



**PEDESTRIAN VIEW  
FROM CORNER OF ALHAMBRA CIRCLE & NAVARRE STREET**

**RESIDENTIAL MIXED-USE PROJECT  
33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

**Bellin & Pratt**  
architects, LLC

AA26000863





## City of Coral Gables Planning Division Application

305.460.5211

planning@coralgables.com

www.coralgables.com

### Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- ☐ Abandonment and Vacations
- ☐ Annexation
- ☐ Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- ☒ Comprehensive Plan Map Amendment - Small Scale
- ☐ Comprehensive Plan Map Amendment - Large Scale
- ☐ Comprehensive Plan Text Amendment
- ☐ Conditional Use - Administrative Review
- ☐ Conditional Use without Site Plan
- ☐ Conditional Use with Site Plan
- ☐ Development Agreement
- ☐ Development of Regional Impact
- ☐ Development of Regional Impact - Notice of Proposed Change
- ☒ Mixed Use Site Plan
- ☐ Planned Area Development Designation and Site Plan
- ☐ Planned Area Development Major Amendment
- ☐ Restrictive Covenants and/or Easements
- ☐ Site Plan
- ☐ Separation/Establishment of a Building Site
- ☐ Subdivision Review for a Tentative Plat and Variance
- ☐ Transfer of Development Rights Receiving Site Plan
- ☐ University Campus District Modification to the Adopted Campus Master Plan
- ☒ Zoning Code Map Amendment
- ☐ Zoning Code Text Amendment
- ☐ Other: \_\_\_\_\_

### General information

Street address of the subject property: 20, 42 Navarre Ave., 33, 43, & 47 Alhambra Circle, 2001 Galiano Street

Property/project name: \_\_\_\_\_

Legal description: Lot(s) 1-7

Block(s) 15

Section (s) Coral Gables Section L

Property owner(s): TWJ Alhambra, LLC

Property owner(s) mailing address: 100 S. Biscayne Blvd., Miami, FL 33131

Telephone: Business 305-358-7710

Fax 305-443-5986

Other \_\_\_\_\_

Email dwarhaft

@

fecr.com





## City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Guilford & Associates, P.A.

Applicant(s)/agent(s) mailing address: 400 University Dr. Suite 201, Coral Gables, FL 33134

Telephone: Business 305-446-8411

Fax 305-445-0563

Other \_\_\_\_\_

Email zguilford @ guilfordassoc.com

### Property information

Current land use classification(s): Residential Multi-Family Medium Density

Current zoning classification(s): Multi-Family 2 District

Proposed land use classification(s) (if applicable): Commercial High-Rise Intensity

Proposed zoning classification(s) (if applicable): Commercial District

### Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Division Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- ☐ Aerial.
- ☐ Affidavit providing for property owner's authorization to process application.
- ☐ Annexation supporting materials.
- ☐ Application fees.
- ☐ Application representation and contact information.
- ☐ Appraisal.
- ☐ Architectural/building elevations.
- ☐ Building floor plans.
- ☐ Comprehensive Plan text amendment justification.
- ☐ Comprehensive Plan analysis.
- ☐ Concurrency impact statement.
- ☐ Encroachments plan.
- ☐ Environmental assessment.
- ☐ Historic contextual study and/or historical significance determination.
- ☐ Landscape plan.
- ☐ Lighting plan.
- ☐ Massing model and/or 3D computer model.
- ☐ Miami-Dade County Conflict of Interest and Code of Ethics Lobbyist form.
- ☐ Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- ☐ Parking study.
- ☐ Photographs of property, adjacent uses and/or streetscape.
- ☐ Plat.
- ☐ Property survey and legal description.





## City of Coral Gables Planning Division Application

- ☐ Property owners list, notification radius map and two sets of labels.
- ☐ Public Realm Improvements Plan for mixed use projects.
- ☐ Public school preliminary concurrency analysis (residential land use/zoning applications only).
- ☐ Sign master plan.
- ☐ Site plan and supporting information.
- ☐ Statement of use and/or cover letter.
- ☐ Streetscape master plan.
- ☐ Traffic accumulation assessment.
- ☐ Traffic impact statement.
- ☐ Traffic impact study.
- ☐ Traffic stacking analysis.
- ☐ Utilities consent.
- ☐ Utilities location plan.
- ☐ Vegetation survey.
- ☐ Video of the subject property.
- ☐ Zoning Analysis ( Preliminary).
- ☐ Zoning Code text amendment justification.
- ☐ Warranty Deed.
- ☐ Other: \_\_\_\_\_

### Application submittal requirements

1. Hard copies. Sixteen (16) hard copies of the entire application shall be submitted including all items identified in the preapplication conference.
2. Digital media copies. Two (2) compact discs (CD ROMs) of the entire application including all the items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 Mb. All discs shall be labeled with the applicant(s) name, project name and date of submittal.

### Applicant/agent/property owner affirmation and consent

(I) (We) affirm and certify to all of the following:


1. Submission of the following:
  - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
  - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.





## City of Coral Gables Planning Division Application

5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.


Property owner(s) signature(s):  	Property owner(s) print name:  Dean Warhaft, manager TWS Alhambra LLC	
Property owner(s) signature(s):	Property owner(s) print name:	
Property owner(s) signature(s):	Property owner(s) print name:	
Address:		
Telephone:	Fax:	Email:


**NOTARIZATION**

STATE OF FLORIDA/COUNTY OF Miami Dade

The foregoing instrument was acknowledged before me this 15 day of April 2014 by Dean Warhaft

(Signature of Notary Public - State of Florida)





**LIDIA GONZALEZ**

MY COMMISSION # DD 973090

EXPIRES: May 1, 2014

Bonded Thru Budget Notary Services

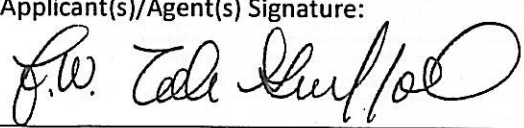
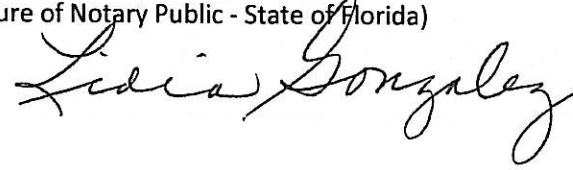

☒ (Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced \_\_\_\_\_





# City of Coral Gables Planning Division Application

Contract Purchaser(s) Signature:		Contract Purchaser(s) Print Name:	
Contract Purchaser(s) Signature:		Contract Purchaser(s) Print Name:	
Address:			
Telephone:		Fax:	
Email:			
<b>NOTARIZATION</b>			
STATE OF FLORIDA/COUNTY OF _____			
The foregoing instrument was acknowledged before me this _____ day of _____ by _____			
(Signature of Notary Public - State of Florida)			
(Print, Type or Stamp Commissioned Name of Notary Public)			
<input type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____			
Applicant(s)/Agent(s) Signature:		Applicant(s)/Agent(s) Print Name:	
		GULFORD & ASSOCIATES, P.A.	
Address: 400 UNIVERSITY DRIVE CORAL GABLES, FL 33134			
Telephone: 305-446-8411		Fax: 305-445-0563	
Email: ZGULFORD@GULFORDASSOC.COM			
<b>NOTARIZATION</b>			
STATE OF FLORIDA/COUNTY OF _____			
The foregoing instrument was acknowledged before me this <u>2</u> day of <u>June</u> by <u>J.W. Tade Kurfal</u>			
(Signature of Notary Public - State of Florida)			
			
LIDIA GONZALEZ MY COMMISSION # FF 100466 EXPIRES: May 1, 2018 Bonded Thru Budget Notary Services			
(Print, Type or Stamp Commissioned Name of Notary Public)			
<input checked="" type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____			



*Guilford & Associates, P.A.*  
*Attorneys at Law*

F. W. ZEKE GUILFORD  
E-MAIL: ZGUILFORD@GUILFORDASSOC.COM

May 15, 2017

400 UNIVERSITY DRIVE  
SUITE 201  
CORAL GABLES, FLORIDA 33134  
TEL (305) 446-8411  
FAX (305) 445-0563

Mr. Ramon Trias  
Planning and Zoning Director  
City of Coral Gables  
405 Biltmore Way  
Coral Gables, FL 33134

**RE: 42 Navarre Avenue / Comprehensive Land Use Change, Zoning Change and Site Plan Approval**

Dear Mr. Trias:

This firm represents the TWJ Alhambra, LLC, the owner of block 15 of Coral Gables Section L, which is bordered by Galiano Street, Alhambra Circle, and Navarre Avenue relative to this application for a change in the comprehensive land use map, a change of zoning and site plan approval for the proposed development.

Currently there are six (6) buildings located on the property consisting of one and two stories multifamily dwelling units. The property is currently master planned as residential multi-family medium density and has a zoning designation of multi-family 2 district. The property is uniquely situated. It is across the street from Coral Gables Elementary, a new 16 story residential development and the commercial downtown. The building located at 42 Navarre Avenue has been declared a historic building and is being incorporated into the design of the overall development of the property. The owner is requesting a change of land use to high intensity commercial, a change of zoning to commercial and site plan approval for a mixed-use development. It is very important to note that the development will remain residential.

The owner has been working with staff for over three years. The original proposal was for a 16 story Mediterranean designed building that will consist of 21 ground floor live-work units and 168 residential units. The parking was proposed to be provided in a 5 level parking garage. Since that time, the owner and its representatives have been working with the neighbors and staff to reduce the size of the building and density. The historic structure will remain on the property and be incorporated into the development located above the first floor. Due to the unique configuration of the site and maintaining the historic structure, the building under the first proposal was taller than if the historic structure was removed. The final use of the historic property has not be determined at this time.

The second proposal reduced the height of the building to ninety seven feet. This is consistant with the as of right height. This proposal was shaped as a "T", with the Alhambra frontage going property line to property line. In this proposal, the building was reduced by five units.

The final proposal is still at ninety seven feet. However, the frontage along Alhambra has been reduced by twenty five percent. A portion of the building has been removed to allow a green space of over ten thousand square feet. The number of units has been reduced to one hundred and thirty residential units and sixteen live work units.

The application was reviewed by the Development Review Committee (DRC) on November 22, 2013 and the architectural plans were reviewed and received preliminary approval by the city's Board of Architects on April 10, 2014.

In addition, due to the historic building located on one of the lots, the proposed new construction had to be reviewed by the Historic Preservation Board. On September 18, 2014 the Historic Preservation Board approved the site plan of the new development.

Based upon the foregoing, we would sincerely appreciate your favorable consideration of our application. If you have any questions or need any additional information, please do not hesitate to contact me.

Very sincerely,  
Guilford & Associates, P.A.



F.W. Zeke Guilford, Esq

# Owner's Representatives

**Owner:**

TWJ Alhambra, LLC  
100 Biscayne Blvd.  
Suite 900  
Miami, FL 33131  
Attention: Dean Warhaft  
Telephone No: 305-358-7710  
Fax No: 305-358-1619  
Email Address: [dwarhaft@fecr.com](mailto:dwarhaft@fecr.com)

**Architect:**

Bellin and Pratt  
285 Sevilla Avenue  
Coral Gables, FL 33134  
Attention: Marshall Bellin, Glenn Pratt  
Telephone No: 305-447-1927  
Fax No: 305-443-443-5986  
Email Address: [glenn@bellinandpratt.com](mailto:glenn@bellinandpratt.com)  
Email Address: [marshall@bellinandpratt.com](mailto:marshall@bellinandpratt.com)

**Traffic Engineer:**

Kimley-Horn and Associates, Inc.  
5200 NW 33<sup>rd</sup> Avenue  
Suite 109  
Fort Lauderdale, FL 33309  
Attention: John J. McWilliams, P.E.  
Telephone No: 954-535-5100  
Email Address: [john.mcwilliams@kimley-horn.com](mailto:john.mcwilliams@kimley-horn.com)

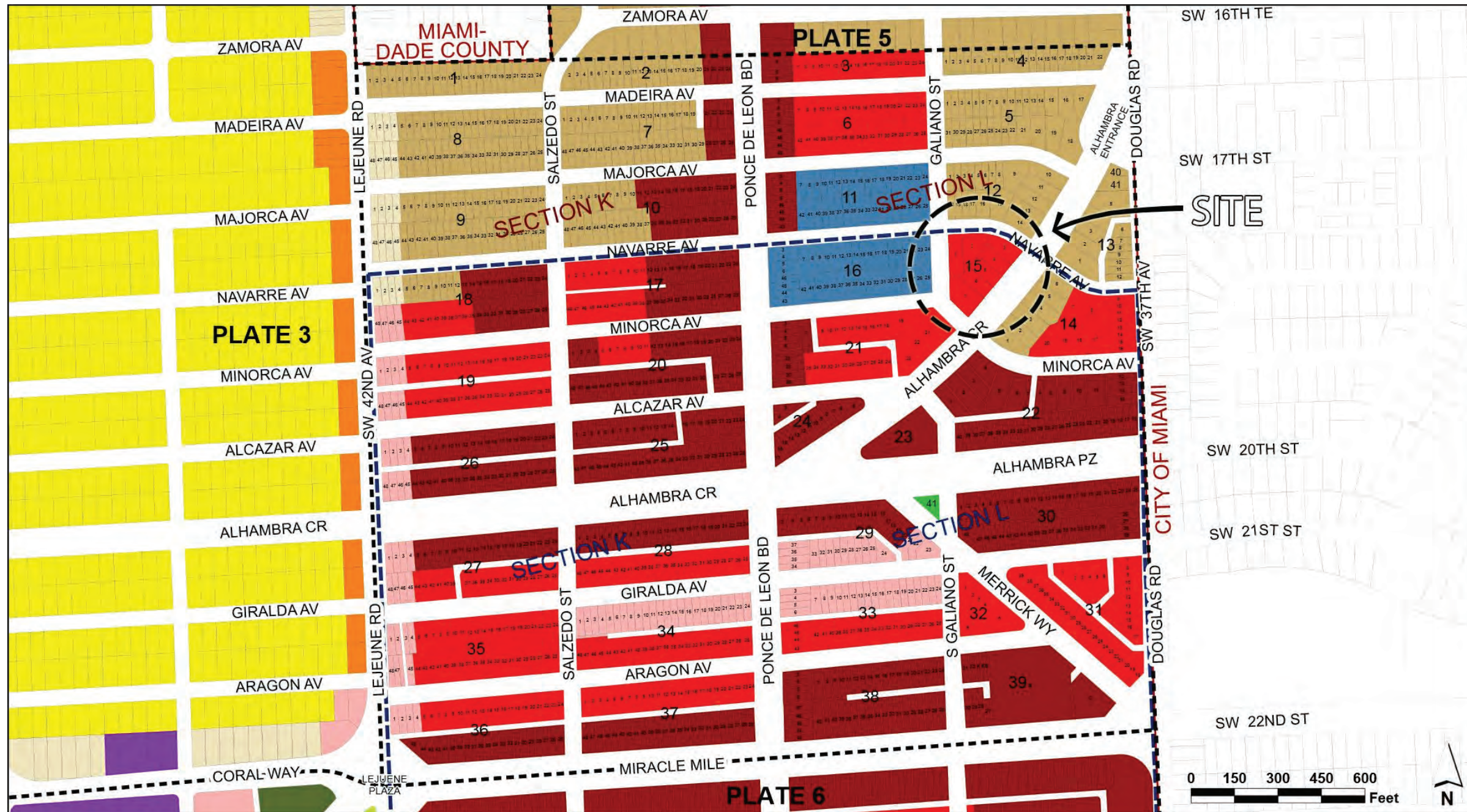
**Attorney:**

Guilford & Associates, P.A.  
400 University Drive  
Suite 201  
Coral Gables, FL 33134  
Attention: F.W. Zeke Guilford, Esq.  
Telephone No: 305-446-8411  
Fax No: 305-445-0563  
Email Address: [zguilford@guilfordassoc.com](mailto:zguilford@guilfordassoc.com)









# PROPOSED Future Land Use Map

## Land Use Classifications

Residential Single-Family Low Density (6 Units/Acre)	Residential Multi-Family Duplex Density (9 Units/Acre)	Residential Multi-Family Medium Density (70 Feet; 40 Units/Acre)	Commercial Low-Rise Intensity (50 Feet; 3.0 F.A.R.)	Commercial High-Rise Intensity (150 Feet; 3.0 F.A.R.)	University Campus Multi-Use Area	Open Space	Hospital
Residential Single-Family High Density (9 Units/Acre)	Residential Multi-Family Low Density (50 Feet; 20 Units/Acre)	Residential Multi-Family High Density (150 Feet; 60 Units/Acre)	Commercial Mid-Rise Intensity (70 Feet; 3.0 F.A.R.)	Industrial	Education	Conservation Areas	Religious/Institutional
		(CBD) Central Business District	University Campus	Parks and Recreation	Public Buildings and Grounds	Community Services and Facilities	

**Plate 4 of 18**  
City of Coral Gables  
Planning & Zoning Division  
July 2013

ARCHITECT:

**Bellin & Pratt**  
architects, LLC

AA26000863

285 sevilla avenue  
coral gables, florida, 33134  
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Consultant  
Address  
Phone  
Fax  
e-mail

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PROJECT NAME:

**Proposed Residential  
Mixed-Use Project**

PROPERTY ADDRESS

33 Alhambra Circle

Coral Gables FL

OWNER INFORMATION

TWJ Alhambra, LLC

100 South Biscayne Boulevard

Suite 900 Miami FL 33131

## CITY COMMISSION 2nd Reading

ISSUE DATE: 04.18.2017

PROJECT No.: 2013-07

DRAWN BY: Author

APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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SEAL:

SIGNATURE:

MARSHALL BELLIN AR-5564

GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

## Proposed Future Land Use Map

SCALE: 1/4" = 1'-0"

SHEET No.:

**A0.0a**





# PROPOSED Zoning Map

## Zoning Districts

- (SFR) Single-Family Residential District
- (MFSA) Multi-Family Special Area District
- (P) Preservation District
- (I) Industrial District
- (MF1) Multi-Family 1 Duplex District
- (UCD) University Campus District
- (CL) Commercial Limited District
- (DO) Downtown Overlay District
- (MF2) Multi-Family 2 District
- (S) Special Use District
- (C) Commercial District
- (CBD) Central Business District

**Plate 4 of 18**  
City of Coral Gables  
Planning & Zoning Division  
July 2013

ARCHITECT:  
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architects, LLC  
AA26000863

285 sevilla avenue  
coral gables, florida, 33134  
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:  
Consultant  
Address  
Phone  
Fax  
e-mail

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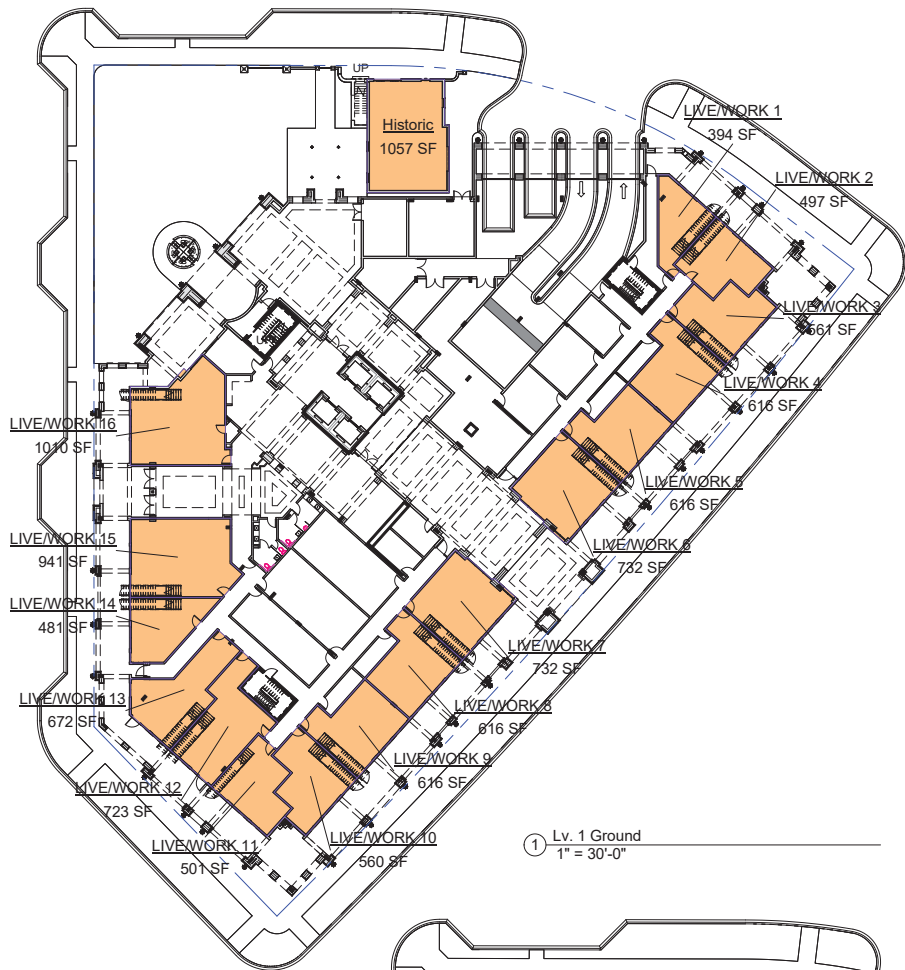
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SEAL:  
  
SIGNATURE:  
MARSHALL BELLIN AR-5564  
GLENN H PRATT, AIA, AR-9608

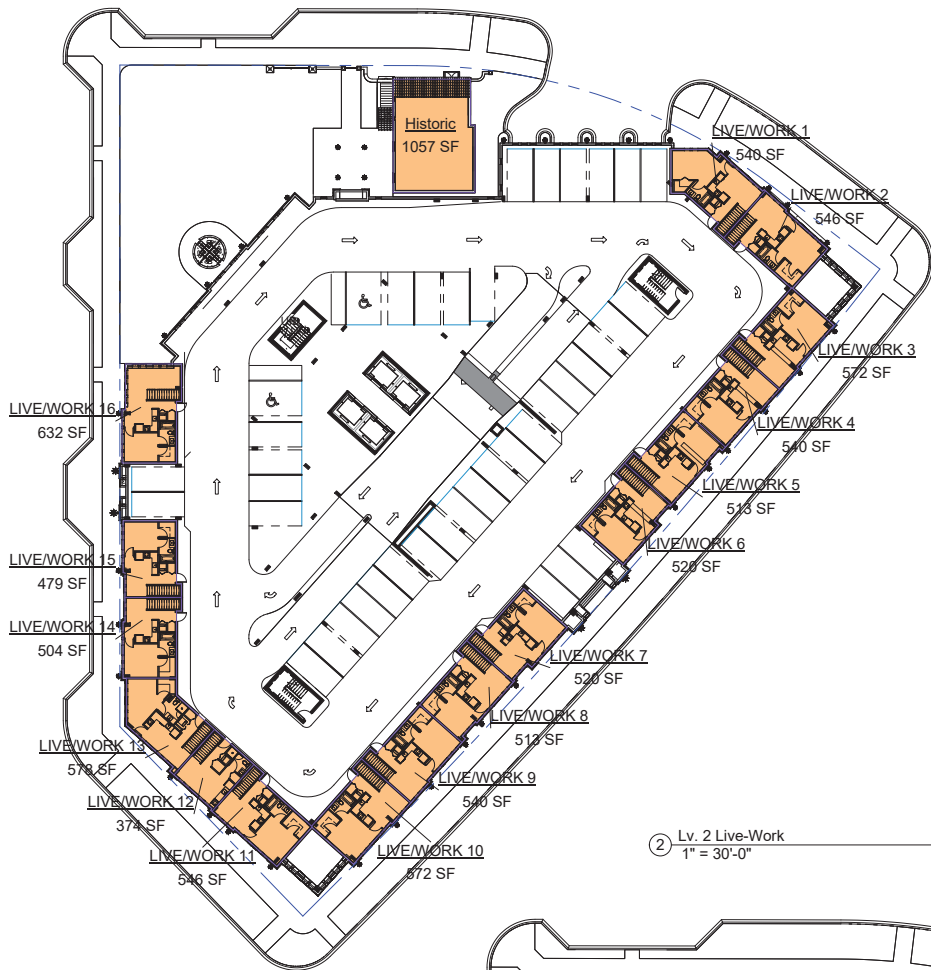
SHEET TITLE:  
**Proposed  
Zoning Map**

SCALE: 1/4" = 1'-0"  
SHEET No.:  
**A0.0b**





① Lv. 1 Ground  
1" = 30'-0"



② Lv. 2 Live-Work  
1" = 30'-0"



③ Lv. 5 Pedestal  
1" = 30'-0"



④ Level 6  
1" = 30'-0"

Area Schedule (Zoning Areas)		
Name	Area	Area Type

Lv. 1 Ground		
Historic	1057 SF	Floor Area
LIVE/WORK 1	394 SF	Floor Area
LIVE/WORK 2	497 SF	Floor Area
LIVE/WORK 3	561 SF	Floor Area
LIVE/WORK 4	616 SF	Floor Area
LIVE/WORK 5	616 SF	Floor Area
LIVE/WORK 6	732 SF	Floor Area
LIVE/WORK 7	732 SF	Floor Area
LIVE/WORK 8	616 SF	Floor Area
LIVE/WORK 9	616 SF	Floor Area
LIVE/WORK 10	560 SF	Floor Area
LIVE/WORK 11	501 SF	Floor Area
LIVE/WORK 12	723 SF	Floor Area
LIVE/WORK 13	672 SF	Floor Area
LIVE/WORK 14	481 SF	Floor Area
LIVE/WORK 15	941 SF	Floor Area
LIVE/WORK 16	1010 SF	Floor Area

Lv. 1 Ground 11325 SF

Lv. 2 Live-Work		
Historic	1057 SF	Floor Area
LIVE/WORK 1	540 SF	Floor Area
LIVE/WORK 2	546 SF	Floor Area
LIVE/WORK 3	572 SF	Floor Area
LIVE/WORK 4	540 SF	Floor Area
LIVE/WORK 5	513 SF	Floor Area
LIVE/WORK 6	520 SF	Floor Area
LIVE/WORK 7	520 SF	Floor Area
LIVE/WORK 8	513 SF	Floor Area
LIVE/WORK 9	540 SF	Floor Area
LIVE/WORK 10	572 SF	Floor Area
LIVE/WORK 11	546 SF	Floor Area
LIVE/WORK 12	374 SF	Floor Area
LIVE/WORK 13	578 SF	Floor Area
LIVE/WORK 14	504 SF	Floor Area
LIVE/WORK 15	479 SF	Floor Area
LIVE/WORK 16	632 SF	Floor Area

Lv. 2 Live-Work 9547 SF

Lv. 5 Pedestal		
Area	1519 SF	Floor Area
Area	18456 SF	Floor Area
Lv. 5 Pedestal	19975 SF	

Level 6		
Area	20550 SF	Floor Area
Level 6	20550 SF	

Level 7		
Area	20522 SF	Floor Area
Level 7	20522 SF	

Level 8		
Area	20522 SF	Floor Area
Level 8	20522 SF	

Level 9		
Area	20522 SF	Floor Area
Level 9	20522 SF	

Level 10		
Area	20522 SF	Floor Area
Level 10	20522 SF	
Grand total	143486 SF	

ARCHITECT:

**Bellin & Pratt**  
architects, LLC

AA26000863

285 sevilla avenue  
coral gables, florida, 33134  
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

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SHEET TITLE:

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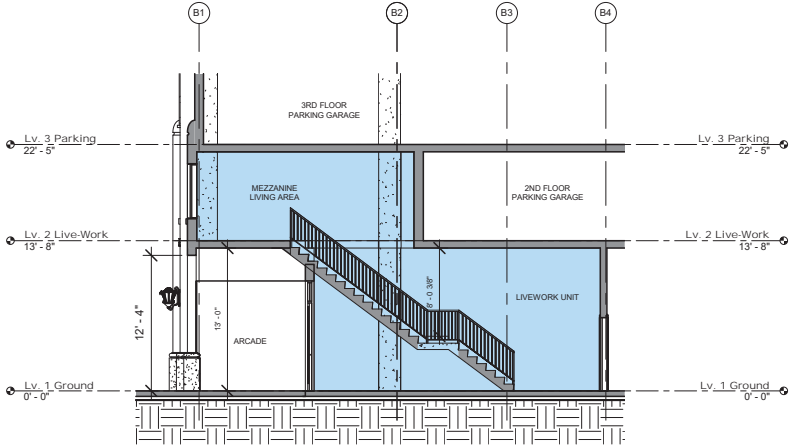
SHEET No.:

**A0.0c**



OPEN SPACE REDUCTION	
Name	Area
Arcades	5264 SF
Garden	2407 SF
Grand total	7671 SF

PERMITTED MIXED USES	
Name	Area
LIVE/WORK 1	403 SF
LIVE/WORK 2	509 SF
LIVE/WORK 3	575 SF
LIVE/WORK 4	626 SF
LIVE/WORK 5	626 SF
LIVE/WORK 6	743 SF
LIVE/WORK 7	741 SF
LIVE/WORK 8	624 SF
LIVE/WORK 9	624 SF
LIVE/WORK 10	573 SF
LIVE/WORK 11	513 SF
LIVE/WORK 12	729 SF
LIVE/WORK 13	685 SF
LIVE/WORK 14	492 SF
LIVE/WORK 15	952 SF
LIVE/WORK 16	1051 SF
Grand total	10468 SF



1 Mxd & Setback Ground Floor Plan  
1/16" = 1'-0"

2 Typical Arcade / Livework Section  
1/8" = 1'-0"

ARCHITECT:

**Bellin & Pratt**  
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AA26000863

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Consultant  
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APPROVED BY: Approver

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SIGNATURE:  
MARSHALL BELLIN AR-5564  
GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**MXD &  
SETBACK GR.  
FLOOR PLAN**  
SCALE: **As indicated**

SHEET No.:

**A0.1**





1 Lv. 1 Site Plan / Amenities  
1/16" = 1'-0"

4/24/2017 6:12:41 PM

ARCHITECT:

**Bellin & Pratt**  
architects, LLC

AA26000863

285 sevilla avenue  
coral gables, florida, 33134  
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Consultant  
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Phone  
Fax  
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PROJECT NAME:

**Proposed Residential  
Mixed-Use Project**

PROPERTY ADDRESS  
33 Alhambra Circle  
Coral Gables FL

OWNER INFORMATION  
TWJ Alhambra, LLC  
100 South Biscayne Boulevard  
Suite 900 Miami FL 33131

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2nd Reading**

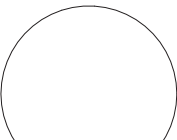
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GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**Site Plan**

SCALE: **1/16" = 1'-0"**

SHEET No.:

**A1.1**





② Ground Floor Benches  
1/4" = 1'-0"



③ Ground Floor Bike Racks  
1/4" = 1'-0"



④ Ground Floor Fountain  
1/4" = 1'-0"



① Lv. 1 Site Plan / Amenities Plan  
1/16" = 1'-0"

ARCHITECT:  
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**Proposed Residential  
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MARSHALL BELLIN AR-5564  
GLENN H PRATT, AIA, AR-9608

SHEET TITLE:  
**SITE PLAN /  
PEDESTRIAN  
AMENITIES**  
SCALE: **As indicated**  
SHEET No.:  
**A1.1a**





### SITE PLAN STATEMENTS

1. Prior to permit issuance, in addition to all other staging plan requirements, Developer shall indicate in said plan how conflicts with Coral Gables Elementary School loading will be avoided and provide for the protection of specimen trees on Galiano Street.
2. Developer shall coordinate with all utilities and request location of all underground utilities prior to any subsurface work.
3. Developer shall comply with the standards for 'Florida Green' certification standards as prescribed by the Florida Green Building Coalition, and file as documentation as required for state and local compliance with said certification.
4. In accordance with Coral Gables Zoning Code, Article 3, Development Review, Section 3-2003 B, prior to applying for a Building Permit, Developer shall apply for a waiver of the art in public places requirement based on the perpetual maintenance of the historically significant building located at 42 Navarre, which is equal to or greater than the calculated dollar contribution that would otherwise be required by said provision
5. Developer shall comply with the bicycle master plan for Galiano street so far as, said master plan also complies with the curb design Developer is required to provide as a development condition.

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SHEET TITLE:

**Site Plan /  
Statements**

SCALE: **As indicated**

SHEET No.:

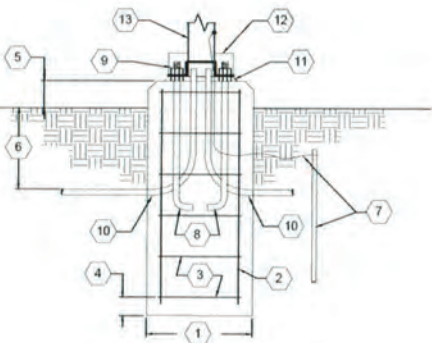
**A1.1b**



[illegible]

ARCHITECT:		
<div>Bellin &amp; Pratt architects, LLC</div> <div>AA26000863</div>		
285 sevilla avenue coral gables, florida. 33134 tel 305.447.1927 - fax 305.443.5986		
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Proposed Residential Mixed-Use Project		
PROPERTY ADDRESS		
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OWNER INFORMATION		
TWJ Alhambra, LLC 100 South Biscayne Boulevard Suite 900 Miami FL 33131		
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SIGNATURE: MARSHALL BELLIN AR-5564 GLENN H PRATT, AIA, AR-9608		
SHEET TITLE:		
Site Plan Lighting Spillover Analysis		
SCALE:		
SHEET No.:		
A1.1c		





2 Light Pole Detail  
1/4" = 1'-0"

GALIANO STREET



1 Lv. 1 Ground  
1/16" = 1'-0"

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PROPERTY ADDRESS  
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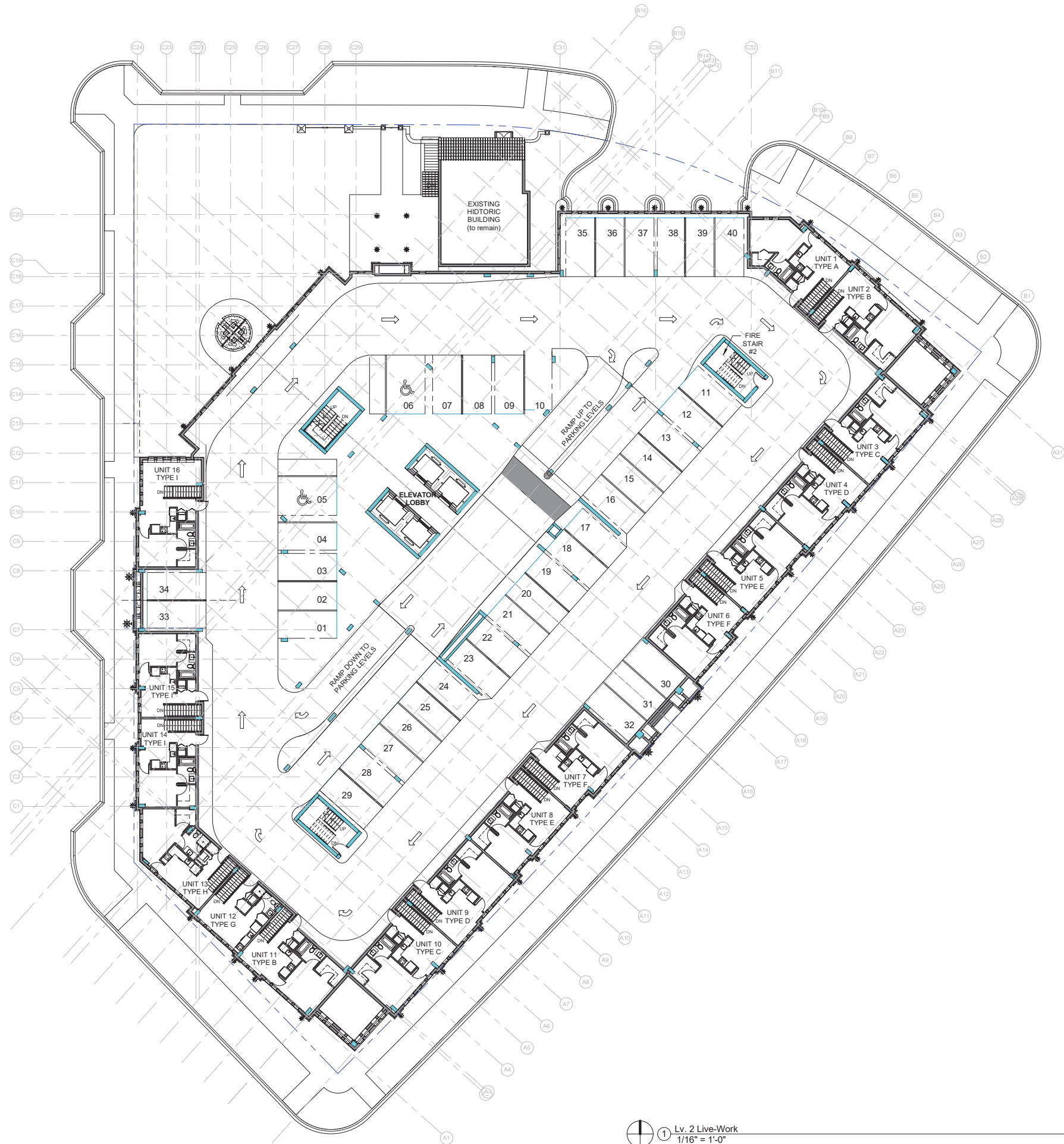
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MARSHALL BELLIN AR-5564  
GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**Signage &  
Utilities Ground  
Floor Plan**  
SCALE: **As indicated**

SHEET No.:

**A1.1d**



1 Lv. 2 Live-Work  
1/16" = 1'-0"

ARCHITECT:

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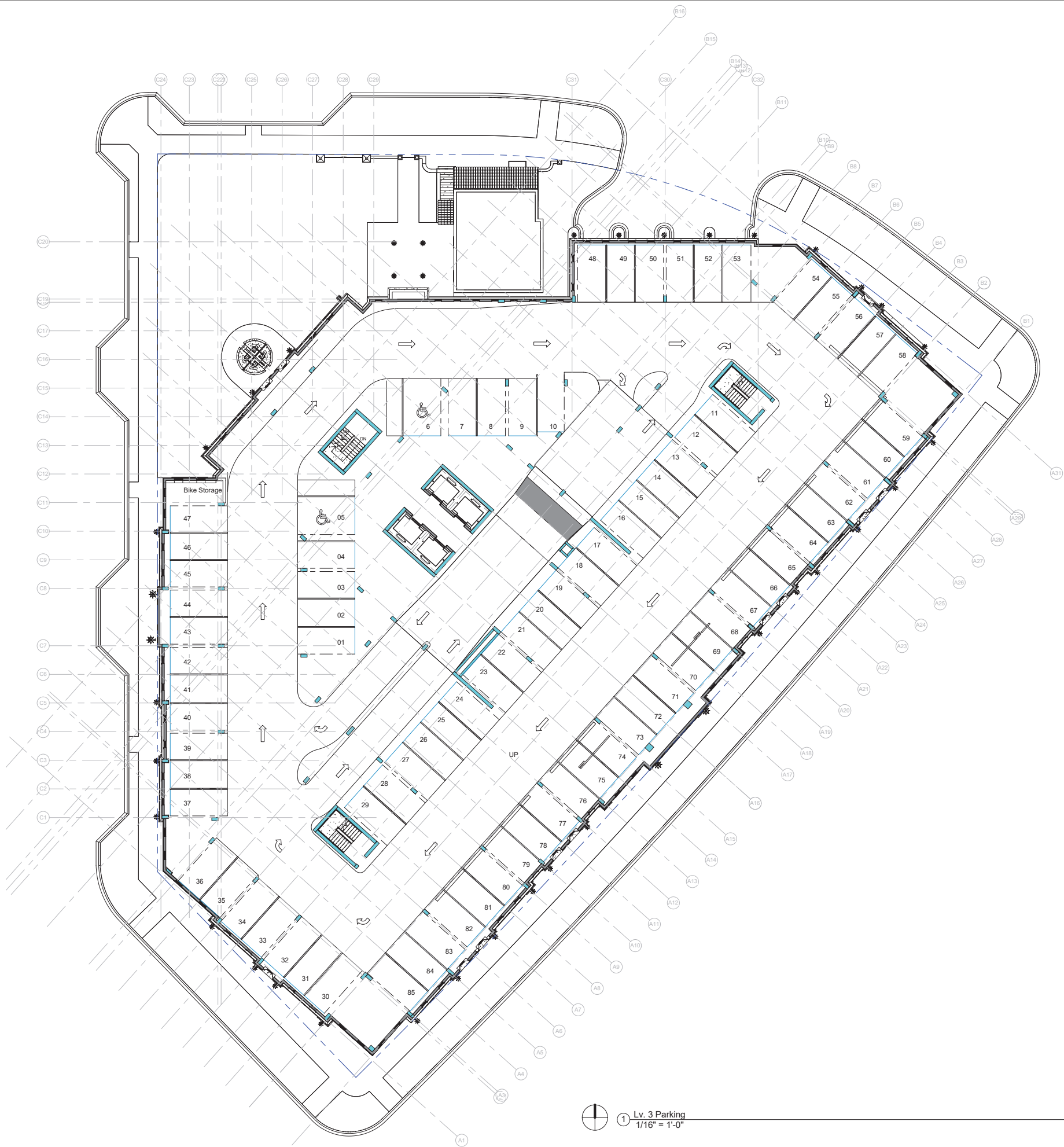
**2nd Floor Level  
Floor Plan**

SCALE: 1/16" = 1'-0"

SHEET No.:

**A1.2**





1 Lv. 3 Parking  
1/16" = 1'-0"

4/24/2017 6:15:47 PM

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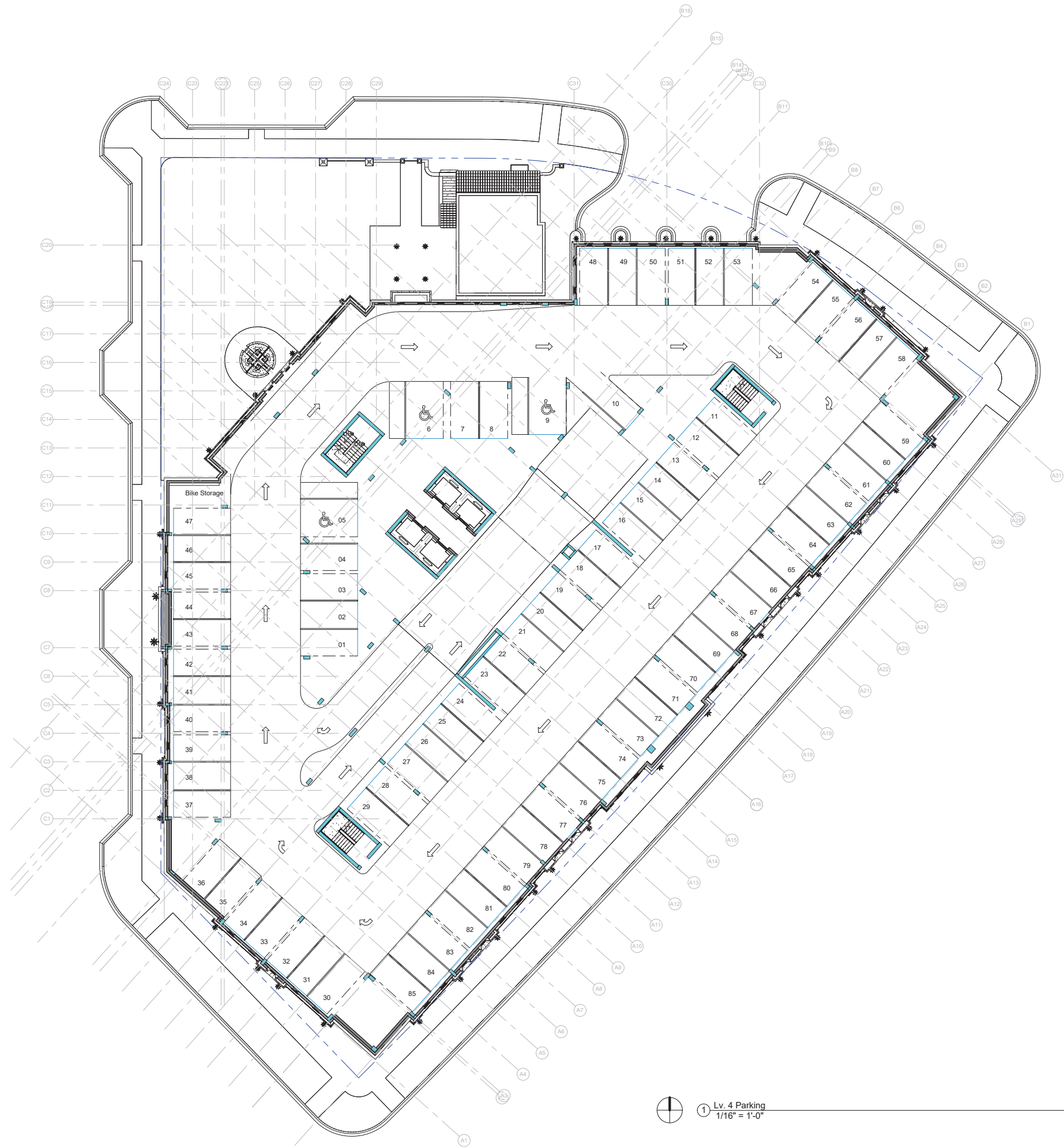
**Parking 3rd  
Level / Floor  
Layout**

SCALE: 1/16" = 1'-0"

SHEET No.:

**A1.3**





4/24/2017 6:16:12 PM

ARCHITECT:

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PROPERTY ADDRESS  
33 Alhambra Circle  
Coral Gables FL

OWNER INFORMATION  
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Suite 900 Miami FL 33131

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GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**Parking 4th  
Level / Floor  
Layout**

SCALE: 1/16" = 1'-0"

SHEET No.:

**A1.4**



1 Lv. 5 Pedestal - 2  
1/16" = 1'-0"

ARCHITECT:

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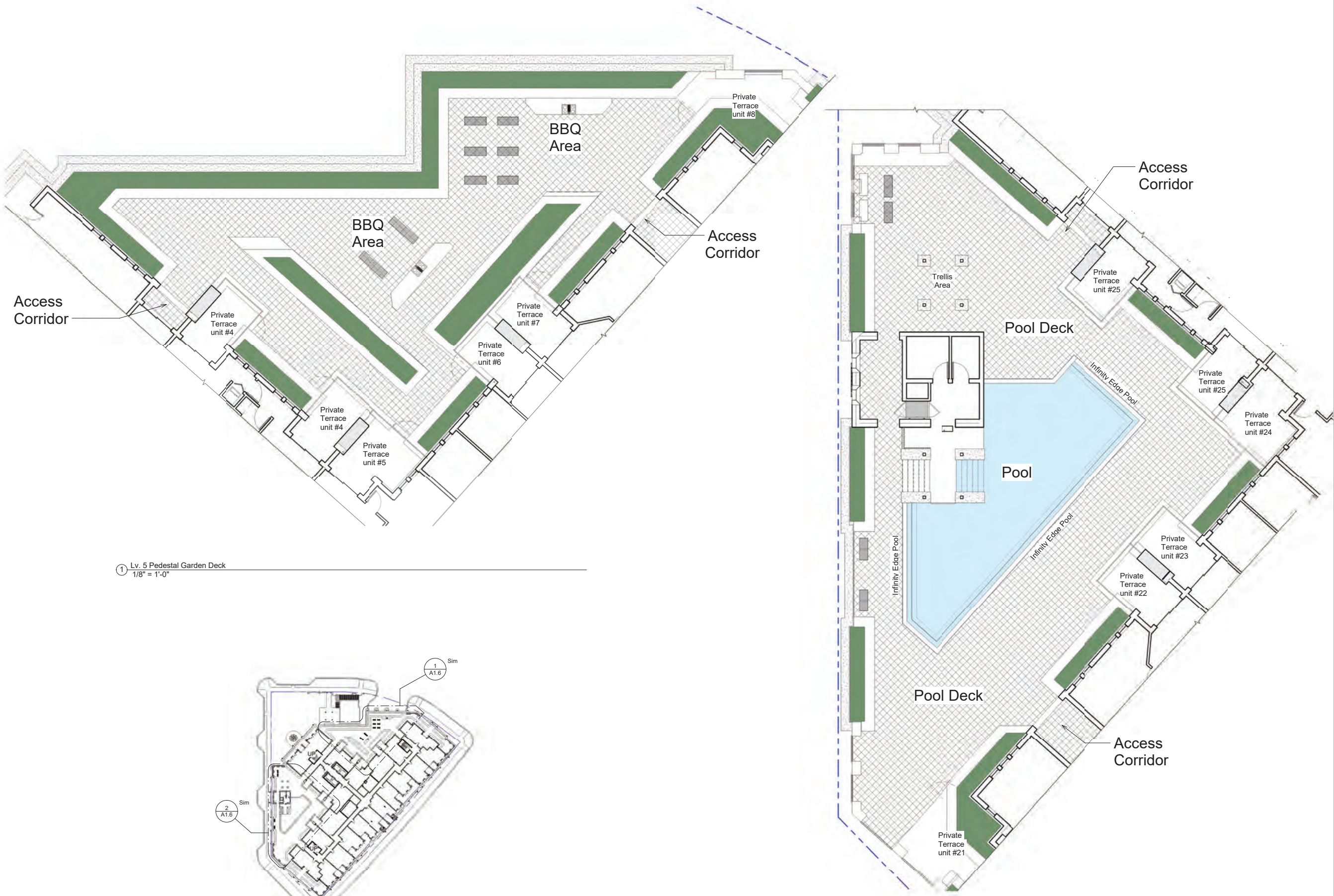
**5th Floor Level  
Floor Plan**

SCALE: 1/16" = 1'-0"

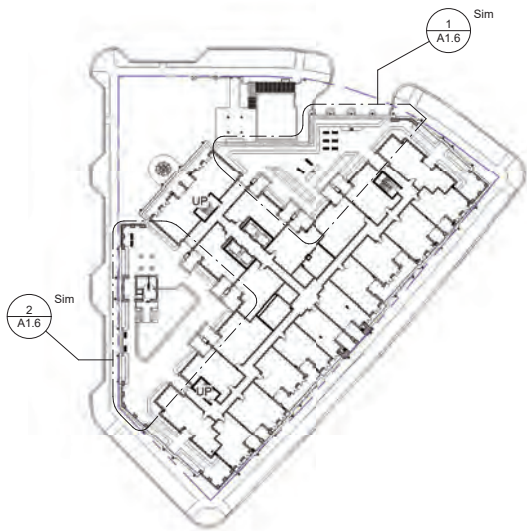
SHEET No.:

**A1.5**





① Lv. 5 Pedestal Garden Deck  
1/8" = 1'-0"



③ Lv. 5 Pedestal Key Plan  
1" = 60'-0"

② Lv. 5 Pedestal Pool Deck  
1/8" = 1'-0"

ARCHITECT:

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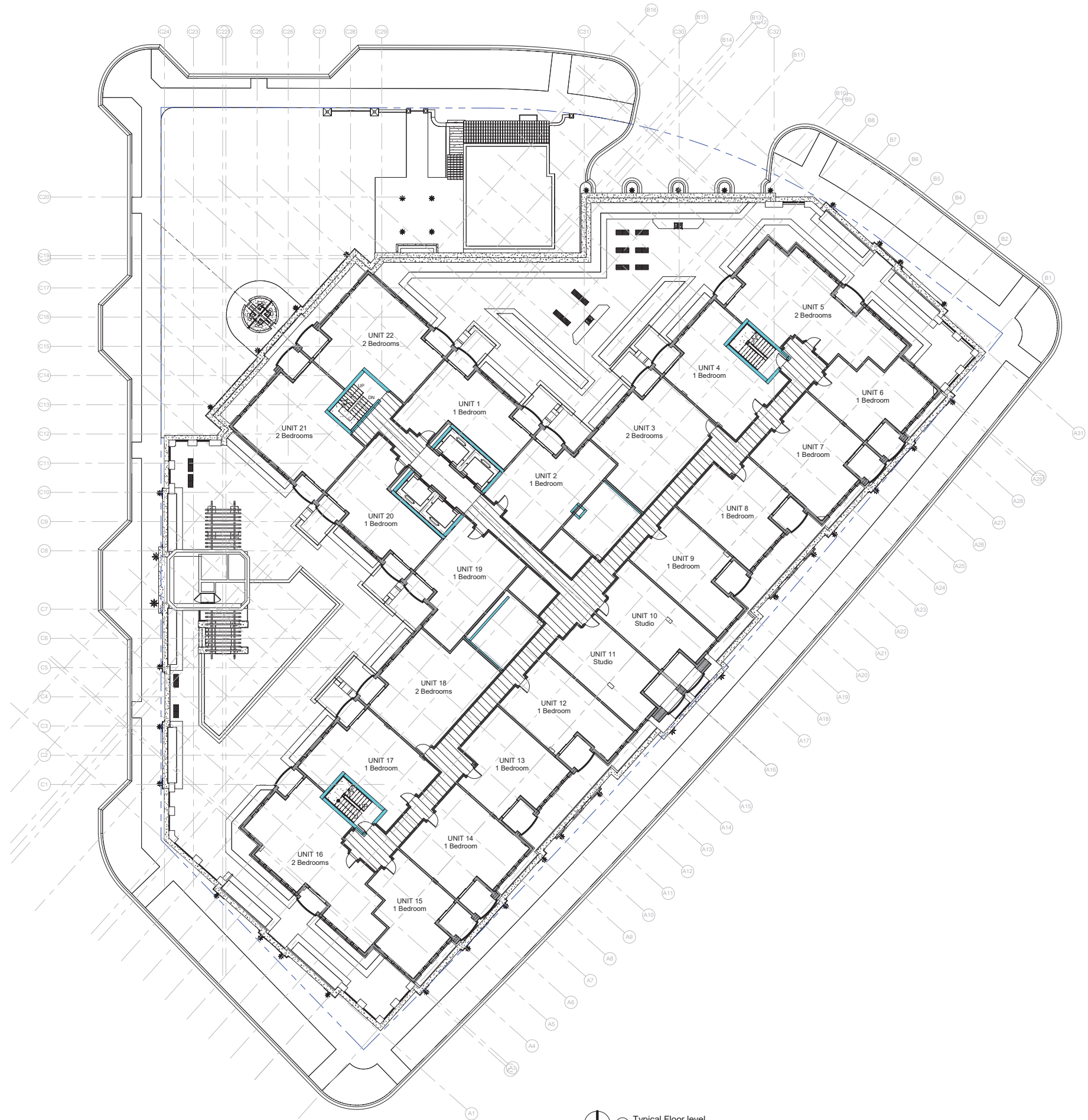
**Pool Deck &  
Garden Deck**

SCALE: **As indicated**

SHEET No.:

**A1.6**





1 Typical Floor level  
1/16" = 1'-0"

4/24/2017 6:17:35 PM

ARCHITECT:

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SHEET TITLE:

**6th Floor Level  
Floor Plan**

SCALE: 1/16" = 1'-0"

SHEET No.:

**A1.7**



4/24/2017 6:18:02 PM



1 Proposed Roof Plan  
1/16" = 1'-0"

ARCHITECT:

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GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**PROPOSED  
ROOF PLAN**

SCALE: **1/16" = 1'-0"**

SHEET No.:

**A1.8**



4/27/2017 4:34:48 PM



Elevation Material Legend	
NUMBER	KEYNOTE
0501	Aluminum Railing 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication
0502	Decorative Aluminum Venti/Grill Panel (color to be selected by Architect)
0504	Decorative Aluminum Venti/Grill panel on Precast Concrete Frame
0619	Keystone Precast Decorative Moulding
0620	Decorative Precast Molding
0621	Architectural Precast Band
0622	Decorative Precast Base Moulding
0623	Raised Smooth Stucco Finish Window Head
0624	Granite Wall Cladding
0712	Barrel Roof Tile
0801	Impact Resistance Aluminum Casement Glass Window
0803	Impact Resistance Aluminum Store Front System
0905	3/4" Smooth Stucco Finish
1601	Decorative Wall Mounted Light Fixture

ARCHITECT:

**Bellin & Pratt**  
architects, LLC

AA26000863

285 sevilla avenue  
coral gables, florida, 33134  
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

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PROJECT NAME:

**Proposed Residential  
Mixed-Use Project**

PROPERTY ADDRESS

33 Alhambra Circle

Coral Gables FL

OWNER INFORMATION

TWJ Alhambra, LLC

100 South Biscayne Boulevard

Suite 900 Miami FL 33131

**CITY COMMISSION  
2nd Reading**

ISSUE DATE: 04.18.2017

PROJECT No.: 2013-07

DRAWN BY: Author

APPROVED BY: Approver

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SIGNATURE:

MARSHALL BELLIN AR-5564

GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**BUILDING  
ELEVATIONS**

SCALE: **3/32" = 1'-0"**

SHEET No.:

**A3.1**



4/27/2017 4:35:38 PM



① Minorca Avenue Elevation  
3/32" = 1'-0"



② 3D View 3

Elevation Material Legend	
NUMBER	KEYNOTE
0501	Aluminum Railing 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication
0502	Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)
0504	Decorative Aluminum Vent/Grill panel on Precast Concrete Frame
0524	Vaulted Metal Roof
0614	Cedar Wood Trellis (Concealed Connection. Submitt Shop Drawings)
0620	Decorative Precast Molding
0712	Barrel Roof Tile
0801	Impact Resistance Aluminum Casement Glass Window
0803	Impact Resistance Aluminum Store Front System
0903	3/4" Texture Stucco Finish
0905	3/4" Smooth Stucco Finish



③ 3D View 4

ARCHITECT:

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PROPERTY ADDRESS

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GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**BUILDING  
ELEVATIONS**

SCALE: **3/32" = 1'-0"**

SHEET No.:

**A3.2**





① Galiano Street Elevation  
3/32" = 1'-0"



② 3D View 5

Elevation Material Legend	
NUMBER	KEYNOTE
0504	Decorative Aluminum Vent/Grill panel on Precast Concrete Frame
0614	Cedar Wood Trellis (Concealed Connection, Submit Shop Drawings)
0620	Decorative Precast Molding
0621	Architectural Precast Band



③ 3D View 6

ARCHITECT:

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PROPERTY ADDRESS  
33 Alhambra Circle  
Coral Gables FL  
  
OWNER INFORMATION  
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Suite 900 Miami FL 33131

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SHEET TITLE:  
**BUILDING  
ELEVATIONS**  
  
SCALE: **3/32" = 1'-0"**  
  
SHEET No.:  
**A3.3**



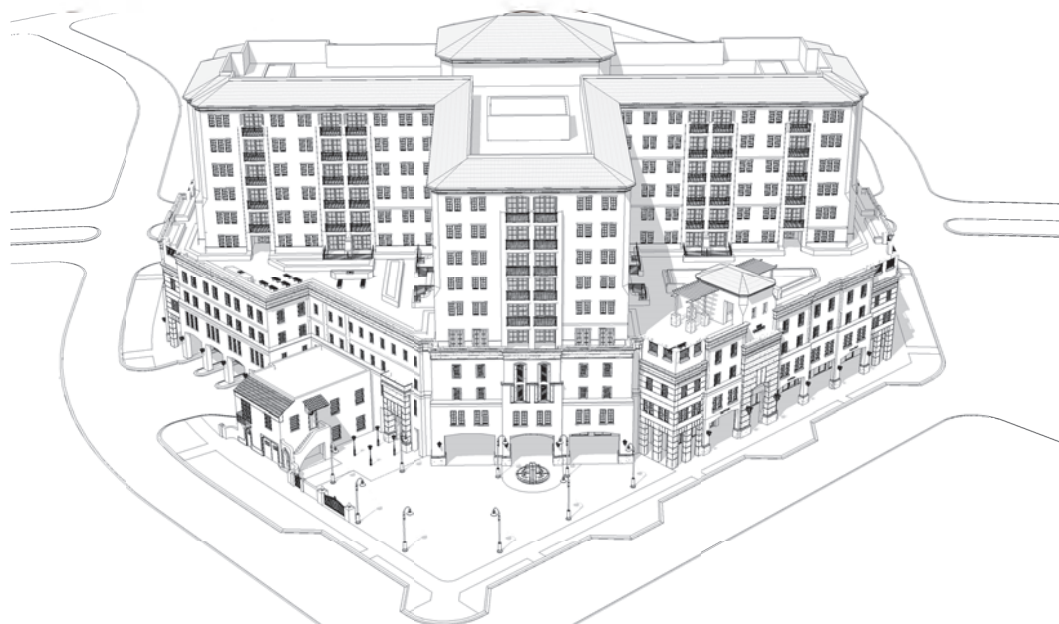


① North West Elevation  
3/32" = 1'-0"

Elevation Material Legend	
NUMBER	KEYNOTE
0501	Aluminum Railing 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication
0502	Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)
0614	Cedar Wood Trellis (Concealed Connection, Submit Shop Drawings)
0620	Decorative Precast Molding
0712	Barrel Roof Tile
0903	3/4" Texture Stucco Finish
1601	Decorative Wall Mounted Light Fixture



② 3D View 7



③ 3D View 8

ARCHITECT:

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SHEET TITLE:

**BUILDING  
ELEVATIONS**

SCALE: **3/32" = 1'-0"**

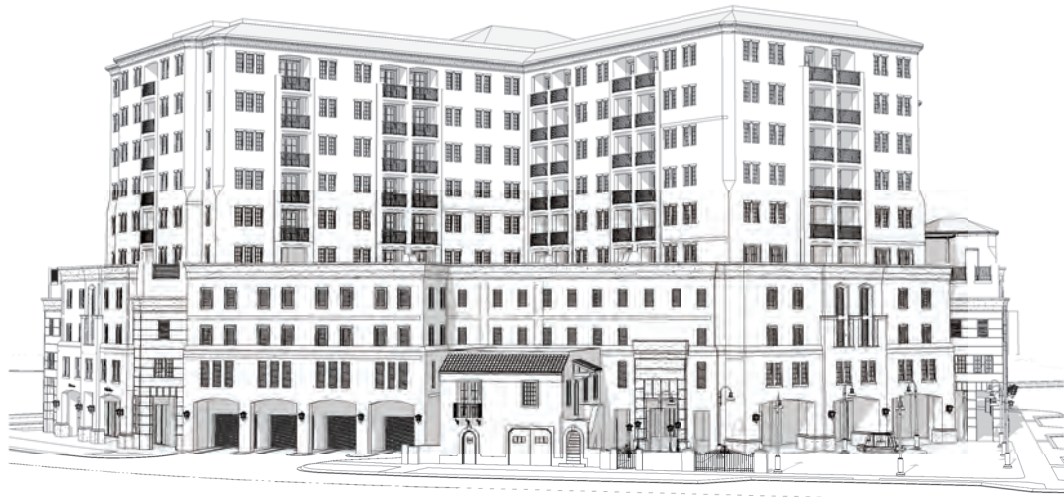
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**A3.4**



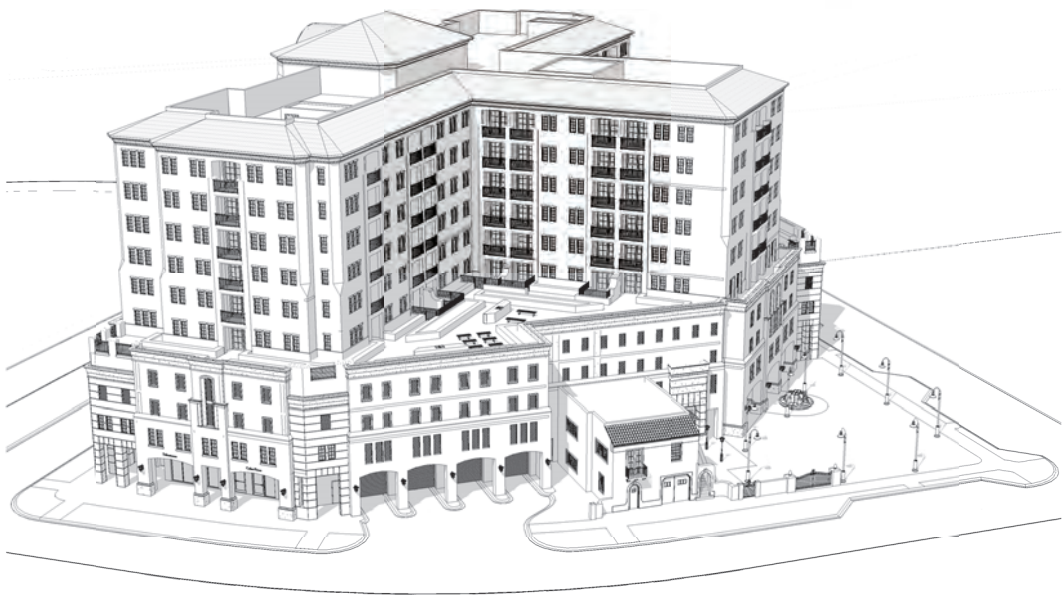


① Navarre Avenue Elevation  
3/32" = 1'-0"



② 3D View 9

Elevation Material Legend	
NUMBER	KEYNOTE
0501	Aluminum Railing 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication
0502	Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)
0903	3/4" Texture Stucco Finish



③ 3D View 10

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SHEET TITLE:

**BUILDING  
ELEVATIONS**

SCALE: **3/32" = 1'-0"**

SHEET No.:

**A3.5**





1 Navarre Avenue Northeast Elevation  
3/32" = 1'-0"

Elevation Material Legend

NUMBER	KEYNOTE
0501	Aluminum Railing 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication
0502	Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)
0504	Decorative Aluminum Vent/Grill panel on Precast Concrete Frame
0524	Vaulted Metal Roof
0620	Decorative Precast Molding
0712	Barrel Roof Tile
0903	3/4" Texture Stucco Finish
1601	Decorative Wall Mounted Light Fixture



2 3D View 11



3 3D View 12

ARCHITECT:

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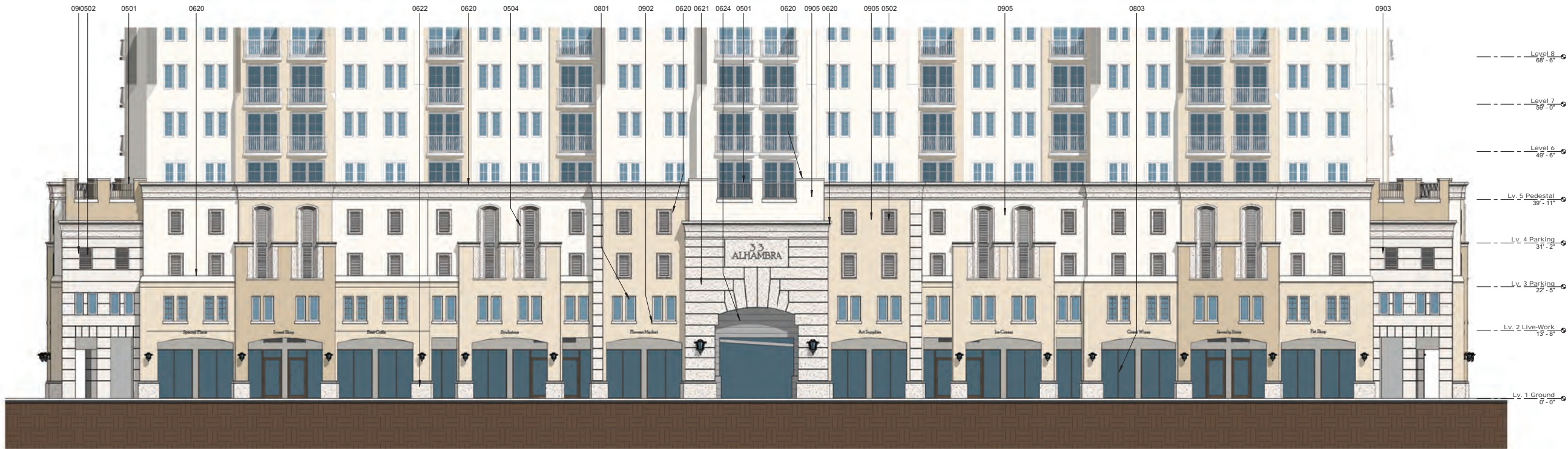
**BUILDING  
ELEVATIONS**

SCALE: **3/32" = 1'-0"**

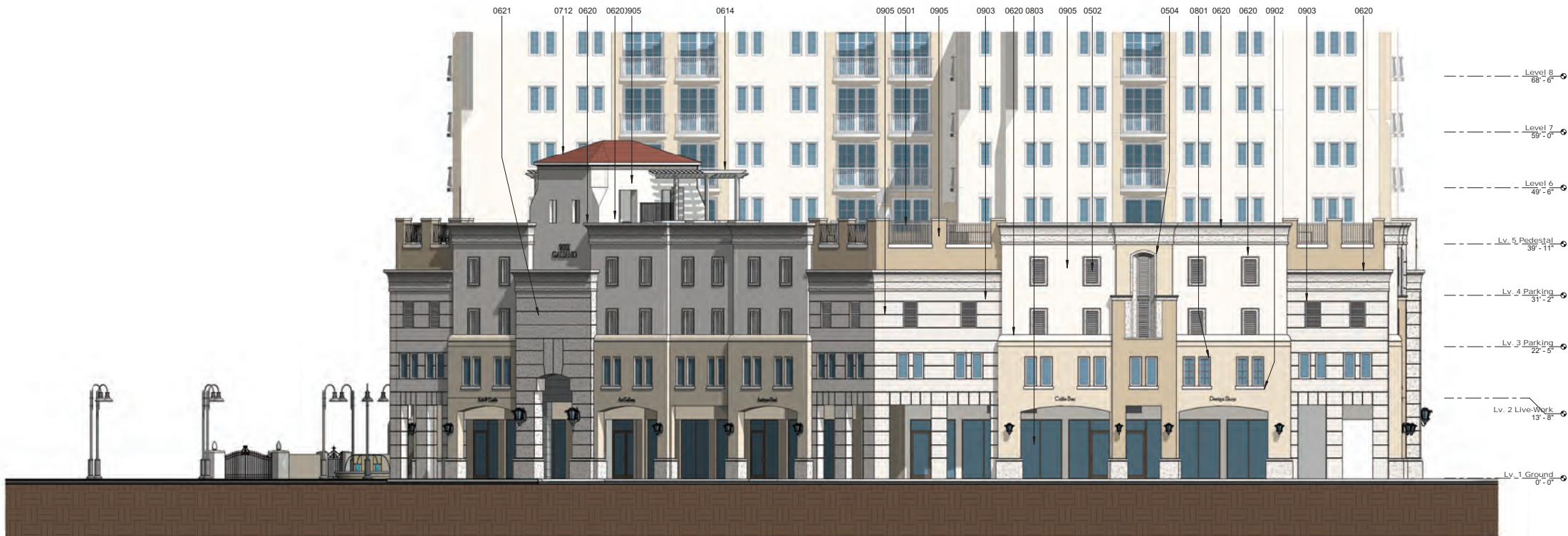
SHEET No.:

**A3.6**





Enlarged Pedestal Elevation @ Alhambra  
①  
3/32" = 1'-0"



Enlarged Pedestal Elevation @ Minorca  
Avenue  
②  
3/32" = 1'-0"

Elevation Material Legend	
NUMBER	KEYNOTE
0501	Aluminum Railing 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication
0502	Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)
0504	Decorative Aluminum Vent/Grill panel on Precast Concrete Frame
0614	Cedar Wood Trellis (Concealed Connection, Submit Shop Drawings)
0620	Decorative Precast Molding
0621	Architectural Precast Band
0622	Decorative Precast Base Moulding
0624	Granite Wall Cladding
0712	Barrel Roof Tile
0801	Impact Resistance Aluminum Casement Glass Window
0803	Impact Resistance Aluminum Store Front System
0902	Raised Stucco Smooth Finish Band
0903	3/4" Texture Stucco Finish
0905	3/4" Smooth Stucco Finish

ARCHITECT:

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Coral Gables FL

OWNER INFORMATION  
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Suite 900 Miami FL 33131

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GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**ENLARGED  
PEDESTAL  
ELEVATIONS**

SCALE: 3/32" = 1'-0"

SHEET No.:

**A4.1**





Enlarged Pedestal Elevation @ Galiano Street  
① 3/32" = 1'-0"

Elevation Material Legend	
NUMBER	KEYNOTE
0501	Aluminum Railing 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication
0502	Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)
0504	Decorative Aluminum Vent/Grill panel on Precast Concrete Frame
0614	Cedar Wood Trellis (Concealed Connection, Submit Shop Drawings)
0620	Decorative Precast Molding
0621	Architectural Precast Band
0622	Decorative Precast Base Moulding
0712	Barrel Roof Tile
0801	Impact Resistance Aluminum Casement Glass Window
0806	Aluminum open grill roll-up Garage Door
0902	Raised Stucco Smooth Finish Band
0903	3/4" Texture Stucco Finish
0905	3/4" Smooth Stucco Finish



Enlarged Pedestal Elevation @ North West  
② 3/32" = 1'-0"

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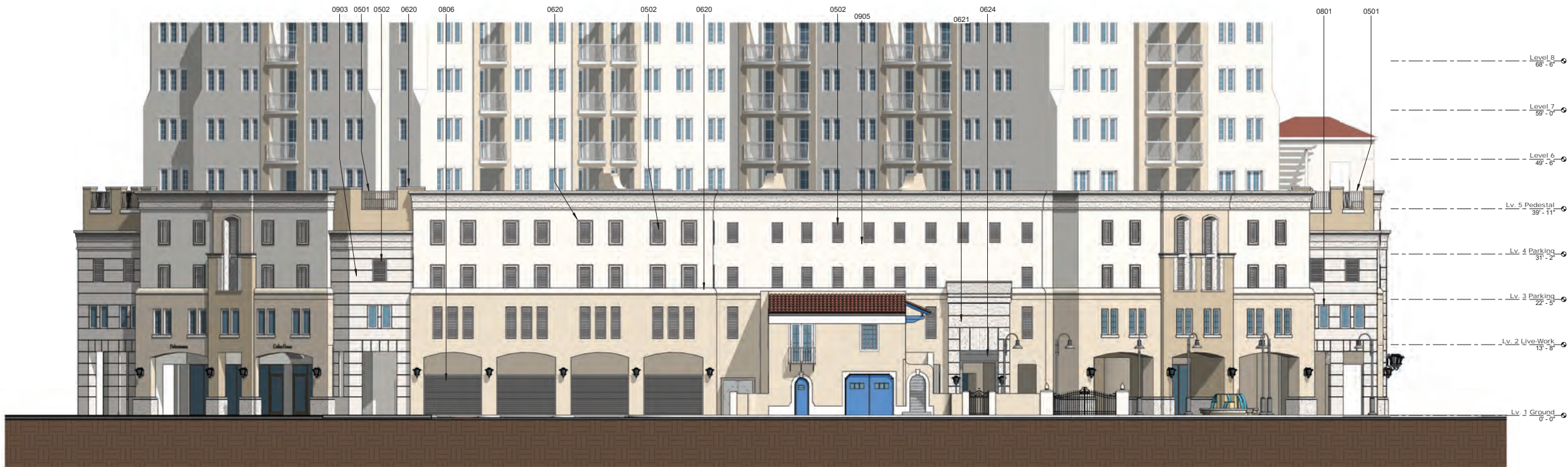
**ENLARGED  
PEDESTAL  
ELEVATIONS**

SCALE: 3/32" = 1'-0"

SHEET No.:

**A4.2**





Enlarged Pedestal Elevation @ Navarre Avenue  
① 3/32" = 1'-0"



Enlarged Pedestal Elevation @ North East Elevation  
② 3/32" = 1'-0"

Elevation Material Legend	
NUMBER	KEYNOTE
06	Division 06 - Wood and Plastics
0501	Aluminum Railing 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication
0502	Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)
0504	Decorative Aluminum Vent/Grill panel on Precast Concrete Frame
0620	Decorative Precast Molding
0621	Architectural Precast Band
0622	Decorative Precast Base Moulding
0624	Granite Wall Cladding
0801	Impact Resistance Aluminum Casement Glass Window
0803	Impact Resistance Aluminum Store Front System
0806	Aluminum open grill roll-up Garage Door
0902	Raised Stucco Smooth Finish Band
0903	3/4" Texture Stucco Finish
0905	3/4" Smooth Stucco Finish

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GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**ENLARGED  
PEDESTAL  
ELEVATIONS**

SCALE: 3/32" = 1'-0"

SHEET No.:

**A4.3**



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Elevation Material Legend		
NUMBER		KEYNOTE
0501	Aluminum Railing 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication	
0502	Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)	
0504	Decorative Aluminum Vent/Grill panel on Precast Concrete Frame	
0620	Decorative Precast Molding	
0621	Architectural Precast Band	
0622	Decorative Precast Base Moulding	
0624	Granite Wall Cladding	
0801	Impact Resistance Aluminum Casement Glass Window	
0803	Impact Resistance Aluminum Store Front System	
0902	Raised Stucco Smooth Finish Band	
0905	3/4" Smooth Stucco Finish	



① Detail @ Alhambra Avenue Elevation  
1/4" = 1'-0"

ARCHITECT:

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SHEET TITLE:

**ENLARGED  
ELEVATION  
DETAIL**

SCALE: 1/4" = 1'-0"

SHEET No.:

**A4.4**



4/24/2017 7:05:48 PM



Elevation Material Legend	
NUMBER	KEYNOTE
0502	Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)
0614	Cedar Wood Trellis (Concealed Connection, Submit Shop Drawings)
0620	Decorative Precast Molding
0621	Architectural Precast Band
0624	Granite Wall Cladding
0712	Barrel Roof Tile
0801	Impact Resistance Aluminum Casement Glass Window
0803	Impact Resistance Aluminum Store Front System
0902	Raised Stucco Smooth Finish Band
0903	3/4" Texture Stucco Finish
0905	3/4" Smooth Stucco Finish

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PROJECT NAME:

**Proposed Residential  
Mixed-Use Project**

PROPERTY ADDRESS

33 Alhambra Circle

Coral Gables FL

OWNER INFORMATION

TWJ Alhambra, LLC

100 South Biscayne Boulevard

Suite 900 Miami FL 33131

**CITY COMMISSION  
2nd Reading**

ISSUE DATE: 04.18.2017

PROJECT No.: 2013-07

DRAWN BY: Author

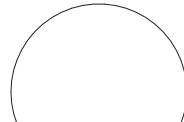
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REVISIONS:

No.	Description	Date

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SEAL:



SIGNATURE:

MARSHALL BELLIN AR-5564

GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**ENLARGED  
ELEVATION  
DETAIL**

SCALE: 1/4" = 1'-0"

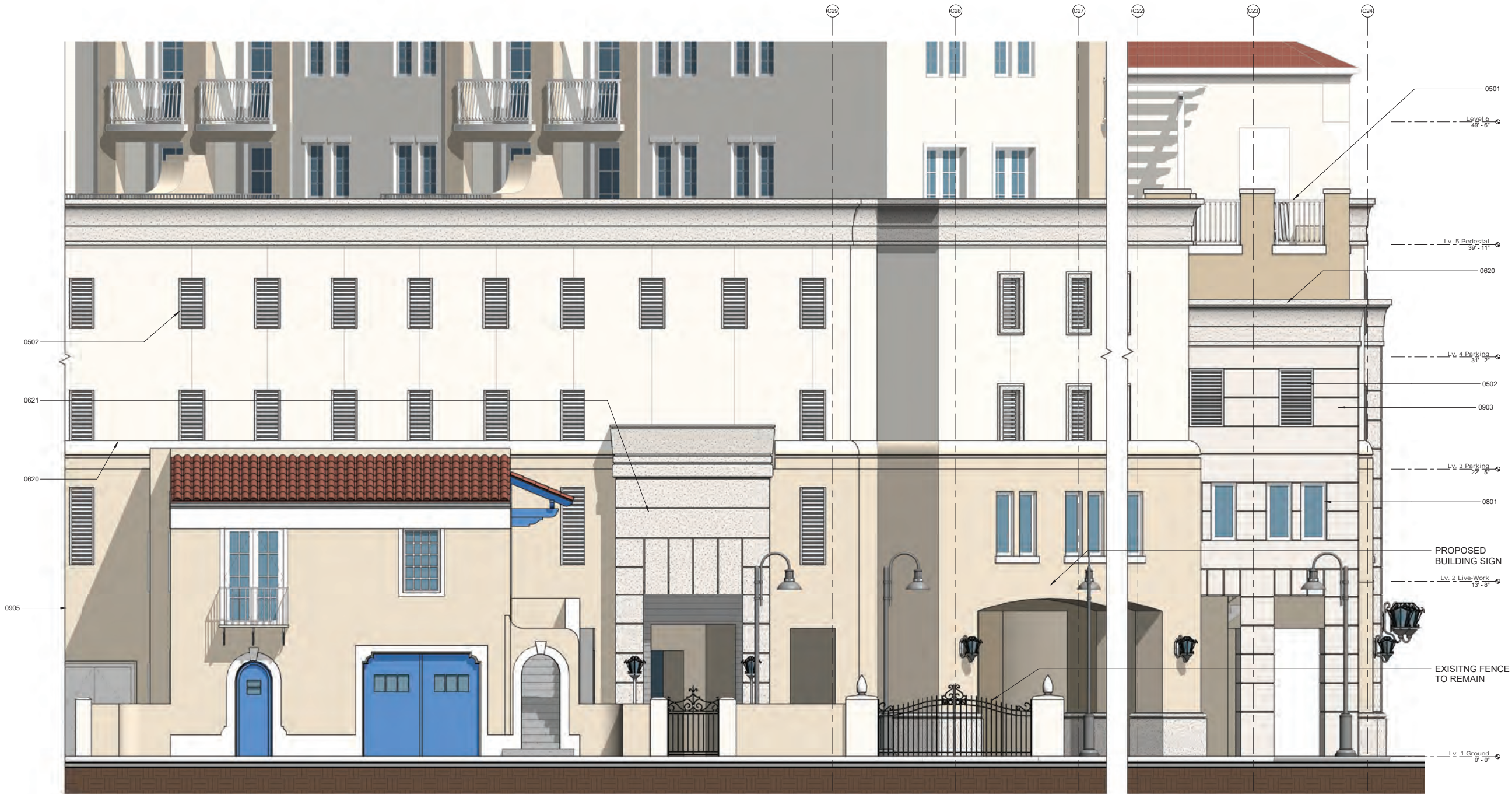
SHEET No.:

**A4.5**

1 Detail @ Galiano Street Elevation  
1/4" = 1'-0"



Elevation Material Legend	
NUMBER	KEYNOTE
0501	Aluminum Railing 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication
0502	Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)
0620	Decorative Precast Molding
0621	Architectural Precast Band
0801	Impact Resistance Aluminum Casement Glass Window
0903	3/4" Texture Stucco Finish
0905	3/4" Smooth Stucco Finish



① Detail @ Navarre Avenue  
1/4" = 1'-0"

ARCHITECT:

**Bellin & Pratt**  
architects, LLC

AA26000863

285 sevilla avenue  
coral gables, florida. 33134  
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Consultant  
Address  
Phone  
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GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**ENLARGED  
ELEVATION  
DETAIL**

SCALE: 1/4" = 1'-0"

SHEET No.:

**A4.6**



Coral Gables Mediterranean Style Design Standards					
Table No 1					
Project Complied with all Categories in Table 1					
Complies (An "X" means the Project Complies with requirement)					
Complies	Reference No.	Residential	Type	Comments	
X	1.1	X	Architectural elements on building facades.	COMPLIES: See decorative reveal and molding on all building elevations (Building elevation sheet A-3.1, A-3.2 & A-3.3). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6	
X	1.2	X	Architectural relief elements at street level.	COMPLIES: See Ground floor plan A-1.1 and A-3.1, A-3.2 & A-3.3 (Building Elevations). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Similar architectural relief elements are provided on all sides adjoining pedestrian sidewalks. Architectural relief elements also include building front arcade, decorative paving treatments, art piece and site & street landscaping.	
X	1.3	X	Architectural elements located on the top of buildings.	COMPLIES: See Corner & Stair tower feature at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 for Roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vaulted roofs.	
X	1.4	X	Bicycle Facilities.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided in the covered ground floor area.	
X	1.5	X	Building Facades	COMPLIES: See exterior mass variations & break lines at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project also stepback different plans as vertical break to comply with this provision.	
X	1.6	X	Building lot coverage.	COMPLIES: Permissive provision.	
X	1.7	X	Drive through facilities.	COMPLIES: No drive through 2 Alhambra Circle	
X	1.8	X	Landscape open space area	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.	
X	1.9	X	Lighting, street	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.	
X	1.10	X	Parking garages.	COMPLIES: See ground floor plan A-1.0 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The proposed parking at ground floor is not seen from the primary street in compliance with this provision.	
X	1.11	X	Porte-cochères.	COMPLIES: See ground floor plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project does NOT have a Porte-Cochere on Alhambra Circle to comply with this provision.	
X	1.12	X	Sidewalks/ pedestrian access	COMPLIES: See site plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Pedestrian access is provided at street level from Alhambra Circle, Mirroca Avenue, Galiano Street & Navarre Avenue	
X	1.13	X	Soil, structural.	COMPLIES: All right of way planting areas will utilize structural soil.	
X	1.14	X	Windows on Mediterranean buildings.	COMPLIES: All windows will have a minimum spacing depth of four inches.	
Coral Gables Mediterranean Style Design Standards					
Table No 2					
Project Complied with 11 of 12 in Table 2					
Complies (An "X" means the Project Complies with requirement) 8 out of 12 required					
Complies	Reference No.	Residential	Type	Comments	
X	2.1	X	Arcades and/or loggias.	COMPLIES: See Ground Floor Plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an arcade at the ground level that provides pedestrian protection. See also the provided Urban Plaza at Navarre Avenue & Galiano Street	
X	2.2	X	Building rooflines.	COMPLIES: See Building Elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the corner towers, stair towers and center massing for vertical changes in the pedestal mass as well of the corner tower and bay window towers for vertical changes at the residential tower to comply with this provision	
X	2.3	X	Building step backs.	COMPLIES: See Ground floor plan A-1.1, Pool & roof garden level A-1.4. Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building steps from the principal facade, and utilizes a vertical step back on all street elevations, as well as the step back of the lower & upper residential levels.	
X	2.4	X	Building towers.	COMPLIES: See Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjunction with the entry feature comply with this provision.	
X	2.5	X	Driveways	COMPLIES: See Ground floor plan A-1.1. The building consolidates all the vehicular entrances on Navarre Avenue	
X	2.6	X	Lighting of landscaping.	COMPLIES: Up lighting of landscaping within and/or adjacent to pedestrian areas will be provided.	
X	2.7	X	Materials on exterior building facades.	COMPLIES: Keystone & Granite wall cladding at the Building main entrances comply with this provision.	
X	2.8	X	Overhead doors.	COMPLIES: Overhead doors provided for vehicular entrances are recessed to comply with this provision	
X	2.9	X	Paver treatments	COMPLIES: See Ground Floor Plan A-1.1. Driveways will have a minimum of ten percent of paver treatment, and sidewalks will have a minimum of twenty five percent of paver treatment.	
X	2.10	X	Pedestrian amenities.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6  The project will have at a minimum four pedestrian amenities. To include: Benches, Planters, Refuse Containers, and Water Features	
X	2.11	X	Pedestrian pass-through/ passos on properties contiguous to alleys and/or streets.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6  The project has an interior pass through that connect Alhambra Circle, Navarre Avenue & Galiano Street	
	2.12		Underground parking.	DOES NOT COMPLY: No underground parking will be utilized.	
Coral Gables Mediterranean Style Design Standards					
Table No 3					
(An "X" means the Project utilizes the option)					
Complies	Reference No.	Non-Residential	Type	Comments	
	3.1		Building setback reductions.		
	3.2		Encroachment or loggias and/or arcades located as a part of an adjacent building within rights-of-way		
	3.3		Parking requirement exemption for Mediterranean Architectural Design buildings of 1.45 FAR or less (Central Business District only).		
	3.4	X	Multi-family residential density bonus for Mediterranean Architectural Design buildings.		



① 3D View - MED - From Alhambra Circle

ARCHITECT:

**Bellin & Pratt**  
architects, LLC

AA26000863

285 sevilla avenue  
coral gables, florida, 33134  
tel 305.447.1927 - fax 305.443.5986

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PROJECT NAME:

**Proposed Residential  
Mixed-Use Project**

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ISSUE DATE: 04.18.2017  
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SIGNATURE:  
MARSHALL BELLIN AR-5564  
GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**3D VIEW & MED  
BONUS**

SCALE: **12" = 1'-0"**

SHEET No.:

**A5.1**



Coral Gables Mediterranean Style Design Standars				
Table No 1				
Project Complied with all Categories in Table 1				
Complies (An "X" means the Project Complies with requirement)				
Complies	Referene No.	Residential	Type	Comments
X	1.1	X	Architectural elements on building facades.	COMPLIES: See decorative reveal and molding on all building elevations (existing elevation sheet A-3.1, A-3.2 & A-3.3). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
X	1.2	X	Architectural relief elements at street level.	COMPLIES: See Ground floor plan A-1.1 and A- 3.1, A-3.2 & A- 3.3 (Building Elevations). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Similar architectural relief elements are provided on all sides adjoining pedestrian sidewalks. Architectural relief elements also include building front arcade, decorative paving treatments, art piece and site & street landscaping.
X	1.3	X	Architectural elements located on the top of buildings.	COMPLIES: See Corner & Stair tower feature at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 for roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vaulted roofs.
X	1.4	X	Bicycle Facilities.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided in the covered ground floor area.
X	1.5	X	Building Facades	COMPLIES: See exterior mass variations & break lines at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6.. The project also stepback different plans as vertical break to comply with this provision.
X	1.6	X	Building bit coverage	COMPLIES: Permissive provision.
X	1.7	X	Drive through facilities.	COMPLIES: No drive through 2 Alhambra Circle
X	1.8	X	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
X	1.9	X	Lighting, street	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
X	1.10	X	Parking garages.	COMPLIES: See ground floor plan A-1.0 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The proposed parking at ground floor is not seen from the primary street in compliance with this provision.
X	1.11	X	Porte-cocheres.	COMPLIES: See Ground floor plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6.. The project does NOT have a Porte-Cochere on Alhambra Circle to comply with this provision.
X	1.12	X	Sidewalk/ pedestrian access	COMPLIES: See site plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Pedestrian access is provided at street level from Alhambra Circle, Monroca Avenue, Gallano Street & Navarre Avenue
X	1.13	X	Soil, structural.	COMPLIES: All right of way planting areas will utilize structural soil.
X	1.14	X	Windows on Mediterranean buildings	COMPLIES: All windows will have a minimum spacing depth of four inches.

Coral Gables Mediterranean Style Design Standars				
Table No 2				
Project Complied with 11 of 12 in Table 2				
Complies (An "X" means the Project Complies with requirement) 8 out of 12 required				
Complies	Referene No.	Residential	Type	Comments
X	2.1	X	Arcades and/or loggias.	COMPLIES: See Ground Floor Plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an arcade at the ground level that provides pedestrian protection. See also the provided Urban Plaza at Navarre Avenue & Gallano Street
X	2.2	X	Building rooflines.	COMPLIES: See Building Elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the corner towers, stair towers and center massing for vertical changes in the pedestal mass as well as the corner tower and bay window/towers for vertical changes at the residential tower to comply with this provision
X	2.3	X	Building step backs.	COMPLIES: See Ground floor plan A-1.1, Pool & roof garden level A-1.4. Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building steps from the principal facade, and utilizes a vertical step back on all street elevations, as well as the step back of the lower & upper residential levels.
X	2.4	X	Building towers.	COMPLIES: See Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjunction with the entry feature comply with this provision.
X	2.5	X	Driveways	COMPLIES: See Ground floor plan A 1.1. The building consolidates at the vehicular entrances on Navarre Avenue
X	2.6	X	Lighting of landscaping.	COMPLIES: Up lighting for landscaping within and/or adjacent to pedestrian areas will be provided.
X	2.7	X	Materials on exterior building facades.	COMPLIES: Keystone & Granite wall cladding at the Building main entrances comply with this provision.
X	2.8	X	Overhead doors.	COMPLIES: Overhead doors provided for vehicular entrances are recessed to comply with this provision
X	2.9	X	Paver treatments	COMPLIES: See Ground Floor Plan A 1.1. Driveways will have a minimum of ten percent of paver treatment, and sidewalks will have a minimum of twenty five percent of paver treatment.
X	2.10	X	Pedestrian amenities.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project will have at a minimum four pedestrian amenities. To include: Benches, Planters, Refuse Containers, and Water Features
X	2.11	X	Pedestrian pass-through/ passages on properties contiguous to alleys and/or streets.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass through that connect Alhambra Circle, Navarre Avenue & Gallano Street
	2.12		Underground parking.	DOES NOT COMPLY: No underground parking will be utilized.

Coral Gables Mediterranean Style Design Standars				
Table No 3				
(An "X" means the Project utilizes the option)				
Complies	Referene No.	Non-Residential	Type	Comments
	3.1		Building setback reductions.	
	3.2		Encroachment or loggias and/or arcades located as a part of an adjacent building within rights-of-way	
	3.3		Parking requirement exemption for Mediterranean Architectural Design buildings of 1.45 FAR or less (Central Business District only).	
	3.4	X	Multi-family residential density bonus for Mediterranean Architectural Design buildings.	



① 3D View - MED - from Minorca Avenue

ARCHITECT:

**Bellin & Pratt**  
architects, LLC

AA26000863

285 sevilla avenue  
coral gables, florida. 33134  
tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

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BONUS**

SCALE: **12" = 1'-0"**

SHEET No.:

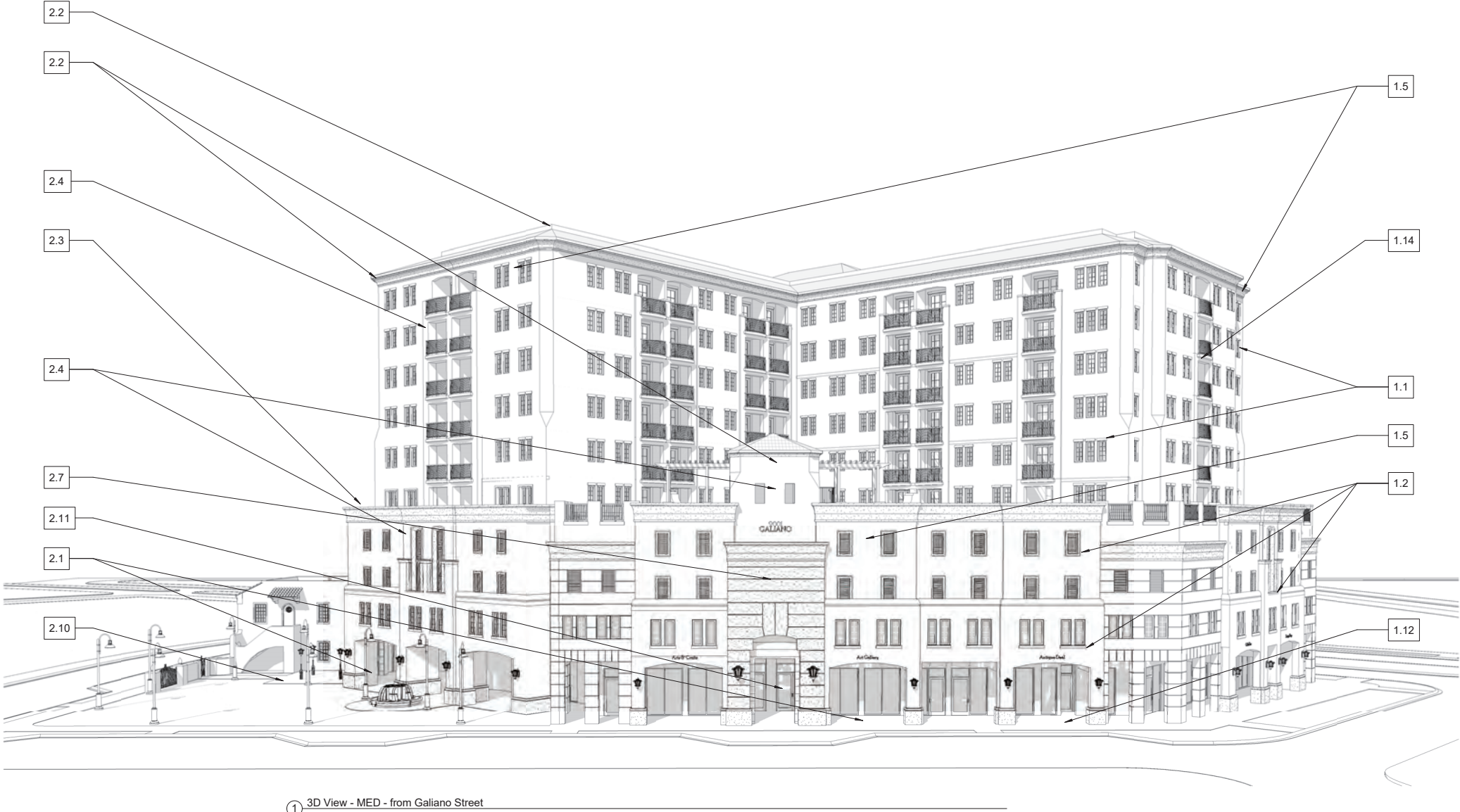
**A5.2**



Coral Gables Mediterranean Style Design Standars				
Table No 1				
Project Complied with all Categories in Table 1				
Complies (An "X" means the Project Complies with requirement)				
Complies	Referene No.	Residential	Type	Comments
X	1.1	X	Architectural elements on building facades	COMPLIES: See decorative reveal and molding on all building elevations (Building elevation sheet A-3.1, A-3.2 & A-3.3). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
X	1.2	X	Architectural relief elements at street level	COMPLIES: See Ground floor plan A-1.1 and A- 3.1, A-3.2 & A- 3.3 (Building Elevations). Also see 3D Views A-5.1,A-5.2, A-3.3, A-5.4, A-5.5, A-5.6. Similar architectural relief elements are provided on all sides adjoining pedestrian sidewalks. Architectural relief elements also include building front arcade, decorative paving treatments, art piece and site & street landscaping.
X	1.3	X	Architectural elements located on the top of buildings.	COMPLIES: See Corner & Stair tower feature at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-1.4, A-5.5, A-5.6. for Roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vaulted roofs.
X	1.4	X	Bicycle Facilities.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided in the covered ground floor area.
X	1.5	X	Building Facades	COMPLIES: See exterior mass variations & break lines at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6.. The project also stepback different plans as vertical break to comply with this provision.
X	1.6	X	Building lot coverage.	COMPLIES: Permissive provision.
X	1.7	X	Drive through facilities.	COMPLIES: No drive through 2 Alhambra Circle
X	1.8	X	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
X	1.9	X	Lighting, street	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
X	1.10	X	Parking garages.	COMPLIES: See ground floor plan A-1.0 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The proposed parking at ground floor is not seen from the primary street in compliance with this provision.
X	1.11	X	Porte-cocheres.	COMPLIES: See Ground floor plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6.. The project does NOT have a Porte-Cochiere on Alhambra Circle to comply with this provision.
X	1.12	X	Sidewalk/ pedestria access	COMPLIES: See site plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Pedestrian access is provided at street level from Alhambra Circle, Monroa Avenue, Galiano Street & Navarre Avenue
X	1.13	X	Soil, structural.	COMPLIES: All right of way planting areas will utilize structural soil.
X	1.14	X	Windows on Mediterranean buildings.	COMPLIES: All windows will have a minimum spacing depth of four inches.

Coral Gables Mediterranean Style Design Standars				
Table No 2				
Project Complied with 11 of 12 in Table 2				
Complies (An "X" means the Project Complies with requirement) 8 out of 12 required				
Complies	Referene No.	Residential	Type	Comments
X	2.1	X	Arcades and/or loggias.	COMPLIES: See Ground Floor Plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an arcade at the ground level that provides pedestrian protection. See also the provided Urban Plaza at Navarre Avenue & Galiano Street
X	2.2	X	Building rooflines.	COMPLIES: See Building Elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the corner towers, stair towers and center massing for vertical changes in the pedestrian mass as well as the corner tower and bay window towers for vertical changes at the residential tower to comply with this provision
X	2.3	X	Building step backs.	COMPLIES: See Ground floor plan A-1.1, Pool & roof garden level A-1.4, Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building steps from the principal facade, and utilizes a vertical step back on all street elevations, as well as the step back of the lower & upper residential levels.
X	2.4	X	Building towers.	COMPLIES: See Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjunction with the entry feature comply with this provision.
X	2.5	X	Driveways.	COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entrances on Navarre Avenue
X	2.6	X	Lighting of landscaping.	COMPLIES: Up lighting of landscaping within and/or adjacent to pedestrian areas will be provided.
X	2.7	X	Materials on exterior building facades.	COMPLIES: Keystone & Granite wall cladding at the Building main entrances comply with this provision.
X	2.8	X	Overhead doors.	COMPLIES: Overhead doors provided for vehicular entrances are recessed to comply with this provision
X	2.9	X	Paver treatments	COMPLIES: See Ground Floor Plan A 1.1. Driveways will have a minimum of ten percent of paver treatment, and sidewalks will have a minimum of twenty five percent of paver treatment.
X	2.10	X	Pedestrian amenities	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project will have at a minimum four pedestrian amenities. To include: Benches, Planters, Refuse Containers, and Water Features
X	2.11	X	Pedestrian pass-throughs/ passeros or properties contiguous to alleys and/or streets.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass through that connect Alhambra Circle, Navarre Avenue & Galiano Street
	2.12		Underground parking.	DOES NOT COMPLY: No underground parking will be utilized.

Coral Gables Mediterranean Style Design Standars				
Table No 3				
(An "X" means the Project utilizes the option)				
Complies	Referene No.	Non-Residential	Type	Comments
	3.1		Building setback reductions.	
	3.2		Encroachment or loggias and/or arcades located as a part of an adjacent building within rights-of-way	
	3.3		Parking requirement exemption for Mediterranean Architectural Design buildings of 1.45 FAR or less (Central Business District only).	
	3.4	X	Multi-family residential density bonus for Mediterranean Architectural Designbuildings.	



① 3D View - MED - from Galiano Street

ARCHITECT:

**Bellin & Pratt**  
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PROJECT NAME:

**Proposed Residential  
Mixed-Use Project**

PROPERTY ADDRESS  
33 Alhambra Circle  
Coral Gables FL

OWNER INFORMATION  
TWJ Alhambra, LLC  
100 South Biscayne Boulevard  
Suite 900 Miami FL 33131

**CITY COMMISSION  
2nd Reading**

ISSUE DATE: 04.18.2017  
PROJECT No.: 2013-07  
DRAWN BY: Author  
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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SEAL:

SIGNATURE:  
MARSHALL BELLIN AR-5564  
GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**3D VIEW & MED  
BONUS**

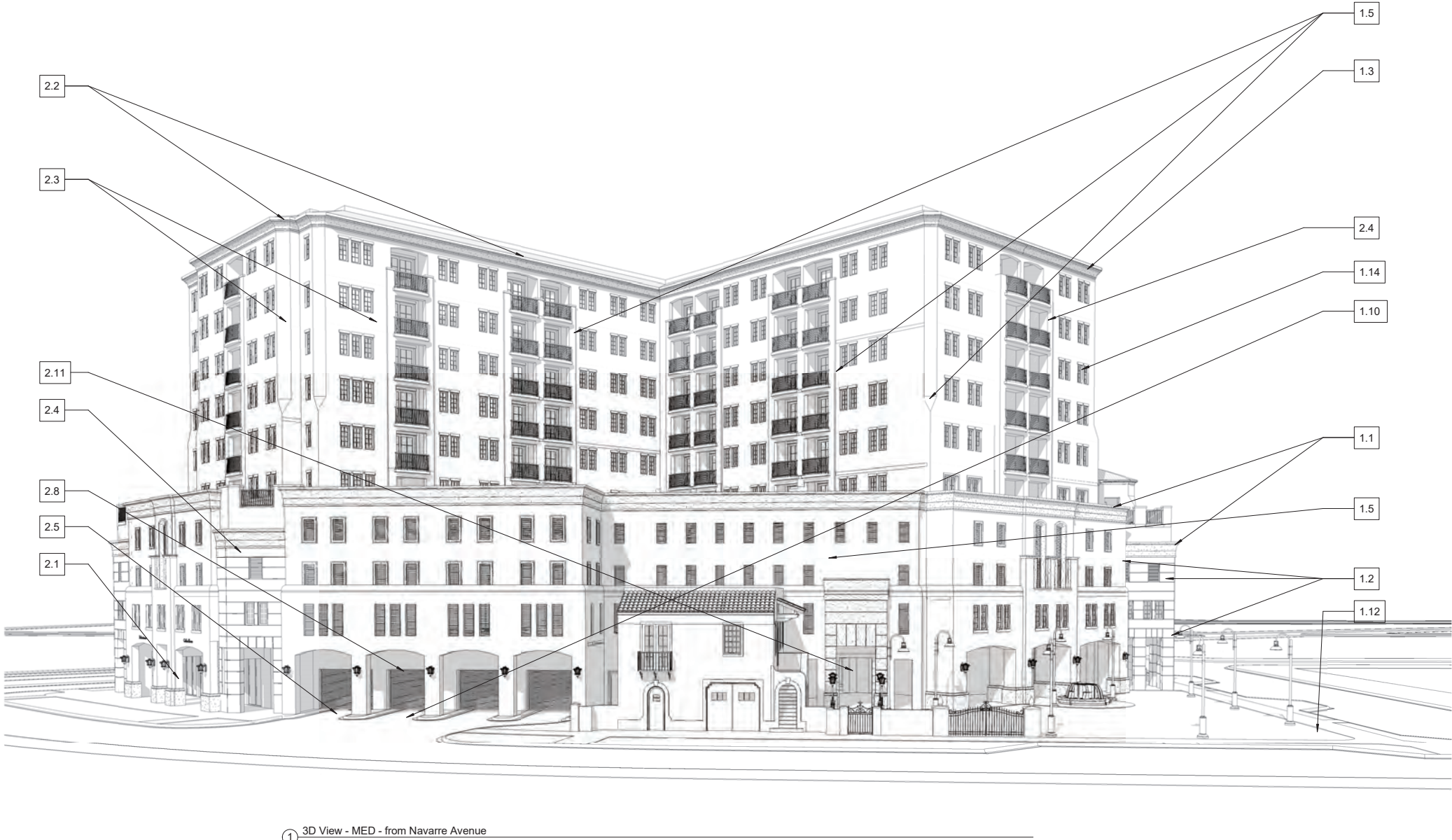
SCALE: **12" = 1'-0"**

SHEET No.:

**A5.3**



Coral Gables Mediterranea Style Design Standars				
Table No 1				
Project Complied with all Categories in Table 1				
Complies (An "X" means the Project Complies with requirement)				
Complies	Referene No.	Residential	Type	Comments
X	1.1	X	Architectural elements on building facades	COMPLIES: See decorative reveal and molding on all building elevations (existing elevation sheet A-3.1, A-3.2 & A-3.3). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
X	1.2	X	Architectural relief elements at street level	COMPLIES: See Ground floor plan A-1.1 and A- 3.1, A-3.2 & A- 3.3 (Building Elevations). Also see 3D Views A-5.1,A-5.2 A-5.3, A-5.4, A-5.5, A-5.6. Similar architectural relief elements are provided on all sides adjoining pedestrian sidewalks. Architectural relief elements also include building front arcade, decorative paving treatments, art piece and site & street landscaping.
X	1.3	X	Architectural elements located on the top of buildings.	COMPLIES: See Corner & Stair tower feature at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. for roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vaulted roofs.
X	1.4	X	Bicycle Facilities.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided in the covered ground floor area.
X	1.5	X	Building Facades	COMPLIES: See exterior mass variations & break lines at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6.. The project also stepback different plans as vertical break to comply with this provision.
X	1.6	X	Building lot coverage.	COMPLIES: Permissive provision.
X	1.7	X	Drive through facilities.	COMPLIES: No drive through 2 Alhambra Circle
X	1.8	X	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
X	1.9	X	Lighting, street	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
X	1.10	X	Parking garages.	COMPLIES: See ground floor plan A-1.0 & Building elevations A-3.1 A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The proposed parking at ground floor is not seen from the primary street in compliance with this provision.
X	1.11	X	Porte-cocheres.	COMPLIES: See Ground floor plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6.. The project does NOT have a Porte-Cochere on Alhambra Circle to comply with this provision.
X	1.12	X	Sidewalks/ pedestrian access	COMPLIES: See site plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Pedestrian access is provided at street level from Alhambra Circle, Minorca Avenue, Galliano Street & Navarre Avenue
X	1.13	X	Soil, structural.	COMPLIES: All right of way planting areas will utilize structural soil.
X	1.14	X	Windows on Mediterranean buildings.	COMPLIES: All windows will have a minimum spacing depth of four inches.
Coral Gables Mediterranea Style Design Standars				
Table No 2				
Project Complied with 11 of 12 in Table 2				
Complies (An "X" means the Project Complies with requirement) 8 out of 12 required				
Complies	Referene No.	Residential	Type	Comments
X	2.1	X	Arcades and/or loggias.	COMPLIES: See Ground Floor Plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an arcade at the ground level that provides pedestrian protection. See also the provided Urban Plaza at Navarre Avenue & Galliano Street
X	2.2	X	Building rooflines.	COMPLIES: See Building Elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the corner towers, stair towers and center massing for vertical changes in the pedestal mass as well of the corner tower and bay window towers for vertical changes at the residential tower to comply with this provision
X	2.3	X	Building step backs.	COMPLIES: See Ground floor plan A-1.1, Pool & roof garden level A-1.4. Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building steps from the principal facade, and utilizes a vertical step back on all street elevations, as well as the step back of the lower & upper residential levels.
X	2.4	X	Building towers.	COMPLIES: See Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjunction with the entry feature comply with this provision.
X	2.5	X	Driveways	COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entrances on Navarre Avenue
X	2.6	X	Lighting of landscaping.	COMPLIES: Up lighting of landscaping within and/or adjacent to pedestrian areas will be provided.
X	2.7	X	Materials on exterior building facades.	COMPLIES: Keystone & Granite wall cladding at the Building main entrances comply with this provision.
X	2.8	X	Overhead doors	COMPLIES: Overhead doors provided for vehicular entrances are recessed to comply with this provision
X	2.9	X	Paver treatments	COMPLIES: See Ground Floor Plan A 1.1. Driveways will have a minimum of ten percent of paver treatment, and sidewalks will have a minimum of twenty five percent of paver treatment.
X	2.10	X	Pedestrian amenities.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6  The project will have at a minimum four pedestrian amenities. To include: Benches, Planters, Refuse Containers, and Water Features
X	2.11	X	Pedestrian pass-throughs/ paseos on properties contiguous to alleys and/or streets.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6  The project has an interior pass through that connect Alhambra Circle, Navarre Avenue & Galliano Street
	2.12		Underground parking.	DOES NOT COMPLY: No underground parking will be utilized.
Coral Gables Mediterranea Style Design Standars				
Table No 3				
(An "X" means the Project utilizes the option)				
Complies	Referene No.	Non-Residential	Type	Comments
	3.1		Building setback reductions.	
	3.2		Encroachment or loggias and/or arcades located as a part of an adjacent building within rights-of-way	
	3.3		Parking requirement exemption for Mediterranean Architectural Design buildings of 1.45 FAR or less (Central Business District only).	
	3.4	X	Multi-family residential density bonus for Mediterranean Architectural Design buildings.	



ARCHITECT:

**Bellin & Pratt**  
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PROJECT NAME:

**Proposed Residential  
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33 Alhambra Circle  
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OWNER INFORMATION  
TWJ Alhambra, LLC  
100 South Biscayne Boulevard  
Suite 900 Miami FL 33131

**CITY COMMISSION  
2nd Reading**

ISSUE DATE: 04.18.2017  
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SEAL:

SIGNATURE:  
MARSHALL BELLIN AR-5564  
GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**3D VIEW & MED  
BONUS**

SCALE: **12" = 1'-0"**

SHEET No.:

**A5.4**



Coral Gables Mediterranean Style Design Standards				
Table No 1				
Project Complied with all Categories in Table 1				
Complies (An "X" means the Project Complies with requirement)				
Complies	Referene No.	Residential	Type	Comments
X	1.1	X	Architectural elements on building facades.	COMPLIES: See decorative reveal and molding on all building elevations (Building elevation sheet A-3.1, A-3.2 & A-3.3). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
X	1.2	X	Architectural relief elements at street level.	COMPLIES: See Ground floor plan A-1.1 and A-3.1, A-3.2 & A-3.3 (Building Elevations). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Similar architectural relief elements are provided on all sides adjoining pedestrian sidewalks. Architectural relief elements also include building front arcade, decorative paving treatments, art piece and site & street landscaping.
X	1.3	X	Architectural elements located on the top of buildings.	COMPLIES: See Corner & Stair tower feature at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6, for Roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vaulted roofs.
X	1.4	X	Bicycle Facilities.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided in the covered ground floor area.
X	1.5	X	Building Facades	COMPLIES: See exterior mass variations & break lines at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project also stepback different plans as vertical break to comply with this provision.
X	1.6	X	Building lot coverage.	COMPLIES: Permissive provision.
X	1.7	X	Drive through facilities.	COMPLIES: No drive through 2 Alhambra Circle
X	1.8	X	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
X	1.9	X	Lighting, street	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
X	1.10	X	Parking garages.	COMPLIES: See ground floor plan A-1.0 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The proposed parking at ground floor is not seen from the primary street in compliance with this provision.
X	1.11	X	Porte-cocheres.	COMPLIES: See Ground floor plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project does NOT have a Porte-Cochere on Alhambra Circle to comply with this provision.
X	1.12	X	Sidewalks/ pedestrian access	COMPLIES: See site plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Pedestrian access is provided at street level from Alhambra Circle, Minorca Avenue, Gallano Street & Navarre Avenue
X	1.13	X	Soil, structural.	COMPLIES: All right of way planting areas will utilize structural soil.
X	1.14	X	Windows on Mediterranean buildings.	COMPLIES: All windows will have a minimum spacing depth of four inches.
Coral Gables Mediterranean Style Design Standards				
Table No 2				
Project Complied with 11 of 12 in Table 2				
Complies (An "X" means the Project Complies with requirement) 8 out of 12 required				
Complies	Referene No.	Residential	Type	Comments
X	2.1	X	Arcades and/or loggias.	COMPLIES: See Ground Floor Plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an arcade at the ground level that provides pedestrian protection. See also the provided Urban Plaza at Navarre Avenue & Gallano Street
X	2.2	X	Building rooflines.	COMPLIES: See Building Elevations A-3.1, A-3.2 & A-3.3 and 3C Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the corner towers, stair towers and center massing for vertical changes in the pedestrial mass as well of the corner tower and bay window towers for vertical changes at the residential tower to comply with this provision
X	2.3	X	Building step backs.	COMPLIES: See Ground floor plan A-1.1, Pool & roof garden level A-1.4. Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building steps from the principal facade, and utilizes a vertical step back on all street elevations, as well as the step back of the lower & upper residential levels.
X	2.4	X	Building towers.	COMPLIES: See Building elevations A-3.1, A-3.2 & A-3.3 and 3C Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjunction with the entry feature comply with this provision.
X	2.5	X	Driveways	COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entrances on Navarre Avenue
X	2.6	X	Lighting of landscaping.	COMPLIES: Up lighting of landscaping within and/or adjacent to pedestrian areas will be provided.
X	2.7	X	Materials on exterior building facades.	COMPLIES: Keystone & Granite wall cladding at the Building main entrances comply with this provision.
X	2.8	X	Overhead doors.	COMPLIES: Overhead doors provided for vehicular entrances are recessed to comply with this provision
X	2.9	X	Paver treatments	COMPLIES: See Ground Floor Plan A 1.1. Driveways will have a minimum of ten percent of paver treatment, and sidewalk will have a minimum of twenty five percent of paver treatment.
X	2.10	X	Pedestrian amenities.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6  The project will have at a minimum four pedestrian amenities. To include: Benches, Planters, Refuse Containers, and Water Features
X	2.11	X	Pedestrian pass-through/ passos on properties contiguous to alleys and/or streets.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6  The project has an interior pass through that connect Alhambra Circle, Navarre Avenue & Gallano Street
	2.12		Underground parking.	DOES NOT COMPLY: No underground parking will be utilized.
Coral Gables Mediterranean Style Design Standards				
Table No 3				
(An "X" means the Project utilizes the option)				
Complies	Referene No	Non-Residential	Type	Comments
	3.1		Building setback reductions.	
	3.2		Encroachment or loggias and/or arcades located as a part of an adjacent building within rights-of-way	
	3.3		Parking requirement exemption for Mediterranean Architectural Design buildings of 1.45 FAR or less (Central Business District only).	
	3.4	X	Multi-family residential density bonus for Mediterranean Architectural Design buildings.	



1 Aerial View - MED - from Alhambra Circle

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architects, LLC

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MARSHALL BELLIN AR-5564  
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SHEET TITLE:

3D VIEW & MED  
BONUS

SCALE: 12" = 1'-0"

SHEET No.:

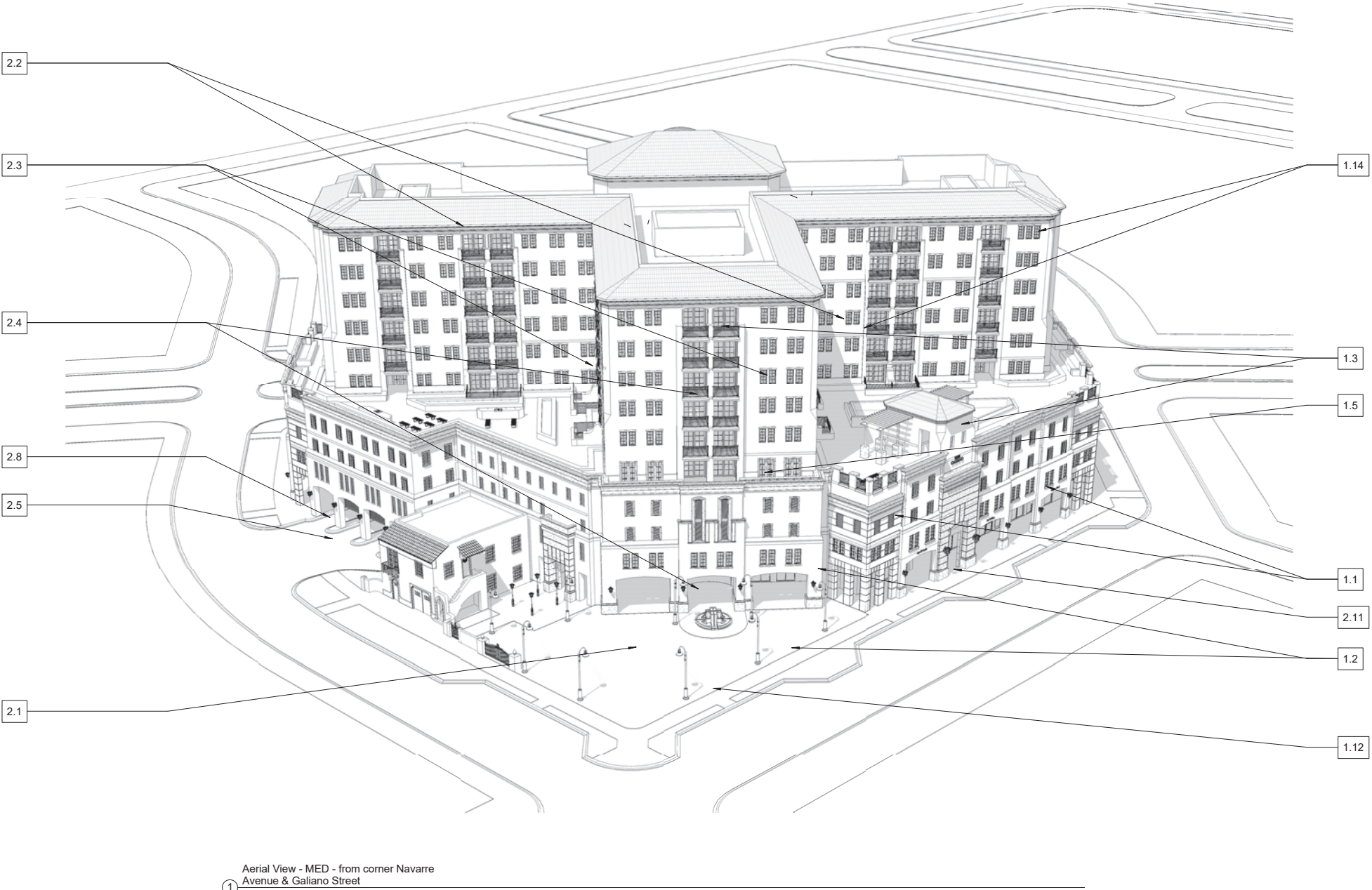
A5.5



Coral Gables Mediterranean Style Design Standars				
Table No 1				
Project Complied with all Categories in Table 1				
Complies (An "X" means the Project Complies with requirement)				
Complies	Refereme No.	Residential	Type	Comments
X	1.1	X	Architectural elements on building facades.	COMPLIES: See decorative reveal and molding on all building elevations (Building elevation sheet A-3.1, A-3.2 & A-3.3). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
X	1.2	X	Architectural relief elements at street level.	COMPLIES: See Ground floor plan A-1.1 and A-3.1, A-3.2 & A-3.3 (Building Elevations). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Similar architectural relief elements are provided on all sides adjoining pedestrian sidewalks. Architectural relief elements also include building front arcade, decorative paving treatments, art piece and site & street landscaping.
X	1.3	X	Architectural elements located on the top of buildings.	COMPLIES: See Corner & Stair tower feature at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. for Roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vauled roofs.
X	1.4	X	Bicycle facilities.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided in the covered ground floor area.
X	1.5	X	Building facades.	COMPLIES: See exterior mass variations & break lines at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project also stepback different plans as vertical break to comply with this provision.
X	1.6	X	Building lot coverage.	COMPLIES: Permissive provision.
X	1.7	X	Drive through facilities.	COMPLIES: No drive through 2 Alhambra Circle
X	1.8	X	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
X	1.9	X	Lighting, street	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
X	1.10	X	Parking garages.	COMPLIES: See ground floor plan A-1.0 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The proposed parking at ground floor is not seen from the primary street in compliance with this provision.
X	1.11	X	Porte-cocheres.	COMPLIES: See Ground floor plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project does NOT have a Porte-Cochere on Alhambra Circle to comply with this provision.
X	1.12	X	Sidewalks/ pedestrian access	COMPLIES: See site plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Pedestrian access is provided at street level from Alhambra Circle, Minorca Avenue, Galiano Street & Navarre Avenue
X	1.13	X	Soil, structural.	COMPLIES: All right of way planting areas will utilize structural soil.
X	1.14	X	Windows on Mediterranean buildings.	COMPLIES: All windows will have a minimum spacing depth of four inches.

Coral Gables Mediterranean Style Design Standars				
Table No 2				
Project Complied with 11 of 12 in Table 2				
Complies (An "X" means the Project Complies with requirement) 8 out of 12 required				
Complies	Refereme No.	Residential	Type	Comments
X	2.1	X	Arcades and/or loggias.	COMPLIES: See Ground Floor Plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an arcade at the ground level that provides pedestrian protection. See also the provided Urban Plaza at Navarre Avenue & Galiano Street.
X	2.2	X	Building rooflines.	COMPLIES: See Building Elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the corner towers, stair towers and center massing for vertical changes in the pedestal mass as well of the corner tower and bar window towers for vertical changes at the residential tower to comply with this provision
X	2.3	X	Building step backs.	COMPLIES: See Ground floor plan A-1.1, Pool & roof garden level A-1.4. Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building steps from the principal facade, and utilizes a vertical step back on all street elevations, as well as the step back of the lower & upper residential levels.
X	2.4	X	Existing towers.	COMPLIES: See Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjunction with the entry feature comply with this provision.
X	2.5	X	Driveways	COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entrances on Navarre Avenue
X	2.6	X	Lighting of landscaping.	COMPLIES: Up lighting of landscaping within and/or adjacent to pedestrian areas will be provided.
X	2.7	X	Materials on exterior building facades.	COMPLIES: Keystone & Granite wall cladding at the Building main entrances comply with this provision.
X	2.8	X	Overhead coors.	COMPLIES: Overhead doors provided for vehicular entrances are recessed to comply with this provision
X	2.9	X	Paver treatments	COMPLIES: See Ground Floor Plan A 1.1. Driveways will have a minimum of ten percent of paver treatment, and sidewalks will have a minimum of twenty five percent of paver treatment.
X	2.10	X	Pedestrian amenities.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project will have at a minimum four pedestrian amenities. To include: Benches, Planters, Refuse Containers, and Water Features
X	2.11	X	Pedestrian pass-through/ passes on properties contiguous to alleys and/or streets.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass through that connect Alhambra Circle, Navarre Avenue & Galiano Street
	2.12		Underground parking.	DOES NOT COMPLY: No underground parking will be utilized.

Coral Gables Mediterranean Style Design Standars				
Table No 3				
(An "X" means the Project utilizes the option)				
Complies	Refereme No.	Non-Residential	Type	Comments
	3.1		Building setback reductions.	
	3.2		Encroachment or loggias and/or arcades located as a part of an adjacent building within rights-of-way	
	3.3		Parking requirement exemption for Mediterranean Architectural Design buildings of 1.45 FAR or less (Central Business District only).	
	3.4	X	Multi-family residential density bonus for Mediterranean Architectural Design buildings.	



1 Aerial View - MED - from corner Navarre Avenue & Galiano Street

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PROJECT NAME:

**Proposed Residential  
Mixed-Use Project**

PROPERTY ADDRESS

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Coral Gables FL

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GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**3D VIEW & MED  
BONUS**

SCALE: **12" = 1'-0"**

SHEET No.:

**A5.6**





① 3D View From Alhambra Circle

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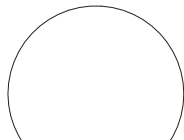
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SHEET TITLE:

**Massing View**

SCALE:

SHEET No.:

**A6.1**





1 3D View from Galiano Street

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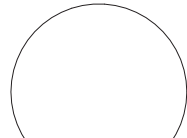
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SHEET TITLE:

**Massing View**

SCALE:

SHEET No.:

**A6.2**





① 3D View from Minorca Avenue

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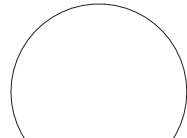
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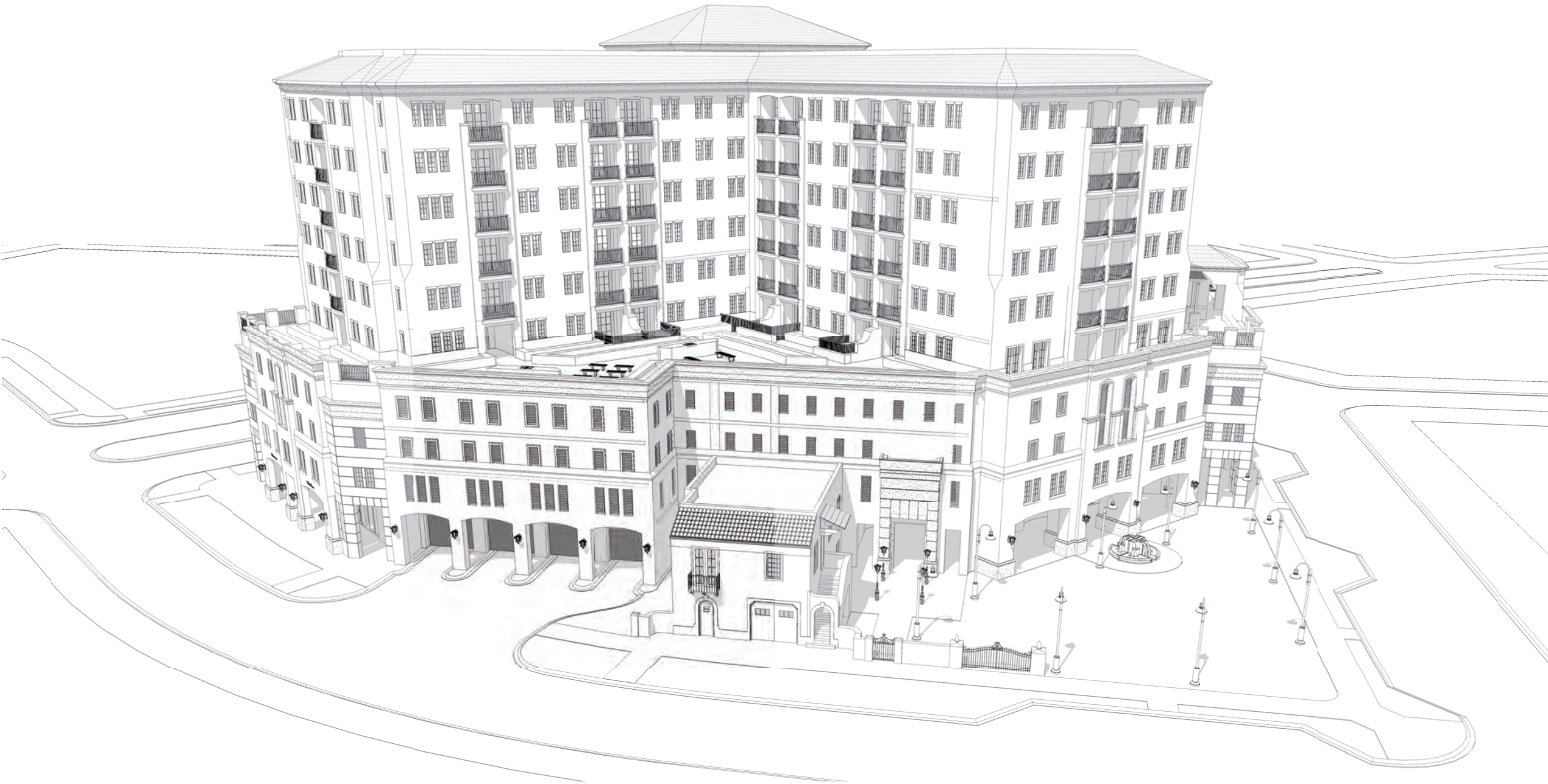
**Massing View**

SCALE:

SHEET No.:

**A6.3**





① 3D View from Navarre Avenue

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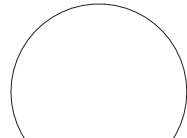
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SHEET TITLE:

**Massing View**

SCALE:

SHEET No.:

**A6.4**





1 Aerial View from Alhambra Circle

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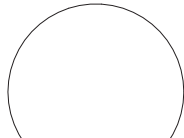
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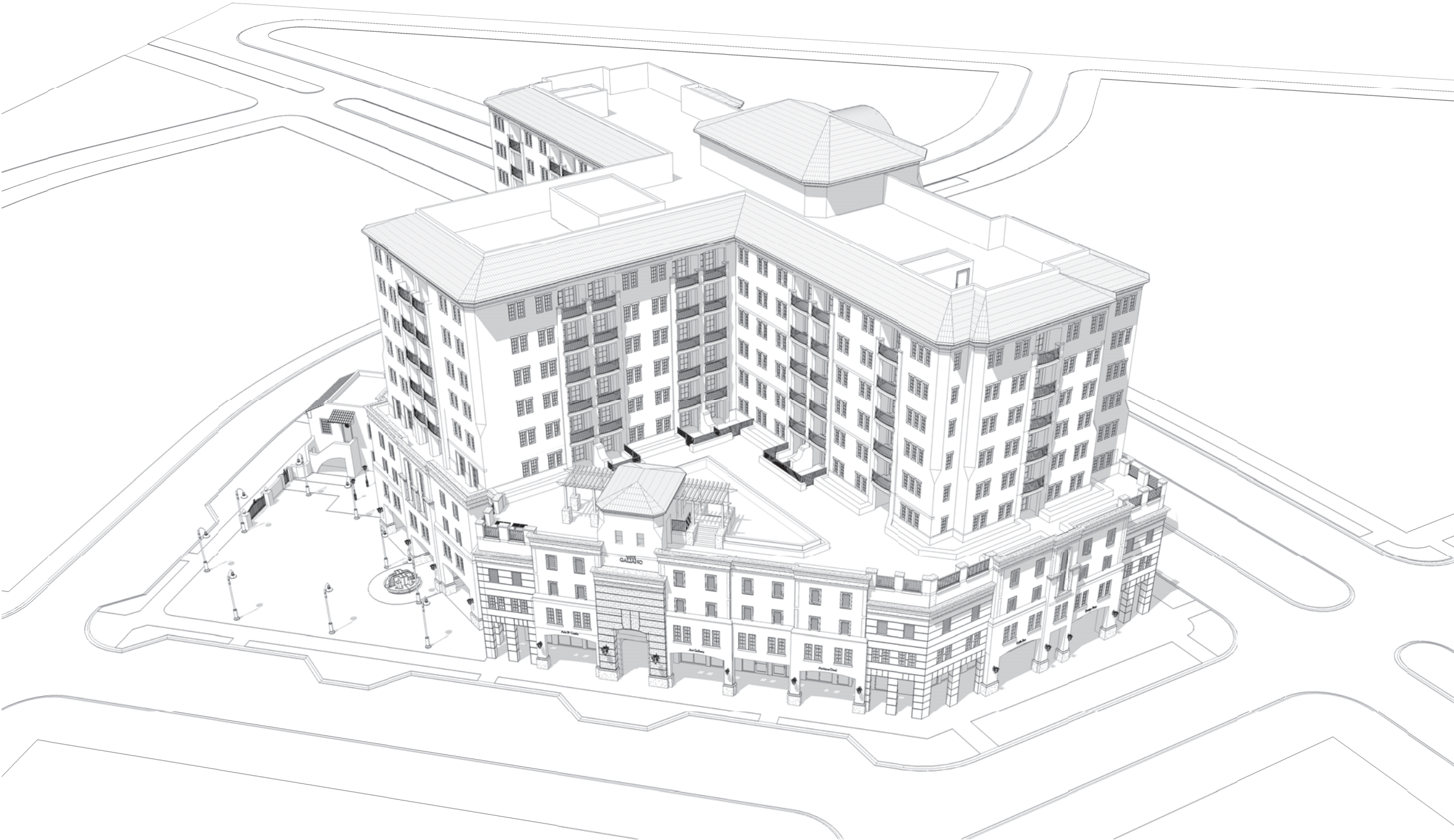
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1 Aerial View from Minorca Avenue

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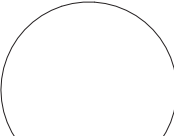
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GLENN H PRATT, AIA, AR-9608

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SCALE:

SHEET No.:

**A6.6**





1 Aerial View from Navarre Avenue

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PROJECT NAME:

**Proposed Residential  
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PROPERTY ADDRESS

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Coral Gables FL

OWNER INFORMATION

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100 South Biscayne Boulevard  
Suite 900 Miami FL 33131

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GLENN H PRATT, AIA, AR-9608

SHEET TITLE:

**Massing View**

SCALE:

SHEET No.:

**A6.7**





① 3D View 13

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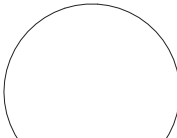
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SHEET TITLE:

**Exterior View**

SCALE:

SHEET No.:

**A6.8**





① 3D View 14

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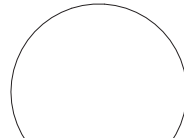
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PROJECT No.: 2013-07  
DRAWN BY: Author  
APPROVED BY: Approver

REVISIONS:

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**Exterior View**

SCALE:

SHEET No.:

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① 3D View 15

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PROJECT NAME:

**Proposed Residential  
Mixed-Use Project**

PROPERTY ADDRESS

33 Alhambra Circle  
Coral Gables FL

OWNER INFORMATION

TWJ Alhambra, LLC  
100 South Biscayne Boulevard  
Suite 900 Miami FL 33131

**CITY COMMISSION  
2nd Reading**

ISSUE DATE: 04.18.2017

PROJECT No.: 2013-07

DRAWN BY: Author

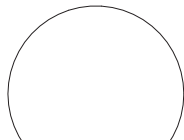
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**Exterior View**

SCALE:

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VIEW FROM ALHAMBRA CIRCLE

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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VIEW FROM ALHAMBRA CIRCLE

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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VIEW FROM ALHAMBRA CIRCLE

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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VIEW FROM GALIANO STREET

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

**Bellin & Pratt**  
architects, LLC

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VIEW FROM GALIANO STREET

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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VIEW FROM GALIANO STREET & NAVARRE AVENUE

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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architects, LLC

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VIEW FROM NAVARRE AVENUE & GALIANO STREET

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

**Bellin & Pratt**  
architects, LLC

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VIEW FROM NAVARRE AVENUE

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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VIEW FROM NAVARRE AVENUE

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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AERIAL VIEW FROM GALIANO STREET & MINORCA AVENUE

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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**AERIAL VIEW FROM NORTH EAST**

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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AERIAL VIEW FROM ALHAMBRA CIRCLE

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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AERIAL VIEW FROM NAVARRE AVENUE STREET

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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AERIAL VIEW FROM NAVARRE AVENUE & GALIANO STREET

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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AERIAL VIEW FROM GALIANO STREET

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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① Aerial View  
1/4" = 1'-0"

ARCHITECT:

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PROJECT NAME:

**Proposed Residential  
Mixed-Use Project**

PROPERTY ADDRESS  
33 Alhambra Circle  
Coral Gables FL

OWNER INFORMATION  
TWJ Alhambra, LLC  
100 South Biscayne Boulevard  
Suite 900 Miami FL 33131

**CITY COMMISSION  
2nd Reading**

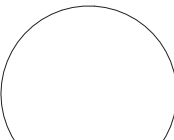
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PROJECT No.: 2013-07  
DRAWN BY: T.C. & D.F.  
APPROVED BY: M.B. & G.P.

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**AERIAL VIEW**

SCALE: **1/4" = 1'-0"**

SHEET No.:

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33 ALHAMBRA CIRCLE



45 ALHAMBRA CIRCLE



47 ALHAMBRA CIRCLE



2027 GALIANO STREET

PHOTOS OF EXISTING PROPERTIES

# RESIDENTIAL MIXED-USE PROJECT

33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134

**Bellin & Pratt**  
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2001-03 GALIANO STREET



42 NAVARRE AVENUE



20-22 NAVARRE AVENUE



20-22 NAVARRE AVENUE

PHOTOS OF EXISTING PROPERTIES

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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SITE AERIAL

PHOTOS OF EXISTING PROPERTIES

**RESIDENTIAL MIXED-USE PROJECT**  
**33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134**

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# *Traffic Impact Analysis*

**33 Alhambra Circle  
Coral Gables, Florida**



**Kimley»»Horn**

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Revised February 2017  
043557000



## *Traffic Impact Analysis*

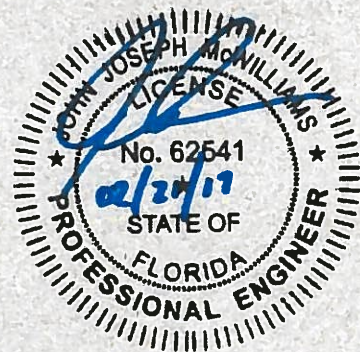
### **33 Alhambra Circle Coral Gables, Florida**

*Prepared for:*

TWJ Alhambra, LLC  
Miami, Florida

**Kimley»Horn**

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## EXECUTIVE SUMMARY

TWJ Alhambra, LLC is proposing a mixed-use development consisting of residential, office, and retail uses located on the site generally bound by Alhambra Circle, Minorca Avenue, Navarre Avenue, and Galiano Street in the City of Coral Gables. Currently, the area proposed for development is occupied by 30 residential units that will be demolished as part of the redevelopment. The proposed development will consist of a high-rise apartment building consisting of 130 typical units and 16 live-work units, as well as 2,168 square feet of specialty retail. Access to the site is provided through one (1) full-access driveway along Navarre Avenue. The project is expected to be completed and opened by year 2020.

A traffic impact analysis was conducted to assess the project's impact on the surrounding roadway network and to determine if adequate capacity is available to support future traffic volumes. Trip generation calculations for the proposed development were performed using the Institute of Transportation Engineer's (ITE's) *Trip Generation*, 9<sup>th</sup> Edition. ITE Land Use Code (LUC) 222 (High-Rise Apartment with 10 or more floors) was utilized for the typical and live-work residential units of the development, ITE LUC 710 (General Office Building) was utilized for the work space within the live-work units, and ITE LUC 826 (Specialty Retail) was utilized for the retail component. Credit for the existing use on the site was applied to the trip generation analysis. This project is expected to generate 58 new trips during the A.M. peak hour and 134 new trips during the P.M. peak hour.

Intersection capacity analyses indicate that the study intersections are expected to operate at accepted levels of service during the A.M. and P.M. peak hours under all analysis conditions.



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APPENDIX G:	Volume Development Worksheets
APPENDIX H:	Intersection Capacity Analyses



## INTRODUCTION

TWJ Alhambra, LLC is proposing a mixed-use development consisting of residential, office, and retail uses located on the site generally bound by Alhambra Circle, Minorca Avenue, Navarre Avenue, and Galiano Street in the City of Coral Gables. Note that the project site is within the Gables Redevelopment Infill District (GRID). Currently, the area proposed for development is occupied by 30 residential units that will be demolished as part of the redevelopment. The proposed development will consist of a high-rise apartment building consisting of 130 typical units and 16 live-work units, as well as 2,168 square feet of specialty retail. Access to the site is provided through one (1) full-access driveway along Navarre Avenue. A project location map is included as Figure 1 and a site plan is provided in Appendix A. The project is expected to be completed by year 2020.

The roadways within the immediate vicinity of the site include Alhambra Circle, Minorca Avenue, Navarre Avenue, Galiano Street, Majorca, and South Douglas Road/Southwest 37<sup>th</sup> Avenue. Minorca Avenue, Navarre Avenue, and Majorca Street are all two-lane undivided east-west roadways with on-street parking; Alhambra Circle is a two-lane divided roadway with on-street parking; Galiano Street is a two-lane undivided north-south roadway with on-street parking; and South Douglas Road/Southwest 37<sup>th</sup> Avenue is a four-lane undivided north-south roadway.

Kimley-Horn and Associates, Inc. has completed this traffic impact analysis to assess the project's impact on the surrounding roadway network and determine if adequate capacity is available to support future traffic volumes. Methodology correspondence detailing the traffic study requirements is included in Appendix B. This report summarizes the data collection, project trip generation and distribution, and capacity analyses.







## PROJECT TRAFFIC

Project traffic used in this analysis is defined as the vehicle trips expected to be generated by the project and the distribution and assignment of that traffic over the study roadway network.

### Existing and Proposed Land Uses

The project site is currently occupied by 30 multi-family residential dwelling units. The proposed development will consist of a high-rise apartment building consisting of 130 typical units and 16 live-work units, as well as 2,168 square feet of specialty retail.

### Project Access

Proposed access to the site is provided through one (1) full-access driveway along Navarre Avenue. A site plan is provided in Appendix A.

### Trip Generation

Trip generation calculations for the proposed development were performed using the Institute of Transportation Engineer's (ITE's) *Trip Generation*, 9<sup>th</sup> Edition. ITE Land Use Code (LUC) 222 (High-Rise Apartment with 10 or more floors) was utilized for the typical and live-work residential units of the development, ITE LUC 710 (General Office Building) was utilized for the work space within the live-work units, and ITE LUC 826 (Specialty Retail) was utilized for the retail component. ITE LUC 220 (Apartment) was used for the existing residential development which will be demolished. Table 1 summarizes the project's forecast trip generation for the weekday A.M. and weekday P.M. peak hours of adjacent street traffic. Detailed trip generation information is included in Appendix C.



**Internal Capture Volumes**

Internal capture is expected between the complementary land uses within a project. Internal capture trips are trips made among the on-site uses, which in the case of this project are trips between the apartment units, the office space, and retail space. Internal capture trips for the project were determined based upon methodology contained in the ITE's, *Trip Generation Handbook*, 2<sup>nd</sup> Edition June 2004. The applied internal capture percentages are presented in Table 1. Detailed calculations are contained in Appendix C.

**Net New Project Trips**

Net new project trips are equal to the gross project trips minus the internal capture and existing development trips. The net new project trips represent additional vehicles on the roadway network. As shown in Table 1, this project is expected to generate 58 net new trips during the A.M. peak hour and 134 net new trips during the P.M. peak hour.

Table 1: Peak Hour Trip Generation										
Land Uses	ITE Code	Scale	Gross Project Trips			Internal Capture		Net New Project Trips		
			Enter	Exit	Total	%	Trips	Enter	Exit	Total
Existing Weekday A.M. Peak Hour (Existing Weekday P.M. Peak Hour)										
Apartment	220	30 d.u.	4 (22)	14 (12)	18 (34)	0.0% (0.0%)	0 (0)	4 (22)	14 (12)	18 (34)
Proposed Weekday A.M. Peak Hour (Proposed Weekday P.M. Peak Hour)										
High-Rise Apartment	222	146 d.u	11 (36)	33 (23)	44 (59)	0.0% (6.8%)	0 (4)	11 (33)	33 (22)	44 (55)
General Office Building	710	10.5 ksf	28 (15)	4 (75)	32 (90)	0.0% (1.1%)	0 (1)	28 (15)	4 (74)	32 (89)
Specialty Retail Center	826	2.168 ksf	0 (12)	0 (15)	0 (27)	0.0% (11.1%)	0 (3)	0 (11)	0 (13)	0 (24)
Proposed			39 (63)	37 (113)	76 (176)	0.0% (4.5%)	0 (8)	39 (59)	37 (109)	76 (168)
Total (Proposed – Existing)								35 (37)	23 (97)	58 (134)



**Trip Distribution and Assignment**

The likely distribution of project traffic was forecasted for the trips expected to be generated by the proposed development. The trip distribution was based on a cardinal trip distribution for the project site's traffic analysis zone (TAZ 1035) obtained from the *2035 Cost Feasible Plan* travel demand model developed by the Miami-Dade Metropolitan Planning Organization. The cardinal trip distribution for TAZ 1035 interpolated for the year 2020 is provided in Table 2.

Table 2: Cardinal Trip Distribution	
Cardinal Direction	Percentage of Trips
North-Northeast	12.36%
East-Northeast	16.69%
East-Southeast	3.94%
South-Southeast	8.86%
South-Southwest	16.12%
West-Southwest	16.67%
West-Northwest	10.30%
North-Northwest	15.07%
Total	100.00%



The detailed cardinal distribution is included in Appendix D. Figure 2 presents the project's trip distribution and Figure 3 presents the project's traffic assignment for the weekday A.M. and P.M. peak hours.





NOT TO SCALE

**Legend**

-  Study Roadway
-  Study Intersection
- XX% Entering Distribution
- (XX%) Exiting Distribution

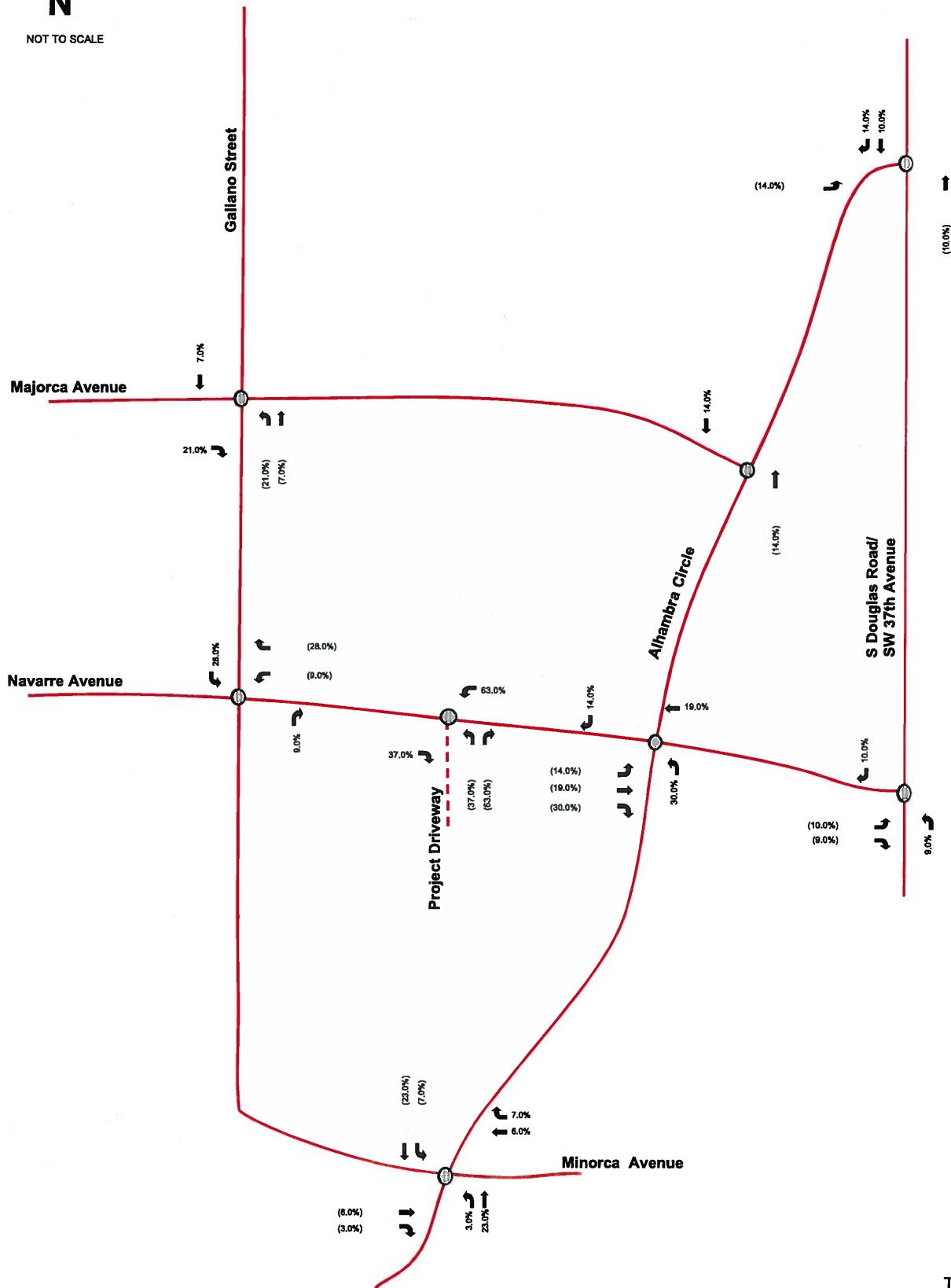


Figure 2  
Trip Distribution  
A.M. and P.M. Peak Hours  
33 Alhambra Circle  
Coral Gables, Florida





NOT TO SCALE

**Legend**

- Study Roadway
- Study Intersection
- XX A.M. Peak Hour Trips
- (XX) P.M. Peak Hour Trips

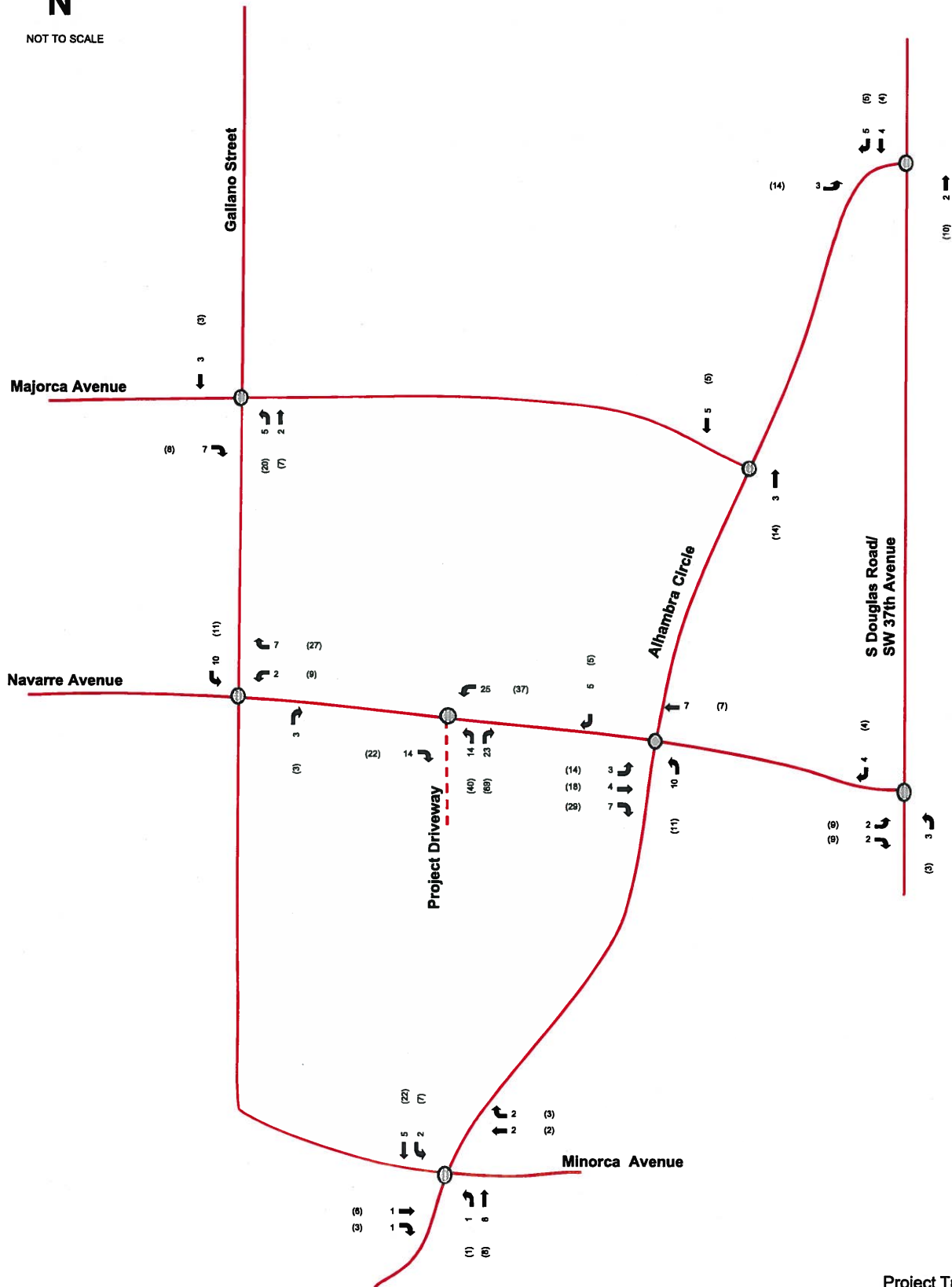


Figure 3  
Project Trip Assignment  
A.M. and P.M. Peak Hours  
33 Alhambra Circle  
Coral Gables, Florida

**Notes:**

<sup>(1)</sup> Project Driveway trip assignment based on proposed net new trips without taking credit for existing uses.



## EXISTING TRAFFIC

A.M. peak period (7:00 to 9:00 A.M.) and P.M. peak period (4:00 to 6:00 P.M.) turning movement counts were collected on February 1, 2017 (Wednesday) at the following seven (7) intersections:

- Alhambra Circle and Minorca Avenue
- Alhambra Circle and Douglas Road/SW 37<sup>th</sup> Avenue
- Galiano Street and Majorca Avenue
- Galiano Street and Navarre Avenue8
- Alhambra Circle and Majorca Avenue
- Alhambra Circle and Navarre Avenue
- Douglas Road/SW 37<sup>th</sup> Avenue and Navarre Avenue

The volumes were collected in 15-minute intervals and the peak hour was determined for each intersection. The Florida Department of Transportation (FDOT) peak season conversion factor (PSCF) was applied to the traffic counts to adjust the traffic to peak season volumes. The appropriate peak season conversion factor for the week the counts were collected is 1.01. The turning movement counts and FDOT peak season factor category report are included in Appendix E. Figure 4 presents the existing turning movement volumes at the study intersections during the weekday A.M. and P.M. peak hours.





NOT TO SCALE

### Legend

- Study Roadway
- Study Intersection
- XX A.M. Peak Hour Traffic
- (XX) P.M. Peak Hour Traffic

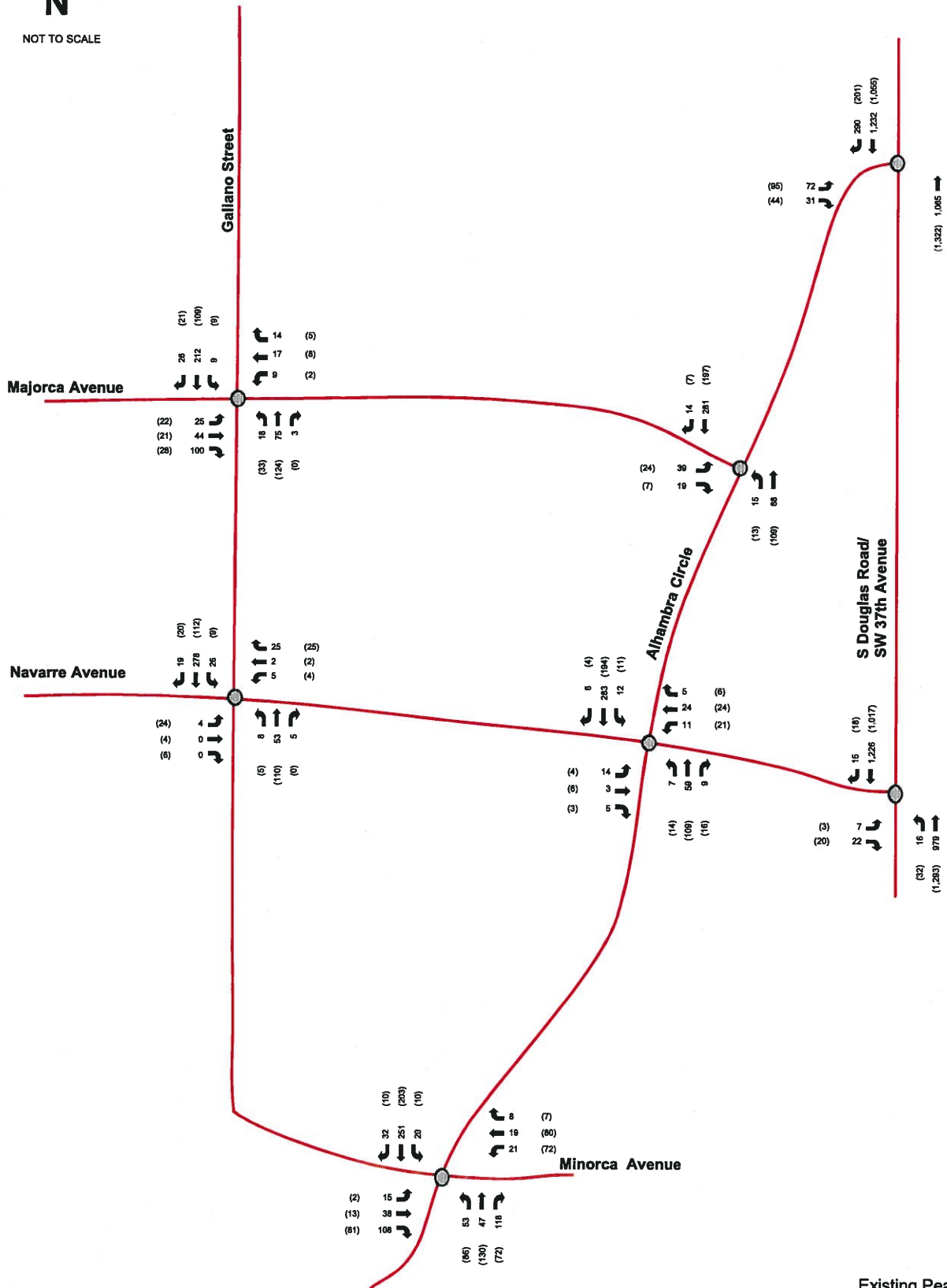


Figure 4  
Existing Peak Hour Traffic  
A.M. and P.M. Peak Hours  
33 Alhambra Circle  
Coral Gables, Florida



## FUTURE BACKGROUND TRAFFIC

Future background traffic conditions are defined as expected traffic conditions on the roadway network in the year 2020 without the construction of the proposed project. Future background traffic volumes used in the analysis are the sum of the existing traffic and an additional amount of traffic generated by growth in the study area. Figure 5 presents the year 2020 peak hour background traffic volumes during the weekday A.M. and P.M. peak hours.

### Background Area Growth

Future traffic growth on the transportation network was determined based upon historic growth trends at nearby FDOT traffic count stations and based upon the Miami-Dade Metropolitan Planning Organization's (MPO) projected 2005 and 2035 model network volumes. FDOT count stations referenced in this analysis include:

- Count Station #2534 located on SR 972/Coral Way, 200' east of SW 37th Ave.
- Count Station #0024 located on SR 953/LeJeune Road, 200' south of Coral Way/SR 972
- Count Station #0025 located on SR 953/LeJeune Road, 200' S of S SW 8th St./SR 90

The FDOT historic growth rate analysis yielded a negative 2.08 percent (-2.08%) growth rate over the most recent five (5) year period and a negative 1.23 percent (-1.23%) growth rate over the most recent ten (10) year period.



Additionally, the MPO 2005 and 2035 model network volumes were examined to determine the growth trend for the roadway segments near the site location. MPO model roadway segments referenced in this analysis include:

- South Douglas Road/SW 37<sup>th</sup> Avenue
- Ponce De Leon Boulevard
- Alhambra Circle

The MPO model growth rate analysis yielded a 0.72 percent (0.72%) growth rate.

To provide for a conservative analysis, a 1.0 percent (1.0%) growth rate was applied annually to the existing traffic volumes to attain future (2020) background traffic conditions. The worksheets used to analyze the historic growth trends are included in Appendix F.

### **Committed Developments**

Five (5) committed (not yet built) developments were identified by the City of Coral Gables staff:

1. 100 Alhambra Circle
2. 2020 Salzedo
3. 2222 Ponce de Leon (Giralda Complex)
4. 301 Giralda (Tap 42)
5. 300 Giralda (Coral Gables Day Care)

Based on the trip assignment from the traffic studies previously prepared for these developments, project trips from only the first three (3) developments listed above are expected to travel through the study intersections related to this project. Therefore, traffic projected from the first three (3) developments listed above was added to background A.M. peak hour and P.M. peak hour traffic. Corresponding traffic assignments and site plans are included in Appendix F. Volume development worksheets are included in Appendix G.





NOT TO SCALE

**Legend**

- Study Roadway
- Study Intersection
- XX A.M. Peak Hour Traffic
- (XX) P.M. Peak Hour Traffic

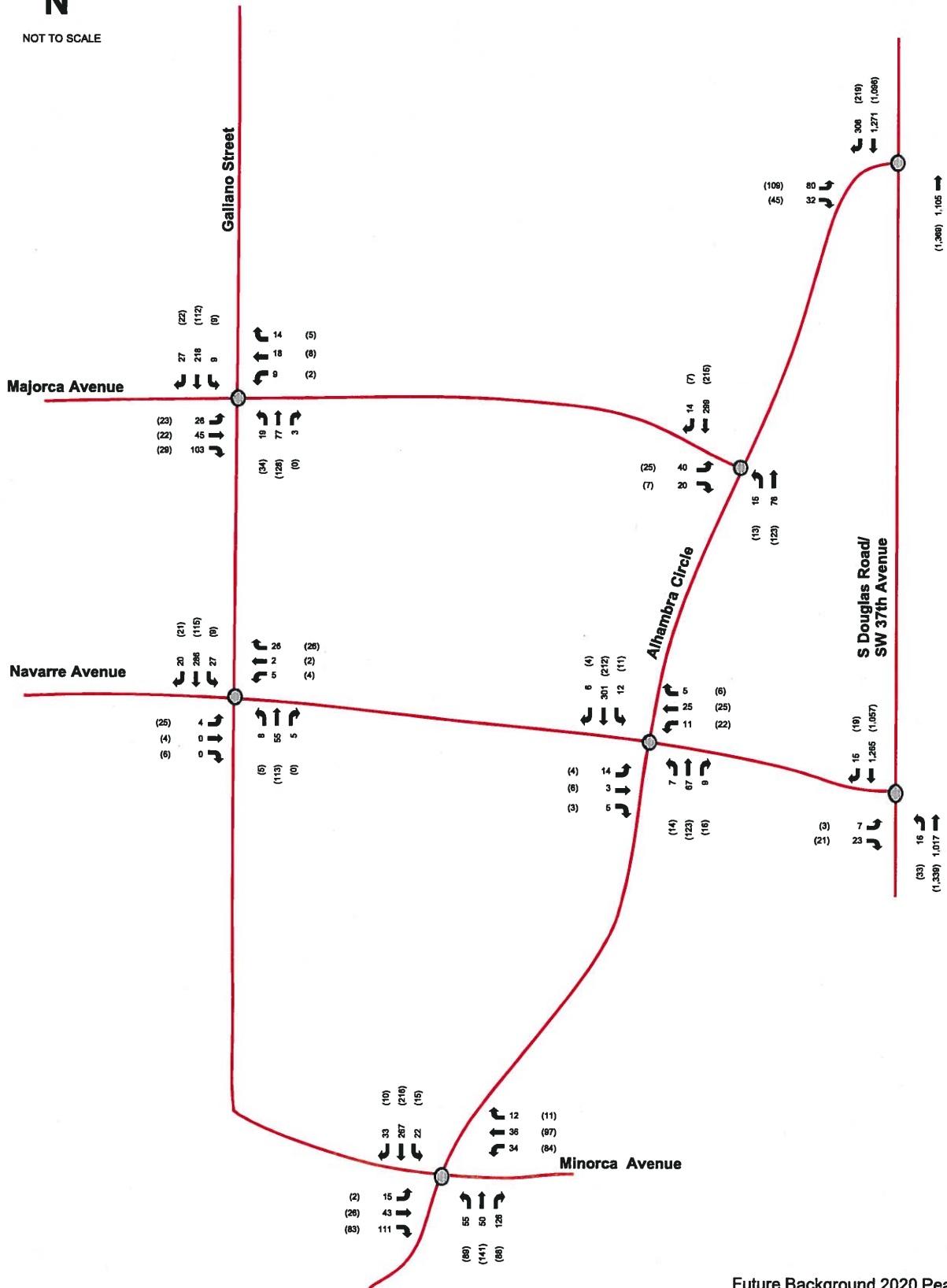


Figure 5  
Future Background 2020 Peak Hour Traffic  
A.M. and P.M. Peak Hours  
33 Alhambra Circle  
Coral Gables, Florida



## **FUTURE TOTAL TRAFFIC**

Future total traffic conditions are defined as the expected traffic conditions in the year 2020 after the opening of the project. Total traffic volumes considered in the analysis for this project are the sum of the year 2020 background traffic volumes and the expected project traffic volumes. Figure 6 presents the future traffic volumes for the weekday A.M. and P.M. peak hours. Volume development worksheets for the study intersections are included in Appendix G.





NOT TO SCALE

### Legend

- Study Roadway
- Study Intersection
- XX A.M. Peak Hour Traffic
- (XX) P.M. Peak Hour Traffic

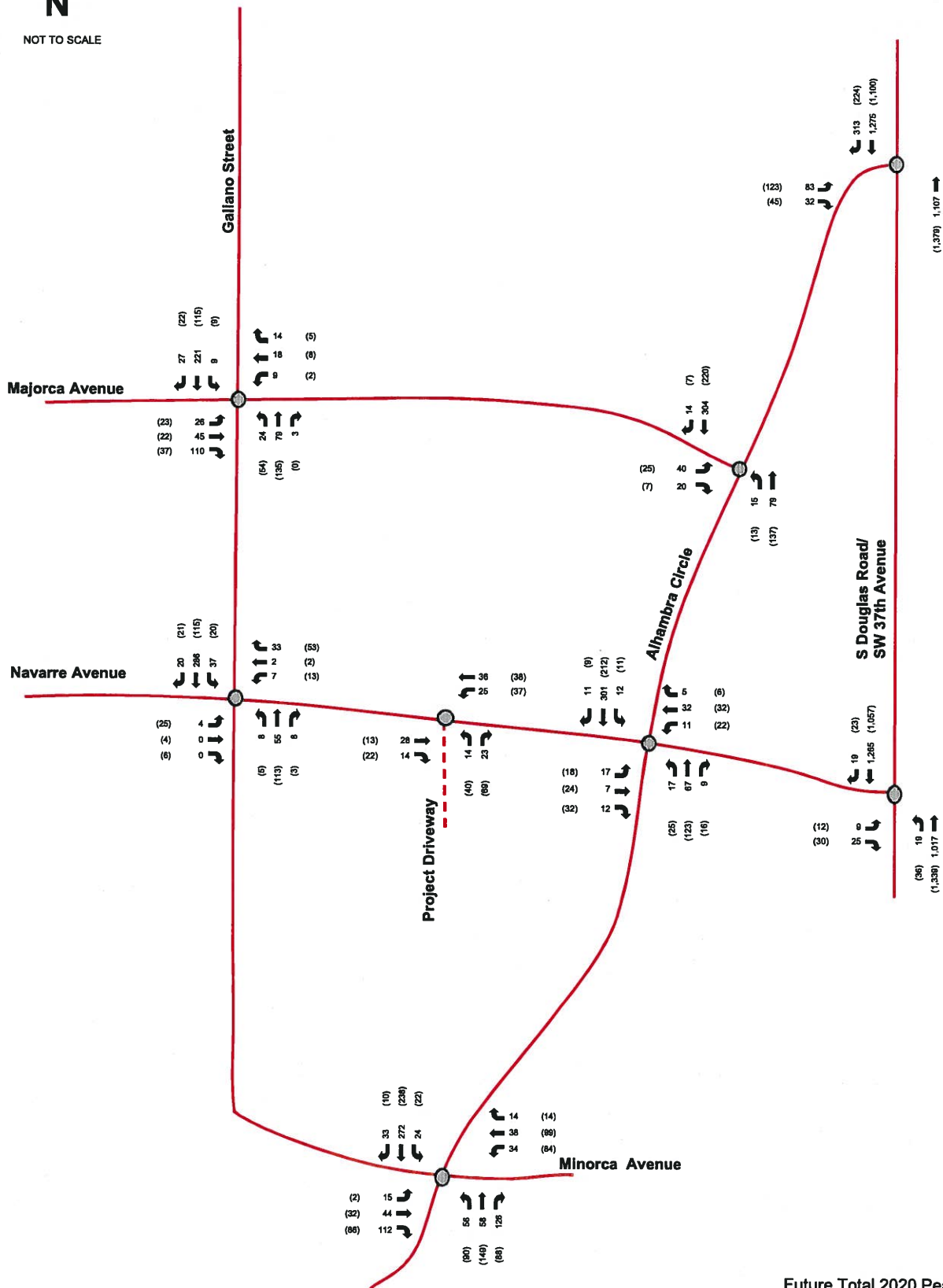


Figure 6  
Future Total 2020 Peak Hour Traffic  
A.M. and P.M. Peak Hours  
33 Alhambra Circle  
Coral Gables, Florida



## INTERSECTION CAPACITY ANALYSIS

The operating conditions were analyzed for the study intersections. Three (3) scenarios (existing conditions, future background conditions, and future total conditions) were analyzed using *Trafficware's SYNCHRO 8.0 Software*, which applies methodologies outlined in the *Highway Capacity Manual, 2010 Edition*. Synchro worksheets for the study intersections are included in Appendix H. A summary of the intersection analyses for the A.M. and P.M. peak hours is presented in Table 3. As this table indicates, the study intersections are expected to operate at accepted levels of service during the A.M. and P.M. peak hours under all analysis conditions.



Table 3: Intersection Capacity Analysis						
Intersection	Traffic Control	Overall LOS/Delay	Approach LOS			
			EB	WB	NB	SB
Existing Conditions (Background Conditions) [Future Total Conditions Scenario]						
A.M. Peak Hour						
Galiano Street and Majorca Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	B (B) [B]	(2)	(2)
Galiano Street and Navarre Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	A (A) [A]	(2)	(2)
Alhambra Circle and Majorca Avenue	One-Way Stop-Controlled	(1)	A (B) [B]	N/A	(2)	(2)
Alhambra Circle and Navarre Avenue	One-Way Stop-Controlled	(1)	B (B) [B]	B (B) [B]	(2)	(2)
Alhambra Circle and S Douglas Road/SW 37 <sup>th</sup> Avenue	Two-Way Stop-Controlled	(1)	D (E) [E]	N/A	(2)	(2)
Alhambra Circle and Minorca Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	B (B) [B]	(2)	(2)
S Douglas Road/SW 37 <sup>th</sup> Avenue and Navarre Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	N/A	(2)	(2)
Navarre Avenue and Project Driveway	One-Way Stop-Controlled	(1)	(2)	(2)	[A]	N/A
P.M. Peak Hour						
Galiano Street and Majorca Avenue	Two-Way Stop-Controlled	(1)	A (B) [B]	A (A) [B]	(2)	(2)
Galiano Street and Navarre Avenue	Two-Way Stop-Controlled	(1)	A (A) [A]	A (A) [A]	(2)	(2)
Alhambra Circle and Majorca Avenue	One-Way Stop-Controlled	(1)	A (A) [B]	N/A	(2)	(2)
Alhambra Circle and Navarre Avenue	One-Way Stop-Controlled	(1)	A (A) [B]	A (B) [B]	(2)	(2)
Alhambra Circle and S Douglas Road/SW 37 <sup>th</sup> Avenue	Two-Way Stop-Controlled	(1)	D (D) [E]	N/A	(2)	(2)
Alhambra Circle and Minorca Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	B (C) [C]	(2)	(2)
S Douglas Road/SW 37 <sup>th</sup> Avenue and Navarre Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	N/A	(2)	(2)
Navarre Avenue and Project Driveway	One-Way Stop-Controlled	(1)	(2)	(2)	[A]	N/A

Notes: <sup>(1)</sup> Overall intersection LOS is not defined, as intersection operates under stop-control conditions.

<sup>(2)</sup> Approach operates under free-flow conditions. LOS is not defined.



## SCHOOL TRAFFIC OBSERVATIONS

School traffic observations were performed at the Coral Gables Preparatory Academy – Lower Academy located at 105 Minorca Avenue immediately west of the project site at the request of Coral Gables staff. The purpose of these field observations is to determine if the proposed development would create adverse impacts to the school's operations including vehicular and pedestrian travel patterns.

The Lower Academy serves students from grades Pre-Kindergarten to 4<sup>th</sup> Grade. Pre-Kindergarten and 1<sup>st</sup> Grade students attend classes from 8:20 a.m. to 1:50 p.m. These students are required to arrive on campus by 8:10 a.m. Second Grade through 4<sup>th</sup> Grade attend classes from 8:35 a.m. to 3:05 p.m. These students are required to arrive on campus by 8:25 a.m. Since the proposed development is primarily a residential project, peak traffic volumes will occur between 7:00 a.m. and 9:00 a.m. and from 4:00 p.m. to 6:00 p.m. Therefore, potential impacts from the development on school traffic would typically occur during the overlapping a.m. peak period.

Field reviews were conducted on May 23, 2016 (Monday) from 2:30 p.m. to 3:30 p.m. and on May 24, 2016 (Tuesday) from 7:45 a.m. to 8:45 a.m. to assess school traffic operations along Galiano Street. Galiano Street directly abuts the school property to the west and the proposed development to the east. The following operations were noted during the arrival/dismissal periods:

- A portion of parents dropped students off in personal vehicles along the west side of Galiano Street between Majorca Avenue and Navarre Avenue approaching in the southbound direction in a designated curblane. Minorca Avenue between Galiano Street and Ponce De Leon Boulevard serves as one of the primary designated drop-off/pick-up points for personal vehicles.



- Two (2) school buses were observed dropping students off/picking students up along Galiano Street in the same designated area.
- Parents were also observed parking on-street and walking to the school to drop-off/pick-up students. On-street parking spaces in the vicinity of the proposed development along Navarre Avenue, Galiano Street, Minorca Avenue, and Galiano Street were observed to be occupied by residents of the adjacent multi-family residential uses. Therefore, parents were generally parking in on-street parking spaces one (1) or two (2) blocks from the school.
- Minimal school pedestrian traffic was observed crossing at the existing east-west crosswalks at Navarre Avenue and Galiano Street during both periods.
- Parents were observed performing illegal parking maneuvers, mid-block u-turn movements, and crossing the streets at unmarked locations.
- Existing school crossing signs on the east side of Galiano Street at Navarre Avenue were obscured by parked vehicles.

In general, there was minimal school-related congestion along the streets adjacent to the project site during the observation periods. Minimal congestion was observed along the southbound lane of Galiano Street from 8:05 a.m. to 8:25 a.m. consistent with peak drop-off period for parents.

As previously mentioned, the proposed development is primarily residential and is not expected to generate a significant number of trips during the school dismissal period. Therefore, any project impacts would typically occur during the overlapping a.m. peak period. The project's access is located along Navarre Avenue with full access to Alhambra Circle. Therefore, minimal project traffic is expected to travel along Galiano Street between Navarre Avenue and Minorca Avenue along the school's property during the a.m. peak period. As indicated in the analysis, less than ten (10) trips related to the proposed development are expected to travel along this subject segment during the a.m. peak hour. Therefore, the project is not expected to adversely impact traffic conditions in the vicinity of the school.



The project is proposing numerous improvements to the streetscapes adjacent to the site including corner and mid-block bulbouts along the east side of Galliano Street. These improvements will reduce the crosswalk distances at Navarre Avenue, improve the visibility of school crossing signs, and reduce the potential of midblock u-turn movements.



## CONCLUSIONS

This analysis has addressed traffic-related impacts associated with the proposed 33 Alhambra Circle mixed-use project consisting of 130 typical units and 16 live-work units, as well as 2,168 square feet of specialty retail. Based on the results of the analysis, the following is concluded:

- The project is expected to generate 58 new trips during the A.M. peak hour and 134 new trips during the P.M. peak hour.
- Intersection capacity analyses indicate that the study intersections are expected to operate at accepted levels of service during the A.M. and P.M. peak hours under all analysis conditions.
- School traffic observations were performed at the Coral Gables Preparatory Academy – Lower Academy located at 105 Minorca Avenue immediately west of the project site to determine if the proposed development would create any adverse impacts to the school's operations including vehicular and pedestrian travel patterns. Minimal school pedestrian traffic was observed crossing at the existing east-west crosswalks at Navarre Avenue and Galiano Street during both periods. Additionally, minimal project traffic is expected to travel along Galiano Street between Navarre Avenue and Minorca during the a.m. peak period. Therefore, the project is not expected to adversely impact school-related traffic conditions in the site's vicinity.



Return to: (Enclose self-addressed stamped envelope):

Prepared by:

Heather A. Scott, Esquire

Rosenthal Rosenthal Rasco Kaplan, LLC

20900 N. E. 30th Avenue

Suite 600

Aventura, Florida 33180

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MIAMI-DADE COUNTY, FLORIDA

Folio Numbers: 03-4108-007-1680; 03-4108-007-1681; 03-4108-007-1690;  
03-4108-007-1700; 03-4108-007-1710; 03-4108-007-1720.

Prepared without title review

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### QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED, executed this 6<sup>th</sup> day of July, 2012, by 1814 BRICKELL, LLC, a Florida limited liability company n/k/a TWJ ALHAMBRA, LLC, a Florida limited liability company, whose address is 100 S. Biscayne Blvd, Suite 900, Miami, FL 33131, first party, to TWJ ALHAMBRA, LLC, a Florida limited liability company, whose address is 100 S. Biscayne Blvd, Suite 900, Miami, FL 33131, second party:

(wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH, that the said first party, for and in consideration of the sum of \$10.00 in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land situate, lying and being in the County of Miami-Dade, State of Florida, to-wit:

**Lots 1, 2, 3, 4, 5, 6 and 7, Block 15, REVISED PLAT CORAL GABLES SECTION L, according to the Plat thereof as recorded in Plat Book 8, Page 85, of the Public Records of Miami-Dade County, Florida.**

**TO HAVE AND TO HOLD** the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

**NO DOCUMENTARY STAMP TAXES ARE DUE ON THIS QUIT CLAIM DEED, AS THE SAME IS BEING RECORDED ONLY TO REFLECT THE NAME CHANGE OF THE GRANTOR/GRANTEE.**

PER CUST.



IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered  
in the presence of:

Kathleen Crogan  
(Print Name) KATHLEEN CROGAN  
Maria A. Behar  
(Print Name) MARIA A. BEHAR

1814 BRICKELL, LLC, a Florida limited  
liability company n/k/a TWJ  
ALHAMBRA, LLC, a Florida limited  
liability company

By: [Signature]  
Print Name: Jerome Hollo  
Title: Manager

STATE OF FLORIDA )  
: ss.  
COUNTY OF MIAMI-DADE )

Sworn to and subscribed before me this 9th day of July, 2012, by  
JEROME HOLLO, as MANAGER, of 1814 BRICKELL, LLC, a Florida  
limited liability company n/k/a TWJ ALHAMBRA, LLC, a Florida limited liability company.

Kathleen Crogan  
NOTARY PUBLIC-State of Florida  
(Print, Type or Stamp Commissioned Name of Notary Public)  
KATHLEEN CROGAN

Personally known ☒ or produced identification \_\_\_\_\_  
Type of Identification Produced \_\_\_\_\_



Kathleen Crogan  
COMMISSION # DD959750  
EXPIRES: FEB. 26, 2014  
WWW.AARONNOTARY.com

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