

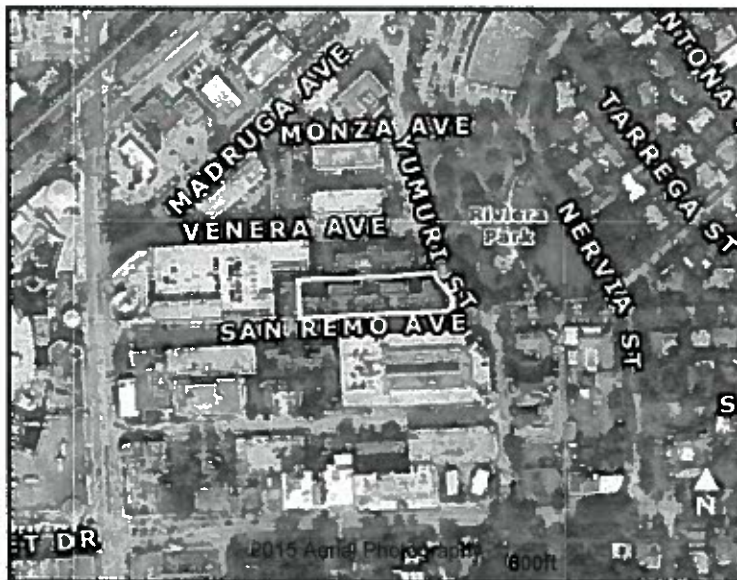


OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 9/10/2015

Property Information	
Folio:	03-4130-033-0001
Property Address:	
Owner	REFERENCE ONLY
Mailing Address	
Primary Zone	0300 SINGLE FAMILY - 751-900 S
Primary Land Use	0000 REFERENCE FOLIO
Beds / Baths / Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	0 Sq Ft
Living Area	0 Sq Ft
Adjusted Area	0 Sq Ft
Lot Size	0 Sq Ft
Year Built	0



Assessment Information			
Year	2015	2014	2013
Land Value	\$0	\$0	\$0
Building Value	\$0	\$0	\$0
XF Value	\$0	\$0	\$0
Market Value	\$0	\$0	\$0
Assessed Value	\$0	\$0	\$0

Taxable Value Information			
	2015	2014	2013
County			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
School Board			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
City			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
Regional			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0

Benefits Information				
Benefit	Type	2015	2014	2013
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description
VILLA SAN REMO CONDO
CORAL GABLES RIVIERA SEC 14
2ND REV PB 28-32
LOTS 17 THRU 24 BLK 203
AS DESC IN DEC OR 23355-3786

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:

CITY'S

EXHIBIT





The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

4/1/2014

VIA CERTIFIED MAIL

VILLA SAN REMO CONDO C/O CLEAR SKY PROPERTY MANAGEMENT
2929 SW 3RD AVE SUITE 412
MIAMI , FL 33129

91 7108 2133 3932 6007 6667

RE: 1515 SAN REMO,CORAL GABLES, FL
Folio # 03-4130-033-0001
Recertification of Building 40 Years or older

Gentlemen:

This Department has been advised that the subject building is forty (40) years old, or older, having been built in year 1964.

In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a Florida Registered Architect or Professional Engineer must inspect said building and a report must be furnished to this Department with ninety (90) days from the date of this letter, indicating that the building meets the requirements of building recertification under the Code. In the event that repairs or modifications are found to be necessary resulting from the recertification inspection, the owner shall have a total of 150 days from the date of this Notice in which to complete indicted repairs or modifications.

The architect or engineer that you choose to do the inspection may obtain the required forms: "*Minimum Inspection Procedural Guidelines for Building Recertification*," from this link: <http://www.miamidade.gov/building/form-checklist.asp> to access the interactive structural and electrical forms. In addition to the forms, a cover letter must state that that the property meets the requirement for building recertification; no additional documents or photographs are necessary.

The certification report, along with the filing fee in the amount of \$380.63; plus, \$2.45 per page document preservation fee must be paid with a check, or credit card payment to the "City of Coral Gables," and sent/delivered to:

BUILDING RECERTIFICATION SECTION
Coral Gables Building & Zoning Department
405 Biltmore Way
Coral Gables, FL 33134

Any questions may be directed to (305) 460-5228. Thank you for your prompt consideration.

Sincerely,

Manuel Z. Lopez

Manuel Z. Lopez, P.E.
Building Official

CITY'S

EXHIBIT 2



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

7/22/2014

VILLA SAN REMO CONDO C/O CLEAR SKY PROPERTY MANAGEMENT
2929 SW 3RD AVE SUITE 412
MIAMI, FL 33129

VIA CERTIFIED MAIL

91 7108 2133 3932 6021 9989

Re: Building Recertification
1515 SAN REMO
Folio # 03-4130-033-0001

Dear Property Owner:

In a certified letter dated 4/1/2014, this Department notified you the property referenced above requires a 40-year building recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). The letter informed you it was necessary to furnish this Department a report prepared by a licensed architect or engineer within 90-days specifying the building meets the requirements for building recertification provided under the Minimum Inspection Procedural Guidelines for Building Recertification.

Please be advised that as of 7/1/2014 the report will be overdue and this building will be deemed to be in NON-COMPLIANCE. This may result in the revocation of the Certificate of Occupancy, as well as, being subject to other penalties as provided in the Code.

Failure to contact us before 10/22/2014, will result in our forwarding this building information to the Miami-Dade County Unsafe Structures Board for further determination.

Please govern yourself accordingly.

Sincerely,

Manuel Z. Lopez

Manuel Z. Lopez, P.E.
Building Official

CITY'S

EXHIBIT

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1515 San Remo Ave

Allied Building Inspection Services
Inspections. Testing. Engineering



December 23, 2014

Building Official
City of Coral Gables
405 Biltmore Way, 3rd Floor
Coral Gables FL 33134

RE: 40-Year Building Re-Certification Electrical Inspection Report
SUBJ: 1515 San Remo Ave, Coral Gables, FL
Folio: 03-4130-033-0001 (Reference Only – See attached list)

Dear Building Official,

Enclosed, please find the electrical report in the format required by your office. **The building requires electrical repairs to the deficiencies noted in the report prior to our recommendation for recertification.**

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building.

Sincerely,

Allied Building Inspection Services, Inc.

Masood Fegghi, PE

CITY'S

EXHIBIT

4



1515 San Remo Ave

Allied Building Inspection Services
Inspections. Testing. Engineering



Minimum Inspection Procedural Guidelines for Building Electrical Re-Certification

Inspection Commenced
Date: **July 8, 2014**

Inspection Made By:

Signature:

Print Name: **Masood Feghhi**

Inspection Completed
Date: **December 23, 2014**

Title: **PE 38622**

Address: **8203 SW 124 Street
Miami, Florida 33156**

1. *Description of Structure*

- a. Name of Title: **(See Attached List)**
- b. Street Address: **1515 San Remo Ave N-N Coral Gables , FL 33146 (See Attached List)**
- c. Legal Description: **Villa San Remo Condo Unit N-N Undivided N/NNN Interest In Common Elements (See Attached List)**
- d. Owner's Name: **(See Attached List)**
- e. Owner's Mailing Address: **(See Attached List)**
- f. Building Official Folio Number: **03-4130-033-0001 (Reference Only – See attached list)**
- g. Building Code Occupancy Classification: **R2**
- h. Present Use: **Commercial – Multifamily Residential – 47 units**
- i. General Description, Type of Construction, Size, Number of Stories, Special Features: **3-Story CBS & Reinforced Concrete Structure. See attached list for approximate area in SF.**
- j. Additions to original structure: **None noted (no plans available on site).**



Guidelines and Information for Re-Certification of Electrical Systems of (40) Year Structures

1. Electric Service

1. Size:

- a. Bldg A Amperage (400) Fuses (X) Breakers (X)
- b. Bldg B Amperage (400) Fuses (X) Breakers (X)
- c. Bldg C Amperage (400) Fuses (X) Breakers (X)
- d. Bldg D Amperage (400) Fuses (X) Breakers (X)
- e. Bldg E Amperage (400) Fuses (X) Breakers (X)
- f. Bldg F Amperage (200) Fuses (X) Breakers (X)

2. Phase: Three Phase () Single Phase (X)

3. Condition: Good () Fair (X) Needs Repair ()

4. Comments: 49 meters, 5-400A main disconnects, 1-200A main disconnect, 48-70A panel disconnects in six multi-disconnect centers, 1-200A panel disconnect

2. Meter and Electric Room

1. Clearances: Good (X) Fair () Requires Correction ()

2. Comments: All equipment is satisfactory.

3. Gutters

1. Location: Good (X) Requires Repair ()

2. Taps & Fill: Good (X) Requires Repair ()

3. Comments: Satisfactory.

4. Electrical Panels

1. Panels A1-A9: 70 Amps, indoor Good (X) Requires Repair ()

2. Panels B1-B9: 70 Amps, indoor Good (X) Requires Repair ()

3. Panels C1, C3-C9: 70 Amps, indoor Good (X) Requires Repair ()



- 4. Panels D1-D9: **70 Amps, indoor** Good (X) Requires Repair ()
- 5. Panels E1-E9: **70 Amps, indoor** Good (X) Requires Repair ()
- 6. Panels F1-F4: **70 Amps, indoor** Good (X) Requires Repair ()
- 7. House Panel A: **200 Amps, indoor** Good (X) Requires Repair ()
 - a. House Subpanel B: **100 Amps, indoor** Good (X) Requires Repair ()
- 8. Comments: **Satisfactory.**

5. Branch Circuits

- 1. Identified: Yes (X) Must Be Identified (X)
- 2. Conductors: Good (X) Deteriorated () Must Be Replaced ()
- 3. Comments: **Satisfactory**

6. Grounding of Service

- Condition: Good (X) Repairs Required ()
- Comments: **Satisfactory**

7. Grounding of Equipment

- Condition: Good (X) Repairs Required ()
- Comments: **Satisfactory**

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1/15/15

8. Service Conduits/Raceways

- Condition: Good (X) Repairs Required ()
- Comments: **Satisfactory**

9. Service Conductors and Cables

- Condition: Good (X) Repairs Required ()
- Comments: **Satisfactory**

10. Types of Wiring Methods

- Condition:
 - a. Conduit Raceways: Good (X) Repairs Required ()
 - b. Conduit PVC: Good (X) Repairs Required ()
 - c. NM Cable: Good () Repairs Required ()
 - d. BX Cable: Good (X) Repairs Required ()

11. Feeder Conductors

- Condition: Good (X) Repairs Required ()
- Comments: **Satisfactory**

12. Emergency Lighting

- Condition: Good (X) Repairs Required ()
- Comments: **Satisfactory**

13. Building Egress Illumination

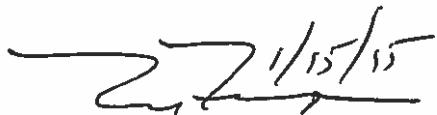
- Condition: Good (X) Repairs Required ()
- Comments: **Satisfactory**

14. Fire Alarm System

- Condition: Good (X) Repairs Required ()
- Comments: **Satisfactory**

15. Smoke Detectors

- Condition: Good (X) Repairs Required ()
- Comments: **Satisfactory**

 1/15/15

16. Exit Lights

- Condition: Good (X) Repairs Required ()
- Comments: **Satisfactory**

17. Emergency Generator

- Condition : Good () Repairs Required ()
- Comments: **N/A**



18. Wiring in Open or Undercover Parking Garage Areas

- Condition: Good (X) Repairs Required ()
- Comments: Satisfactory

19. Open or Undercover Parking Surface and Security Lighting

- Condition: Good () Requires Additional Illumination ()
- Comments: Illumination certification to be provided by others

20. Swimming Pool Wiring

- Condition: Good (X) Repairs Required ()
- Comments: Satisfactory

21. Wiring of Mechanical Equipment

- Condition: Good () Repairs Required (X)
- Comments: Repairs required – see list included below

22. General Additional Comments

- Comments: Repairs required – see list included below

Required Repair List

At ALL A/C condensing units on rooftop: replace deteriorated service wiring and add disconnects to each (to be addressed during upcoming rooftop replacement)

Folio Number	Owner Name	Property Address	SF	Legal (Villa San Remo Condo Unit N-N)	Legal (Undiv N/NNN Int in Common Elements)
0341300330010	Marlene Echeverria	1515 San Remo Ave A-1	770	A-1	7/300
0341300330020	Jesse S Leighton Jr	1515 San Remo Ave A-2	625	A-2	5/264
0341300330030	Tony Romeo &W	1515 San Remo Ave A-3	770	A-3	7/300
0341300330040	George W Prendes	1515 San Remo Ave A-4	770	A-4	7/300
0341300330050	Michael L Macknin &W Carol H	1515 San Remo Ave A-5	625	A-5	5/264
0341300330060	Zulay Suarez De Ruiz	1515 San Remo Ave A-6	770	A-6	7/300
0341300330070	John Rock	1515 San Remo Ave A-7	770	A-7	7/300
0341300330080	Humberto De Lara	1515 San Remo Ave A-8	625	A-8	5/264
0341300330090	Silver Ridge LLC	1515 San Remo Ave A-9	770	A-9	7/300
0341300330100	Elena Bustillo	1515 San Remo Ave B-1	625	B-1	5/264
0341300330110	Richard J Hofman &W Jo V	1515 San Remo Ave B-2	770	B-2	7/300
0341300330120	Sylvia & Susan Grossinger &	1515 San Remo Ave B-3	625	B-3	5/264
0341300330130	Missu LLC	1515 San Remo Ave B-4	625	B-4	5/264
0341300330140	Lillian K Peters	1515 San Remo Ave B-5	770	B-5	7/300
0341300330150	Albert Lenel &W Doris &	1515 San Remo Ave B-6	625	B-6	5/264
0341300330160	David A Freedman &	1515 San Remo Ave B-7	625	B-7	5/264
0341300330170	David Gutierrez &W Roxanne	1515 San Remo Ave B-8	770	B-8	7/300
0341300330180	Anthony Romeo &W Carolina	1515 San Remo Ave B-9	625	B-9	5/264
0341300330190	Luis Fernando Marquina	1515 San Remo Ave C-1	770	C-1	7/300
0341300330200	Ana M Betancourt	1515 San Remo Ave C-3	770	C-3	7/300
0341300330210	Carrieanne Coloma &H Carlos	1515 San Remo Ave C-4	625	C-4	5/264
0341300330220	Carrieanne Coloma	1515 San Remo Ave C-5	770	C-5	7/300
0341300330230	Elizabeth Hogan	1515 San Remo Ave C-6	625	C-6	5/264
0341300330240	Heather R Weissman	1515 San Remo Ave C-7	625	C-7	5/264
0341300330250	Mep Real Est LLC	1515 San Remo Ave C-8	770	C-8	7/300
0341300330260	Ew d San Remo LLC	1515 San Remo Ave C-9	625	C-9	5/264
0341300330270	Lee D Yoder &W Margaret	1515 San Remo Ave D-1	625	D-1	5/264
0341300330280	Mayumi O Todd &H Rock	1515 San Remo Ave D-2	770	D-2	7/300
0341300330290	Carlos Estalella &W Mercedes	1515 San Remo Ave D-3	625	D-3	5/264
0341300330300	Sharon Madia &H Michael	1515 San Remo Ave D-4	625	D-4	5/264
0341300330310	George Prendes &W Beatriz	1515 San Remo Ave D-5	770	D-5	7/300
0341300330320	Anthony Chisena & W	1515 San Remo Ave D-6	625	D-6	5/264
0341300330330	Michelle C Fernandez	1515 San Remo Ave D-7	625	D-7	5/264
0341300330340	Rocket Riders Picture	1515 San Remo Ave D-8	770	D-8	7/300
0341300330350	Shaw n Holtzman	1515 San Remo Ave D-9	625	D-9	5/264
0341300330360	Alexis Zequeira	1515 San Remo Ave E-1	770	E-1	7/300
0341300330370	Shaw n P Marcotte &W Anamae G	1515 San Remo Ave E-2	625	E-2	5/264
0341300330380	Tchad Marie Anderson	1515 San Remo Ave E-3	770	E-3	7/300
0341300330390	Jorge Balleste &W	1515 San Remo Ave E-4	770	E-4	7/300
0341300330400	Edgar Jones &W Susan	1515 San Remo Ave E-5	625	E-5	5/264
0341300330410	Janet Medina	1515 San Remo Ave E-6	770	E-6	7/300
0341300330420	Sidney L Kahn Iv &W Susan M	1515 San Remo Ave E-7	770	E-7	7/300
0341300330430	Jeff Schram	1515 San Remo Ave E-8	625	E-8	5/264
0341300330440	Jose Altet &W Maria L	1515 San Remo Ave E-9	770	E-9	7/300
0341300330450	Valious Florida Corporation	1515 San Remo Ave F-1	770	F-1	7/300
0341300330460	Namor Holdings LLC	1515 San Remo Ave F-2	770	F-2	7/300
0341300330470	Anthony Romeo &W Carolina	1515 San Remo Ave F-3	770	F-3	7/300

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1/15/15



Certification of Compliance with Parking Lot Guardrails Requirements in Chapter 8C of the Code of Miami-Dade County

Date: **December 23, 2014**

Re: Case Number: **Folio: 03-4130-033-0001 (Reference Only – See attachment)**

Property Address: **1515 San Remo Ave, Coral Gables, FL 33146 – See
attached list for approximate area in SF**

Building Description: **Commercial – Multifamily 47 units**

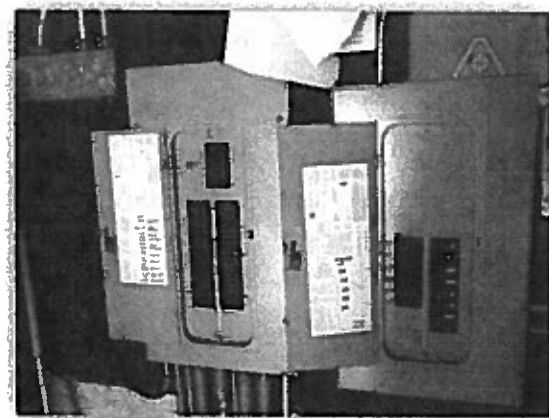
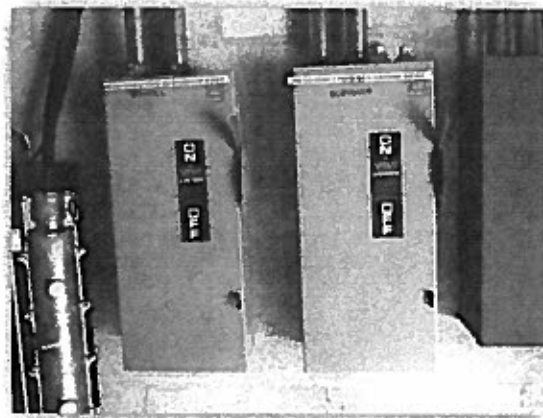
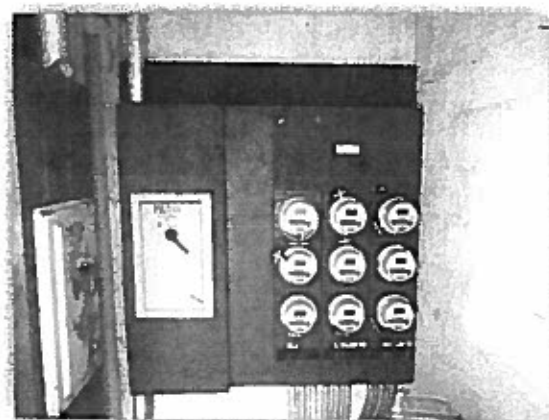
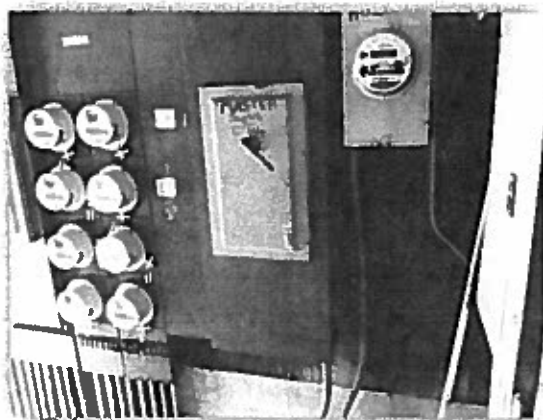
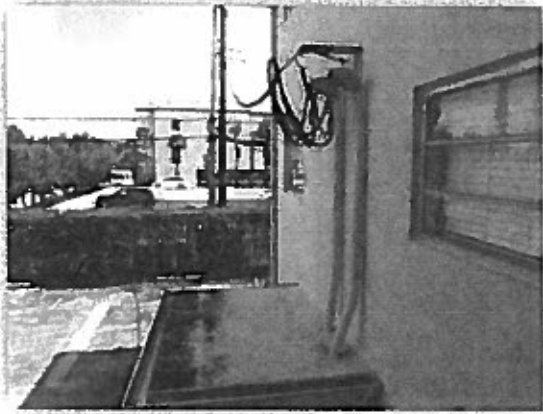
The undersigned states the following:

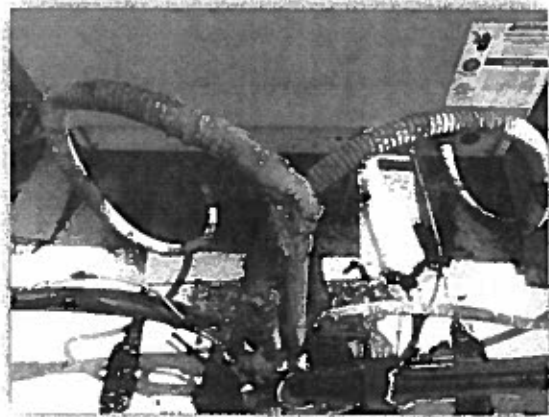
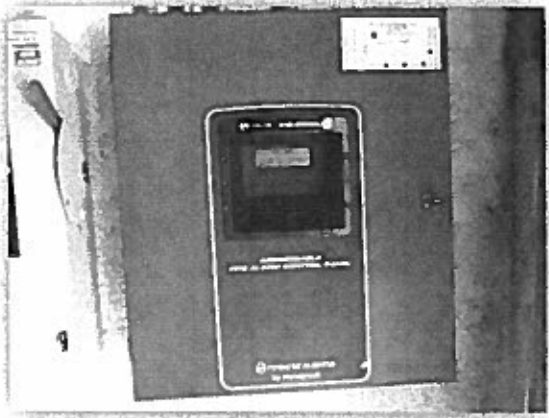
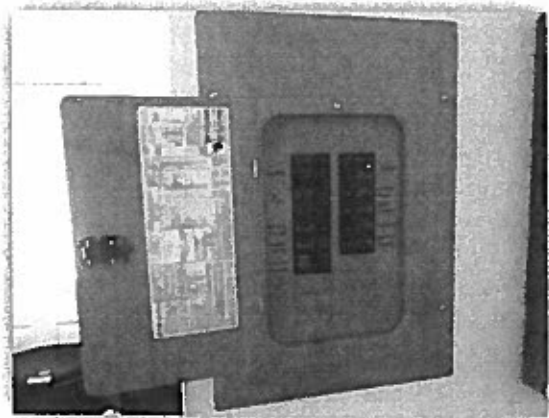
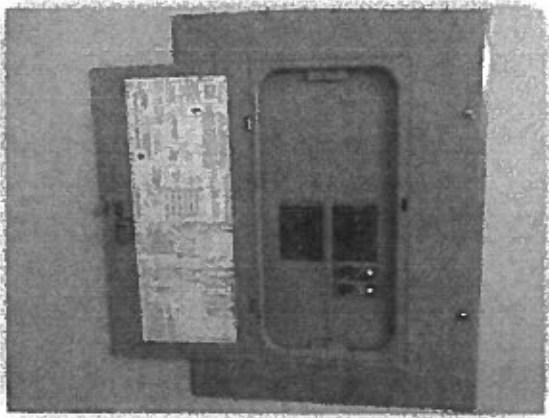
I am a Florida registered professional engineer or architect with an active license.

On **October 21, 2014**, I inspected the parking lot(s) servicing the above referenced building for compliance with Section 8C-6 and determined the following:

- (X) The parking lot(s) is not adjacent to or abutting a canal, lake or other body of water.
- () The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are protected by a guardrail that complies with Section 8C-6 of the Miami-Dade County Code.
- () The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are not protected by a guardrail that complies with Section 8C-6 of the Miami-Dade County Code. I have advised the property owner that he/she must obtain a permit for the installation of the guardrail and obtain all required inspection approvals no later than April 10, 2014.

Masood Feghi, PE





STRUCTURAL RECERTIFICATION

(FOLLOWING MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING)



1. DESCRIPTION OF STRUCTURE:

- a. Name or Title: Villa San Remo Condo
- b. Street Address: 1515 San Remo
Coral Gables, FL
- c. Legal Description: CORAL GABLES RIVIERA SEC 14
2ND REV PB 28-32
LOTS 17 THRU 24 BLK 203
AS DESC IN DEC OR 23355-3786
LOT SIZE 42606 SQ FT, FAU 03 4130 009 1100
- d. Owner's Name: Villa San Remo Condo
c/o Clear Sky Property Management
- e. Owner's Mailing Address: 2929 SW 3rd Avenue, Suite 412
Miami, FL 33129
- f. Building Official Folio Number: 03-4130-033-0001
- g. Building Code Occupancy Classification: _____
- h. Present use: 0300 SINGLE FAMILY - 751-900 S
- i. General description, type of construction, size, number of stories, and special features.
The structure consist of 5 buildings, three stories. Buildings are composed of prefab wood truss mansards, concrete hollow core roof and floor slabs; reinforced masonry bearing walls; and concrete slab-on-ground. (See photo nos. 1-2).
- j. Additions to original structure: Modification to pool / exercise room opening observed.

2. PRESENT CONDITION OF STRUCTURE:

- a. General alignment (note good, fair, poor, explain if significant)
1. Bulging: Good
 2. Settlement: Good
 3. Deflection: Good
 4. Expansion: Fair to poor
 5. Contraction: Good
- b. Portions showing distress (note beams, columns, structural walls, floors, roofs, other). The following items must be repaired before re-certification can be granted: Spalling at concrete lintels and sills; overhead spalls at concrete beams; spalling at concrete columns; loose rail posts; spalling at mechanical room roof slab; door framing damaged at meter room; tie-down straps missing at rooftop units; debris on roof deck. (See photos nos. 3-11)

Handwritten signature and date: 10-21-14

- c. Surface conditions - describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetration and stains.
In general, the surface conditions of the building are fair to good.
- d. Cracks - note locations in significant members. Identify crack size as HAIRLINE if barely discernible; FINE if less than 1mm in width; MEDIUM if between 1 and 2 mm in width; WIDE if over 2 mm.
Several hairline cracks, step cracks and slab cracks were found throughout the building. As part of routine maintenance it is recommended that these cracks be monitored, repaired and/or sealed to prevent water infiltration and tripping hazards.
- e. General extent of deterioration - cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood. There are significant cracks and spalling of concrete in the following areas: Refer to item 2.b. above for list of deficiencies.
- f. Previous patching or repairs
There are some minor areas patched as part of routine maintenance.
- g. Availability of original construction drawings - location, description.
Drawings for the original construction were made available by Robert Jerome Filer, AIA circa 1966.

3. INSPECTIONS:

- a. Date of notice of required inspection: April 1, 2014
- b. Date(s) of actual inspection: July 8 - 21, 2014
- c. Name and qualification of individual submitting inspection report: Jose A. Toledo, P.E. 54891 and Special Inspector 1180, for U.S. Structures, Inc. (CA8439)
- d. Description of any laboratory or other formal testing, if required, rather than manual or visual procedures:
No laboratory or load testing was conducted.
- e. Structural repair:
Refer to item 2.b. above for list of deficiencies.

4. SUPPORTING DATA:

- a. Sheets written data: None
- b. Photographs: Refer to general photos at the end of this report
- c. Drawings or sketches: None

5. MASONRY BEARING WALLS: indicate good, fair, poor on appropriate lines:

- a. Concrete masonry units are used for the exterior walls of the building and appear to be adequate.

Handwritten signature and date: 10-21-14

- b. Clay bricks none
- c. Reinforced concrete tie columns if any are concealed and could not be verified.
- d. Reinforced concrete tie beams are concealed and could not be verified.
- e. Lintels are used to framed the typical window and door openings
- f. Other type bond beams none
- g. Masonry finishes - exterior:
1. Stucco - fair to good
 2. Veneer - good, located at entry of building C
 3. Paint only - fair
 4. Other (describe) - none
- h. Masonry finishes - interior:
1. Vapor barrier - none
 2. Furring and Plaster - none
 3. Paneling - none
 4. Paint only - fair
 5. Other (describe) - none
- i. Cracks:
1. Location - note beams, columns, other: - common hairline cracks observed throughout
 2. Description: hairline
- j. Spalling:
1. Location - note beams, columns, other - Refer to item 2.b. above for list of deficiencies.
 2. Description - N/A.
- k. Rebar corrosion - check appropriate line:
1. None visible - N/A
 2. Minor - Patching will suffice - N/A
 3. Significant - but patching will suffice - N/A
 4. Significant - structural repairs required (describe) - Refer to item 2.b. above for list of deficiencies.
- l. Samples chipped out for examination in spall areas:
1. None visible - None
 2. Yes - describe color texture, aggregate, general quality - N/A

6. FLOOR AND ROOF SYSTEMS:

- a. Roof systems:
1. Describe (flat, sloped, type of roofing, type of roof deck, condition):

10-21-14

The roof deck is framed with a flat hollow core concrete slab. Slope is relatively flat pitched to exterior drains and scuppers. Roofing is built-up asphalt in poor condition. Perimeter mansards are prefab wood trusses with plywood sheathing.

2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports: Air conditioning units are located on roof stands. No cooling towers or water tanks. Unit strap tie downs are missing (refer to item 2.b. above for list of deficiencies).
3. Note types of drains and scuppers and conditions: Exterior roof drains and perimeter overflow scuppers throughout.

b. Floor system(s):

Describe (type of system framing, material, spans, condition):

Existing precast hollow core concrete slabs for elevated floors and typical slab-on-ground.

- c. Inspection - note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members.
Attic access was available at building C only. All other ceilings are direct to underside of hollow core slabs.

7. STEEL FRAMING SYSTEMS:

- a. Steel post columns are used to support the exterior stairs and located along perimeter of catwalks. Minor surface corrosion observed (recommend removing corrosion and coating with rust-inhibitive paint).

8. CONCRETE FRAMING SYSTEMS:

- a. Full description of structural system: Concrete framing members are concealed behind stucco and interior finishes and could not be confirmed.
- b. Cracking:
 1. Not Significant: common hairline and small cracks observed throughout.
 2. Location and description of members affected and type of cracking: see 2.b above
- c. General Condition: The concrete systems appear to be in serviceable conditions except for the deficient items noted in 2.b. above.
- d. Rebar corrosion - check appropriate line:
 1. None visible - exposed rebar noted in mechanical room
 2. Location and description of members affected and type cracking - refer to deficient items noted in 2.b. above.
 3. Significant but patching will suffice - N/A
 4. Significant - structural repairs required (describe) - refer to deficient items noted in 2.b. above.
- e. Samples chipped out in spall areas:
 1. No: N/A
 2. Yes - describe color, texture, aggregate, general quality: -N/A

10-21-14

9. **WINDOWS:**

- a. Type (wood, steel, aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other): In general, the existing windows are aluminum framed, awning style
- b. Anchorage - type and condition of fasteners and latches: The fasteners and anchorages for the windows were typically concealed. Some fasteners observed were corroded and some missing.
- c. Exterior Sealants - type and condition of perimeter sealants & at mullions: In general, observed signs of deteriorated and dried out sealant along most windows.
- d. Interior seals - type and condition of operable vents: Where visible, the sealant for the original windows was noted to be dried out and cracking.
- e. General condition: The windows are original and in fair to poor condition. Monitoring is recommended along with routine maintenance to ensure proper performance.

10. **WOOD FRAMING:**

Roof Framing: - Perimeter mansard roofs are prefab wood trusses with plywood sheathing. Minor spots of sheathing deterioration were noted at areas of leaks.

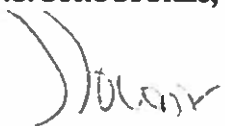
11. **EVALUATION:**

Based on our observations, there are structural deficiencies identified herein that require immediate action. The deficient items noted must be repaired before structural re-certification can be issued for this property. Repair drawings and specifications addressing all structural deficiencies shall be prepared by a Florida Registered engineer and submitted to the City of Coral Gables for building permit. Actual repairs shall be performed by a Florida licensed general contractor.

Upon satisfactory completion of the noted deficiencies, our office will revisit the site and issue structural re-certification.

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the structural systems for this building based upon careful evaluation of observed conditions, to the extent reasonably possible.

Respectfully submitted:
U.S. STRUCTURES, INC.

 10-21-14

Jose A. Toledo, P.E.
President / Structural Engineer
Florida License No. 54891
Special Inspector No. 1180

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Photograph No. 1 (general building elevation)

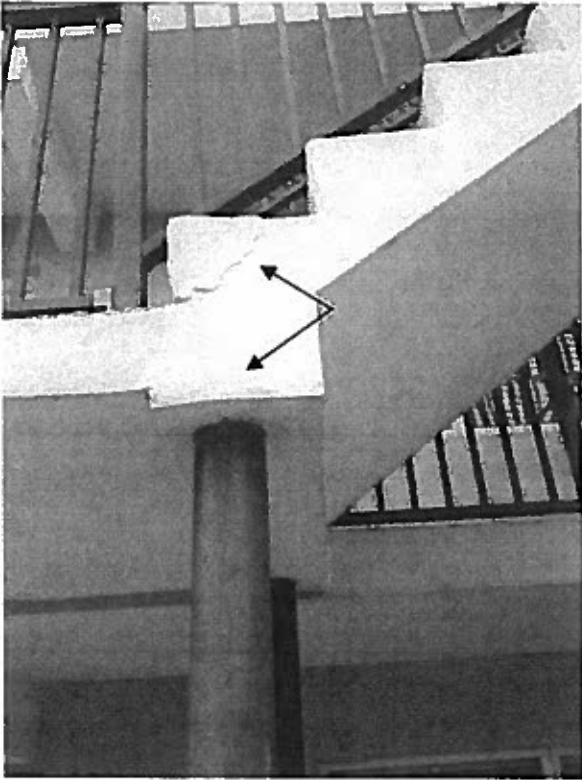


Photograph No. 2 (general building elevation)

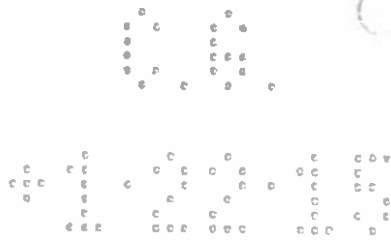
[Handwritten signature] 10-21-14

JOSE A. TOLEDO, PE 54891 FOR U.S. STRUCTURES, INC.
VILLA SAN REMO CONDO - 40YR RECERTIFICATION

OCTOBER 21, 2014
PAGE 6 OF 10

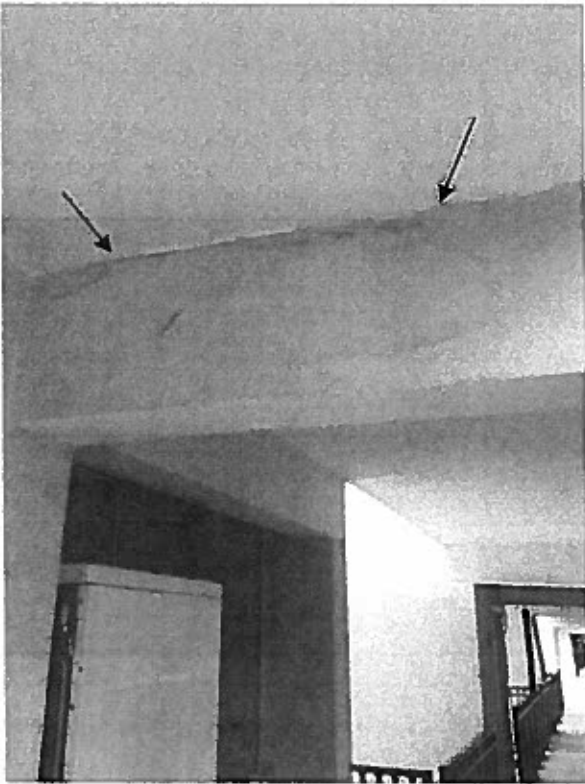


Photograph No. 3 (concrete spalling at step)

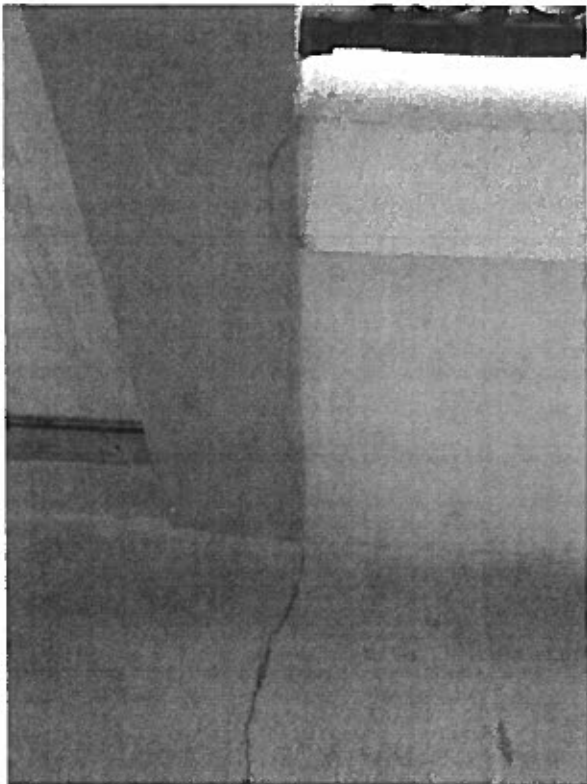


Photograph No. 4 (typical spalling at window sill)

Jose A. Toledo 10-21-14
JOSE A. TOLEDO, PE 54891 FOR U.S. STRUCTURES, INC.
VILLA SAN REMO CONDO - 40YR RECERTIFICATION



Photograph No. 5 (typical beam spalling)

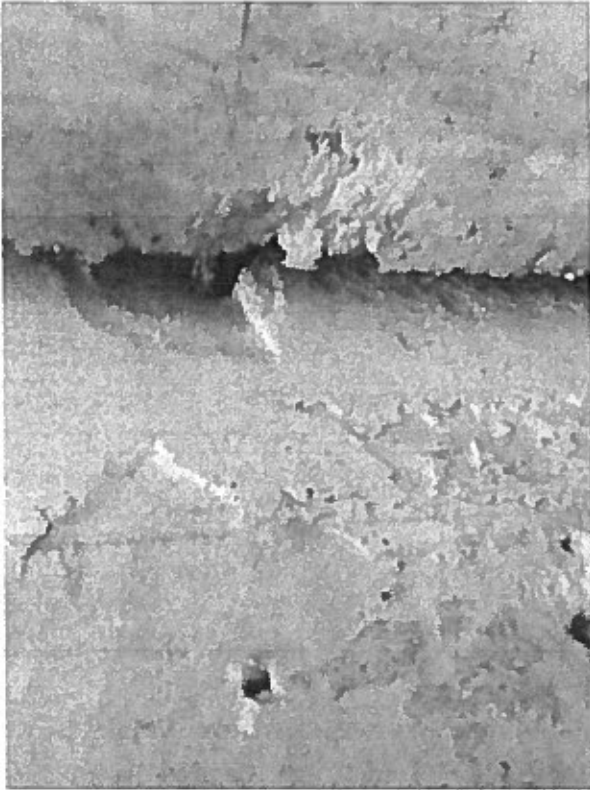


Photograph No. 6 (typical cracking at joint between buildings)

JAT 10-21-14

JOSE A. TOLEDO, PE 54891 FOR U.S. STRUCTURES, INC.
VILLA SAN REMO CONDO - 40YR RECERTIFICATION

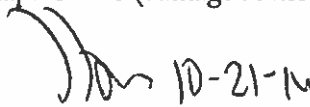
OCTOBER 21, 2014
PAGE 8 OF 10



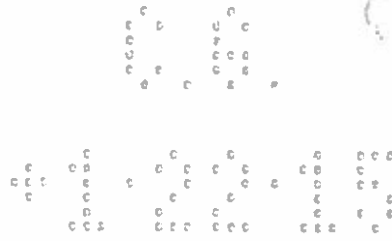
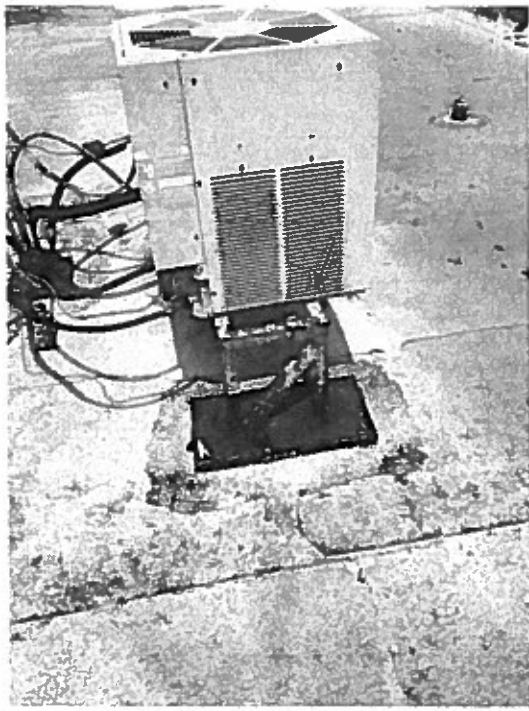
Photograph No. 7 (damage at mechanical room roof slab)



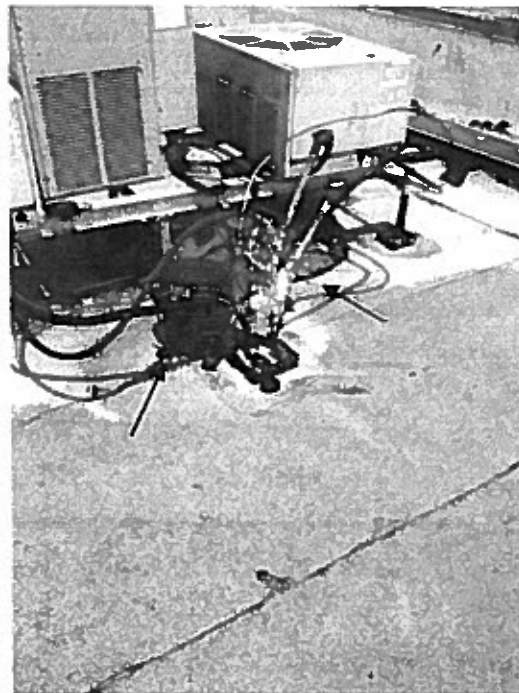
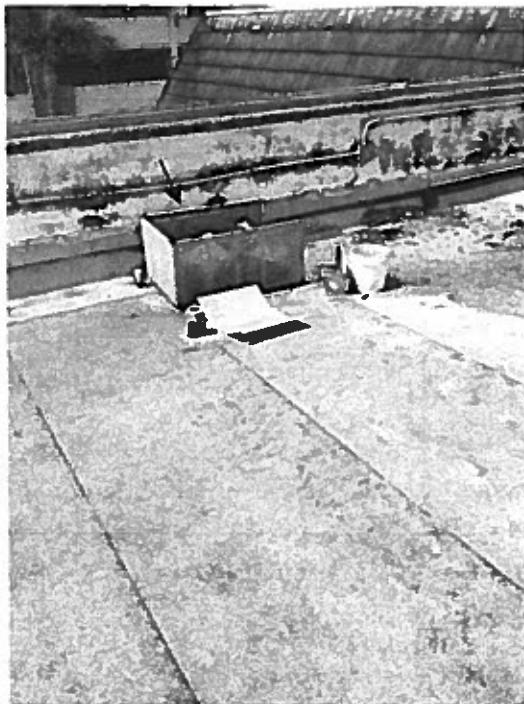
Photograph No. 8 (damage at meter roof door framing)


JOSE A. TOLEDO, PE 54891 FOR U.S. STRUCTURES, INC.
VILLA SAN REMO CONDO - 40YR RECERTIFICATION

OCTOBER 21, 2014
PAGE 9 OF 10



Photograph No. 9 (typical missing tie down at roof top units)



Photograph No. 10+11 (typical roof top debris)

[Handwritten signature] 10-21-14

JOSE A. TOLEDO, PE 54891 FOR U.S. STRUCTURES, INC.
VILLA SAN REMO CONDO - 40YR RECERTIFICATION

OCTOBER 21, 2014
PAGE 10 OF 10

RC-15-01-0843

City of Coral Gables Building & Zoning Department		
Permit #: RC-15-01-0843		
Address: 1515 SW Remo Ave		
Approved		
Section	By	Date
HISTORICAL		
BOARD OR ARCH.		
BOARD OR ARCH.		
CONCURRENCY		
ZONING		
PLUMBING		
MECHANICAL		
ELECTRICAL		
HANDICAP		
FEMA		
BUILDING		
STRUCTURAL		
FIRE		
PUBLIC WORKS		
OWNER BUILDER		



R-1/23/15

R

These are preliminary plans with no Federal, State, or County regulations. City assumes no responsibility for any errors or omissions that result from these plans.
 THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE FOR AN INSPECTION THAT MUST BE MADE 5/20/14

Permit #: RC-15-01-0843

Permit type: rc010 - BUILDING RE CERTIFICATION

Address: 1515 SAN REMO AVE

Master permit #:

Routing queue: rc012 - STRUCTURE CERTIFICATION

COMMON AREAS
CORAL GABLES, FL 33146

Group # - Name	Action Code	Action Description	Completion Date	Completion Code	Completed By	Comments
1 - BOARDS - GENERATE F	calc fees	CALCULATE FEES	1/21/2015	comp	asilio	
2 - CASHIER	collect	COLLECT FEES	1/22/2015		iwebuser	
3 - PLAN REVIEW	prbuild	BUILDING PLAN REVIEW				
3 - PLAN REVIEW	prbuild	BUILDING PLAN REVIEW	1/22/2015	reject	mlopez	REPAIRS REQUIRED
3 - PLAN REVIEW	prelec	ELECTRICAL PLAN REVIEW				
3 - PLAN REVIEW	prelec	ELECTRICAL PLAN REVIEW	1/23/2015	reject	areyes	ELECTRICAL REPAIRS REQUIRED
4 - RE CERTIFIED LETTER	letter	GENERATE LETTER				

CITY'S
EXHIBIT

5

Permit #: RC-15-01-0843
Master permit #:

Permit type: rc010 - BUILDING RE CERTIFICATION
Routing queue: rc012 - STRUCTURE CERTIFICATION

Address: 1515 SAN REMO AVE
COMMON AREAS
CORAL GABLES, FL 33146

Group # - Name	Action Code	Action Description	Completion Date	Completion Code	Completed By	Comments
1 - BOARDS - GENERATE F	calc fees	CALCULATE FEES	1/21/2015	comp	asilio	
2 - CASHIER	collect	COLLECT FEES	1/22/2015	comp	iwebuser	
3 - PLAN REVIEW	prbuild	BUILDING PLAN REVIEW				
3 - PLAN REVIEW	prbuild	BUILDING PLAN REVIEW	1/22/2015	reject	mlopez	REPAIRS REQUIRED
3 - PLAN REVIEW	prelec	ELECTRICAL PLAN REVIEW				
3 - PLAN REVIEW	prelec	ELECTRICAL PLAN REVIEW	1/23/2015	reject	areyes	ELECTRICAL REPAIRS REQUIRED
3 - PLAN REVIEW	ce120	RECEIVED PAYMENT				
4 - RE CERTIFIED LETTER	letter	GENERATE LETTER				



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

January 23, 2015

VILLA SAN REMO CONDOMINIUM ASS
2929 SW 3 AVE # 412
MIAMI, FL. 33129

VIA CERTIFIED MAIL

91 7108 2133 3932 7099 3701

Re: Address: 1515 SAN REMO AVE
Folio # 03-4130-033-0001

Dear Property Owner/Manager:

This Department has received the 40-year Building Recertification Report you submitted for the above referenced property address. Please note the Report indicates remedial repairs* must be done to the building in order for it to meet minimum requirements stipulated for safe occupancy as prescribed in the Miami-Dade County Code, Section 8-11.

Pursuant to the Code you must complete the repairs within sixty (60) days from the date the Report was submitted to this Department. Once the repairs have been completed the original architect/engineer will need to provide a follow-up letter indicating the building is now recommended for recertification.

If you have any questions regarding the specific repairs identified in the Report please contact the original architect/engineer which prepared the Report. If you have further questions please contact us at (305) 569-1807.

Sincerely,

Manuel Z. Lopez

Manuel Z. Lopez, P.E.
Building Official

*Copy of the letter is attached.

CITY'S

EXHIBIT

6



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

6/2/2015

****FINAL NOTICE****

VILLA SAN REMO CONDO C/O CLEAR SKY PROPERTY MANAGEMENT
2929 SW 3RD AVE SUITE 412
MIAMI, FL 33129

VIA CERTIFIED MAIL

91 7108 2133 3932 7095 9844

Re: Building Recertification
1515 SAN REMO
Folio # 03-4130-033-0001

Dear Property Owner:

In a certified letter dated 4/1/2014, this Department notified you the property referenced above requires a 40-year building recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). The letter informed you it was necessary to furnish this Department a report prepared by a licensed architect or engineer within 90-days specifying the building meets the requirements for building recertification provided under the Minimum Inspection Procedural Guidelines for Building Recertification.

Please be advised that as of 6/1/2015 the report will be overdue and this building will be deemed to be in NON-COMPLIANCE. This may result in the revocation of the Certificate of Occupancy, as well as, being subject to other penalties as provided in the Code.

Failure to contact us before 7/6/2015, will result in our forwarding this building information to the Miami-Dade County Unsafe Structures Board for further determination.

Please govern yourself accordingly.

Sincerely,

Manuel Z. Lopez

Manuel Z. Lopez, P.E.
Building Official

CITY'S

EXHIBIT 7

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
Louis R. Ormeau Addressee

B. Received by (Printed Name) Date of Delivery
Louis R. Ormeau *6-8-74*

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

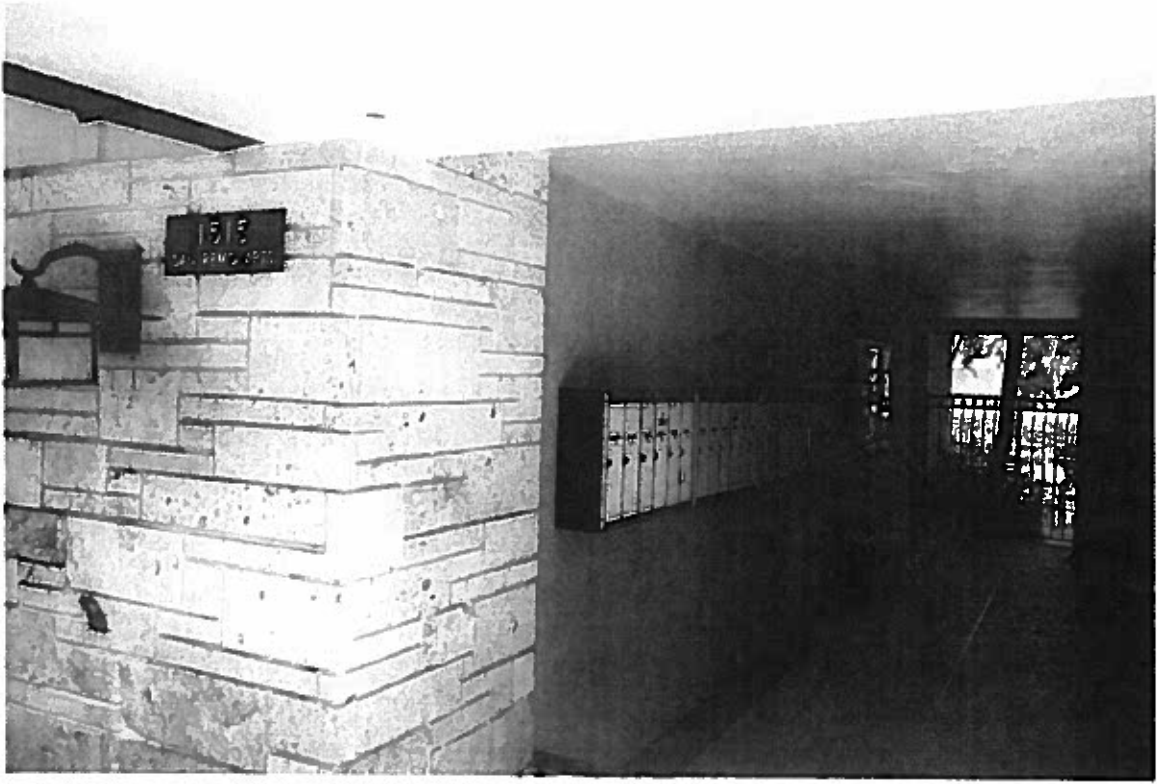
VILLA SAN REMO CONDO C/O CLEAR
SKY PROPERTY MANAGEMENT
2929 SW 3RD AVE SUITE 412
MIAMI, FL 33129

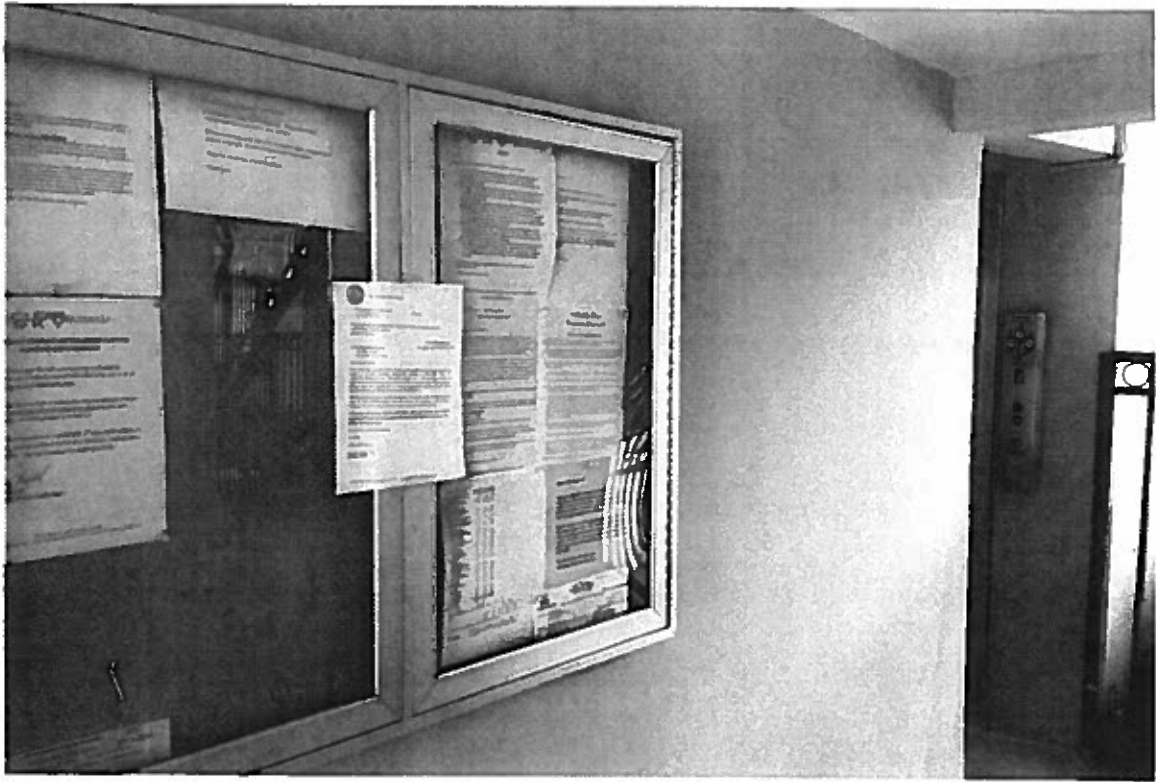
3. Service Type Certified Mail® Priority Mail Express™
 Registered Return Receipt for Merchandise
 Insured Mail Collect on Delivery

4. Restricted Delivery? (Extra Fee) Yes

2. Article Number (Transfer from service label) *91 7108 2133 3932 7095 9844*

PS Form 3811, July 2013 Domestic Return Receipt







The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134
CITY OF CORAL GABLES,

Case # 15-4256

Petitioner,

vs.

VILLA SAN REMO CONDOMINIUM
ASSOCIATION, INC., a Florida Not for
Profit Corporation,

Respondents.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR
FAILURE TO RECERTIFY AND NOTICE OF HEARING**

Date: August 51, 2015

To:

Condominium Association
Villa San Remo Condominium
Association, Inc.
c/o Clear Sky Property Management
LLC
Registered Agent
2929 SW 3 Avenue, Suite 330
Miami, FL 33129-2710

Return receipt number:
91 7108 2133 3932 6255 5726

Re: The five three-story residential condominium buildings consisting of 47 units ("Structure"), built in 1964, located at 1515 San Remo Avenue, Coral Gables, FL 33134-3046, and legally described as Lots 17 thru 24, Block 203, of CORAL GABLES RIVIERA SECTION 14, according to the 2nd Rev Plat Book 28-32, of the Public Records of Miami-Dade County, Florida ("Property").

CITY'S

EXHIBIT

8

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. The Structure is hereby declared unsafe by the Building Official and is presumed unsafe pursuant to Section 105-186(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code as follows:

On April 1, 2014, the City sent the Property Owner a 90-day Notice of Required Inspection requesting an inspection report conforming to the minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, pursuant to Section 8-11(f) of the Miami-Dade County Code ("Report").

The Report, submitted to the City on January 22, 2015, stated that the Structure did not meet the minimum requirements to be recertified as structurally and electrically safe. The Report noted that the following items required repair or modification: **Electrical:** 1) branch circuits must be identified; 2) parking illumination certificate not provided; 3) wiring of mechanical equipment must be repaired; 4) all air conditioner condensing units on roof have deteriorated wiring that must be replaced and disconnects must be added to each; **Structural:** 6) spalling at concrete lintels and sills; 7) overhead spalls at concrete beams; 8) spalling at concrete columns; 9) loose rail posts; 10) spalling at mechanical room roof slab; 11) meter room door framing damaged; 12) tie-down straps missing at rooftop air conditioning units; and 13) debris on roof top deck.

On January 23, 2015, the City notified the Owner that it must complete the repairs and submit a letter from the architect or engineer who prepared the Report stating that the Structure now meets the minimum requirements ("Compliance Report").

To date, the Owner has not completed the required repairs and has not submitted a Compliance Report ("Required Action").

Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134, on September 14, 2015, at 2:00 p.m.

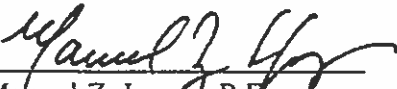
You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence, however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that, if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134, bgarcia@coralgables.com, tel: (305) 460-5229.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and recover the costs incurred against the Property and the Owner of record.

If the Property Owner or other interested party does not take all Required Action or appeal the decision of the Building Official, the Construction Regulation Board may enter an order of demolition and assess all costs of the proceedings and demolition and other Required Action for which the City shall have a lien against the Property and the Property Owner.

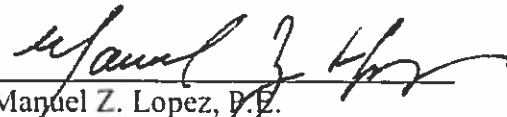
Please address any questions to Virginia Goizueta, Building Services Coordinator, tel: (305) 460-5250, or Manuel Z. Lopez, P.E., Building Official, tel: (305) 460-5242, Monday through Friday, 7:30 a.m. to 3:30 p.m.

Please govern yourself accordingly.


Manuel Z. Lopez, P.E.
Building Official

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that, on August 31, 2015, a true and correct copy of the foregoing notice was served via certified mail, return receipt requested, on all of the parties listed above and by hand delivery or posting at the Property.


Manuel Z. Lopez, P.E.
Building Official

NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006 -11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

ADA Assistance: The City complies with the provisions of the American with Disabilities Act. Individuals with disabilities requiring special accommodations or assistance should contact Ernesto Pino, Assistant Public Works Director, at (305) 460-5004, with requests for auxiliary aids or services at least one business day before the hearing in order to request such assistance.



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Complaint/Case #: 15-4256

Title of Document Posted: Construction Regulation Board Case

I, JOSE PAZ, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 1515 SAN REMO AV., ON 9-1-15
AT 10:40 AM.

JOSE PAZ
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me this 1st day of September, in the
year 20 15, by JOSE PAZ who is personally known to me
or has produced - as identification.

My Commission Expires:



Belkys Garcia
Notary Public



1515 San Remo Ave



Petitioner,
vs
VELLA SAN REMO CONDOMINIUM
ASSOCIATION, INC., a Florida Not for
Profit Corporation,
Respondent

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR
FAILURE TO RECERTIFY AND NOTICE OF HEARING**

Date August 31, 2015

To
Condominium Association
Vella San Remo Condominium
Association, Inc.
c/o Clear Sky Property Management
LLC
Registered Agent
2929 SW 3 Avenue, Suite 330
Miami, FL 33129-2718
Return receipt number
13 7104 8133 2752 5855 5795

Re: The two two-story residential condominium buildings consisting of 47 units
("Structure"), built in 1964, located at 1515 San Remo Avenue, Coral Gables, FL 33134-
3046, and legally described to Lots 17 thru 24, Block 303, of CORAL GABLES
RIVERA SECTION 14, according to the 2nd Rev Plat Book 25-32, of the Public
Records of Miami-Dade County, Florida ("Property").

Office Hours

CITY OF CORAL GABLES, FLORIDA

ANNUAL FIRE INSPECTION FEE RECEIPT
(FOR \$10.00 & \$10.00 PER F.A.T.)

2014-2015

ISSUED TO NAME	VELLA SAN REMO CONDOMINIUM ASSOCIATION INC	LOCATION	1515 SAN REMO AVE
ISSUED TO NAME	VELLA SAN REMO CONDOMINIUM ASSOCIATION INC		
CLASSIFICATION	RESIDENTIAL	AREA DESCRIPTION	UNITS
CONSTRUCTION TYPE	CONCRETE		

RECEIVED BY: [Signature]
DATE: [Date]

This receipt shall not constitute authority to begin work on the subject without a Certificate of Use and Occupancy Approval.

CITY OF CORAL GABLES,

Case # 15-4256 ¹/₂ 15-4410

Petitioner,

vs.

VILLA SAN REMO CONDOMINIUM
ASSOCIATION, INC., a Florida Not for
Profit Corporation,

Respondents.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR
FAILURE TO RECERTIFY AND RE-NOTICE OF HEARING**

Date: October 8, 2015

To:

Condominium Association
Villa San Remo Condominium
Association, Inc.
c/o Clear Sky Property Management
LLC
Registered Agent
2929 SW 3 Avenue, Suite 330
Miami, FL 33129-2710

Return receipt number:

91 7108 2133 3932 6009 7341

Re: The five three-story residential condominium buildings consisting of 47 units ("Structure"), built in 1964, located at 1515 San Remo Avenue, Coral Gables, FL 33134-3046, and legally described as Lots 17 thru 24, Block 203, of CORAL GABLES RIVIERA SECTION 14, according to the 2nd Rev Plat Book 28-32, of the Public Records of Miami-Dade County, Florida ("Property").

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. The Structure is hereby declared unsafe by the Building Official and is presumed unsafe pursuant to Section 105-186(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code as follows:

On April 1, 2014, the City sent the Property Owner a 90-day Notice of Required Inspection requesting an inspection report conforming to the minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, pursuant to Section 8-11(f) of the Miami-Dade County Code ("Report").

The Report, submitted to the City on January 22, 2015, stated that the Structure did not meet the minimum requirements to be recertified as structurally and electrically safe. The Report noted that the following items required repair or modification: **Electrical:** 1) branch circuits must be identified; 2) parking illumination certificate not provided; 3) wiring of mechanical equipment must be repaired; 4) all air conditioner condensing units on roof have deteriorated wiring that must be replaced and disconnects must be added to each; **Structural:** 6) spalling at concrete lintels and sills; 7) overhead spalls at concrete beams; 8) spalling at concrete columns; 9) loose rail posts; 10) spalling at mechanical room roof slab; 11) meter room door framing damaged; 12) tie-down straps missing at rooftop air conditioning units; and 13) debris on roof top deck.

On January 23, 2015, the City notified the Owner that it must complete the repairs and submit a letter from the architect or engineer who prepared the Report stating that the Structure now meets the minimum requirements ("Compliance Report").

To date, the Owner has not completed the required repairs and has not submitted a Compliance Report ("Required Action").

Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134, on October 19, 2015, at 2:00 p.m.


You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence, however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that, if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134, bgarcia@coralgables.com, tel: (305) 460-5229.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and recover the costs incurred against the Property and the Owner of record.

If the Property Owner or other interested party does not take all Required Action or appeal the decision of the Building Official, the Construction Regulation Board may enter an order of demolition and assess all costs of the proceedings and demolition and other Required Action for which the City shall have a lien against the Property and the Property Owner.


Please address any questions to Virginia Goizueta, Building Services Coordinator, tel: (305) 460-5250, or Manuel Z. Lopez, P.E., Building Official, tel: (305) 460-5242, Monday through Friday, 7:30 a.m. to 3:30 p.m.

Please govern yourself accordingly.


Manuel Z. Lopez, P.E.
Building Official

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that, on October 8, 2015, a true and correct copy of the foregoing notice was served via certified mail, return receipt requested, on all of the parties listed above and by hand delivery or posting at the Property.


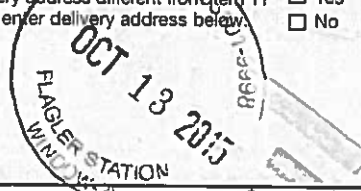

Manuel Z. Lopez, P.E.
Building Official

NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006 -11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

ADA Assistance: The City complies with the provisions of the American with Disabilities Act. Individuals with disabilities requiring special accommodations or assistance should contact Ernesto Pino, Assistant Public Works Director, at (305) 460-5004, with requests for auxiliary aids or services at least one business day before the hearing in order to request such assistance.

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> ■ Complete Items 1, 2, and 3. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <i>x/ Louis Roman</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <i>Louis Roman</i></p> <p>C. Date of Delivery</p>
<p>1. Article Addressed to:</p> <p><i>Villa San Remo Condo. Association, Inc. c/o Clear Sky Property management LLC (R/A) 2929 SW 3rd Ave, Suite 330 Miami, Florida 33129</i></p>  <p><i>9590 9401 0033 5168 6866 98</i></p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> 
<p>2. Article Number (Transfer from service label)</p> <p><i>9171082133393260097341</i></p>	<p>3. Service Type</p> <ul style="list-style-type: none"> <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500) <input type="checkbox"/> Priority Mail Express® <input type="checkbox"/> Registered Mail™ <input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Signature Confirmation Restricted Delivery
<p>PS Form 3811, April 2015 PSN 7530-02-000-9053</p>	<p>Domestic Return Receipt</p>



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Complaint/Case #: 15-4256 & 15-4410

Title of Document Posted: Construction Regulation Board Case

I, JOSE PAZ, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 1515 SAN REMO AVE., ON 10-9-15
AT 10:25 am.

JOSE PAZ
Employee's Printed Name

[Signature]
Employee's Signature

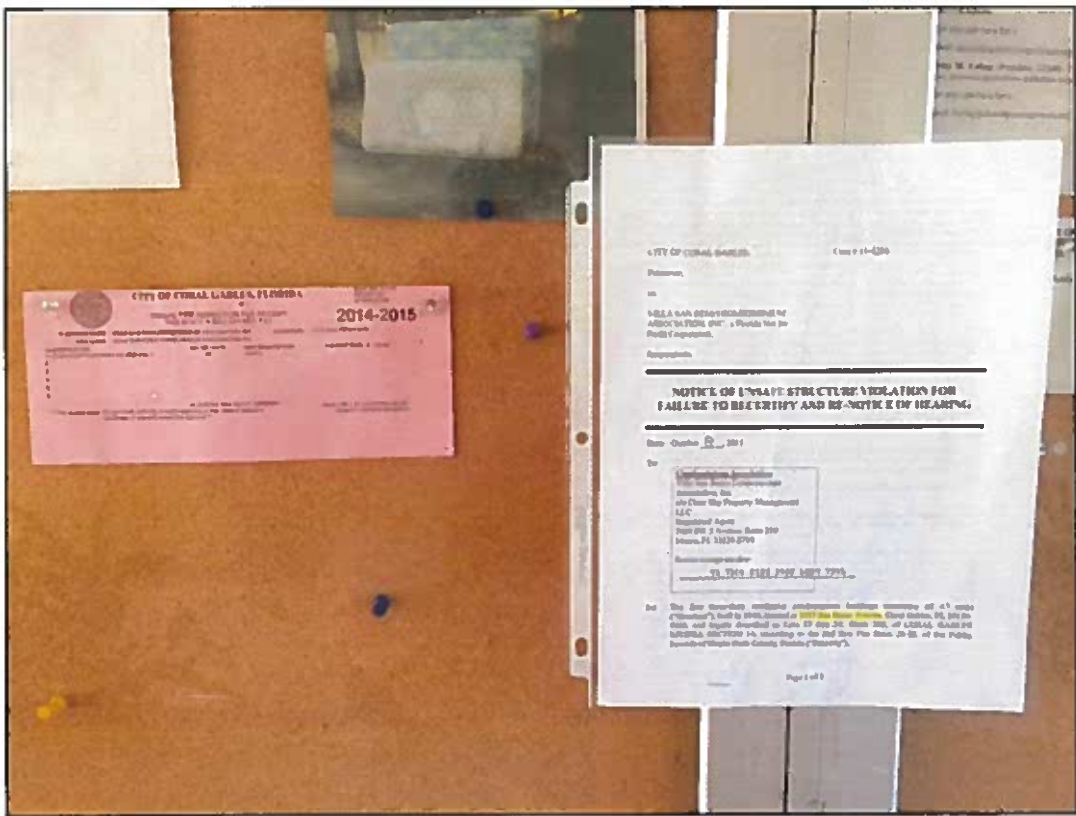
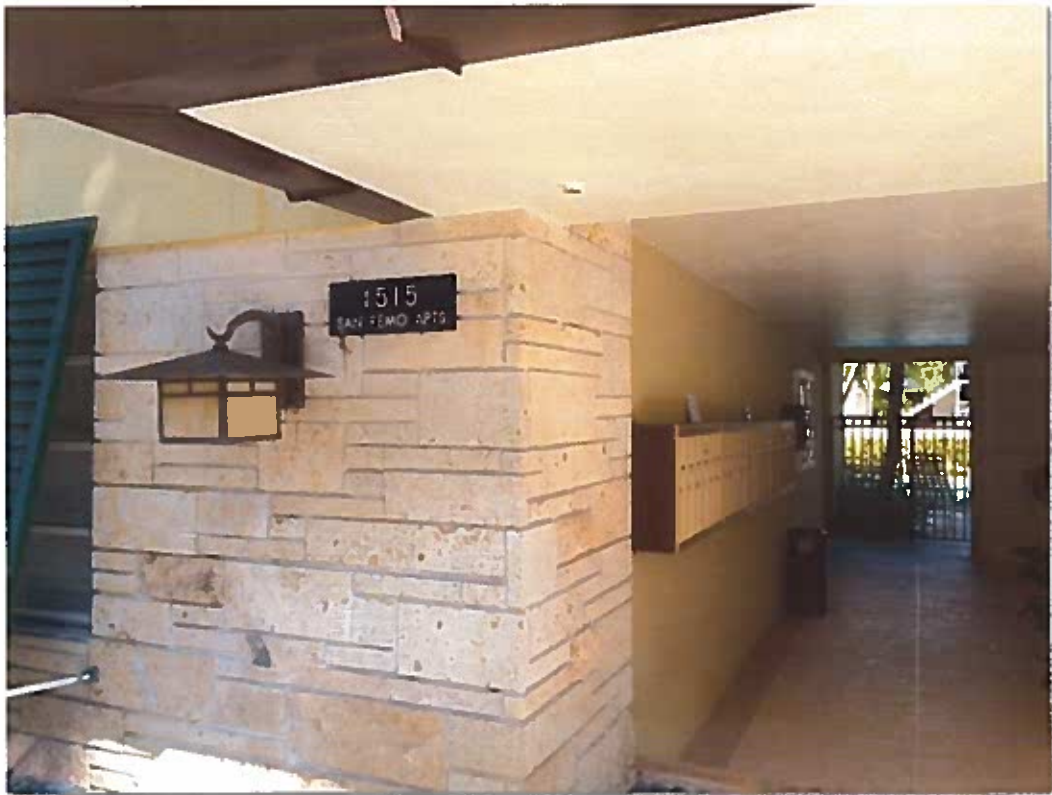
STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me this 12th day of October, in the
year 20 15, by Jose Paz who is personally known to me
or has produced _____ as identification.

My Commission Expires:



Belkys Garcia
Notary Public





After recording return to:
Belkys Garcia
Secretary to the Construction
Regulation Board
Development Services Department
City of Coral Gables
405 Biltmore Way, 3rd Floor
Coral Gables, FL 33134-5717

**CITY OF CORAL GABLES
CONSTRUCTION REGULATION BOARD**

CITY OF CORAL GABLES,

CASE NO. 15-4256

Petitioner,

vs.

VILLA SAN REMO CONDOMINIUM
ASSOCIATION, INC., a Florida Not for
Profit Corporation,

Respondent.

ORDER DECLARING STRUCTURE UNSAFE

This cause was brought before the Construction Regulation Board ("Board") of the City of Coral Gables ("City"), on October 19, 2015, on the Notice of Unsafe Structure Violation for Failure to Recertify and Notice of Hearing ("Notice"). The Board, having heard the arguments of the parties and having considered any evidence presented, hereby enters this Order Declaring Structure Unsafe ("Order") and finds, concludes, and orders as follows:

Findings of Fact

1. The City properly served the Notice on the owner, Villa San Remo Condominium Association, Inc. ("Owner"), and any lienholders of record of the five three-story residential condominium buildings consisting of 47 units, built in 1964 ("Structure"), located at 1515 San Remo Avenue, Coral Gables, FL 33134-3046, and legally described as Lots 17 thru 24, Block 203, of CORAL GABLES RIVIERA SECTION 14, according to the 2nd Rev Plat Book 28-32, of the Public Records of Miami-Dade County, Florida; and having folio number 03-4130-033-0010 ("Property").
2. The Notice alleges that the Structure is unsafe because an inspection report pursuant to the minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, required by Section 8-11 of the Miami-Dade County Code ("Report"), and furnished by or on behalf of the Owner on January 22, 2015, revealed that the Structure did not meet the minimum requirements to be recertified as structurally and electrically safe.
3. The Report revealed that the following items required repair or modification: **Electrical:** 1) branch circuits must be identified; 2) parking illumination certificate not provided;

3) wiring of mechanical equipment must be repaired; 4) all air conditioner condensing units on roof have deteriorated wiring that must be replaced and disconnects must be added to each; **Structural:** 5) spalling at concrete lintels and sills; 6) overhead spalls at concrete beams; 7) spalling at concrete columns; 8) loose rail posts; 9) spalling at mechanical room roof slab; 10) meter room door framing damaged; 11) tie-down straps missing at rooftop air conditioning units; and 12) debris on roof top deck.

4. On January 23, 2015, the City notified the Owner that it must complete the repairs and submit a letter from the architect or engineer who prepared the Report stating that the Structure now meets the minimum requirements ("Compliance Report").

5. To date, the Owner has not completed the required repairs and has not submitted a Compliance Report ("Required Action").

Conclusions of Law

6. The Structure is presumed and is hereby declared unsafe pursuant to Section 105-186(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Order

It is, therefore, ORDERED:

7. *Required Action.* The Owner shall take the Required Action as follows: a) the Owner shall apply for all required permits to meet the minimum requirements as noted in the Report ("Permits") within 30 days of the date of this Order; b) the Owner shall obtain all Permits within 30 days from the date that the application is complete and, in any event, no later than 60 days from the date of this Order; and c) the Owner shall pass final inspection on all Permits and shall submit a Compliance Report within 30 days from the date that the Permits are issued and, in any event, no later than 90 days from the date of this Order.

8. *Request for compliance inspection.* It is the responsibility of the Owner to contact the Building Official to request an inspection of City records and of the Property, as applicable, to determine compliance with this Order.

9. *Payment of costs and demolition by City.* The Owner shall pay, within 7 days of the date of this Order, the City's administrative costs to date of \$600, in addition to the costs of recording this Order. If the Owner does not comply with any of the applicable deadlines above, the Building Official may immediately and without further order from this Board, order that the structure be vacated, boarded, secured, and posted to prevent further occupancy and the City may demolish the Structure. The City may sell as salvage or require the demolition contractor to dispose of the contents of the Structure.

10. *Requests for extension of time.* The Building Official, in his sole discretion, may extend any of the above deadlines for good cause beyond the control of the Owner and that the Owner acted in good faith and exercised due diligence in the efforts to take all Required Action, to apply for any required permits, and to request an extension of any deadlines, as applicable.

11. *Lien for costs and notice to subsequent purchasers.* The City shall have a special assessment lien for its administrative costs and the costs of corrective action, including but not limited to, securing the Structure and demolition ("Costs"), against the real and personal property of the Owner, including the Property. The lien for Costs shall have equal dignity with a lien for

taxes. In order to have this lien, the City shall record this Order and an affidavit for any additional Costs, as applicable. Once recorded in the Public Records of Miami-Dade County, Florida, a copy of this Order shall constitute notice to any subsequent purchasers, successors in interest, or assigns, and the findings herein shall be binding upon the Owner and any subsequent purchasers, successors in interest or assigns.

12. *City's remedies are cumulative.* This Order notwithstanding, the City may enforce its code by any other lawful means.

13. **NOTICE: If the Respondent does not comply with the terms of this order, the City may issue an Affidavit of Non-Compliance ("Affidavit"). The Respondent may request an administrative hearing that shall be strictly limited to determining whether the Respondent complied with the terms of this order. Requests for a hearing must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134-5717, bgarcia@coralgables.com, tel: (305) 460-5229. Failure to request an administrative hearing within seven (7) days after service of the Affidavit shall constitute a waiver of the Respondent's right to the hearing. The Respondent shall be liable for the reasonable costs of the administrative hearing, if the Respondent does not prevail at the hearing.**

DONE AND ORDERED at the City of Coral Gables, Miami-Dade County, Florida, on this 19th day of October, 2015.

CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES



Board Chairperson

Notice of Deadline to Appeal

PURSUANT TO SECTION 105-192(b) OF THE CITY CODE, AN APPEAL OF THIS ORDER MAY BE FILED IN THE CIRCUIT COURT IN MIAMI-DADE COUNTY, FLORIDA, WITHIN THIRTY DAYS OF THE FILING OF THIS ORDER.

Certificate of Filing and Service

I HEREBY CERTIFY that the original of this order was filed with the Secretary of the Board, on this 19th day of October, 2015 and that, on the same date, a true and correct copy of the foregoing was served by certified mail, return receipt requested, and by first class mail (and any e-mail address indicated below) to:

Condominium Association

Villa San Remo Condominium
Association, Inc.
c/o Clear Sky Property Management LLC
Registered Agent
2929 SW 3 Avenue, Suite 330
Miami, FL 33129-2710

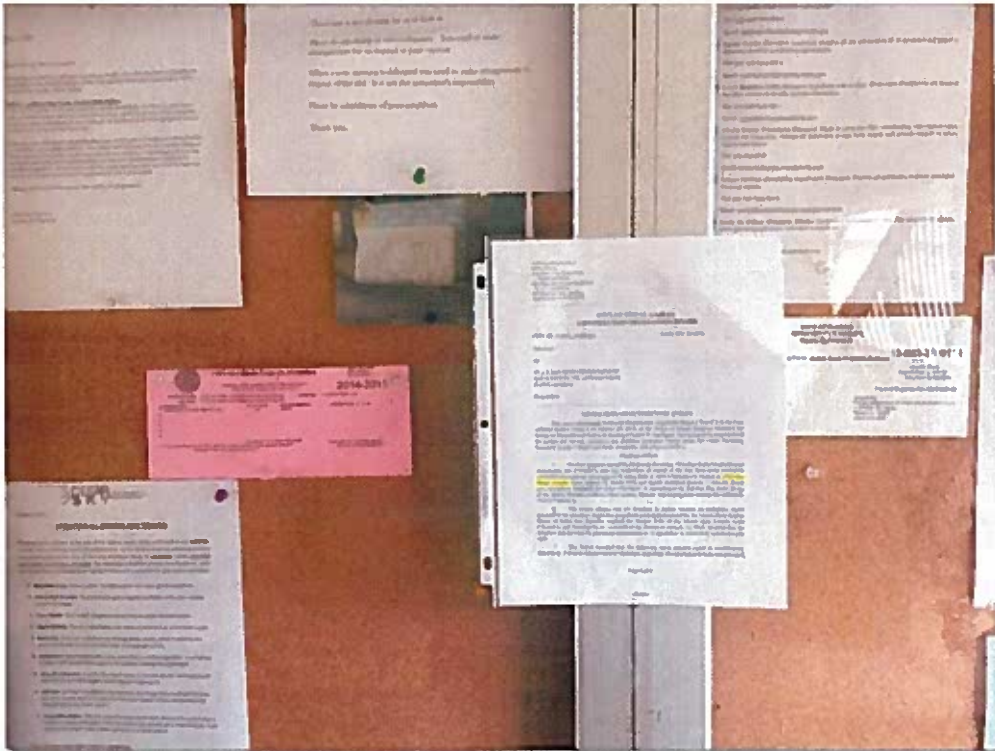
Return receipt number:

91 7108 2133 3932 6009 7105

and via e-mail to Ketty M. Urbay, the
Condominium Association's representative, at
kurbay@clearskymanagement.com.


Belkys Garcia
Secretary to the Board

1515 San Remo Ave





CITY OF CORAL GABLES.

Case # 15-4256

Petitioner,

vs.

VILLA SAN REMO CONDOMINIUM
ASSOCIATION, INC., a Florida Not for
Profit Corporation.

Respondents.

**NOTICE OF NON-COMPLIANCE WITH
UNSAFE STRUCTURES ORDER AND
RIGHT TO REQUEST HEARING**

Date: February 1, 2016

To:

Condominium Association
Villa San Remo Condominium
Association, Inc.
c/o Clear Sky Property Management LLC
Registered Agent
2929 SW 3 Avenue, Suite 330
Miami, FL 33129-2710

Return receipt number:

91 7108 2133 3932 6926 2443

Re: The five three-story residential condominium buildings consisting of 47 units ("Structure"), built in 1964 (50-year recertification required) and located at 1515 San Remo Avenue, Coral Gables, FL 33134-3046, and legally described as Lots 17 thru 24, Block 203, of CORAL GABLES RIVIERA SECTION 14, according to the 2nd Rev Plat

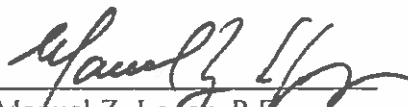
Book 28-32. of the Public Records of Miami-Dade County, Florida; and having folio number 03-4130-033-0001 ("Property").

BEFORE ME, the undersigned authority, personally appeared Manuel Z. Lopez, P.E., Building Official for the City of Coral Gables ("City"), Florida who, after being duly sworn, deposes and says:

1. I am the City Building Official.
2. On October 19, 2015, the City Construction Regulation Board ("Board") held a public hearing and issued an Order Declaring Structure Unsafe, in the above-styled matter ("Order").
3. The Order found the Structure to be unsafe and ordered the above-listed owner of the Property ("Owner") to take action to recertify the Structure ("Required Action") or to demolish the Structure and pay the administrative costs by a certain deadline.
4. The deadline to take the Required Action or to demolish the Structure expired on January 28, 2016.
5. On February 1, 2016, I completed a review of the relevant City records and determined that the Owner has not taken the Required Action or demolished the Structure and that the Owner has not paid the administrative costs.
6. **NOTICE: The Owner may request an administrative hearing which shall be strictly limited to determining whether and when the Owner took the Required Action or demolished the Structure and paid the administrative costs as required by the Order. The Owner may file a written request for hearing within seven (7) days of the date of this notice. Failure to timely request an administrative hearing shall constitute a waiver of the Owner's right to the administrative hearing. The Owner shall be liable for the reasonable costs of the administrative hearing if the Owner is unsuccessful at the hearing.**
7. Requests for a hearing must be made in writing and addressed to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134. bgarcia@coralgables.com, tel: (305) 460-5229.

FURTHER AFFIANT SAYETH NOT:

DATED: February 1, 2016.


Manuel Z. Lopez, P.E.
Building Official

STATE OF FLORIDA

COUNTY OF MIAMI-DADE

The foregoing was sworn to (or affirmed) and subscribed before me, on February 1, 2016, by Manuel Z. Lopez, P.E., as the Building Official for the City of Coral Gables, who is personally known to me.



Belkys Garcia
(Signature of Notary Public - State of Florida)

BELKYS GARCIA
(Print, Type, or stamp Commissioned Name of Notary Public)

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that, on February 1, 2016, a true and correct copy of the foregoing notice was served via certified mail, return receipt requested, by first class mail, via e-mail at any e-mail address indicated above, and by hand-delivery or posting at the Property.

Manuel Z. Lopez
Manuel Z. Lopez, P.E.
Building Official

NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

ADA Assistance: The City complies with the provisions of the American with Disabilities Act. Individuals with disabilities requiring special accommodations or assistance should contact Ernesto Pino, Assistant Public Works Director, at (305) 460-5004, with requests for auxiliary aids or services at least one business day before the hearing in order to request such assistance.



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Complaint/Case #: 15-4256

Title of Document Posted: Construction Regulation Board Case

I, Dayron Garcia, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 1515 San Remo Ave, ON 2-1-16
AT 10:40AM.

Dayron Garcia
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me this 1st day of February, in
the year 20 16, by Dayron Garcia who is personally known to
me.

My Commission Expires:



Belkys Garcia
Notary Public

1515 San Remo Avenue



BEFORE THE CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES

CITY OF CORAL GABLES,

Case # 15-4256

Petitioner.

vs.

VILLA SAN REMO CONDOMINIUM
ASSOCIATION, INC., a Florida Not for
Profit Corporation,

Respondent.

**NOTICE OF HEARING ON NON-COMPLIANCE
WITH UNSAFE STRUCTURES ORDER**

Date: February 24, 2016

To:

Condominium Association
Villa San Remo Condominium
Association, Inc.
c/o Clear Sky Property Management LLC
Registered Agent
2929 SW 3 Avenue, Suite 330
Miami, FL 33129-2710

Return receipt number:

91 7108 2133 3932 7179 1849

Re: The five three-story residential condominium buildings consisting of 47 units ("Structure"), built in 1964, located at **1515 San Remo Avenue**, Coral Gables, FL 33134-3046, and legally described as Lots 17 thru 24, Block 203, of CORAL GABLES RIVIERA SECTION 14, according to the 2nd Rev Plat Book 28-32, of the Public Records of Miami-Dade County, Florida ("Property"), and having folio number 03-4130-033-0001 ("Property").

You are directed to appear for a hearing before the before the City's Construction Regulation Board ("Board") in the Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134, on March 14, 2016, at 2:00 p.m.

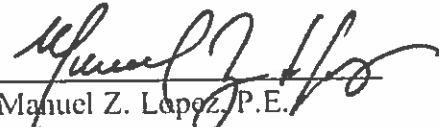
The hearing will be held regarding the Notice of Non-Compliance with Unsafe Structures Order and Right to Request Hearing. **The hearing shall be strictly limited to determining whether and when you took the Required Action or demolished the Structure and paid the administrative costs as required by the Order and the amount of the fine to be imposed based upon the length of time the violation(s) have continued to exist.**

You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence, however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that, if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134, bgarcia@coralgables.com, tel: (305) 460-5229.

If you do not prevail at the hearing, the Construction Regulation Board may impose fines not to exceed \$250 for each day the violation continues past the date set for compliance and may also enter an order of demolition and assess all costs of the proceedings, in an amount not less than \$150, and the costs of demolition and other required action, for which the City shall have a lien against the Property owner and the Property.

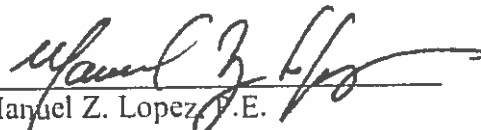
If you comply with the Board's prior order before the hearing, please contact Virginia Goizueta, Building Services Coordinator, tel.: (305) 460-5250, email: vgoizueta@coralgables.com, or Manuel Z. Lopez, P.E., Building Official, tel.: (305) 460-5242, email: mlopez@coralgables.com. The Development Services Department's hours are Monday through Friday, 7:30 a.m. to 3:30 p.m.

Please govern yourself accordingly.


Manuel Z. Lopez, P.E.
Building Official

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that, on February 24, 2016, a true and correct copy of the foregoing notice was served via certified mail, return receipt requested, by first class mail and by hand-delivery or posting at the Property.


Manuel Z. Lopez, P.E.
Building Official

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CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Complaint/Case #: 15-4256

Title of Document Posted: Construction Regulation Board Case

I, JOSE PAZ, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 1515 SAN REMO AVE, ON 2-24-16
AT 11:05 am.

JOSE PAZ
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me this 24th day of February, in
the year 2016, by Jose Paz who is personally known to
me.

My Commission Expires:



Belkys Garcia
Notary Public



1515 San Remo Avenue





Detail by Entity Name

Florida Not For Profit Corporation

VILLA SAN REMO CONDOMINIUM ASSOCIATION, INC.

Filing Information

Document Number N05000002927
FEI/EIN Number 20-2546208
Date Filed 03/22/2005
State FL
Status ACTIVE

Principal Address

1515 SAN REMO AVE
MIAMI, FL 33146

Changed: 01/31/2012

Mailing Address

C/O Clear Sky Property Management
2929 SW 3rd Avenue
Suite 330
MIAMI, FL 33129

Changed: 04/30/2014

Registered Agent Name & Address

CLEAR SKY PROPERTY MANAGEMENT
2929 SW 3 AVENUE
SUITE 330
MIAMI, FL 33129

Name Changed: 01/18/2013

Address Changed: 04/30/2014

Officer/Director Detail

Name & Address

Title VPD

MEDINA, JANET

CITY'S

EXHIBIT

9

1515 SAN REMO AVE #E6
CORAL GABLES, FL 33146

Title PD

JONES, EDGAR
515 TIVOLI AVE
CORAL GABLES, FL 33143

Title SD

ANDERSON, TCHAD-MARIE
1515 SAN REMO AVE #E3
CORAL GABLES, FL 33146

Title TD

ESTALELLA, CHARLES
1515 SAN REMO AVENUE #D3
CORAL GABLES, FL 33146

Annual Reports

Report Year	Filed Date
2013	01/18/2013
2014	04/30/2014
2015	04/30/2015

Document Images

04/30/2015 -- ANNUAL REPORT

[View image in PDF format](#)

04/30/2014 -- ANNUAL REPORT

[View image in PDF format](#)

01/18/2013 -- ANNUAL REPORT

[View image in PDF format](#)

01/31/2012 -- ANNUAL REPORT

[View image in PDF format](#)

03/15/2011 -- ANNUAL REPORT

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03/02/2010 -- ANNUAL REPORT

[View image in PDF format](#)

04/28/2009 -- ANNUAL REPORT

[View image in PDF format](#)

02/29/2008 -- ANNUAL REPORT

[View image in PDF format](#)

08/30/2007 -- Reg. Agent Change

[View image in PDF format](#)

04/02/2007 -- ANNUAL REPORT

[View image in PDF format](#)

04/03/2006 -- ANNUAL REPORT

[View image in PDF format](#)

03/22/2005 -- Domestic Non-Profit

[View image in PDF format](#)



Detail by Entity Name

Florida Limited Liability Company

CLEAR SKY PROPERTY MANAGEMENT LLC

Filing Information

Document Number L08000061740
FEI/EIN Number 26-2856650
Date Filed 06/24/2008
State FL
Status ACTIVE

Principal Address

2929 SW 3RD AVENUE
SUITE 330
MIAMI, FL 33129

Changed: 09/24/2013

Mailing Address

P.O. BOX 14-4216
CORAL GABLES, FL 33114

Changed: 04/30/2015

Registered Agent Name & Address

URBAY, KETTY M
2929 SW 3RD AVENUE
SUITE 330
MIAMI, FL 33129

Name Changed: 10/19/2011

Address Changed: 09/24/2013

Authorized Person(s) Detail

Name & Address

Title President

URBAY, KETTY M
2929 SW 3RD AVENUE #330

MIAMI, FL 33129

Title Authorized Member

YANG, MARK
2929 SW 3 Avenue
Suite 330
Miami, FL 33129

Annual Reports

Report Year	Filed Date
2013	01/22/2013
2014	04/30/2014
2015	04/30/2015

Document Images

<u>04/30/2015 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/30/2014 -- ANNUAL REPORT</u>	View image in PDF format
<u>09/24/2013 -- AMENDED ANNUAL REPORT</u>	View image in PDF format
<u>01/22/2013 -- ANNUAL REPORT</u>	View image in PDF format
<u>01/25/2012 -- ANNUAL REPORT</u>	View image in PDF format
<u>10/19/2011 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/13/2011 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/26/2010 -- ANNUAL REPORT</u>	View image in PDF format
<u>01/17/2010 -- ANNUAL REPORT</u>	View image in PDF format
<u>08/05/2009 -- Reg. Agent Change</u>	View image in PDF format
<u>02/13/2009 -- ANNUAL REPORT</u>	View image in PDF format
<u>08/21/2008 -- CORLCMMRES</u>	View image in PDF format
<u>06/24/2008 -- Florida Limited Liability</u>	View image in PDF format



July 8, 2014

OK u/l
7/23/14

City of Coral Gables Building and Zoning Department
Building Recertification Section
City Hall 405 Biltmore Way
Coral Gables, Florida 33134

**RE: 40 YEAR RECERTIFICATION
1515 San Remo
Coral Gables, FL
Folio No. 03-4130-033-0001**

To Whom It May Concern:

The following is to inform you that we, U.S. Structures, Inc. have been retained by the San Remo Condominium Association to provide the structural and electrical portions of the 40-year recertification observation and report at the above listed address. We are currently in the process of observing the property and preparing the reports.

At this time we formally request an extension of at least 90 days to adequately complete our services.

Please do not hesitate to contact us if you have any questions.

Sincerely,
U.S. STRUCTURES, INC.

Jose A. Toledo, P.E.
President
License No. 54891
Special Inspector No. 1180

CRP.067

U.S. STRUCTURES, INC.
4444 SW 71 AVE., SUITE 103
MIAMI • FLORIDA • 33155
TEL: 305.665.4555
FAX: 305.665.5522
www.usstructuresinc.com

CITY'S
EXHIBIT 10

CA 8439

Affirmative Action/Equal Opportunity Employer

HENRY RODRIGUEZ
State Certified Electrical Contractor, Inc.
EC#0002411

14522 SW 142 Place Circle
Miami, Florida 33186
Phone 305 218 7878
Fax 305 254 3385

Proposal

August 20, 2014

Clear Sky Management, Inc.
2929 SW 3 Avenue Suite #330
Miami, Florida 33129
Job address:
1515 San Remo Avenue
Coral Gables, Florida

Scope of work: We propose hereby to furnish labor and material for the following items:

- A. Repair connection to exterior unit on 1st floor by pool.
- B. Make rack and install 47 exterior pull out disconnects on roof for existing a/c condensing units and reconnect units.
- C. Install new flexible conduit on roof to separate high voltage from low voltage and reconnect to existing a/c condensing units on roof.
- D. Replace damaged exit/emergency light combo (1) as indicated on 40 year inspection report.
- E. Remove damaged electrical receptacle and replace with new GFCI type receptacle and bubble cover.

Price \$22,488.00

Price includes:

1. New a/c weatherproof non-fusible disconnects.
2. New exit/emergency combo fixture.
3. New GFCI and cover.
4. Permit.
5. Taxes and insurance.

Not included:

1. Engineering fees.
2. Any additional work required by inspector.

PAYMENT TO BE MADE: As invoiced

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above. Henry Rodriguez State Certified Unlimited Electrical Contractor, Inc. reserves the right to change this proposal at any time without prior notice. This proposal may be withdrawn by Henry Rodriguez State Certified Unlimited Electrical Contractor if not accepted within 15 days. All accounts 30 days past due are subject to a finance charge of 1.5% per month – 18% per annum, or the maximum amount permitted under state and federal law. Customer agrees to pay all costs of collection services of an attorney or collection service to ensure payment.

Acceptance Signature: 

Date: 8-14-15

HENRY RODRIGUEZ
State Certified Electrical Contractor, Inc.
EC#0002411

14522 SW 142 Place Circle
Miami, Florida 33186
Phone 305 218 7878
Fax 305 254 3385

Proposal

May 15, 2015

Clear Sky Management, Inc.
2929 SW 3 Avenue Suite #330
Miami, Florida 33129
Job address:
1515 San Remo Avenue
Coral Gables, Florida

Scope of work: We propose hereby to furnish labor and material for the following items:

- A. Make rack and install new disconnect switch for a/c condensing unit on roof for 3 units.
- B. Install new wiring for 3 a/c condensing units on roof and ground units. Existing units are not grounded.
- C. Install 3 new weatherproof junction boxes on roof and separate low voltage from high voltage.
- D. Install 3 new liquid-tite flexible conduits from new disconnects to unit and connect ground wire to unit.
- E. Install 3 new liquid-tite flexible conduits from junction boxes on roof to condensing units for low voltage wiring.
- F. Label disconnects and boxes with unit and circuit numbers for each disconnect and junction box.
- G. NOTE: This work ties in with new work on roof which is to be performed when new roof is stripped. A separate proposal has been given for the roof work on August 20, 2014 and a verbal approval has been given but proposal has not been signed. If proposal is not signed and returned the alternate price will apply due to the fact that the price on this proposal has been discounted because this work will be performed at a later date when roof is stripped.

Price \$1,588.00

Alternate price (if proposal is not signed) ~~\$2,488.00~~

Price includes:

- 1. New a/c weatherproof non-fusible disconnects.**
- 2. New junction boxes.**
- 3. New liquid-tite flexible conduits.**
- 4. Labeling of disconnects and junction boxes.**
- 5. Taxes and insurance.**

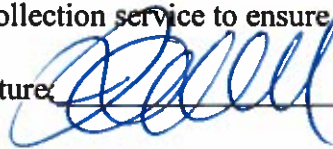
Not included:

1. **Engineering fees.**
2. **Permit.**
3. **Any additional work required by inspector.**

PAYMENT TO BE MADE: As invoiced

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above. Henry Rodriguez State Certified Unlimited Electrical Contractor, Inc. reserves the right to change this proposal at any time without prior notice. This proposal may be withdrawn by Henry Rodriguez State Certified Unlimited Electrical Contractor if not accepted within 15 days. All accounts 30 days past due are subject to a finance charge of 1.5% per month – 18% per annum, or the maximum amount permitted under state and federal law. Customer agrees to pay all costs of collection services of an attorney or collection service to ensure payment.

Acceptance Signature



Date

8-14-15



August 14, 2015

Development Services Department
City Hall 405 Biltmore Way
Coral Gables, Florida 33134

Via Certified mail #7014 2870 0000 5039 4835 and via email to mlopez@coralgables.com

Re: Building Recertification
1515 San Remo
Folio # 03-4130-033-0001

Dear Inspector Lopez,

The Board of Directors, owners and management of Villa San Remo Condominium Association have been in a time consuming process trying to address several building repairs and improvements in conjunction with the 40 year requirements in order to significantly improve all aspects of the building. However, the bid procurement, analysis and election process has been challenging and the costs exceed what many owners are able to afford. Therefore we have elected to continue with the electrical work on the roof area of the building as noted by our Engineer, Jose Toledo of US Structures as a required next step for the 40 year requirements. Attached is the signed proposal with the elected electrician and we will be giving a deposit check to the contractor so that all permitting papers are turned in immediately to the City of Coral Gables. Our engineer has also been informed and we are awaiting his response to the final steps needed to conclude the requirements with your Department.

We understand that we have exceeded the time that was allotted to us but we are focused on concluding this as expeditiously as possible and kindly request that we are provided with a final time extension of 120 days to conclude all repairs and pass all final inspections related to the 40 year recertification.

Sincerely,

Ketty M. Urbay, LCAM Property Manager

A handwritten signature in blue ink, appearing to be "Ketty M. Urbay".

kurbay@clearskymanagement.com

Direct: 786-236-8527

Cc: Board of Directors and Jose Toledo, PE

2929 SW 3rd Avenue, Suite 330, Miami, Florida 33129 Phone: 305.356.7414 Fax: 800.786.3170

www.clearskypropertymanagement.com



City of Coral Gables
Fire Department
Fire Prevention Division
2815 Salzedo Street, Coral Gables, FL 33134
Fax (305) 460-5598

The items noted below are in violation of the Florida Fire Prevention Code and/or the Florida Administrative Code. Nothing in this report supersedes any previously written, still existing violations for this occupancy/building. You are directed to comply with corrective measures as indicated.

Occupant Name: 1515 San Remo Ave. Condominium - 48 units	Inspection Date: 9/16/2015
Address: 1515 San Remo Avenue	Inspection Type: AA-Tactical, Apartment / Condo
City: Coral Gables	Inspected By: Leonard Veight 305-460-5577 lveight@coralgables.com
Suite:	Occ. Sq. Ft.: 0

No violations noted at this time.

Inspector Comments:

As per Chief Lowman a life safety inspection was performed on 9-16-15. No noticeable violations were found.

Company Representative:	Signature on file
	No Signature
	9/16/2015
	Signature on file
Inspector:	Leonard Veight
	9/16/2015

CITY'S

EXHIBIT 11



Home Citizen Services Business Services Back to Coral Gables.com

Permits and Inspections: Search Results

Logon Help Contact

New Permit Search

Permit Search Results

Permit#:	App. Date	Street Address	Type	Description	Status	Issue Date	Final Date	Fees Due
CE-09-07-3165	07/23/2009	1515 SAN REMO AVE	CODE ENF WARNING PROCESS	WT2367 MIAMI DADE COUNTY CODE 32-8.1 USE OF SPRINKLER SYSTEM ON UNAUTHORIZED DAY AND TIME 11:25 AM THURSDAY	final	07/23/2009	07/23/2009	0.00
CE-10-07-4846	07/21/2010	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH (1515 SAN REMO AVE. A-4)	final	07/22/2010	07/22/2010	0.00
CE-10-08-4884	08/30/2010	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH (1515 SAN REMO AVE. B-4)	final	08/30/2010	08/30/2010	0.00
CE-11-03-6120	03/17/2011	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH (1515 SAN REMO AVE. F-1)	final	03/21/2011	03/21/2011	0.00
CE-11-05-5956	05/11/2011	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH (1515 SAN REMO AVE. #F-2)	final	05/12/2011	05/12/2011	0.00
CE-12-01-7051	01/20/2012	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	final	01/20/2012	01/20/2012	0.00
CE-12-05-8658	05/21/2012	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	final	05/22/2012	05/22/2012	0.00
CE-12-06-8529	06/08/2012	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	final	06/11/2012	06/11/2012	0.00
CE-12-06-9053	06/15/2012	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	final	06/18/2012	06/18/2012	0.00
CE-12-06-9783	06/26/2012	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	final	06/27/2012	06/27/2012	0.00
CE-12-07-0523	07/10/2012	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	final	07/12/2012	07/12/2012	0.00
CE-13-02-0295	02/06/2013	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	final	02/08/2013	02/08/2013	0.00
CE-14-06-4147	06/26/2014	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	final	07/03/2014	07/03/2014	0.00
CE-15-04-4248	04/08/2015	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	final	04/13/2015	04/13/2015	0.00
CE-15-07-5715	07/23/2015	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	final	07/30/2015	07/30/2015	0.00
CE-15-08-4718	08/17/2015	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	pending			145.00
CE-15-08-4720	08/17/2015	1515 SAN REMO AVE	CODE ENF LIEN SEARCH	LIEN SEARCH	final	08/20/2015	08/20/2015	0.00
EL-08-03-0163	03/06/2008	1515 SAN REMO AVE	ELEC COMMERCIAL / RESIDENTIAL WORK	INSTALL 3 WASHING MACHINES \$500 IN WASHING	final	03/12/2008	07/09/2008	0.00

CITY'S EXHIBIT 12

				ROOM ONLY				
EL-09-12-2919	12/23/2009	1515 SAN REMO AVE	ELEC POOL / SPA / FOUNTAIN	ELECTRICAL REPAIR TO AN EXISTING POOL	final	12/28/2009	01/26/2010	0.00
EL-11-02-6028	02/24/2011	1515 SAN REMO AVE	ELEC COMMERCIAL / RESIDENTIAL WORK	2 SPECIAL OUTLETS; 2 ROUGH IN OUTLETS	final	03/10/2011	05/05/2011	0.00
EL-13-08-1552	08/26/2013	1515 SAN REMO AVE	ELEC LOW VOLTAGE SYSTEM	RECALL ELEVATOR UPGRADE \$6,250	final	09/27/2013	11/21/2013	0.00
EL-15-08-5250	08/26/2015	1515 SAN REMO AVE	ELEC COMMERCIAL / RESIDENTIAL WORK	INSTALL AC DISCONNECT AT EACH OF 47 ROOF TOP COMPRESSORS \$22,488	issued	09/30/2015		0.00
FD-13-08-1446	08/23/2013	1515 SAN REMO AVE	FIRE ELEVATOR RECALL	FIRE - ELEVATOR RECALL PERMIT 8-23-13	final	08/23/2013	11/21/2013	0.00
ME-10-04-5041	04/29/2010	1515 SAN REMO AVE	MECH COMMERCIAL / RESIDENTIAL WORK	EXACT A/C REPLACEMENT \$4500.00	final	04/30/2010	05/20/2010	0.00
ME-11-08-6646	08/19/2011	1515 SAN REMO AVE	MECH COMMERCIAL / RESIDENTIAL WORK	EXACT A/C CHANGE OUT \$3637.	final	08/19/2011	08/29/2011	0.00
ME-14-09-3264	09/25/2014	1515 SAN REMO AVE	MECH COMMERCIAL / RESIDENTIAL WORK	REPLACEMENT OF A/C \$3500	final	09/26/2014	12/18/2014	0.00
PL-11-02-6055	02/25/2011	1515 SAN REMO AVE	PLUMB COMMERCIAL / RESIDENTIAL WORK	PLUMBING WORK FOR KITCHEN & BATHROOM	final	03/18/2011	08/18/2011	0.00
PU-09-07-3163	07/23/2009	1515 SAN REMO AVE	PUBLIC RECORDS SEARCH	TO CLOSE SEVERAL ACTIVE PERMITS #05060107 CRM INV#7962	final	08/13/2009	08/13/2009	0.00
PU-14-03-3103	03/21/2014	1515 SAN REMO AVE	PUBLIC RECORDS SEARCH	REQ ROOF COPIES	final	03/21/2014	03/21/2014	0.00
RC-15-01-0843	01/21/2015	1515 SAN REMO AVE	BUILDING RE CERTIFICATION	40 YEAR OR OLDER BUILDING RECERTIFICATION CONSTRUCTION REGULATION BOARD FILE 15-4256 SEPTEMBER 14, 2015 MEETING	issued	01/22/2015		600.00
ZN-09-11-2700	11/30/2009	1515 SAN REMO AVE	POOL / SPA ONLY - MARBLELITE / SANDBLAST / TILE	POOL RESURFACE \$2,500	final	12/10/2009	02/22/2010	0.00
ZN-10-06-4517	06/17/2010	1515 SAN REMO AVE	PAINT / RESURFACE FL / CLEAN	INSTALL LAMINATE FLOORING \$1,368.29	final	06/24/2010	07/16/2010	0.00
ZN-11-02-5846	02/23/2011	1515 SAN REMO AVE	KITCHEN CABINETS / COUNTERTOPS	REPLACE KITCHEN CABINETS, INSTALL HARDWOOD FLOORS THROUGHOUT, REPLACE BATHROOM	final	03/01/2011	08/18/2011	0.00

CABINETS
\$10,000

The City's online services are protected with an **SSL encryption certificate**. For technical assistance, please call 305-569-2448 (8am-5pm, M-F).

After recording return to:
Belkys Garcia
Secretary to the Construction
Regulation Board
Development Services Department
City of Coral Gables
405 Biltmore Way, 3rd Floor
Coral Gables, FL 33134-5717

**CITY OF CORAL GABLES
CONSTRUCTION REGULATION BOARD**

CITY OF CORAL GABLES,

CASE NO. 15-4256

Petitioner,

vs.

VILLA SAN REMO CONDOMINIUM
ASSOCIATION, INC., a Florida Not for
Profit Corporation,

Respondent.

ORDER DECLARING STRUCTURE UNSAFE

This cause was brought before the Construction Regulation Board ("Board") of the City of Coral Gables ("City"), on October 19, 2015, on the Notice of Unsafe Structure Violation for Failure to Recertify and Notice of Hearing ("Notice"). The Board, having heard the arguments of the parties and having considered any evidence presented, hereby enters this Order Declaring Structure Unsafe ("Order") and finds, concludes, and orders as follows:

Findings of Fact

1. The City properly served the Notice on the owner, Villa San Remo Condominium Association, Inc. ("Owner"), and any lienholders of record of the five three-story residential condominium buildings consisting of 47 units, built in 1964 ("Structure"), located at **1515 San Remo Avenue**, Coral Gables, FL 33134-3046, and legally described as Lots 17 thru 24, Block 203, of CORAL GABLES RIVIERA SECTION 14, according to the 2nd Rev Plat Book 28-32, of the Public Records of Miami-Dade County, Florida; and having folio number 03-4130-033-0010 ("Property").

2. The Notice alleges that the Structure is unsafe because an inspection report pursuant to the minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, required by Section 8-11 of the Miami-Dade County Code ("Report"), and furnished by or on behalf of the Owner on January 22, 2015, revealed that the Structure did not meet the minimum requirements to be recertified as structurally and electrically safe.

3. The Report revealed that the following items required repair or modification: **Electrical:** 1) branch circuits must be identified; 2) parking illumination certificate not provided;

3) wiring of mechanical equipment must be repaired; 4) all air conditioner condensing units on roof have deteriorated wiring that must be replaced and disconnects must be added to each; **Structural:** 5) spalling at concrete lintels and sills; 6) overhead spalls at concrete beams; 7) spalling at concrete columns; 8) loose rail posts; 9) spalling at mechanical room roof slab; 10) meter room door framing damaged; 11) tie-down straps missing at rooftop air conditioning units; and 12) debris on roof top deck.

4. On January 23, 2015, the City notified the Owner that it must complete the repairs and submit a letter from the architect or engineer who prepared the Report stating that the Structure now meets the minimum requirements (“Compliance Report”).

5. To date, the Owner has not completed the required repairs and has not submitted a Compliance Report (“Required Action”).

Conclusions of Law

6. The Structure is presumed and is hereby declared unsafe pursuant to Section 105-186(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code.

Order

It is, therefore, ORDERED:

7. *Required Action.* The Owner shall take the Required Action as follows: a) the Owner shall apply for all required permits to meet the minimum requirements as noted in the Report (“Permits”) within 30 days of the date of this Order; b) the Owner shall obtain all Permits within 30 days from the date that the application is complete and, in any event, no later than 60 days from the date of this Order; and c) the Owner shall pass final inspection on all Permits and shall submit a Compliance Report within 30 days from the date that the Permits are issued and, in any event, no later than 90 days from the date of this Order.

8. *Request for compliance inspection.* It is the responsibility of the Owner to contact the Building Official to request an inspection of City records and of the Property, as applicable, to determine compliance with this Order.

9. *Payment of costs and demolition by City.* The Owner shall pay, within 7 days of the date of this Order, the City’s administrative costs to date of \$600, in addition to the costs of recording this Order. If the Owner does not comply with any of the applicable deadlines above, the Building Official may immediately and without further order from this Board, order that the structure be vacated, boarded, secured, and posted to prevent further occupancy and the City may demolish the Structure. The City may sell as salvage or require the demolition contractor to dispose of the contents of the Structure.

10. *Requests for extension of time.* The Building Official, in his sole discretion, may extend any of the above deadlines for good cause beyond the control of the Owner and that the Owner acted in good faith and exercised due diligence in the efforts to take all Required Action, to apply for any required permits, and to request an extension of any deadlines, as applicable.

11. *Lien for costs and notice to subsequent purchasers.* The City shall have a special assessment lien for its administrative costs and the costs of corrective action, including but not limited to, securing the Structure and demolition (“Costs”), against the real and personal property of the Owner, including the Property. The lien for Costs shall have equal dignity with a lien for

taxes. In order to have this lien, the City shall record this Order and an affidavit for any additional Costs, as applicable. Once recorded in the Public Records of Miami-Dade County, Florida, a copy of this Order shall constitute notice to any subsequent purchasers, successors in interest, or assigns, and the findings herein shall be binding upon the Owner and any subsequent purchasers, successors in interest or assigns.

12. *City's remedies are cumulative.* This Order notwithstanding, the City may enforce its code by any other lawful means.

13. **NOTICE:** If the Respondent does not comply with the terms of this order, the City may issue an Affidavit of Non-Compliance ("Affidavit"). The Respondent may request an administrative hearing that shall be strictly limited to determining whether the Respondent complied with the terms of this order. Requests for a hearing must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134-5717, bgarcia@coralgables.com, tel: (305) 460-5229. Failure to request an administrative hearing within seven (7) days after service of the Affidavit shall constitute a waiver of the Respondent's right to the hearing. The Respondent shall be liable for the reasonable costs of the administrative hearing, if the Respondent does not prevail at the hearing.

DONE AND ORDERED at the City of Coral Gables, Miami-Dade County, Florida, on this 19th day of October, 2015.

28th

CONSTRUCTION REGULATION BOARD
OF THE CITY OF CORAL GABLES



Board Chairperson

Notice of Deadline to Appeal

PURSUANT TO SECTION 105-192(b) OF THE CITY CODE, AN APPEAL OF THIS ORDER MAY BE FILED IN THE CIRCUIT COURT IN MIAMI-DADE COUNTY, FLORIDA, WITHIN THIRTY DAYS OF THE FILING OF THIS ORDER.

Certificate of Filing and Service

I HEREBY CERTIFY that the original of this order was filed with the Secretary of the Board, on this 19th day of October, 2015 and that, on the same date, a true and correct copy of the foregoing was served by certified mail, return receipt requested, and by first class mail (and any e-mail address indicated below) to:

Condominium Association

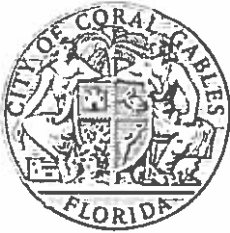
Villa San Remo Condominium
Association, Inc.
c/o Clear Sky Property Management LLC
Registered Agent
2929 SW 3 Avenue, Suite 330
Miami, FL 33129-2710

Return receipt number:

91 7108 2133 3932 6009 7105

and via e-mail to Ketty M. Urbay, the
Condominium Association's representative, at
kurbay@clearskymanagement.com.


Belkys Garcia
Secretary to the Board



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Complaint/Case #: 15-4256

Title of Document Posted: Construction Regulation Board Case

I, JOSE "JOE" PAZ, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 1515 SAN REMO AVE., ON 10-28-15
AT 11:40 AM.

JOSE PAZ
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
SS.
COUNTY OF MIAMI-DADE)

Sworn to (or affirmed) and subscribed before me this 28th day of October, in the
year 2015, by Jose Paz who is personally known to me
or has produced _____ as identification.

My Commission Expires:



Belkys Garcia
Notary Public

Goizueta, Virginia

From: Lopez, Manuel
Sent: Wednesday, September 16, 2015 11:05 AM
To: 'alp@alp-law.com' (alp@alp-law.com)
Cc: Goizueta, Virginia
Subject: 1515 San Remo.

Alex, I have visited the above referenced property along with Al Reyes Electrical Official for the City of Coral Gables and Robert Lowman Fire Marshal for the City of Coral Gables and found no issues of any kind that require immediate attention. I have also spoken to Jose Toledo PE who did the original inspection for the recertification and he informs me that at the time of his inspection he did not find any life safety issues that required that the building be declared unsafe. The items listed in his report need to be addressed before he issues a letter certifying the building. I see no reason to have a special meeting of the Board.

Manuel Z. Lopez P.E.
Building Official
City of Coral Gables
Development Services Department
405 Biltmore Way, 3rd Floor
Coral Gables Florida, 33134
305-460-5242



CITY'S

EXHIBIT

14

Garcia, Belkys

From: Figueroa, Yaneris
Sent: Wednesday, September 16, 2015 1:12 PM
To: 'alp@alp-law.com'; Garcia, Belkys; Goizueta, Virginia; Lopez, Manuel
Subject: RE: 1515 San Remo Ave

That's perfect. Thank you, Alex.

Please let me know if you need anything from me.

Best,

Yaneris Figueroa
Assistant City Attorney for the City of Coral Gables
405 Biltmore Way, 2nd Floor
Coral Gables, FL 33134
Office: (305) 722-8625
Fax: (305) 476-7795



CORAL GABLES
INCORPORATED 1925

Celebrating 90 years of a dream realized.

From: alp@alp-law.com [mailto:alp@alp-law.com]
Sent: Wednesday, September 16, 2015 1:09 PM
To: Figueroa, Yaneris; Garcia, Belkys; Goizueta, Virginia; Lopez, Manuel
Subject: Re: 1515 San Remo Ave

Understood. I will, nevertheless, follow up again with the maintenance company and encourage them to make sure they stay on top of this and hopefully apply for and obtain the permits for the full scope of work in time for the next regularly-scheduled board meeting.

Thank you!

Very truly yours,

Alexander L. Palenzuela
Law Offices of Alexander L. Palenzuela, P.A.
1200 Brickell Avenue, Suite 1230
Miami, FL 33131-3255
main (305) 375-9510, ext. 303
direct +1 (305) 417-9007
fax (305) 375-9511
alp@alp-law.com
www.alp-law.com

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From: Yaneris Figueroa <yfigueroa@coralgables.com>
Date: Wednesday, September 16, 2015 at 12:25 PM
To: "Garcia, Belkys" <bgarcia@coralgables.com>
Cc: Virginia Goizueta <vgoizueta@coralgables.com>, Alexander Palenzuela <alp@alp-law.com>, Manuel Lopez <mlopez@coralgables.com>
Subject: RE: 1515 San Remo Ave

Hi Belkys,

I would not send the information to the Board. Given their direction, and based on Manny's recommendation below, it does not appear necessary to have a special meeting of the Board. We can update the Board members at the next regularly scheduled meeting.

Thanks!
Yaneris

Yaneris Figueroa
Assistant City Attorney for the City of Coral Gables
405 Biltmore Way, 2nd Floor
Coral Gables, FL 33134
Office: (305) 722-8625
Fax: (305) 476-7795



CORAL GABLES
ESTABLISHED 1925

Celebrating 90 years of a dream realized.

From: Garcia, Belkys
Sent: Wednesday, September 16, 2015 12:22 PM
To: Figueroa, Yaneris
Cc: Goizueta, Virginia; 'alp@alp-law.com'; Lopez, Manuel
Subject: 1515 San Remo Ave

Yaneris,

Please read email below from Manuel Lopez, Building Official, regarding the Subject address which the Construction Regulation Board members expressed concerns. Do you want me to forward that information to the members?

Thank you,

Belkys Garcia

City of Coral Gables
Development Services Department
405 Biltmore Way, 3rd Floor
Coral Gables, Florida 33134
Office: (305) 460-5229



CORAL GABLES
THE CITY BEHIND THE ISLAND

Celebrating 90 years of a dream realized.

From: Goizueta, Virginia
Sent: Wednesday, September 16, 2015 12:20 PM
To: Garcia, Belkys
Subject: FW: 1515 San Remo.

fyi

Virginia Goizueta

Building Service Coordinator
City of Coral Gables
Development Services Department
405 Biltmore Way, 3rd Floor
Coral Gables, Florida 33134
Office: 305-460-5250



CORAL GABLES
THE CITY BEHIND THE ISLAND

Celebrating 90 years of a dream realized.

From: Lopez, Manuel
Sent: Wednesday, September 16, 2015 11:05 AM
To: 'alp@alp-law.com' (alp@alp-law.com)

Cc: Goizueta, Virginia
Subject: 1515 San Remo.

Alex, I have visited the above referenced property along with Al Reyes Electrical Official for the City of Coral Gables and Robert Lowman Fire Marshal for the City of Coral Gables and found no issues of any kind that require immediate attention. I have also spoken to Jose Toledo PE who did the original inspection for the recertification and he informs me that at the time of his inspection he did not find any life safety issues that required that the building be declared unsafe. The items listed in his report need to be addressed before he issues a letter certifying the building. I see no reason to have a special meeting of the Board.

Manuel Z. Lopez P.E.
Building Official
City of Coral Gables
Development Services Department
405 Biltmore Way, 3rd Floor
Coral Gables Florida, 33134
305-460-5242



CORAL GABLES
THE CITY BEHIND THE CITY

Celebrating 90 years of a dream realized.

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Goizueta, Virginia

From: alp@alp-law.com
Sent: Friday, August 21, 2015 11:17 AM
To: Goizueta, Virginia
Subject: Re: Construction Regulation Board, September 14, 2015

Dear Virginia:

Welcome back! Please call me today to discuss.

Thanks!

Very truly yours,

Alexander L. Palenzuela
Law Offices of Alexander L. Palenzuela, P.A.
1200 Brickell Avenue, Suite 1230
Miami, FL 33131-3255
main (305) 375-9510, ext. 303
direct +1 (305) 417-9007
fax (305) 375-9511
alp@alp-law.com
www.alp-law.com

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From: "Goizueta, Virginia" <vgoizueta@coralgables.com>
Date: Thursday, August 20, 2015 at 9:22 AM
To: Alexander Palenzuela <alp@alp-law.com>
Cc: "Garcia, Belkys" <bgarcia@coralgables.com>, Manuel Lopez <mlopez@coralgables.com>
Subject: Construction Regulation Board, September 14, 2015

Good morning Alexander,

On our last meeting we identified the cases to be heard in the September 14th meeting by the Construction Regulation Board. The hearing notices for these cases should be mailed and posted at least two weeks prior to the meeting; please provide us with the information on the parties to be notified and the notice for hearing template?

101 Almeria Ave
114 Calabria Ave
108 Menores Ave
1514 Salzedo St
1515 San Remo Ave

The Building Official would like the board to hear 218 Antiquera Ave, which had been previously heard by the Miami Dade Unsafe Structures Board.

Thank you

Virginia Goizueta

Building Service Coordinator

City of Coral Gables

Development Services Department

405 Biltmore Way, 3rd Floor

Coral Gables, Florida 33134

Office: 305-460-5250



CORAL GABLES
INCORPORATED 1915

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Garcia, Belkys

From: Garcia, Belkys
Sent: Wednesday, November 04, 2015 7:43 AM
To: 'Ketty M. Urbay'
Cc: Goizueta, Virginia; Figueroa, Yaneris; 'alp@alp-law.com'; 'inomkin@alp-law.com'
Subject: RE: 1515 San Remo Ave

Good morning,

Please make the check payable to City of Coral Gables and reference the site address and Case number.

Thank you,

Belkys Garcia

City of Coral Gables
Development Services Department
405 Biltmore Way, 3rd Floor
Coral Gables, Florida 33134
Office: (305) 460-5229



Celebrating 90 years of a dream realized.

From: Ketty M. Urbay [mailto:kurbay@clearskymanagement.com]
Sent: Tuesday, November 03, 2015 3:03 PM
To: Garcia, Belkys
Cc: Goizueta, Virginia; Figueroa, Yaneris; 'alp@alp-law.com'; 'inomkin@alp-law.com'
Subject: RE: 1515 San Remo Ave

Dear Mrs. Garcia

Good afternoon. Upon further review of paperwork I recently received post hearing, I do have a question regarding the fees of \$637.50 that are due as per the Invoice received. Is the check payable simply to City of Coral Gables? Also, do we reference on the check the permit # on the invoice and parcel # or the case # 15-4256?

Thank you kindly,
My Best,

""The question isn't who's going to let me; it's who is going to stop me." ~ Ayn Rand

Ketty M. Urbay, President
Clear Sky Property Management
Leading Community Associations through the Storms
direct (305) 356-7414, ext. 4

CITY'S

EXHIBIT

15

fax (800) 786-3170
2929 SW 3 Avenue #330
Miami, Florida 33129

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----- Original Message -----

Subject: RE: 1515 San Remo Ave
From: "Ketty M. Urbay" <kurbay@clearskymanagement.com>
Date: Tue, November 03, 2015 1:01 pm
To: "Garcia, Belkys" <bgarcia@coralgables.com>
Cc: "Goizueta, Virginia" <vgoizueta@coralgables.com>, "Figueroa, Yaneris" <yfigueroa@coralgables.com>, "alp@alp-law.com" <alp@alp-law.com>, "inomkin@alp-law.com" <inomkin@alp-law.com>

Dear Mrs. Garcia,

Good afternoon.

Received. Thank you,

""The question isn't who's going to let me; it's who is going to stop me." ~ Ayn Rand

Ketty M. Urbay, President
Clear Sky Property Management
Leading Community Associations through the Storms
direct (305) 356-7414, ext. 4
fax (800) 786-3170
2929 SW 3 Avenue #330
Miami, Florida 33129

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----- Original Message -----

Subject: 1515 San Remo Ave
From: "Garcia, Belkys" <bgarcia@coralgables.com>
Date: Wed, October 28, 2015 8:14 am
To: "kurbay@clearskymanagement.com" <kurbay@clearskymanagement.com>
Cc: "Goizueta, Virginia" <vgoizueta@coralgables.com>, "Figueroa, Yaneris" <yfigueroa@coralgables.com>, "alp@alp-law.com" <alp@alp-law.com>, "inomkin@alp-law.com" <inomkin@alp-law.com>

Good morning,

Please see attached Order Declaring Structure Unsafe for the above Subject address.
Please contact us if you have any questions.

Thank you,

Belkys Garcia
City of Coral Gables
Development Services Department
405 Biltmore Way, 3rd Floor
Coral Gables, Florida 33134
Office: (305) 460-5229

-----Original Message-----

From: ds-pln@coralgables.com [mailto:ds-pln@coralgables.com]
Sent: Tuesday, October 27, 2015 10:28 AM
To: Garcia, Belkys
Subject: Sent from the City of Coral Gables Development Services Department

Please open the attached document. It was scanned and sent to you using a Xerox Multifunction Printer.

Attachment File Type: pdf, Multi-Page

Multifunction Printer Location:
Device Name: CTHDS3FL-7970A

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Garcia, Belkys

From: alp@alp-law.com
Sent: Wednesday, November 04, 2015 11:48 AM
To: Goizueta, Virginia; Garcia, Belkys
Cc: Figueroa, Yaneris
Subject: FW: status hearing - 1515 San Remo Ave
Attachments: unsafe structures order - 1515 San Remo Ave.pdf

Importance: High

FYI

Very truly yours,

Alexander L. Palenzuela
Law Offices of Alexander L. Palenzuela, P.A.
1200 Brickell Avenue, Suite 1440
Miami, FL 33131-3205
main (305) 375-9510, ext. 303
direct +1 (305) 417-9007
fax (305) 375-9511
alp@alp-law.com
www.alp-law.com

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From: Alexander Palenzuela <alp@alp-law.com>
Date: Wednesday, November 4, 2015 at 11:47 AM
To: "Ketty M. Urbay" <kurbay@clearskymanagement.com>
Subject: status hearing - 1515 San Remo Ave

Dear Ms. Urbay:

This is to confirm that the Contraction Regulation Board asked you and you agreed to be present at a status hearing on Monday, November 9, 2015, at 2 p.m. in the Commission Chambers at Coral Gables City Hall, 405 Biltmore Way, 2nd Floor, Coral Gables, FL 33134.

CITY'S

EXHIBIT

16

Please confirm your attendance.

Thank you.

Very truly yours,

Alexander L. Palenzuela
Law Offices of Alexander L. Palenzuela, P.A.
1200 Brickell Avenue, Suite 1440
Miami, FL 33131-3205
main (305) 375-9510, ext. 303
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From: Alexander Palenzuela <alp@alp-law.com>
Date: Friday, October 16, 2015 at 3:06 PM
To: "Ketty M. Urbay" <kurbay@clearskymanagement.com>
Subject: proposed order in unsafe structures proceeding - 1515 San Remo Ave

Dear Ms. Urbay:

As we discussed, please find attached a proposed order. The City is reviewing the order and the Board will make the ultimate decision whether to approve any order that we propose, so please arrange to attend the hearing, in case the Board has questions or is unwilling to approve the proposed terms.

Please do not hesitate to call me if you have any questions or concerns. My mobile number is (305) 333-0467.

Thank you and have a good weekend!

Very truly yours,

Alexander L. Palenzuela
Law Offices of Alexander L. Palenzuela, P.A.
1200 Brickell Avenue, Suite 1440
Miami, FL 33131-3205
main (305) 375-9510, ext. 303
direct +1 (305) 417-9007
fax (305) 375-9511
alp@alp-law.com
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