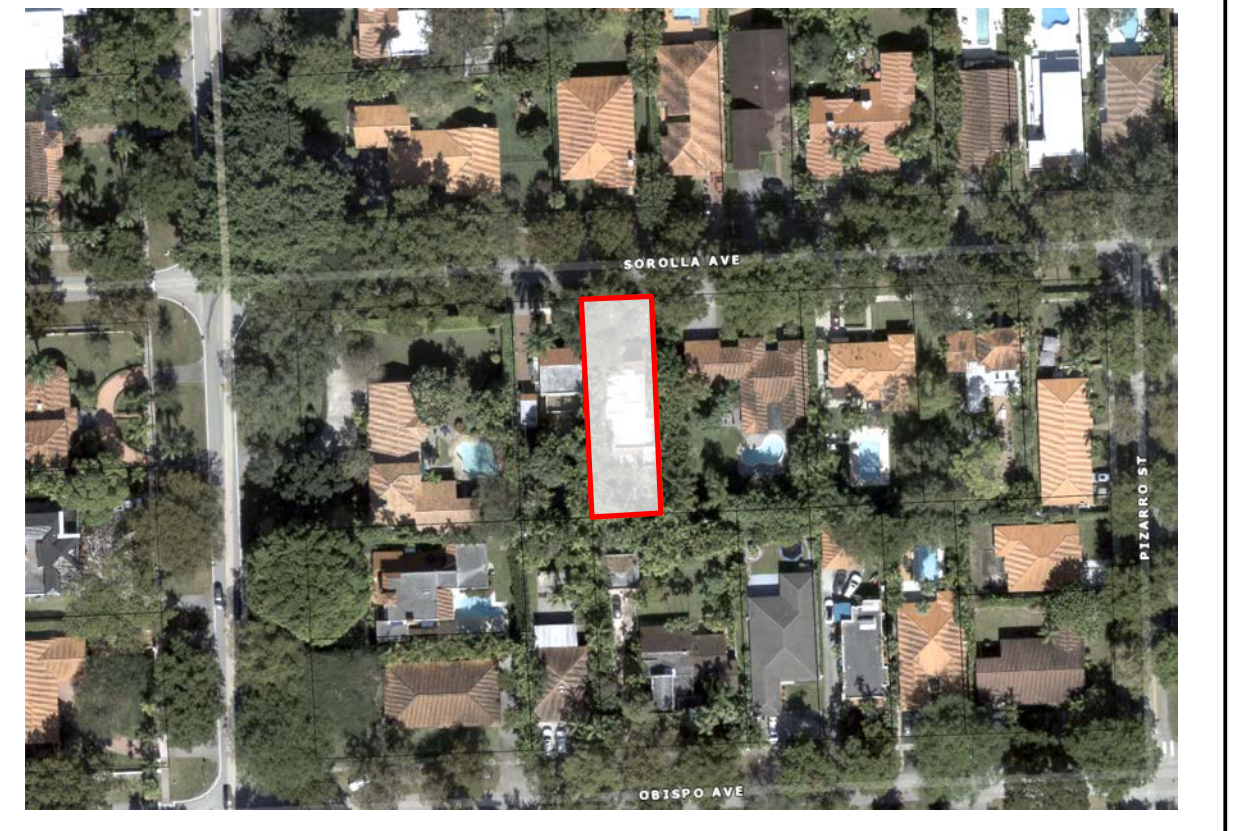
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### PROPERTY OWNER

JOSE RODRIGUEZ AND AMANDA ESTEVEZ  
 934 SOROLLA AVENUE CORAL GABLES FL 33134 USA

### LOCATION MAP



### APPLICABLE CODE:

2020 FLORIDA BUILDING CODE, RESIDENTIAL  
 CITY OF CORAL GABLES ZONING CODE

### SCOPE OF WORK :

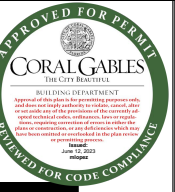
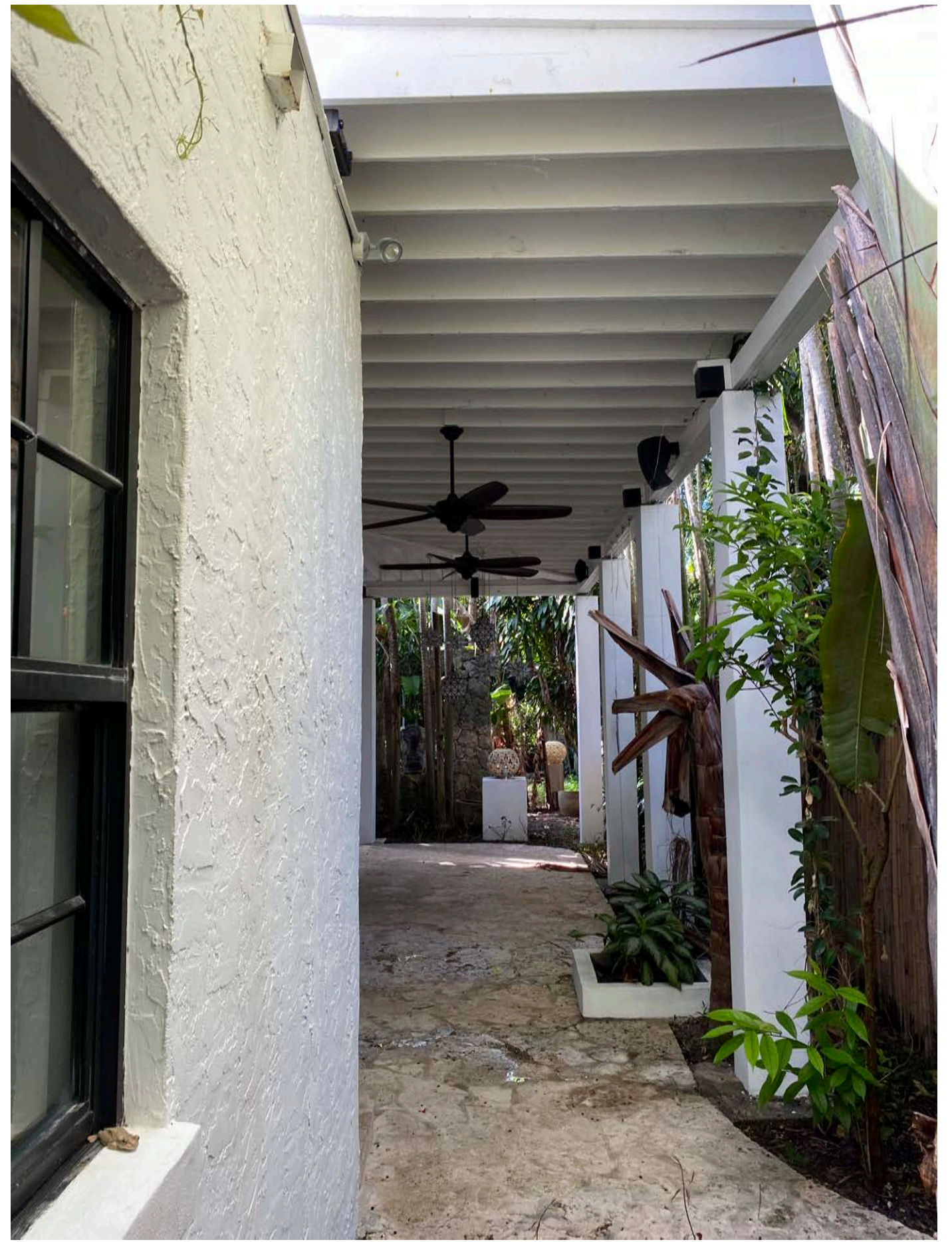
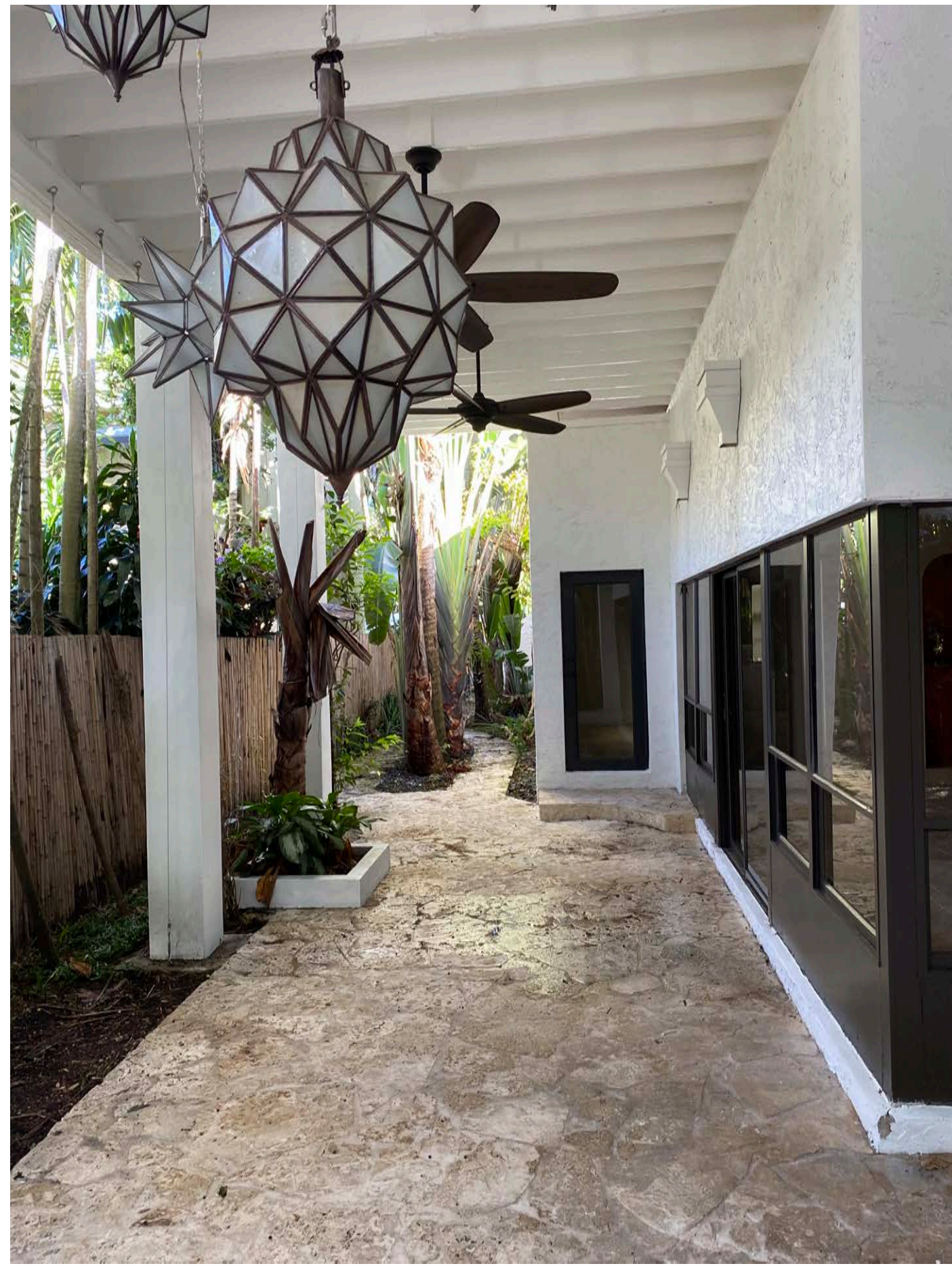
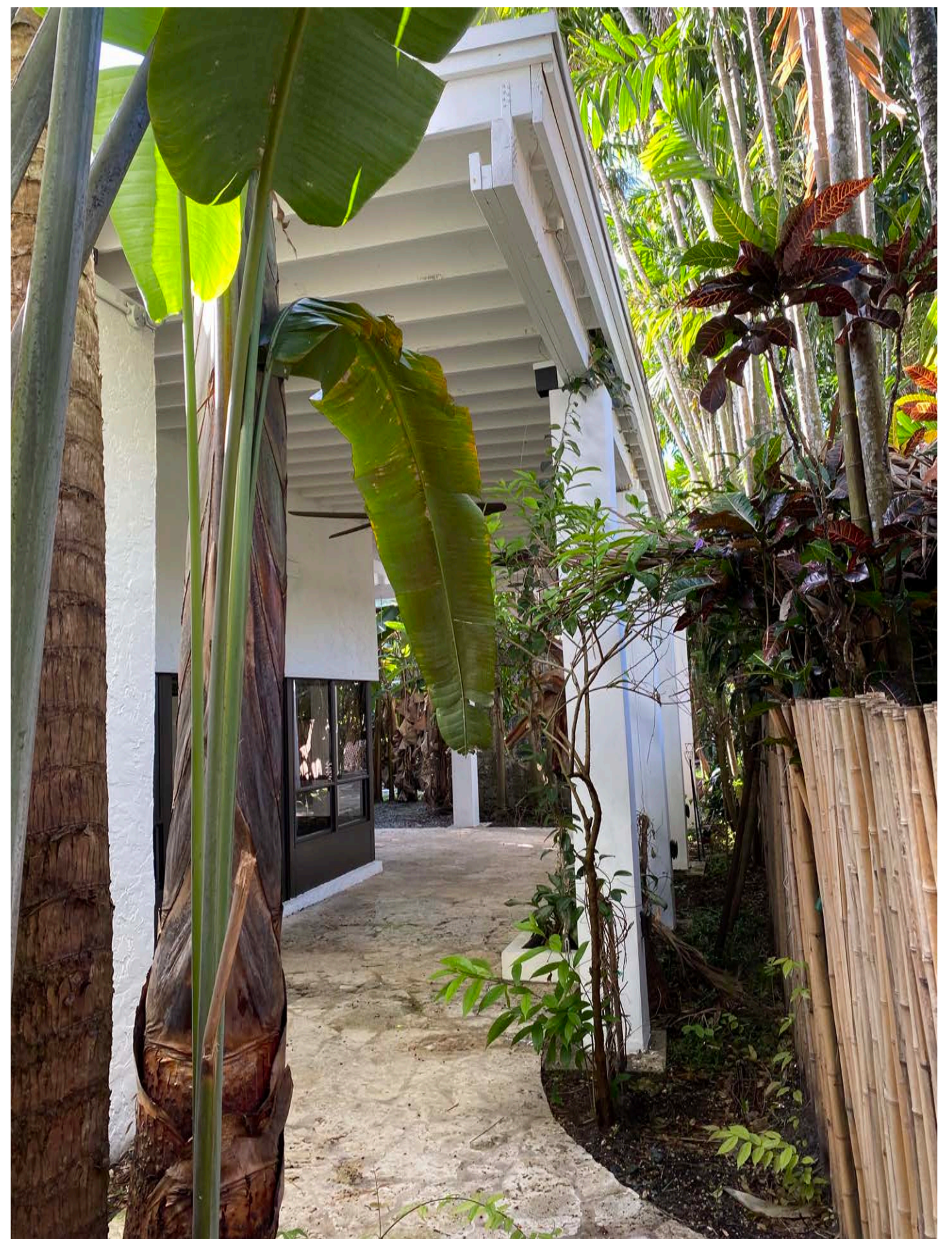
AFTER-THE-FACT PERMITS FOR A COVERED PATIO ON THE SOUTH WEST CORNER OF THE EXISTING SINGLE FAMILY HOME.

SUBMITTAL: CORAL GABLES PERMIT SUBMITTAL  
 DATE: Tuesday, May 30, 2023

COVER SHEET  
**A000**



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ARCHITECT  
**AGENZ**  
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T 954.631.8371  
HTTP://WWW.SENGAARCHITECTURE.COM  
SENGA ARCHITECTURE LLC

PROPERTY OWNER:  
JOSE RODRIGUEZ AND AMANDA ESTEVEZ  
934 SOROLLA AVENUE, CORAL GABLES, FL 33134 USA

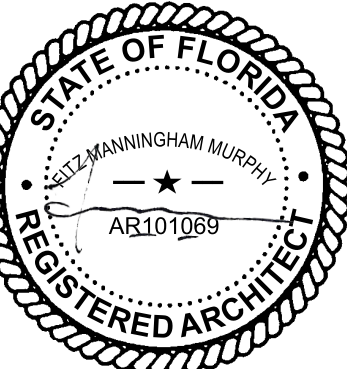
# 934 SOROLLA PATIO

934 SOROLLA AVENUE, CORAL GABLES, FLORIDA

ARCHITECT

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REVISIONS

2202 PROJECT NO.

5/30/23 DATE

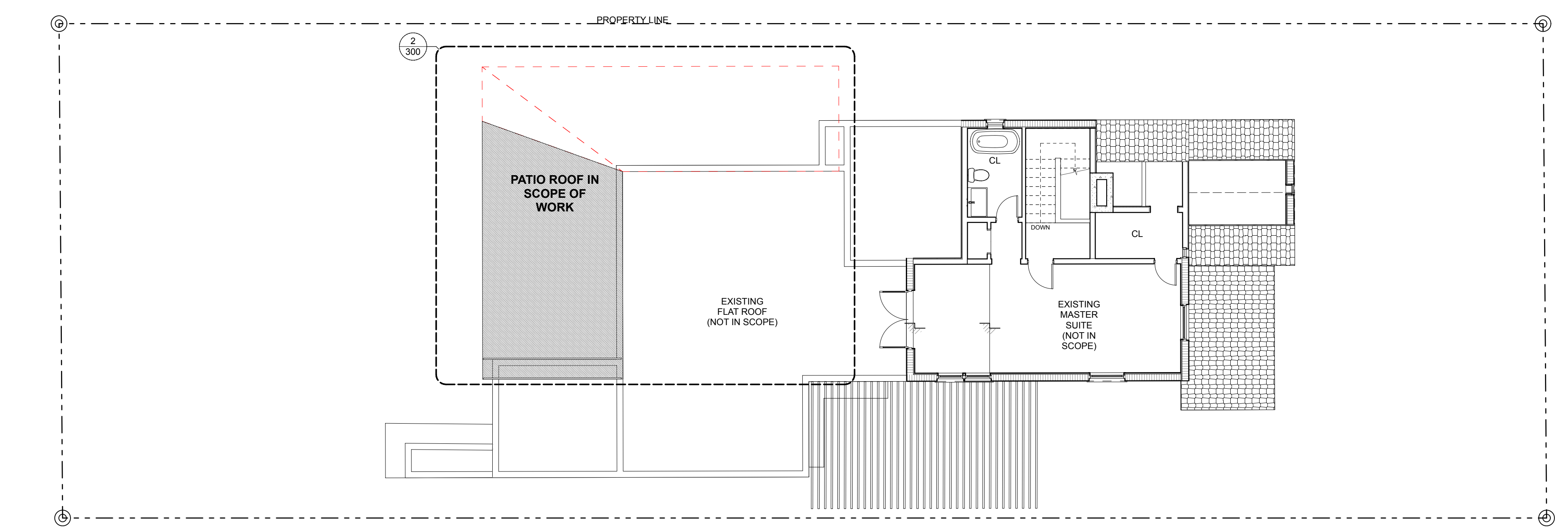
FMM DRAWN / CHECKED

SITE PHOTOS

A001



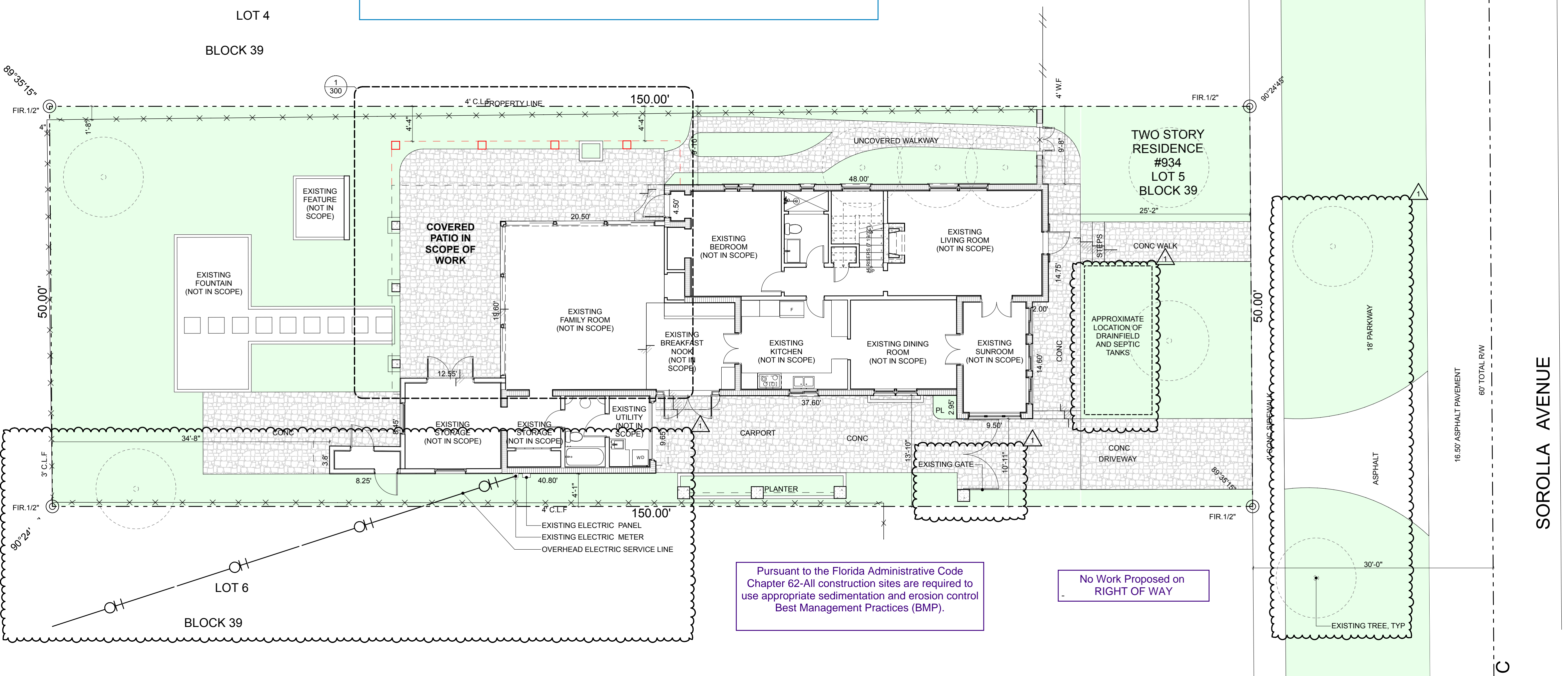
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**NOTE:**  
ALL DAMAGED SIDEWALKS, CURBS, AND/OR GUTTERS PRE-EXISTING OR AS A RESULT OF CONSTRUCTION SHALL BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR USE (ORD.NO.2765)

Approval of this plan does not constitute approval of any structure or condition not in compliance with the Coral Gables Zoning Code.

**2 SECOND FLOOR FINISH FLOOR**  
1/8" = 1'-0"

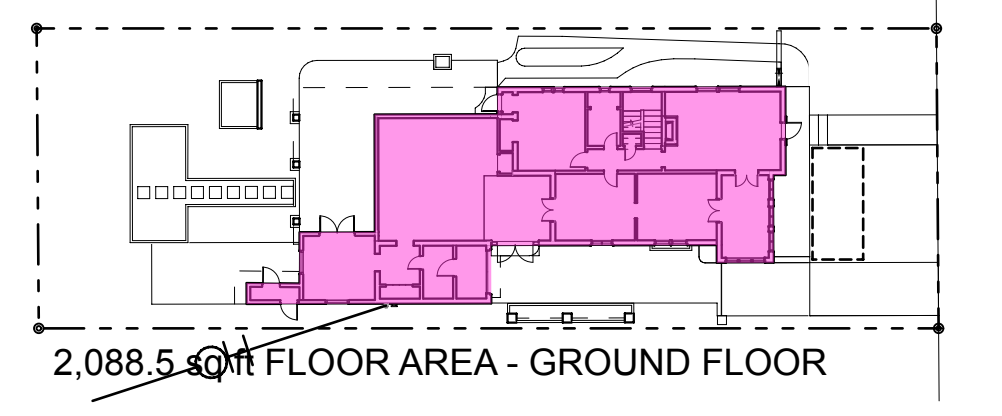
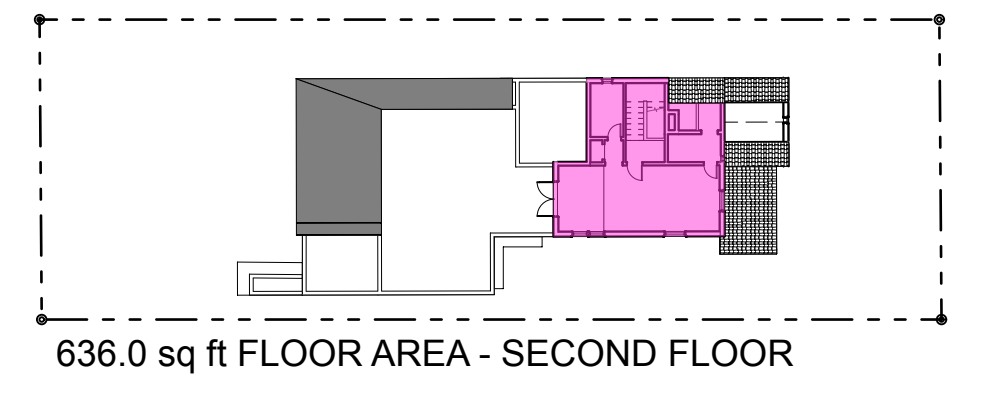
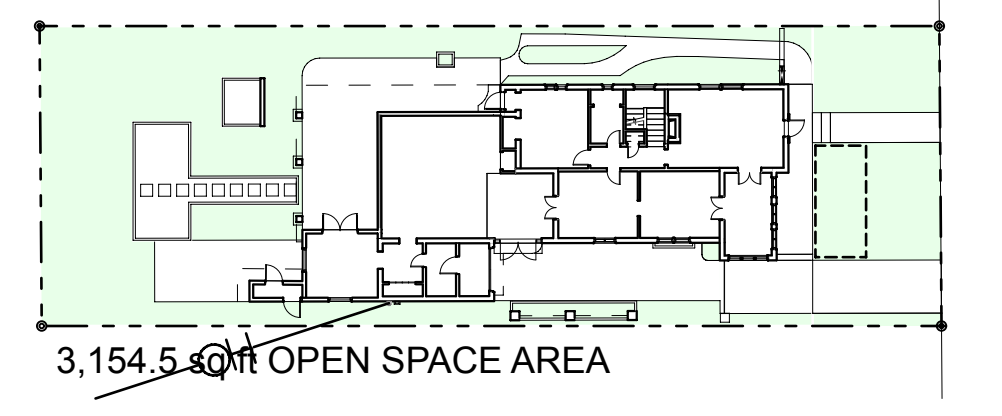
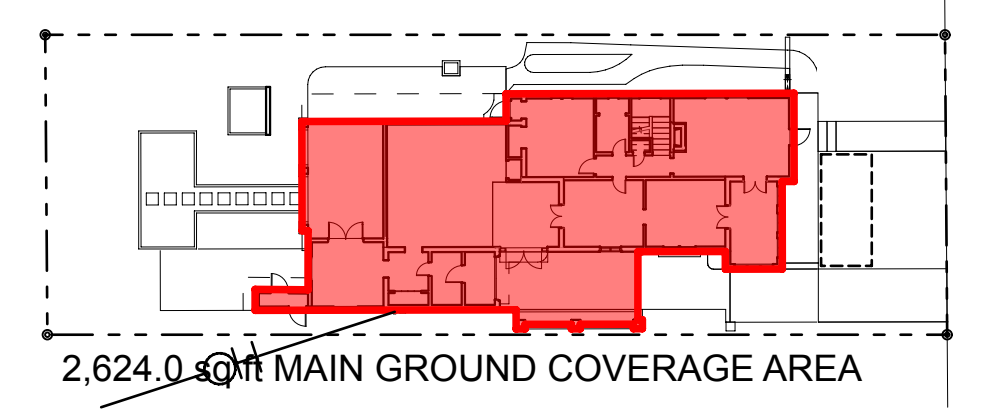
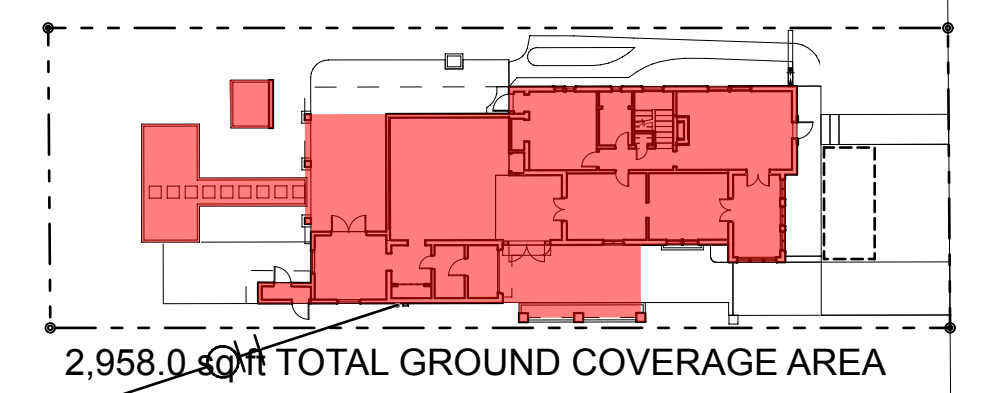


Pursuant to the Florida Administrative Code Chapter 62-All construction sites are required to use appropriate sedimentation and erosion control Best Management Practices (BMP).

No Work Proposed on RIGHT OF WAY

**1 FIRST FLOOR TOP OF SLAB**  
1/8" = 1'-0"

SITE INFORMATION		
ADDRESS	934 SOROLLA AVENUE, CORAL GABLES FL	
LEGAL DESCRIPTION	LOT 5, BLOCK 39, OF "CORAL GABLES SECTION B", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA	
LAND USE DESIGNATION	RESIDENTIAL	
ZONING DESIGNATION	SFR	
ZONING DATA		
	REQUIRED	PROPOSED
MINIMUM LOT SIZE	5,000 SF	7,500 SF
MINIMUM LOT WIDTH	50'-0"	50'-0"
MAXIMUM GROUND COVERAGE	2,626 SF (35%)	2,624 SF (35%)
MAXIMUM TOTAL GRND COV.	3,375 SF (45%)	2,958 SF (39.4%)
MINIMUM OPEN SPACE	3,000 SF (40%)	3,154.5 SF (42%)
MAXIMUM FLOOR AREA	3,275 SF	2,724.5 SF
MINIMUM YARD SETBACKS		
NORTH (FRONT)	25'-0"	25'-2"
SUM OF SIDE YARDS	10'-0"	10'-10"
SOUTH (REAR)	10'-0"	34'-8"
TREE DISPOSITION		
ALL EXISTING TREES TO REMAIN		



**LEGEND**  
 EXISTING TO BE DEMOLISHED

**ARCHITECT**  
**AGENCE**  
 344 MONKEY STREET | HOLLYWOOD, FL 33021  
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**SENGA ARCHITECTURE LLC**

**PROPERTY OWNER:**  
 JOSE RODRIGUEZ AND AMANDA ESTEVEZ  
 934 SOROLLA AVENUE, CORAL GABLES FL 33134 USA

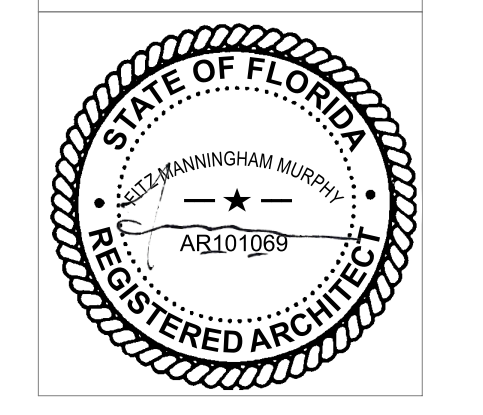
# 934 SOROLLA PATIO

934 SOROLLA AVENUE, CORAL GABLES, FLORIDA

**ARCHITECT**

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 1 CoCG Revision

2202 PROJECT NO.

5/30/23 DATE

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**EXISTING SITE PLAN WITH DEMO**

**EX100**





LEGEND  
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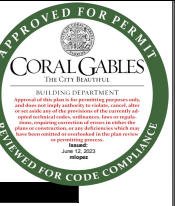
4 EAST ELEVATION  
1/4" = 1'-0"

3 WEST ELEVATION  
1/4" = 1'-0"

2 SOUTH ELEVATION  
1/4" = 1'-0"

1 NORTH (MAIN) ELEVATION  
1/4" = 1'-0"

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# 934 SOROLLA PATIO

934 SOROLLA AVENUE, CORAL GABLES, FLORIDA

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1 CoCG Revision

2202 PROJECT NO.

5/30/23 DATE

FMM DRAWN / CHECKED

EXISTING ELEVATIONS WITH DEMO

EX200



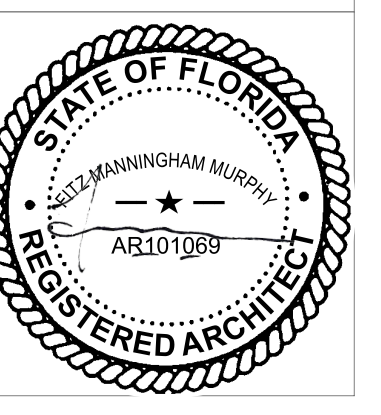
# 934 SOROLLA PATIO

934 SOROLLA AVENUE, CORAL GABLES, FLORIDA

ARCHITECT

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 AR101069

REVISIONS  
 1 CoCG Revision

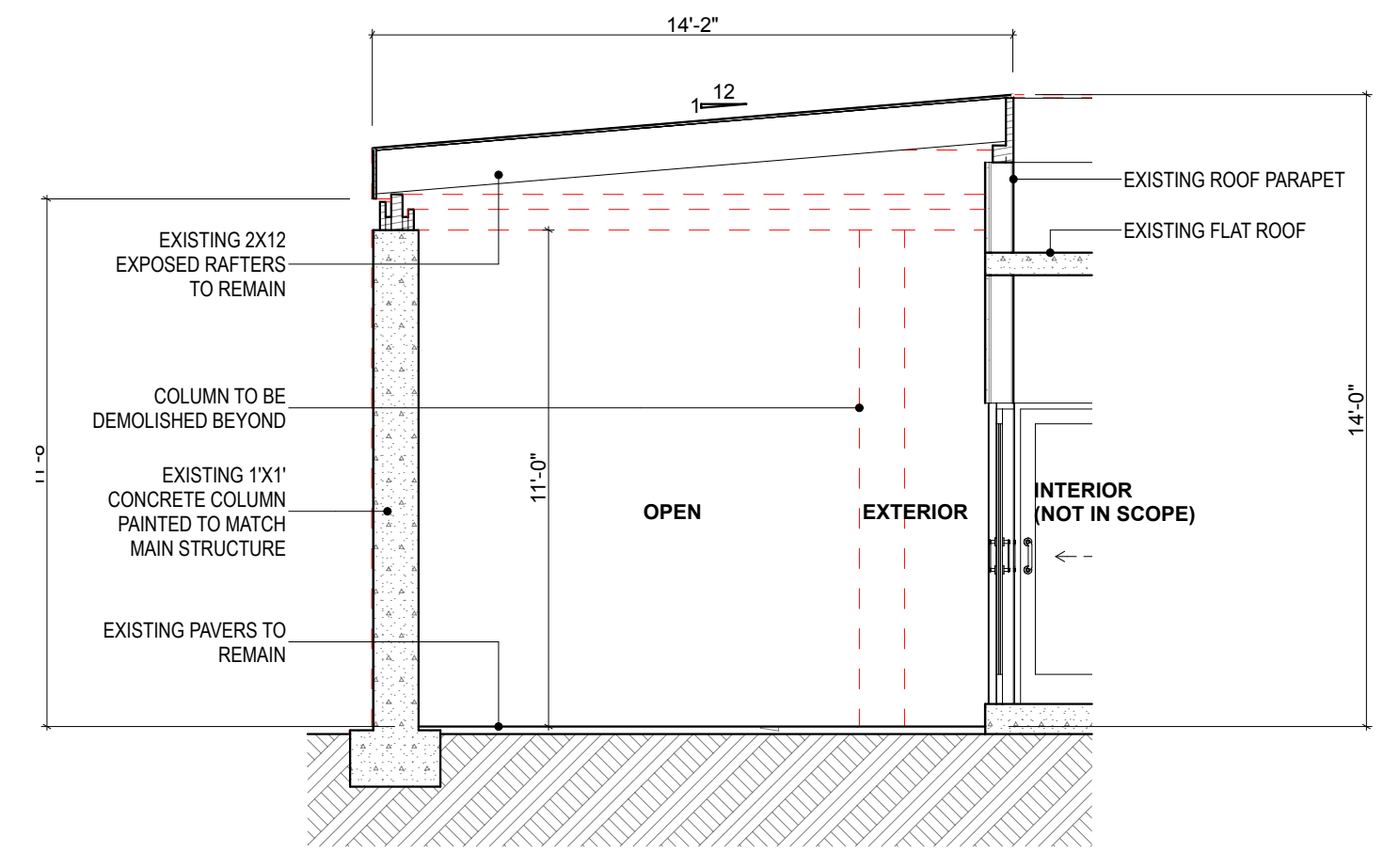
2202  
 PROJECT NO.

5/30/23  
 DATE

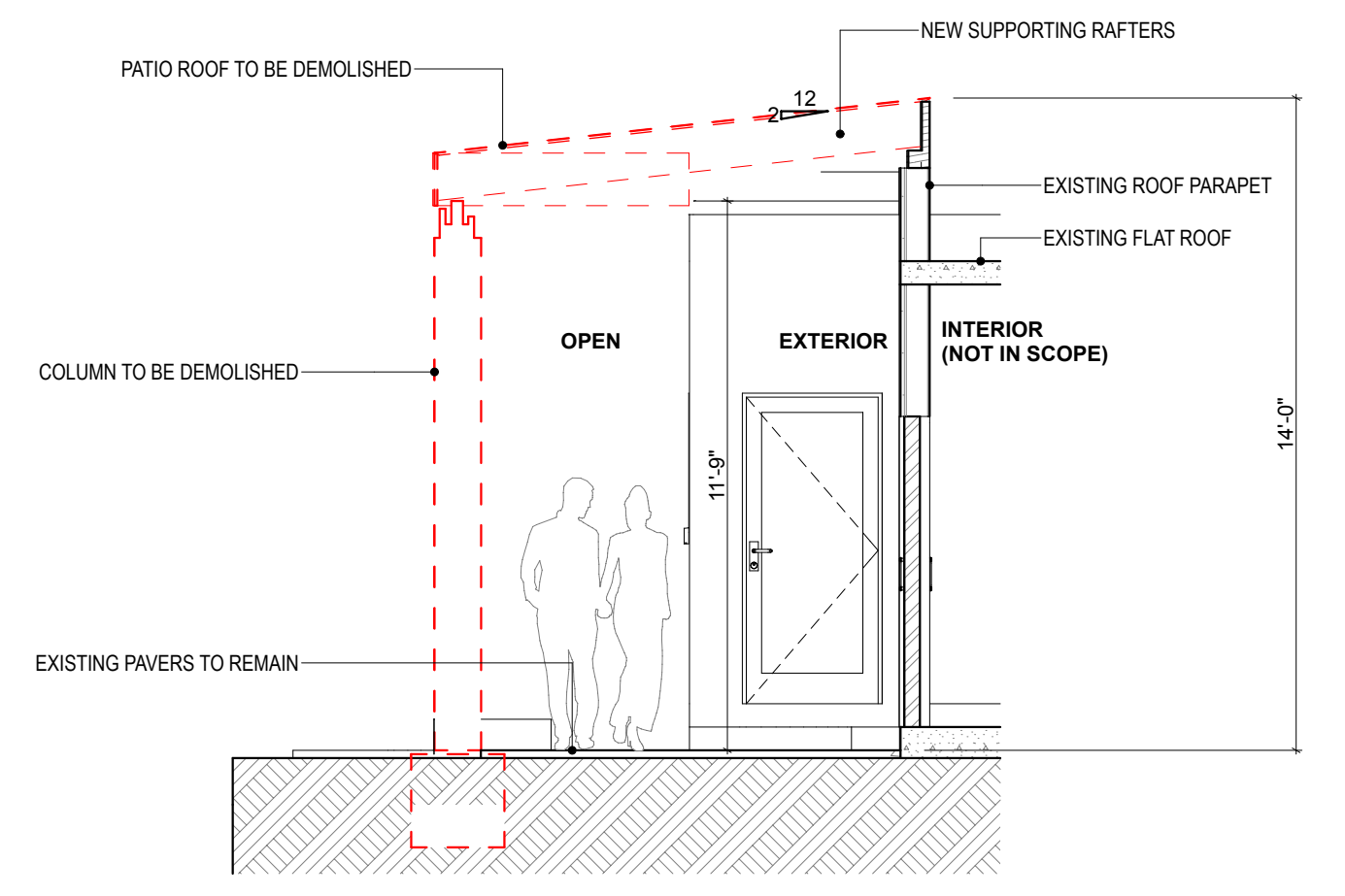
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 DRAWN / CHECKED

EXISTING ENLARGED PATIO W/ DEMO  
**EX300**

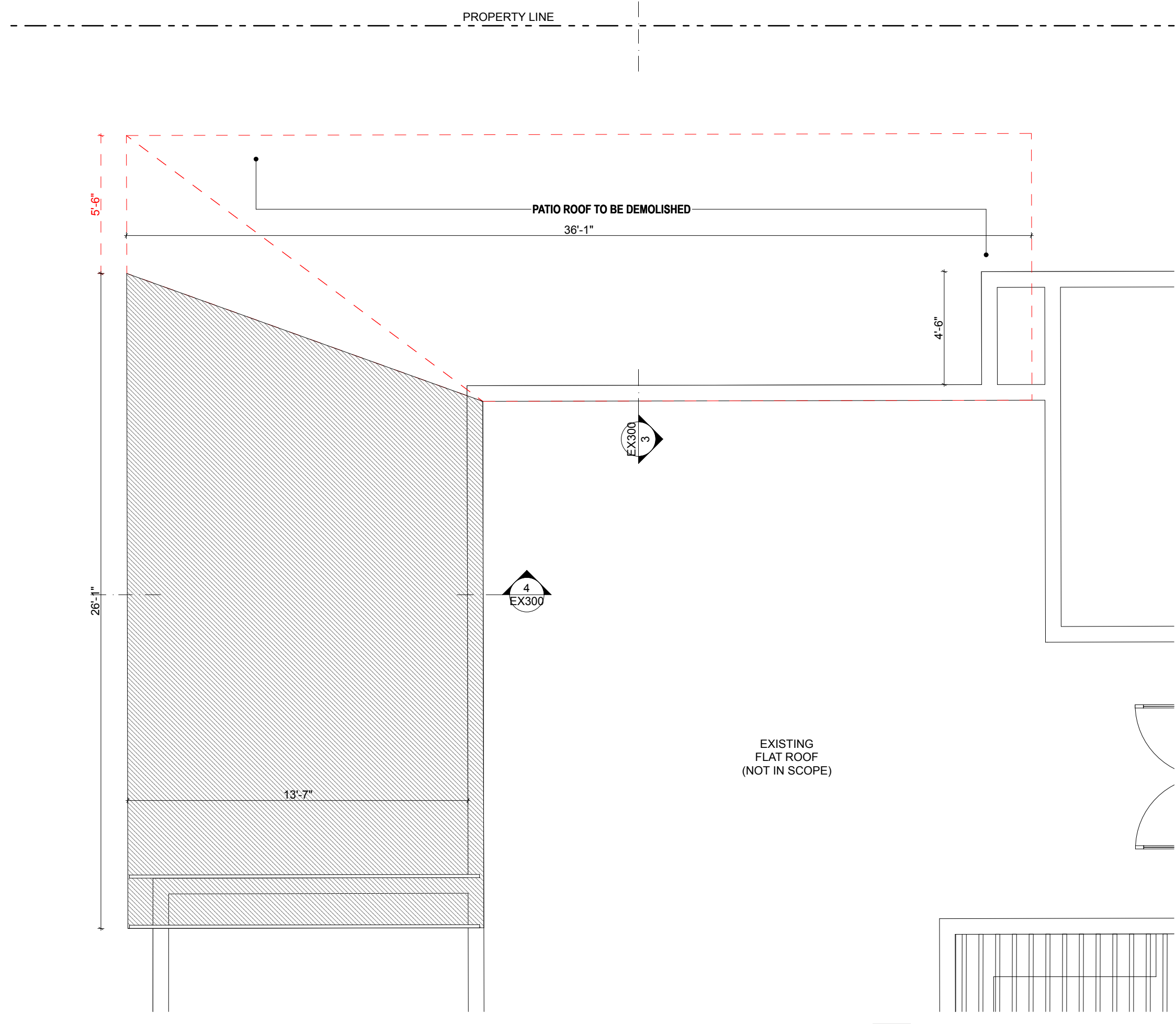
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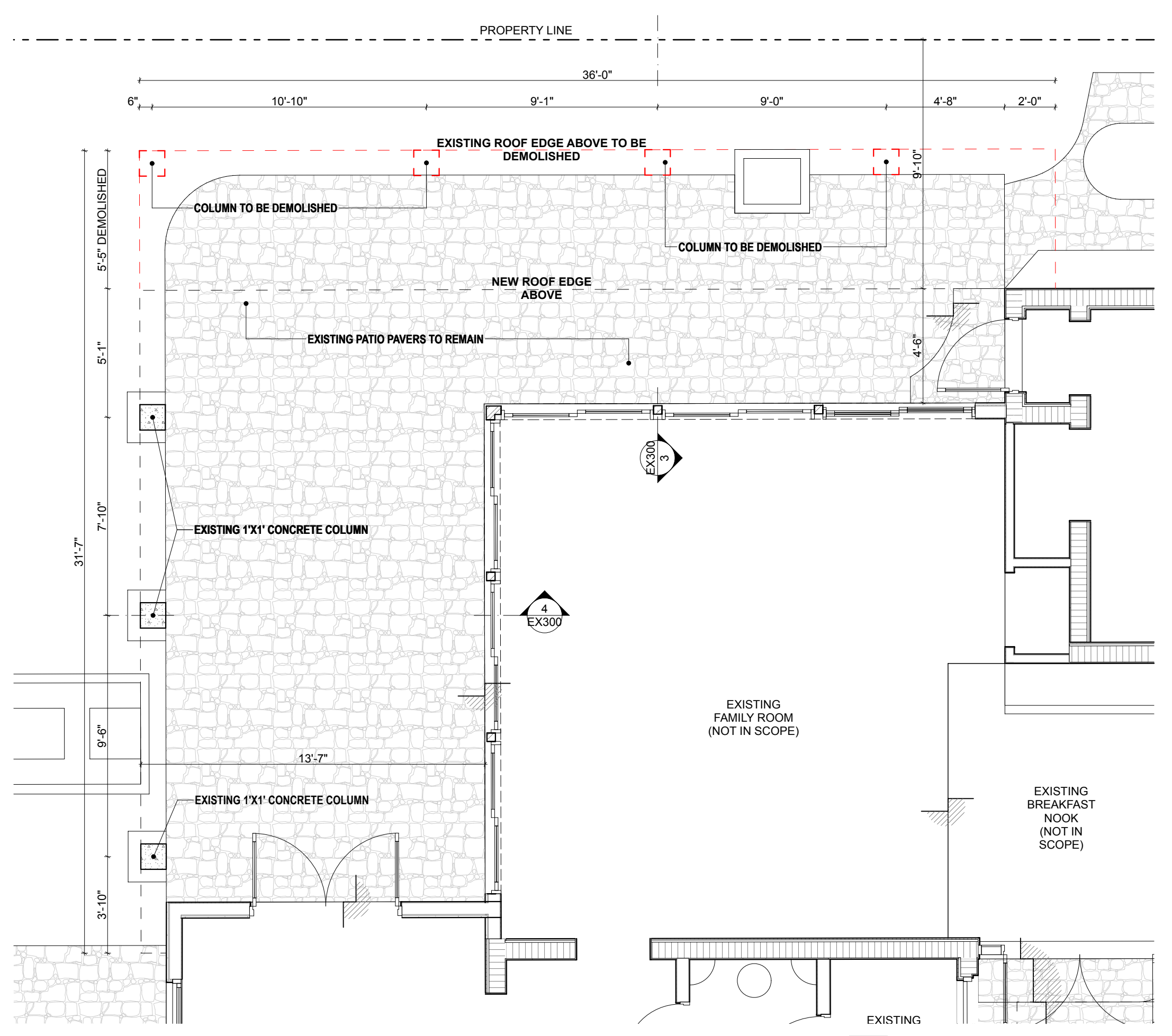
**4 SOUTH PATIO SECTION**  
 1/4" = 1'-0"



**3 WEST PATIO SECTION**  
 1/4" = 1'-0"

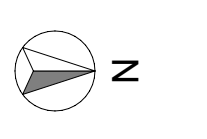


**2 PATIO ROOF**  
 1/4" = 1'-0"



**1 GROUND FLOOR PATIO**  
 1/4" = 1'-0"

LEGEND  
 - - - - - EXISTING TO BE DEMOLISHED



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**SITE INFORMATION**

ADDRESS: 934 SOROLLA AVENUE, CORAL GABLES FL

LEGAL DESCRIPTION: LOT 5, BLOCK 39, OF "CORAL GABLES SECTION B", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA

LAND USE DESIGNATION: RESIDENTIAL

ZONING DESIGNATION: SFR

**ZONING DATA**

	REQUIRED	PROPOSED
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MINIMUM LOT WIDTH	50'-0"	50'-0"
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MAXIMUM TOTAL GRND COV.	3,375 SF (45%)	2,958 SF (39.4%)
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NORTH (FRONT)	25'-0"	25'-2"
SUM OF SIDE YARDS	10'-0"	10'-10"
SOUTH (REAR)	10'-0"	34'-8"

**TREE DISPOSITION**

ALL EXISTING TREES TO REMAIN

ARCHITECT

**AGENCE**

344 MOONEY STREET | HOLLYWOOD, FL 33021  
1-954-631-8371  
HTTP://WWW.SENGAARCHITECTURE.COM

SENGA ARCHITECTURE LLC

PROPERTY OWNER:

JOSE RODRIGUEZ AND AMANDA ESTEVEZ

934 SOROLLA AVENUE, CORAL GABLES FL 33134 USA

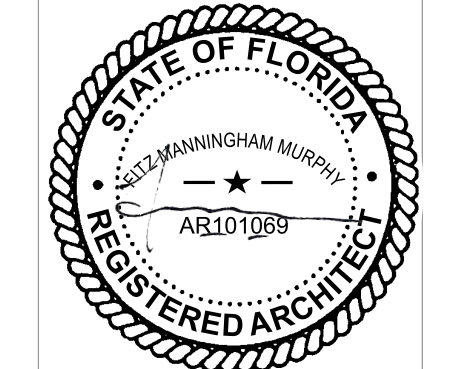
# 934 SOROLLA PATIO

934 SOROLLA AVENUE, CORAL GABLES, FLORIDA

ARCHITECT

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REVISIONS  
1 CoCG Revision

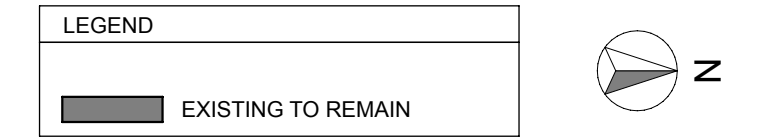
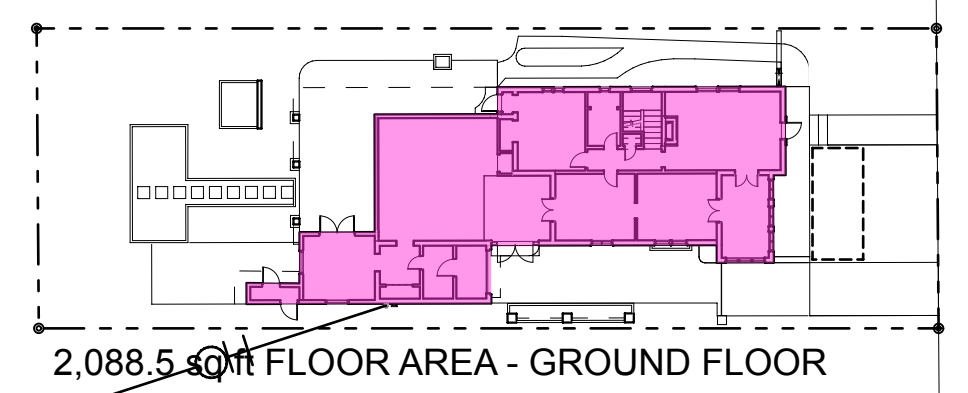
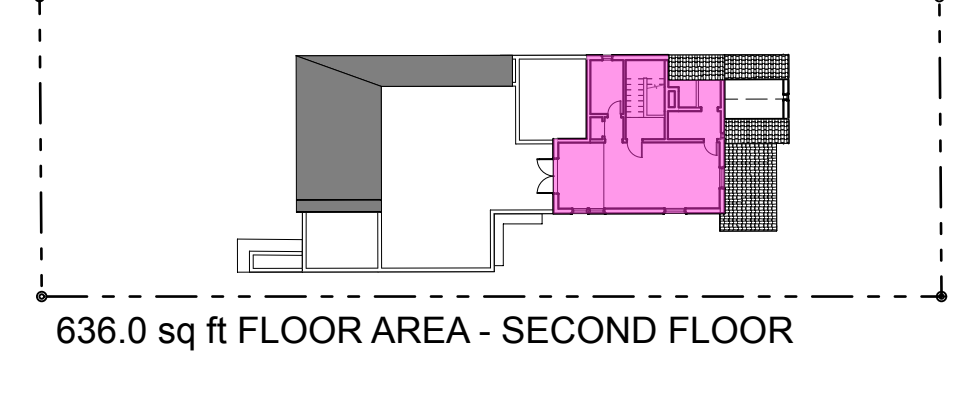
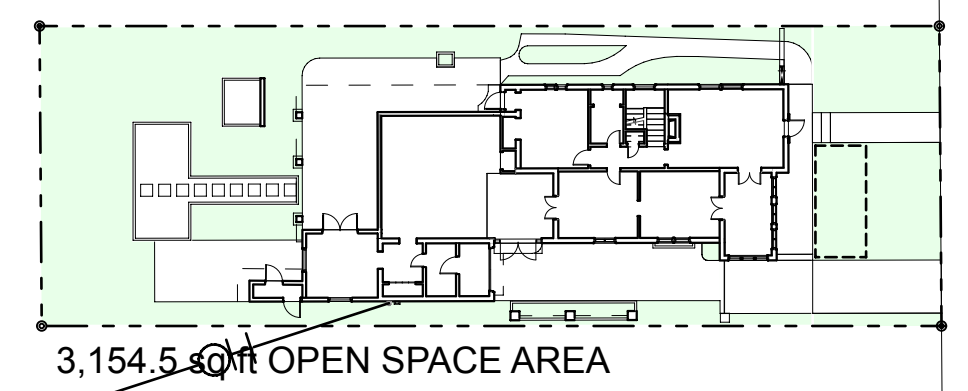
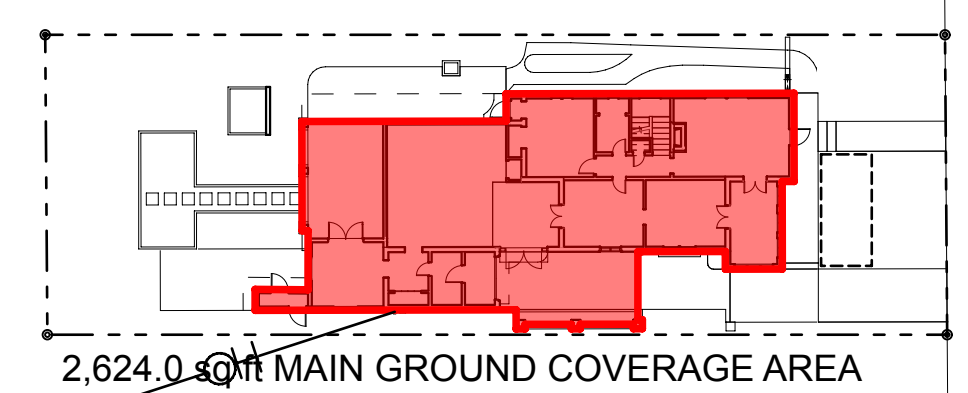
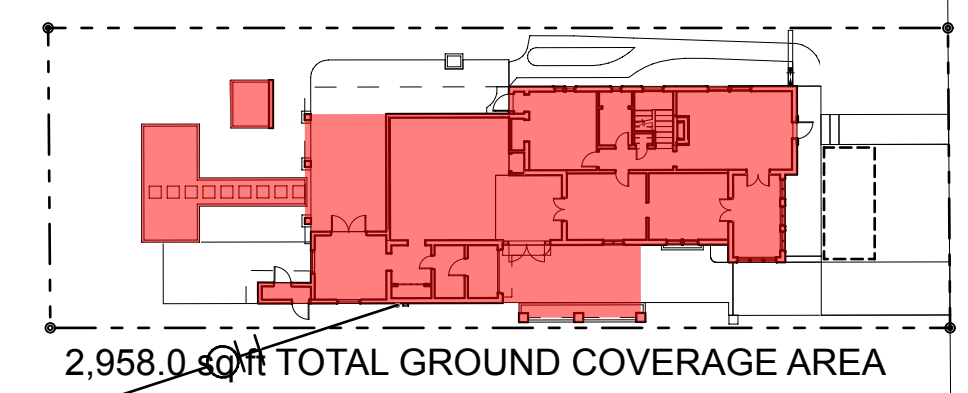
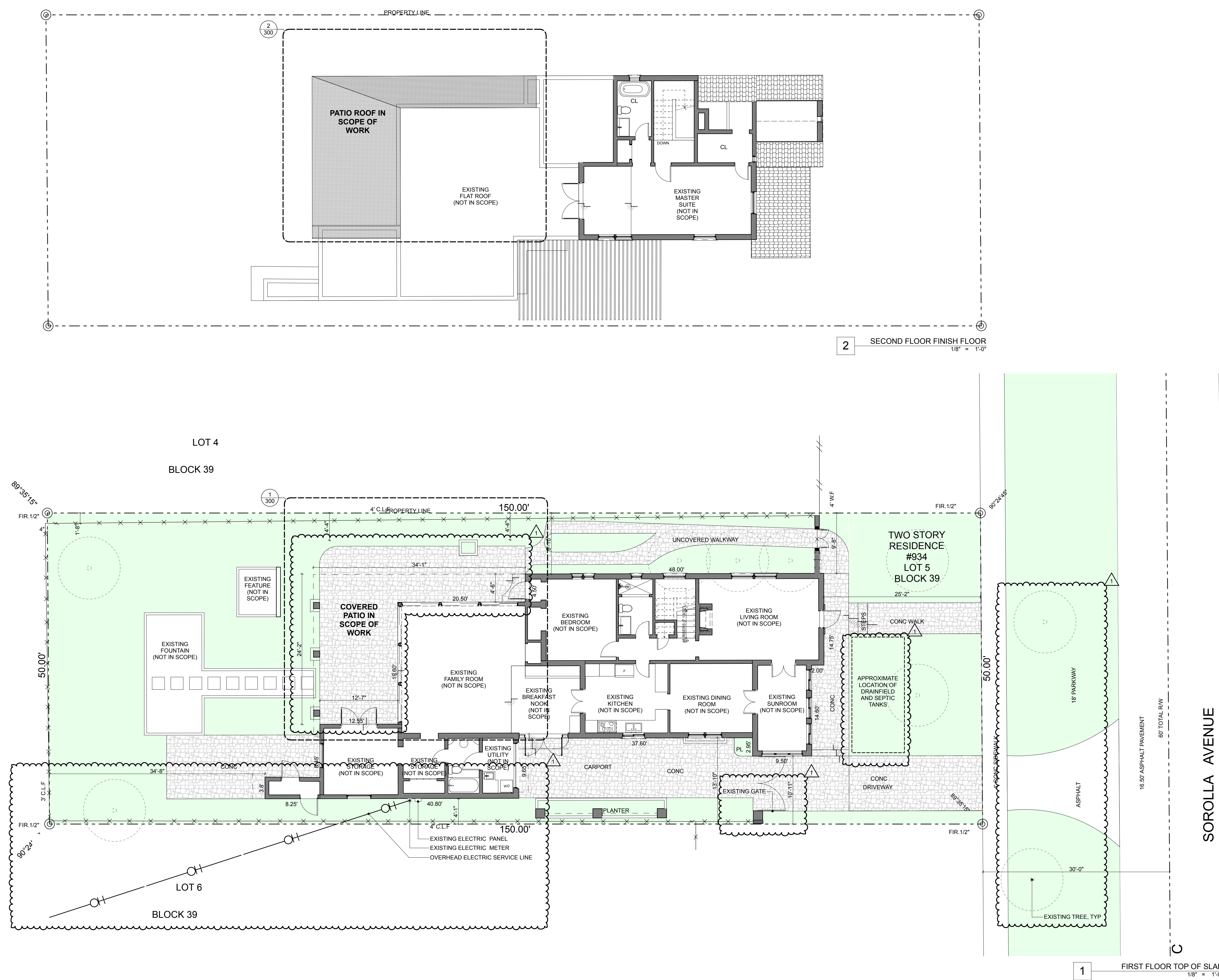
2202 PROJECT NO.

5/30/23 DATE

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SITE PLAN

**A100**



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ARCHITECT  
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PROPERTY OWNER:  
 JOSE RODRIGUEZ AND AMANDA ESTEVEZ  
 934 SOROLLA AVENUE, CORAL GABLES, FL 33134 USA

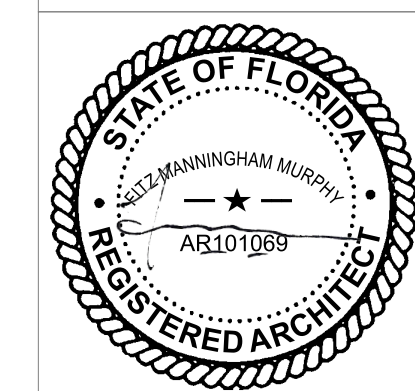
# 934 SOROLLA PATIO

934 SOROLLA AVENUE, CORAL GABLES, FLORIDA

ARCHITECT

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ELEVATIONS

**A200**



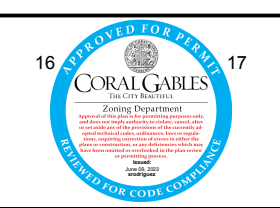
4 EAST ELEVATION  
 1/4" = 1'-0"

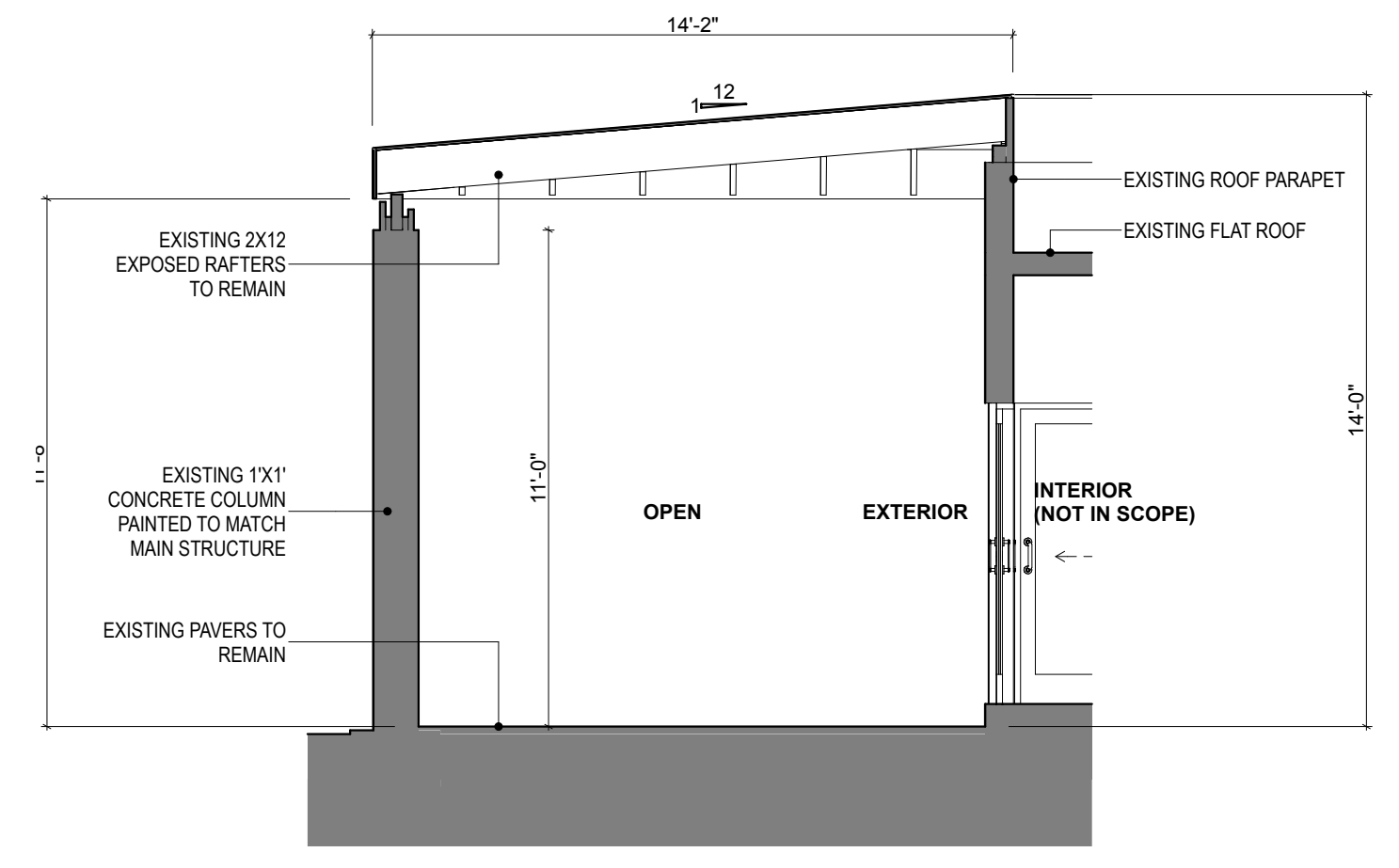
3 WEST ELEVATION  
 1/4" = 1'-0"

2 SOUTH ELEVATION  
 1/4" = 1'-0"

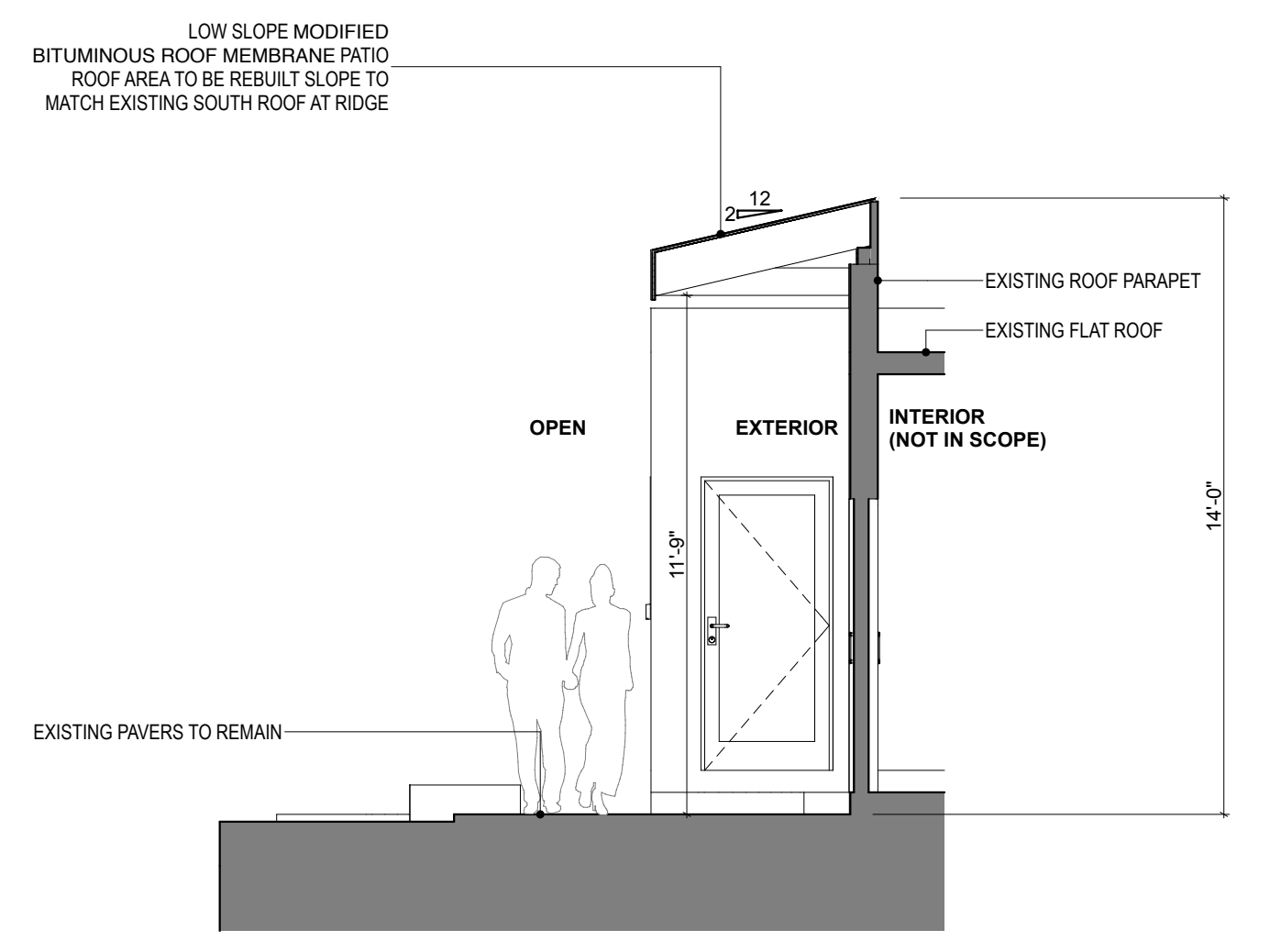
1 NORTH (MAIN) ELEVATION  
 1/4" = 1'-0"

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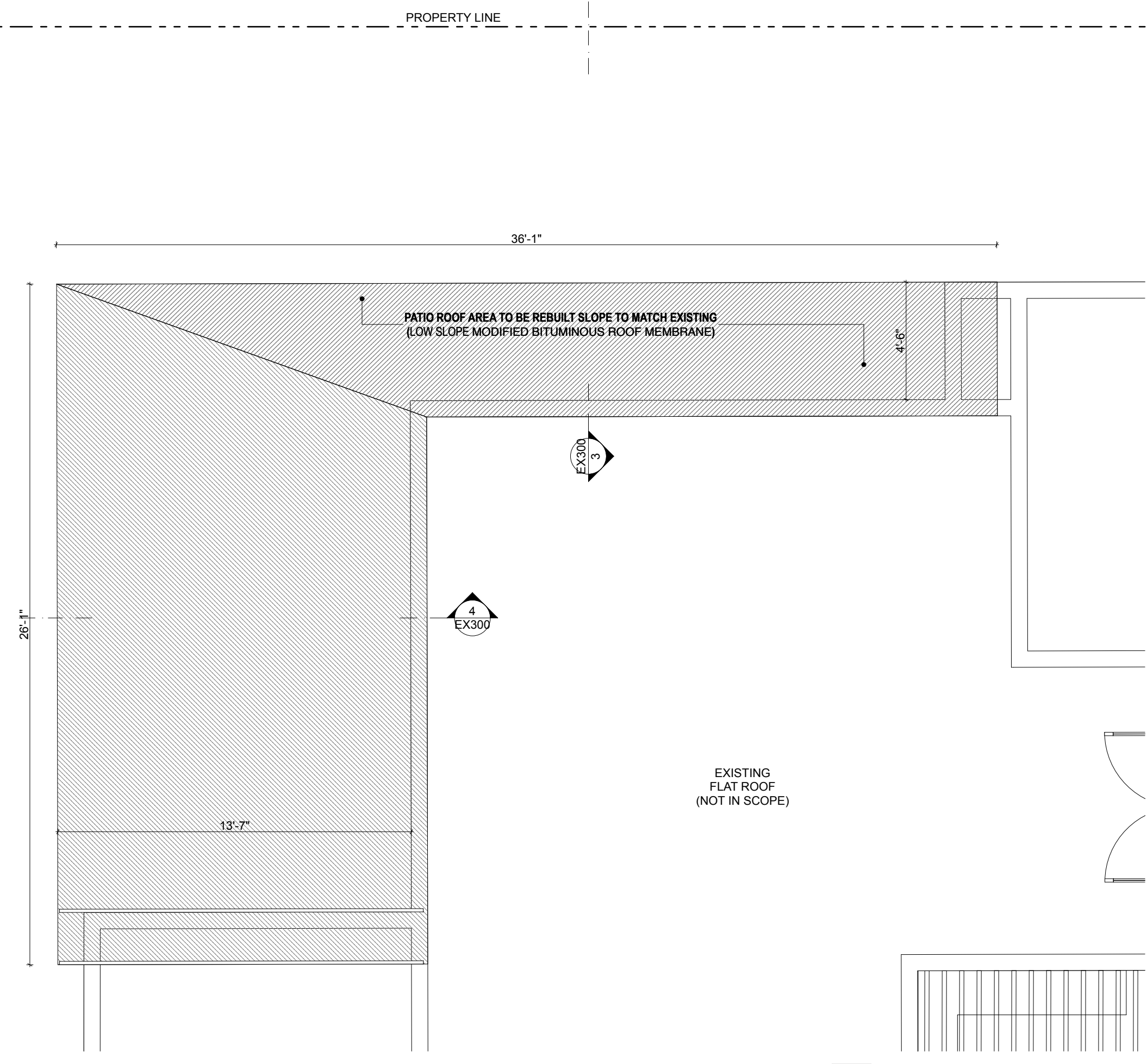




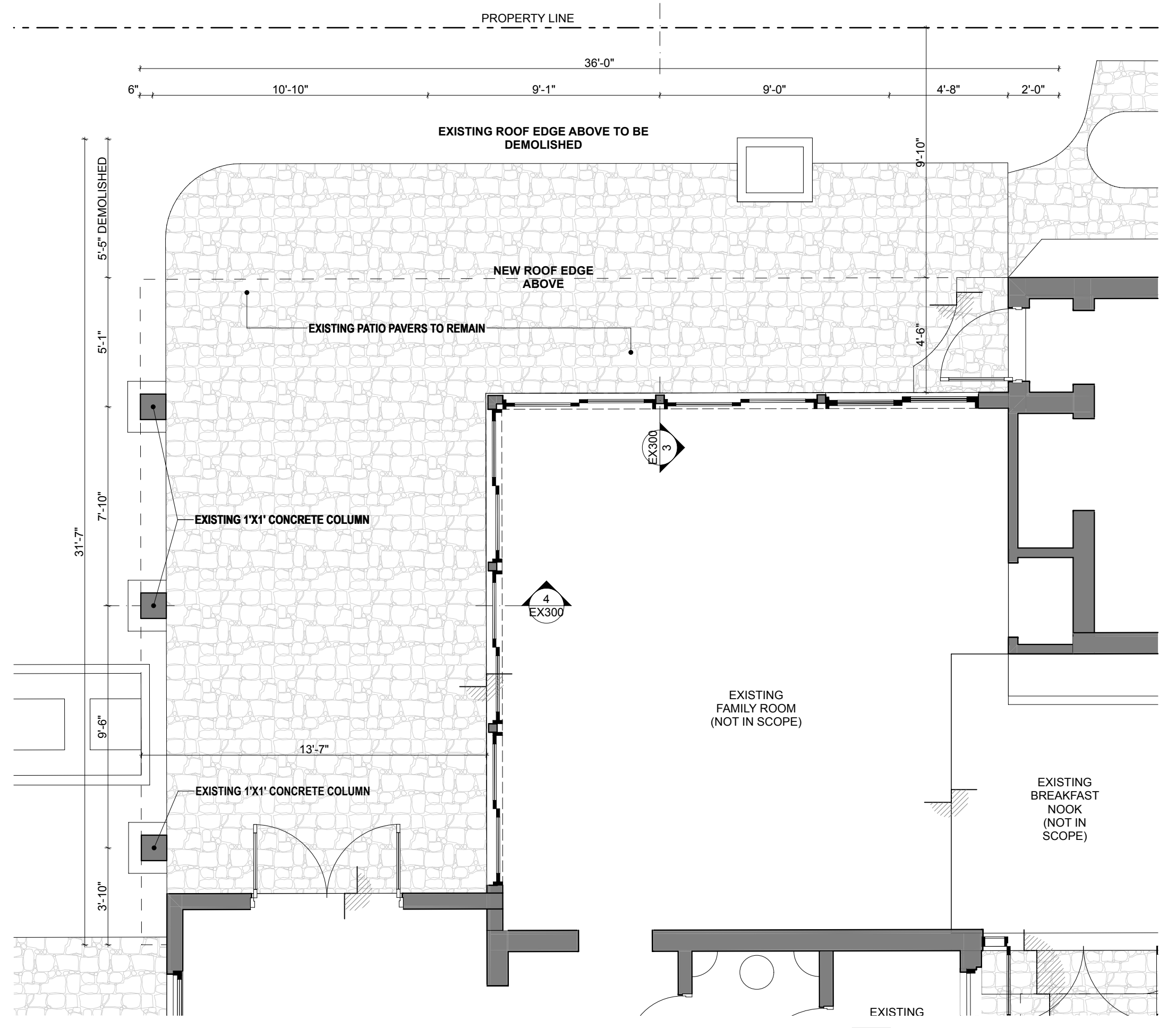
**4 SOUTH PATIO SECTION**  
 1/4" = 1'-0"



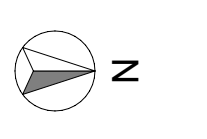
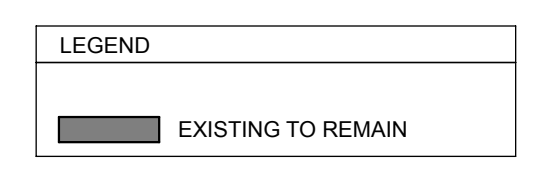
**3 WEST PATIO SECTION**  
 1/4" = 1'-0"



**2 PATIO ROOF**  
 1/4" = 1'-0"



**1 GROUND FLOOR PATIO**  
 1/4" = 1'-0"



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SOUTH WEST VIEW (EXISTING)




SOUTH WEST VIEW (PROPOSED)

MATERIAL SAMPLES

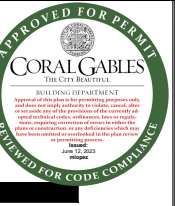


MODIFIED BITUMINOUS ROOF MEMBRANE



Simply White  
2143-70

SIMPLY WHITE OR SIMILAR TO MATCH EXISTING



ARCHITECT

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SENGA ARCHITECTURE LLC

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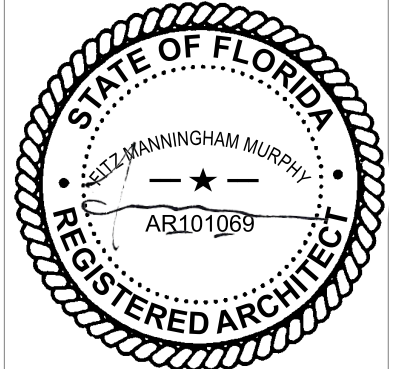
**934 SOROLLA PATIO**

934 SOROLLA AVENUE, CORAL GABLES, FLORIDA

ARCHITECT

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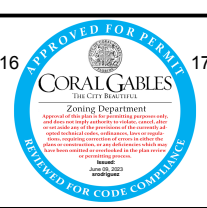
2202 PROJECT NO.

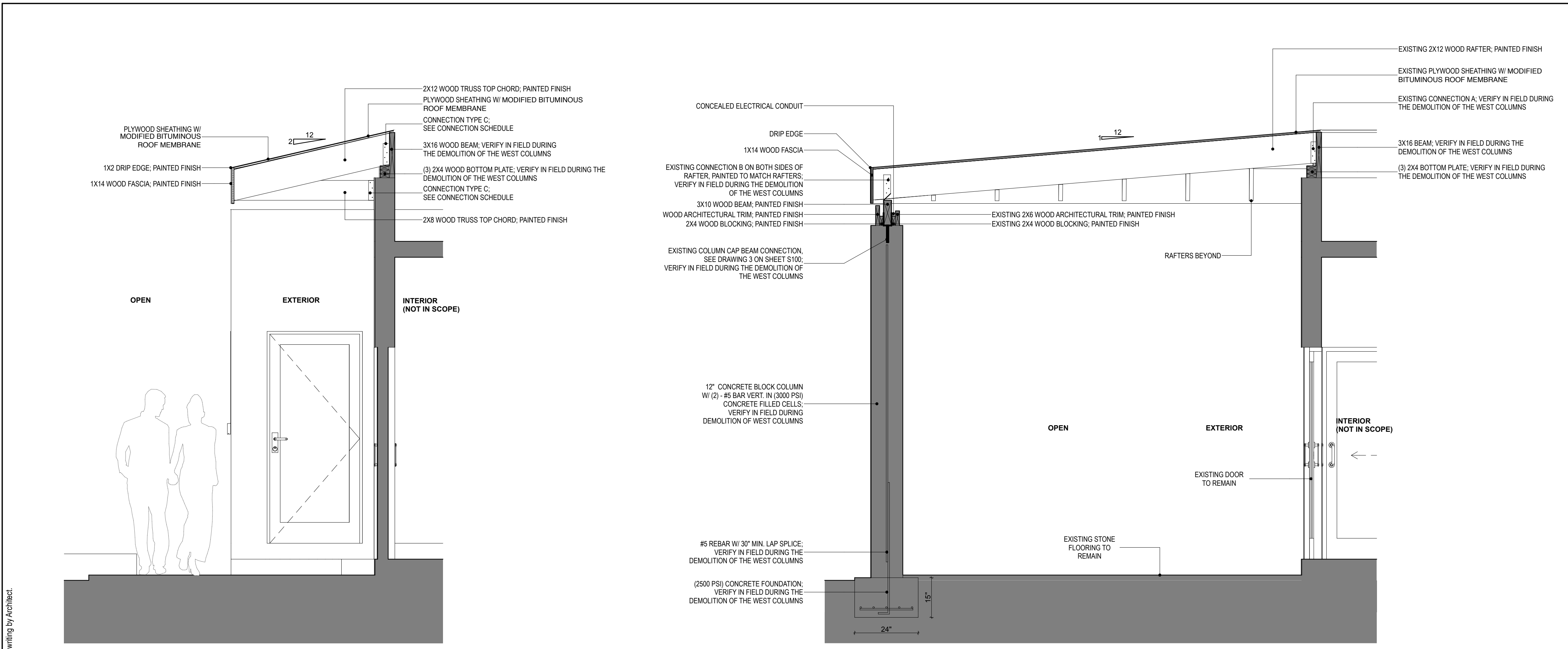
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MATERIAL & MASSING

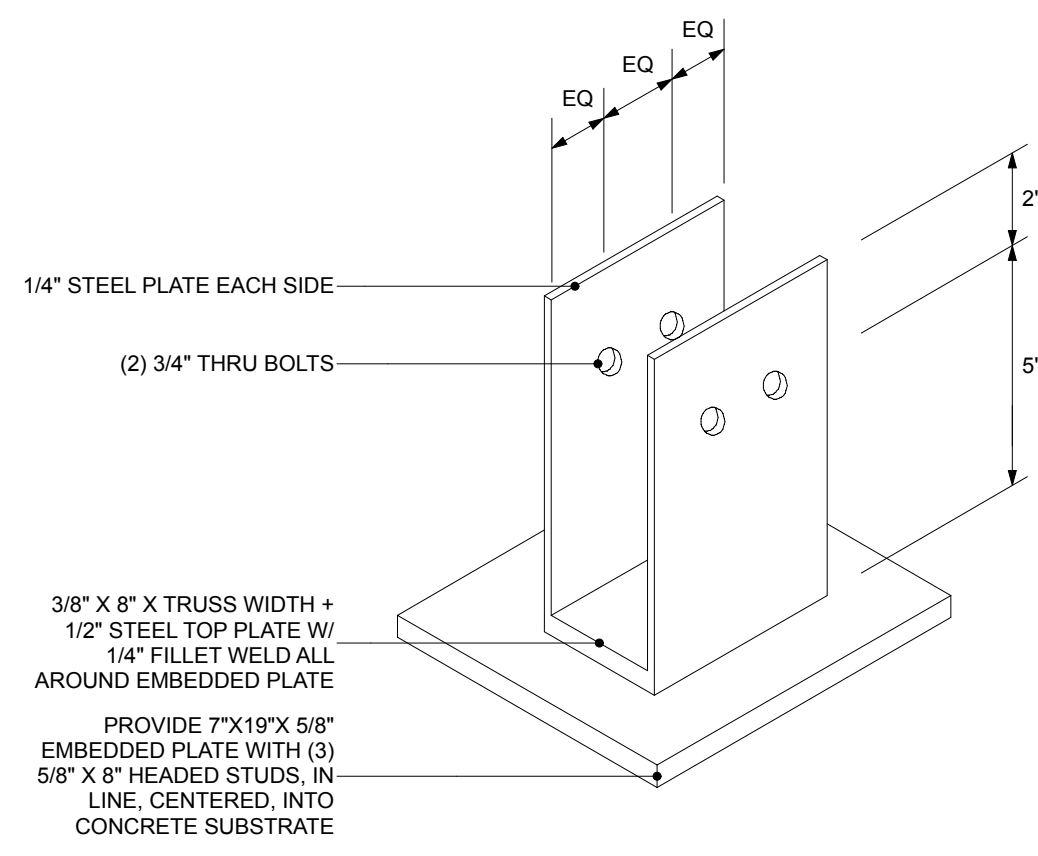
**A400**



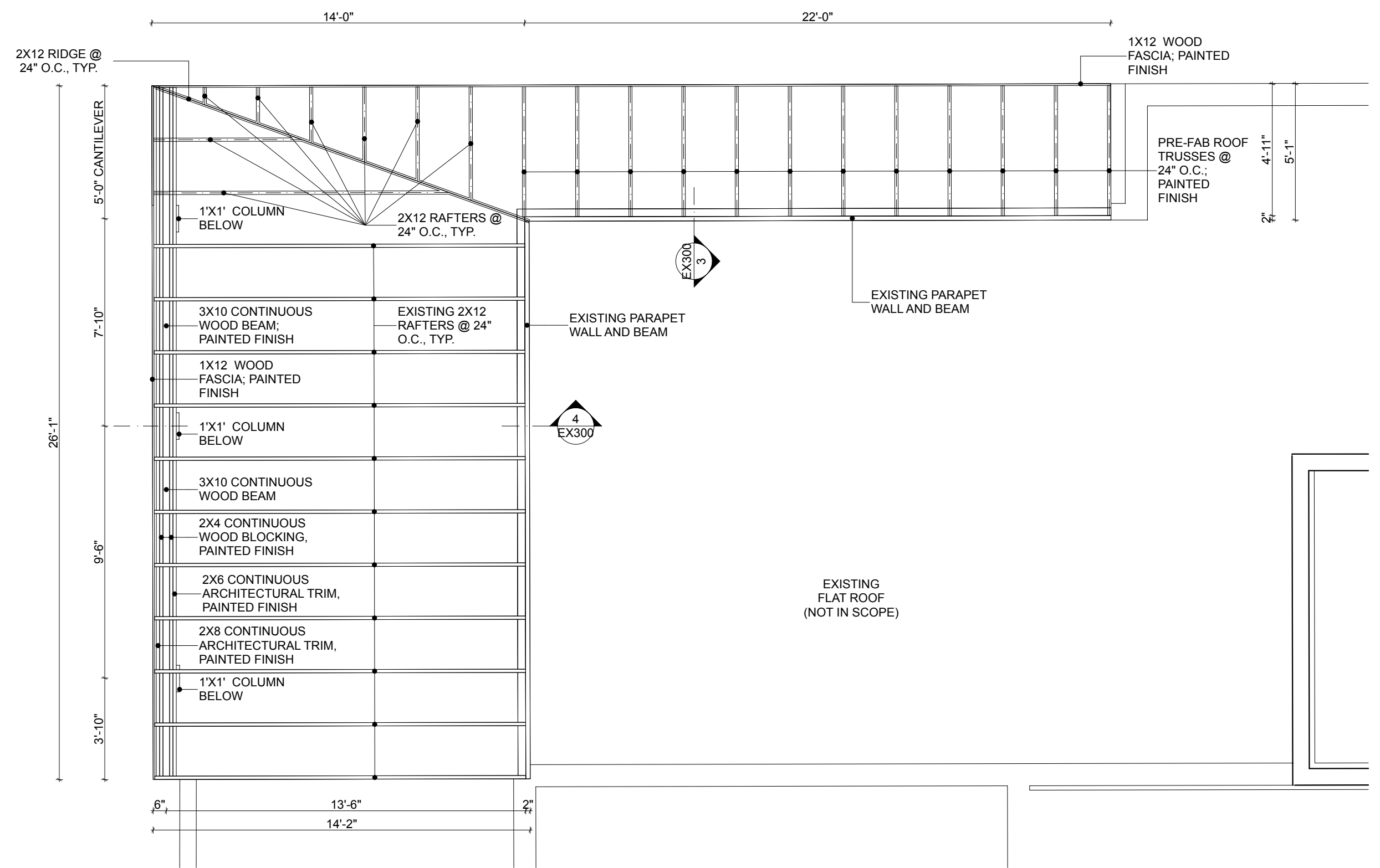


4 WEST PATIO SECTION  
1/2" = 1'-0"

2 EXISTING STRUCTURAL DETAILS  
1/2" = 1'-0"



3 COLUMN CAP DETAIL  
3/4" = 1'-0"



1 ROOF FRAMING PLAN  
1/4" = 1'-0"

**STRUCTURAL NOTES**

THIS WORK INCLUDES AFTER-FACT STRUCTURAL EVALUATION. CONTRACTOR TO VERIFY ALL STRUCTURAL COMPONENTS DURING THE DEMOLITION OF THE WEST PORTION OF THE STRUCTURE TO VERIFY STRUCTURAL ELEMENTS.

THE APPROVAL BY THE STRUCTURAL INSPECTOR OF ANY WORK DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE FLORIDA BUILDING CODE AND THE APPROVED STRUCTURAL PLANS.

ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

SPLITTING OR CRACKING OF STRUCTURAL MEMBERS DUE TO INSTALLATION OF HARDWARE IS NOT PERMITTED.

UNLESS OTHERWISE NOTED THE INSTALLATION OF SPECIFIED HARDWARE SHALL CONFORM TO THE MANUFACTURERS INSTRUCTIONS AND STANDARD PRACTICE.

BEARING POINTS OF TRUSSES AND/OR RAFTERS SHALL HAVE VERTICAL STUDS IN A NUMBER EQUAL TO THE NUMBER OF PLYS OF THE BEARING MEMBER WHEN THE BEARING MEMBER IS (2) OR MORE PLYS UNLESS NOTED.

**PROJECT SPECIFIC CODES**

ALL STRUCTURAL ELEMENTS FOR THIS PROJECT HAVE BEEN DESIGNED PER FLORIDA BUILDING CODE, 2020. THIS IMPLIES THE USE OF THE BELOW LISTED CODES (FBC TAKES PRECEDENCE OVER CONFLICTING ITEMS).

**PROJECT PLANS, DETAILS & ARCHITECTURAL BACKGROUNDS**

ALL DETAILS AND SECTIONS SHOWN ARE INTENDED TO BE TYPICAL UNLESS OTHERWISE SPECIFIED. DETAILS THAT REFERENCE SPECIFIC SCHEDULES ARE INTENDED TO BE SCHEDULES SHALL TAKE PRECEDENCE IN ALL CONFLICTING ITEMS.

**WOOD TRUSSES**

THE BUILDING CODE REQUIRES THE ARCHITECT-OF-RECORD TO INCLUDE WITH ALL RECORD PLANS COMPLETE TRUSS FRAMING PLANS, INCLUDING ALL CONNECTIONS AND LOADING DATA, TO THE BUILDING DEPARTMENT FOR PERMIT. THE TRUSS DESIGNER-DELEGATED ENGINEER MUST FOLLOW THE LAYOUT OF THE TRUSSES AND GIRDER TRUSSES, AS SHOWN ON THE STRUCTURAL FRAMING PLANS. IN THE EVENT THAT THE TRUSS DESIGNER REQUIRES A CHANGE IN THE LAYOUT, HE MUST CONTACT THE ENGINEER-OF-RECORD (AS SOON AS POSSIBLE AND DURING THE DESIGN PHASE) AND PROVIDE THE PERTINENT INFORMATION (LOCATION AND MAGNITUDE OF LOADS) TO THE ENGINEER-OF-RECORD. IN THE EVENT THAT SUCH COORDINATION DID NOT TAKE PLACE, PRIOR TO PERMITTING OF THE PROJECT, THE OWNER OR CONTRACTOR SHALL PROVIDE TRUSS SHOP DRAWING, FOR A/E REVIEW, PRIOR TO START OF FOUNDATION CONSTRUCTION. THE STRUCTURAL FRAMING PLANS OF RECORD WILL BE MODIFIED TO INCLUDE ALL THE INFORMATION CHANGED ON THE SHOP DRAWINGS, AND NEW FRAMING PLANS WILL BE ISSUED (AT ADDITIONAL COST). NO FOUNDATION WORK SHALL BEGIN BEFORE THE STRUCTURAL ROOF AND FLOORS TRUSS FRAMING PLANS HAVE BEEN VERIFIED AND COORDINATED WITH THE ENGINEERED TRUSS SHOP DRAWINGS.

- DESIGNED AND FABRICATED IN ACCORDANCE WITH "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENERS" BY NFPA (LATEST REVISION).
- TRUSSES SHALL BE DESIGNED, SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER, WHO SHALL BE ASSIGNED AS A DELEGATED ENGINEER FOR THE CONTRACTOR. THE DELEGATED ENGINEER DESIGN AND INDICATE ON THE SHOP DRAWINGS ALL TRUSS COMPONENTS, TEMPORARY BRACING, BRIDGING, HARDWARE, METAL HANGERS, ANCHORS AND METAL SHAPES AS REQUIRED BY DESIGN OR AS INDICATED ON THE PLANS. ALL METAL PARTS TO BE GALVANIZED.
- SHOP DRAWINGS SHALL COMPLY WITH APPENDIX "B" OF THE FLORIDA BUILDING CODE, REGARDING MODIFICATION OF THE FRAMING (FROM THE ONE SHOWN ON THE STRUCTURAL PLANS), INDICATING ALL PERMANENT BRACING (AS SHOWN ON THE STRUCTURAL PLANS) AND INDIVIDUAL MEMBER BRACING.
- TRUSS DESIGNER ENGINEER SHALL INDICATE THE NET WIND UPLIFT REACTIONS FOR EACH TRUSS AND GIRDER TRUSS. EACH TRUSS SHALL BE STRAPPED TO THE SUPPORT WITH A HURRICANE STRAP (AS PER DETAIL ON PLAN). THE SIZE OF STRAP AND AMOUNT OF NAILS SHALL BE SELECTED BASED ON THE UPLIFT DATA OF THE STRAP AND THE TRUSS SHOP DRAWINGS.
- THE STRUCTURAL PLANS INDICATE ALL THE REQUIRED LATERAL PERMANENT BRIDGING, AS RECOMMENDED BY THE "TRUSS PLATE INSTITUTE". TRUSS DESIGNER ENGINEER SHALL PROVIDE INFORMATION AND SHOW ON PLAN, ALL LATERAL BRACING OF ANY TRUSS INDIVIDUAL MEMBERS, AS REQUIRED BY TRUSS DESIGN.
- TRUSSES SHALL BE INSTALLED WITH OUT OF PLUMB AND OUT OF PLANE TOLERANCES, AS PER THE "TRUSS PLATE INSTITUTE" (SHOWN ON THE ROOF PLAN). ANY TRUSS EXCEEDING THE SPECIFIED TOLERANCE MUST BE REALIGNED OR REPLACED.

**PLYWOOD ROOF DIAPHRAGM**

- ROOF DIAPHRAGM SHALL COMPLY WITH THE DESIGN RECOMMENDATIONS OF "A.P.A. DESIGN" CONSTRUCTION GUIDE - DIAPHRAGMS" AND THE FLORIDA BUILDING CODE.
- PLYWOOD ROOF DECKING SHALL BE 5/8" MINIMUM THICKNESS, AND SHALL BE CONTINUOUS OVER TWO OR MORE SPANS, WITH FACE GRAIN PERPENDICULAR TO THE SUPPORTS.
- CONNECT PLYWOOD DIAPHRAGM TO STRUCTURE WITH 10d GALV. NAILS, SPACED AT 6" O.C. MAX. AT SUPPORTED EDGES AND AT 6" O.C. ALONG THE INTERMEDIATE SUPPORTS. GABLE ENDS NAIL SPACING SHALL BE 4" ON CENTERS MAXIMUM.
- INSPECTIONS, COMPLY WITH THE FLORIDA BUILDING CODE REQUIREMENTS FOR INSPECTIONS (BY THE COUNTY, ARCHITECT OR ENGINEER) OF SPECIFIED COMPONENTS OF THE ROOF STRUCTURE REQUIRING INSPECTIONS.

CONNECTOR SCHEDULE					
MARK	CONNECTOR	UPLIFT	FASTENER TO RAFTER TRUSS	FASTENER TO WALL/COLUMN/WOOD BEAM	REMARKS
A	JUS210-TZBK	1050	(4)-10d	(6)-10d	(EXISTING) MITER FL17232
B	MTS12	990	(7)-10d	(7)-10d	(EXISTING) SIMPSON STRONG TIE FL13972
C	NVJH28	1079	(7)-10d	(14)-10d	FL16294-R2 NOA.15-0507.02

PLYWOOD ROOF SHEAR DIAGRAM SCHEDULE					
PANEL GRADE	FRAMING SPACING	MINIMUM PANEL THICKNESS	NAIL SPACING		REMARKS
			@ DIAPH	@ OTHER	
ROOF STRUCTURAL 11 EXT. OR EQUAL	24"	5/8" NOM.	4" @ ZONE 3	4" @ ZONE 3	10d BLOCKED CHAPHRAM

NOTE: INSTALL WOOD PANELS PERPENDICULAR TO FRAMING MEMBERS. APPLY SOLID BLOCKING ALONG PLYWOOD EDGES AS REQUIRED TO FORM DIAPHRAGM (SEE REMARKS).

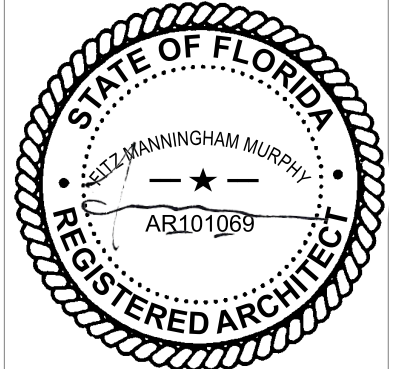
SPACE NAILS @12" OC FOR ROOFS.

FOR GABLE ENDS NAIL PLYWOOD @ 4" O.C. FOR 4" ALL AROUND (FOR ZONES 2 & 3).

\*PER ASCE 7-88

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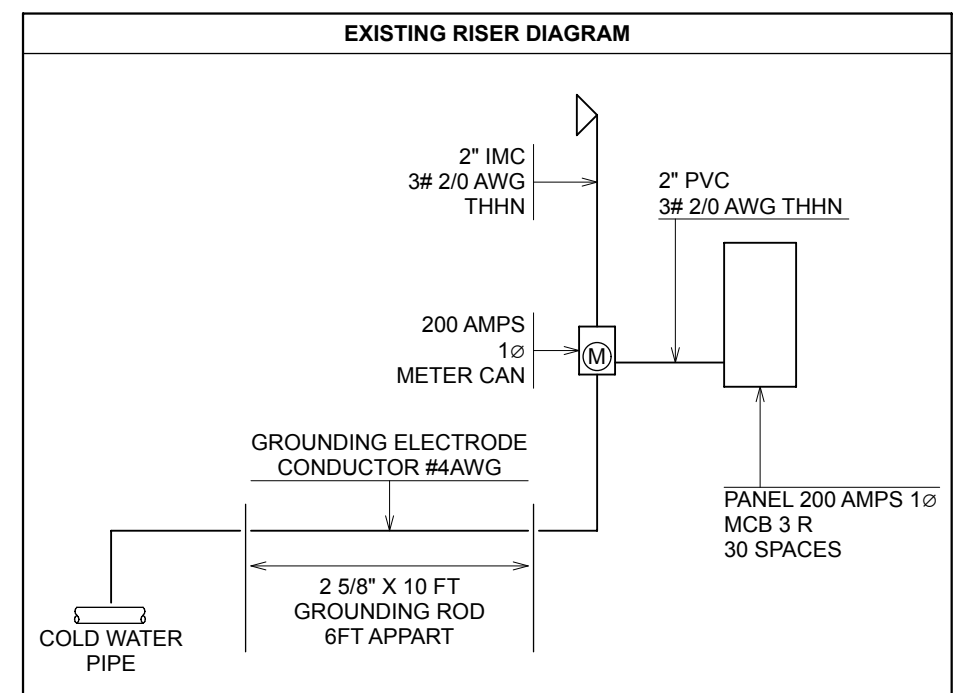
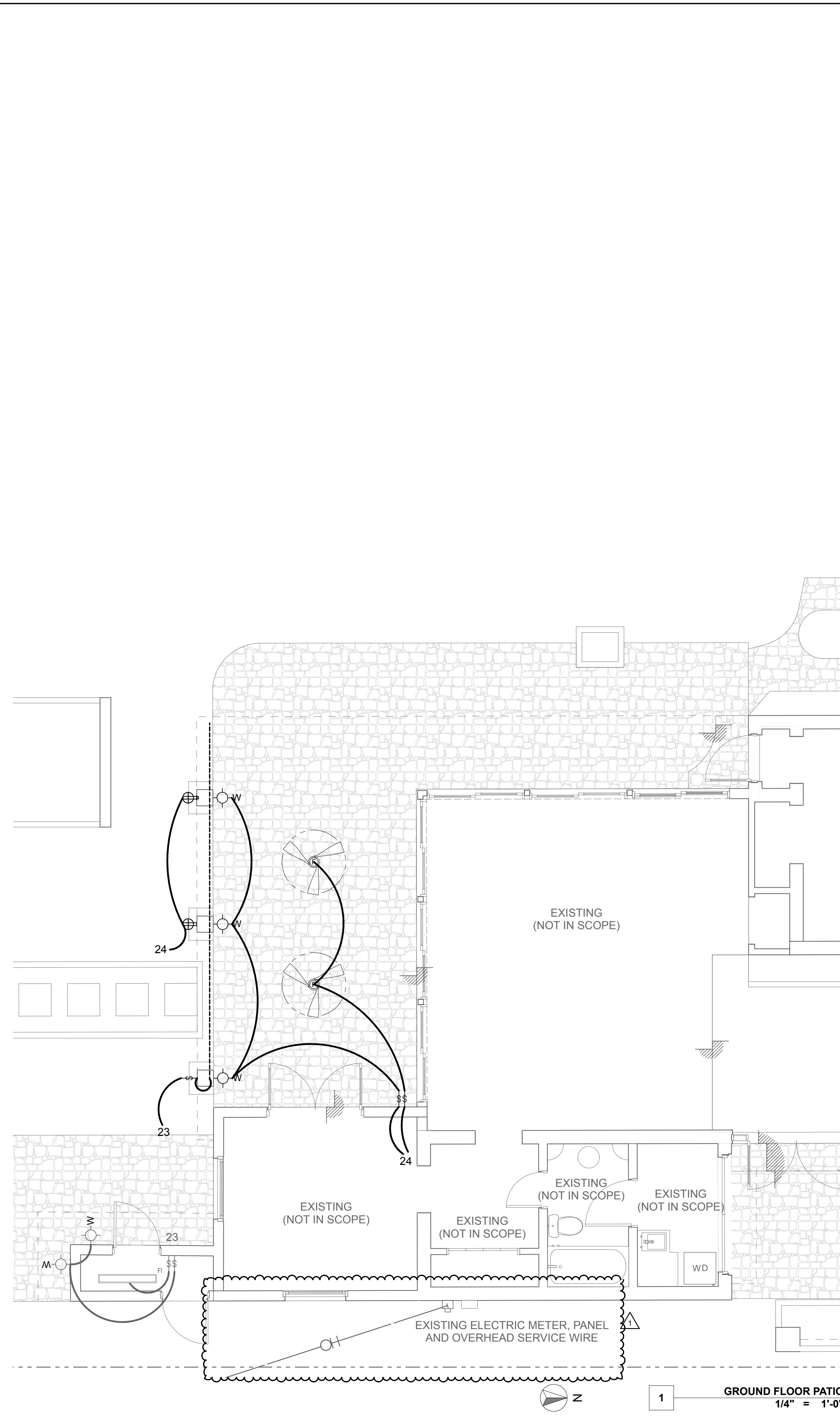
STRUCTURAL DETAILS

**S100**

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EXISTING PANEL			
AMPACITY VOLTAGE	200 AMPS 120/240V		LOCATION: EXTERIOR MOUNTING: SURFACE
DESCRIPTION	CIRC NO.	CIRC NO.	DESCRIPTION
SPARE	1	2	SPARE
SPARE	3	4	SPARE
SPARE	5	6	SPARE
SPARE	7	8	SPARE
SPARE	9	10	SPARE
SPARE	11	12	SPARE
SPARE	13	14	SPARE
SPARE	15	16	SPARE
SPARE	17	18	SPARE
EXISTING	19	20	EXISTING
EXISTING	22	22	EXISTING
<b>EX. STORAGE LIGHTING</b>	<b>23</b>	<b>24</b>	<b>EX. PATIO LIGHTING &amp; RECEPTACLES</b>
EXISTING	25	26	EXISTING
EXISTING	27	28	EXISTING
EXISTING	29	30	EXISTING
EXISTING	31	32	EXISTING
EXISTING	33	34	EXISTING
EXISTING	35	36	EXISTING
EXISTING	37	38	EXISTING
EXISTING	39	40	EXISTING

EXISTING SERVICE LOAD CALCULATIONS PER PERMIT 01110278		
LOAD TYPE		VA CALCULATION
GENERAL LIGHTING	1900 SQUARE FEET X 3 VA	5700 VA
SMALL APPLIANCE CIRCUIT	1500VA X 2	3000 VA
LAUNDRY CIRCUIT		1500 VA
DISHWASHER		1200 VA
WATER HEATER		4500 VA
DRYER		4000 VA
RANGE		10000 VA
TOTAL CONNECTION LOAD		29900 VA
FIRST 10000 VA @100%		10000 VA
REMAINDER @40%		7960 VA
TOTAL DEMAND LOAD		17960 VA
AIR CONDITIONING COMPRESSOR	230 VOLTS X24 AMPS	5320 VA
HEAT STRIP	10000 X 65%	6500 VA
TOTAL DEMAND LOAD		24460 VA
24460VA / 240 VOLTS		102 AMPS

- LIGHT FIXTURES**
- WALL MOUNTED FIXTURE; PROVIDE J-BOX
  - FAN; PROVIDE J-BOX
  - FLUORESCENT LIGHT; FIXTURES BY OTHERS
- POWER**
- SWITCH, WEATHERPROOF
  - RECEPTACLE, 120 V DUPLEX, GFCI WEATHERPROOF
- NOTES**

- INTERIOR AND BUILDING-EXTERIOR LIGHT FIXTURES TO BE FURNISHED BY OWNER. ONLY LED-TYPE LUMINAIRES ACCEPTED.
  - PER ARTICLE R404.1, FBC - ENERGY CONSERVATION, NOT LESS THAN 90% OF THE LAMPS IN PERMANENTLY INSTALLED LUMINAIRES SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS PER WATT OR SHALL UTILIZE LAMPS WITH AN EFFICIENCY OF NOT LESS THAN 65 LUMENS PER WATT.
  - EXISTING EXTERIOR SWITCHES AND LIGHTING SHALL COMPLY WITH NEC ART 210.70. ONLY NEW LIGHTING SHOWN ON PLANS
- GENERAL ELECTRICAL**
- ALL WORK INDICATED ON THE DRAWINGS SHALL BE COMPLETED AS SHOWN, AND AS REQUIRED FOR A COMPLETE AND FULLY FUNCTIONAL SYSTEM. COORDINATE CLOSELY WITH ALL OTHER DISCIPLINES.
  - CONTRACTOR SHALL PAY FOR ALL PERMITS, INSPECTION, TESTING, AND OTHER FEES CHARGED AS PART OF THE WORK.
  - ALL EQUIPMENT FURNISHED SHALL BE NEW.
  - IN THE EVENT OF A CONFLICT BETWEEN THE GENERAL ELECTRICAL NOTES AND THE PLANS, INFORMATION ON THE PLANS SHALL PREVAIL.
  - ALL RELEVANT INFORMATION MAY NOT BE SHOWN ON THE DRAWINGS. ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY ASSESS EXISTING CONDITIONS, PRIOR TO PLACING BID OR PROVIDING FINAL QUOTE FOR THE WORK.
  - COMPLETE ALL WORK IN A NEAT AND COMPETENT MANNER. ANY WORK THAT FAILS TO MEET THIS STANDARD SHALL BE REDONE AT CONTRACTOR'S OWN COST, WHERE DIRECTED BY ENGINEER OR OWNER.
  - COMPLETE THE WORK IN ACCORDANCE WITH DETAILS SHOWN ON THE DRAWINGS. WHEREVER POSSIBLE, ALTERNATIVE INSTALLATIONS ACCEPTED PENDING APPROVAL BY ENGINEER IN WRITING.
  - ALL EQUIPMENT FURNISHED SHALL BE MANUFACTURED WITHIN THE SCOPE OF STANDARDS PUBLISHED BY UNDERWRITERS LABORATORIES FOR SUCH EQUIPMENT, AND SHALL BEAR A UL LISTING MARK OR LABEL.
  - GUARANTEE ALL WORK AND EQUIPMENT FREE FROM DEFECTS FOR A MINIMUM OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION/ACCEPTANCE, UNLESS OTHERWISE INDICATED.
  - TAKE ALL MEASURES NECESSARY TO LIMIT CONTAMINATION OF THE WORKSPACE AND ADJOINING AREAS. ALL WORK AREAS AND ADJOINING SPACES SHALL BE LEFT BROOM-CLEAN AT THE END OF EACH WORK DAY.
  - THOROUGHLY CLEAN UP ANY INCIDENTAL PAINT OR CONCRETE SPLATTER CREATED WHILE PERFORMING THE WORK.
  - FURNISH ALL APPURTENANCES AND INCIDENTALS REQUIRED, WHETHER SHOWN ON THE DRAWINGS, OR NOT.
  - SAW-CUT OPENINGS FOR ALL EXCAVATIONS THROUGH EXISTING PAVEMENT OR CONCRETE, BACKFILL EXCAVATIONS AND RESTORE SURFACE TO ORIGINAL FINISH UPON COMPLETION OF THE WORK.
  - PATCH ALL OPENINGS CREATED AS PART OF THE WORK, AND RESTORE TO MATCH SURROUNDING FINISH.
  - ELECTRICAL EQUIPMENT SHALL BE SUITABLE FOR USE WITH 75 DEGREE C WIRE AT FULL NFPA 70, 75 DEGREE C AMPACITY, MINIMUM.
  - PLUG ANY REMAINING CONDUIT OPENINGS IN ELECTRICAL ENCLOSURES. FOR NEMA 4, 4X ENCLOSURES, USE SUITABLE PLUGS AS NEEDED TO MAINTAIN ENCLOSURE RATING.
  - PERFORM A LOAD BALANCE ANALYSIS, AFTER ALL NEW LOADS ARE OPERATIONAL. RE-CIRCUIT SINGLE-PHASE LOADS AS REQUIRED TO PROVIDE OPTIMAL LOAD BALANCE CONDITION.
  - TAKE ALL MEASURES NECESSARY TO AVOID DAMAGE TO PROPERTY AT THE CONSTRUCTION SITE. ANY INCIDENTAL DAMAGE CAUSED BY CONTRACTOR TO EXISTING UNDERGROUND UTILITIES OR OTHER INFRASTRUCTURE SHALL BE REPAIRED AT THE CONTRACTOR'S OWN COST.
  - COMPLETE ALL WORK IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE, THE CURRENT FLORIDA BUILDING CODE, AND WITH ALL APPLICABLE LOCAL ORDINANCES.

- RACEWAYS**
- ALL CONDUITS SHALL BE RIGID GALVANIZED STEEL, EXCEPT WHERE OTHERWISE INDICATED, AND AS FOLLOWS:
    - UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC, EXCEPT FOR CIRCUITS CONTAINING ANALOG SIGNAL WIRING.
    - ELECTRIC METALLIC TUBING MAY BE USED WITHIN WALLS, IN CEILINGS, OR IN LOCATIONS WHERE NOT SUBJECT TO PHYSICAL DAMAGE, DAMP OR CORROSIVE CONDITIONS.
    - USE FLEXIBLE CONDUIT FOR CONNECTIONS TO TRANSFORMERS, MOTORS, AND OTHER VIBRATING EQUIPMENT. FLEXIBLE CONDUIT SHALL BE LIQUID-TIGHT IN OUTDOOR AND OTHER WET LOCATIONS.
  - FOR RIGID GALVANIZED STEEL AND INTERMEDIATE METAL CONDUIT, APPLY ZINC-RICH PAINT OR LIQUID GALVANIZING COMPOUND TO ALL FIELD-CUT ENDS AND THREADS PRIOR TO ASSEMBLY.
  - HOMERUNS AND CONDUIT ROUTING MAY NOT BE SHOWN ON THE DRAWINGS. REFER TO SINGLE LINE AND RISER DIAGRAMS FOR RACEWAY AND WIRING REQUIREMENTS. FIELD DETERMINE THE MOST APPROPRIATE ROUTE.
  - RACEWAY ROUTES SHOWN ON THE DRAWINGS MAY BE ADJUSTED, BASED ON FIELD CONDITIONS.
  - COORDINATE CONDUIT STUB UP LOCATIONS AND WINDOW OPENINGS IN CONCRETE EQUIPMENT SLABS, PRIOR TO INSTALLATION.
  - APPLY HEAVY BITUMASTIC PAINT COATING ON ALL STEEL CONDUITS AT TRANSITION FROM BURIED OR EMBEDDED TO EXPOSED. EXTEND COATING 6" BEYOND POINT OF TRANSITION.
  - RACEWAYS SHALL BE ROUTED CONCEALED, WHEREVER POSSIBLE.
- CONDUCTORS**
- ALL CONDUCTORS SHALL BE COPPER. FOR SERVICE ENTRANCE CONDUCTORS ONLY, ALUMINUM CONDUCTORS PROVIDING EQUIVALENT AMPACITY MAY BE SUBSTITUED. UPSIZE CONDUIT ACCORDINGLY.
  - WHERE NEUTRALS ARE REQUIRED, PROVIDE INDIVIDUAL NEUTRALS. SHARED NEUTRALS NOT ACCEPTED.
  - FOR EQUIPMENT TO WHICH NO POWER CIRCUIT IS ASSIGNED ON THE DRAWINGS, #12, #12G CIRCUITS FOR 120V EQUIPMENT.

**ARCHITECT**  
  
 344 MORLEY STREET | HOLLYWOOD, FL 33021  
 T 954.631.8371  
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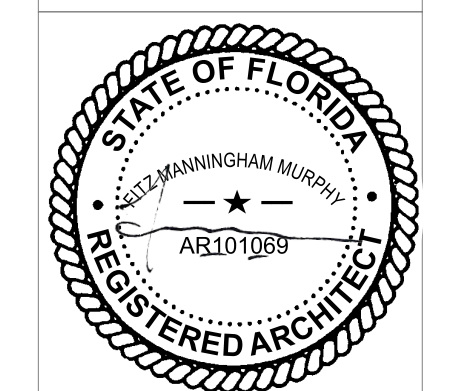
**PROPERTY OWNER:**  
 JOSE RODRIGUEZ AND AMANDA ESTEVEZ  
 934 SOROLLA AVENUE, CORAL GABLES, FL 33134 USA

**934 SOROLLA AVENUE, CORAL GABLES, FLORIDA**

**ARCHITECT**

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY FITZ MANNINGHAM MURPHY, AIA AR101069 ON 5/30/23.

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FITZ MANNINGHAM MURPHY  
 REGISTERED ARCHITECT  
 AR101069

**REVISIONS**  
 1 CoCG Revision

2202 PROJECT NO.

5/30/23 DATE

FMM DRAWN / CHECKED

**ELECTRICAL PLANS**

**E100**

