Exhibit A



PEDESTRIAN VIEW
FROM CORNER OF ALHAMBRA CIRCLE & NAVARRE STREET

RESIDENTIAL MIXED-USE PROJECT

33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134





305.460.5211 planning@coralgables.com

www.coralgables.com

Application request

Abandonme Annexation Coral Gable Comprehen Comprehen Conditional Conditional Conditional Developme Developme Developme Mixed Uses Planned Are Restrictive Site Plan Separation/ Subdivision Transfer of University Zoning Code Cother: Street address	ea Development Designation and Site Plan ea Development Major Amendment Covenants and/or Easements Establishment of a Building Site Review for a Tentative Plat and Variance Development Rights Receiving Site Plan campus District Modification to the Adopted Cam e Map Amendment e Text Amendment in formation of the subject property: 20, 42 Navarre Ave., 33, 4	ge 13,& 47 Alhamb	Plan Plan Ora Circle, 2001 G		
Property/proje		1000000			
Legal description					
Block(s) 15	Section (s) Coral Gables :	Section L		
Property owne	r(s): TWJ Alhambra, LLC				
Property owne	r(s) mailing address: 100 S. Biscayne Blvd., Miami, F	L 33131			
Telephone:	Business <u>305-358-7710</u>	Fax 305-443	3-5986		
	Other			@	fecr.com
		1670			



Applicant(s)/a	agent(s): Guilford & Associates,	P.A.			
Applicant(s)/a	agent(s) mailing address: 400 L	Jniversity Dr. Suite 201, Cora	Gables,	FL 33134	
Telephone:	Business 305-446-8411	2010	x 305-44		
	Other		nail	zguilford	@ guilfordassoc.com
Propert	y information				
Current land	use classification(s): Residentia	al Multi-Family Medium Dens	ity		
Current zonin	g classification(s): Multi-Famil	y 2 District			
Proposed land	d use classification(s) (if applic	able): Commercial High-Rise	e Intensit	у	
Proposed zon	ing classification(s) (if applical	ble): Commercial District			
	and the second second second second	ca to lead the many land a land as			
Support	ting information	(to be complet	ed by	/ Plannin	g Staff)
Handbook, Se	ion Conference is required wit ecessary to be filed with the a ction 3.0, for an explanation o wes the right to request addition	pplication(s). Please refer of each item. If necessary,	to the PI attach a	anning Divison dditional sheets	Development Review Process to application. The Planning
	roviding for property owner's n supporting materials. n fees.	authorization to process a	pplicatio	on.	
☐ Application☐ Appraisal.	n representation and contact i	information.			
12-12-12-12-12-12-12-12-12-12-12-12-12-1	ral/building elevations.				
☐ Building flo					
	nsive Plan text amendment ju nsive Plan analysis.	stification.			
Annual Control	cy impact statement.				
☐ Encroachm					
	ntal assessment.				
☐ Historic co	ntextual study and/or historic	al significance determinati	on.		
☐ Landscape			····		
Lighting pla	an.				
☐ Massing m	odel and/or 3D computer mod	del.			
☐ Miami-Dad	le County Conflict of Interest a	and Code of Ethics Lobbyis	t form.		
	s, resolutions, covenants, deve			isly granted for t	the property.
Parking stu	dy.			m m Fast Edu	FILE LANGE
	ns of property, adjacent uses a	and/or streetscape.			
☐ Plat.					
Property su	rvey and legal description.				



Property owners list, notification radius map and two sets of labels.
Public Realm Improvements Plan for mixed use projects.
Public school preliminary concurrency analysis (residential land use/zoning applications only).
☐ Sign master plan.
☐ Site plan and supporting information.
☐ Statement of use and/or cover letter.
Streetscape master plan.
☐ Traffic accumulation assessment.
☐ Traffic impact statement.
☐ Traffic impact study.
Traffic stacking analysis.
Utilities consent.
☐ Utilities location plan.
☐ Vegetation survey.
☐ Video of the subject property.
☐ Zoning Analysis (Preliminary).
☐ Zoning Code text amendment justification.
☐ Warranty Deed.
Other:

Application submittal requirements

- 1. Hard copies. Sixteen (16) hard copies of the entire application shall be submitted including all items identified in the preapplication conference.
- 2. Digital media copies. Two (2) compact discs (CD ROMs) of the entire application including all the items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 Mb. All discs shall be labeled with the applicant(s) name, project name and date of submittal.

Applicant/agent/property owner affirmation and consent

- (I) (We) affirm and certify to all of the following:
- 1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request;
 or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
- 2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
- 3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
- 4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.



- 5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
- 6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
- 7. Understand that under Florida Law, all the information submitted as part of the application are public records.
- 8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

Property owner(s) signature(s):		Property owner(s) print name:		
		Dea	n Warhalt, manager Tws Alhambra LLC	
Property owner(s) signature(s):	n n	Property o	owner(s) print name:	
Property owner(s) signature(s):		Property o	owner(s) print name:	
Address:				
Telephone:	Fax:		Email:	
STATE OF FLORIDA/COUNTY OF The foregoing instrument was acknowled (Signature of Notary Public - State of Florida State of Flo	dged before me this rida)		of april by Dean Wathof	
(Print, Type or Stamp Commissioned Nat Rersonally Known OR Produced Ic	ne of Notary Public) Ientification; Type o	f Identificati	ion Produced	



Contract Purchaser(s) Signature:		Contract Purchaser(s) Print Name:		
Contract Purchaser(s) Signature:		Contract I	Purchaser(s) Print Name:	
Address:				
Telephone:	Fax:		Email:	
STATE OF FLORIDA/COUNTY OF The foregoing instrument was acknow (Signature of Notary Public - State of	vledged before me tl	RIZATION his day	y of by	
Personally Known OR Produced Applicant(s)/Agent(s) Signature: G.W. Talk Sluffo	d Identification; Type	Applicant GUL	on Produced(s)/Agent(s) Print Name: COLD & ASSOCIATES, P.A.	
Personally Known OR Produced Applicant(s)/Agent(s) Signature: W. Tall Sluffo	d Identification; Type	Applicant GUL	(s)/Agent(s) Print Name:	
Personally Known OR Produced Applicant(s)/Agent(s) Signature: Applicant(s)/Agent(s) Signature: Address: U00 UNIVERSION CORP. GARRE	DRIVES	Applicant GUL	(s)/Agent(s) Print Name:	
(Print, Type or Stamp Commissioned Personally Known OR Produced Applicant(s)/Agent(s) Signature: Address: 400 UNIVERSO CORRE GARRES Telephone: 365-446-8411	Fax: 301-4	Applicant GUL	(s)/Agent(s) Print Name:	
Personally Known OR Produced Applicant(s)/Agent(s) Signature: Au Lullo Address: 400 UNIVERSION CORM GARNE	Fax: 507- 4 NOTAL	Applicant GUL V COSS RIZATION his 2 day	(s)/Agent(s) Print Name:	
Personally Known OR Produced Applicant(s)/Agent(s) Signature: Address: 400 UNIVERSION CORRECTED GARRIES Telephone: 365-446-8411 STATE OF FLORIDA/COUNTY OF The foregoing instrument was acknown.	Fax: 30J-4 NOTAL Vledged before me the florida)	Applicant GUL V V COS 63 RIZATION his 2 day	Email: 7GO/FORO GUILFORD SECONDA SOCIATES, P.A. Email: 7GO/FORO GUILFORD SECONDA SOCIATES, P.A. LIDIA GONZALEZ BY COMMISSION # FF 100466 EXPIRES: May 1, 2018	

Guilford & Associates, P.A. Attorneys at Law

F. W. ZEKE GUILFORD

E-MAIL: ZGUILFORD@GUILFORDASSOC.COM

May 15, 2017

400 UNIVERSITY DRIVE SUITE 201 CORAL GABLES, FLORIDA 33134

> TEL (305) 446-8411 FAX (305) 445-0563

Mr. Ramon Trias Planning and Zoning Director City of Coral Gables 405 Biltmore Way Coral Gables, FL 33134

RE: <u>42 Navarre Avenue / Comprehensive Land Use Change, Zoning Change and Site Plan</u> <u>Approval</u>

Dear Mr. Trias:

This firm represents the TWJ Alhambra, LLC, the owner of block 15 of Coral Gables Section L, which is bordered by Galiano Street, Alhambra Circle, and Navarre Avenue relative to this application for a change in the comprehensive land use map, a change of zoning and site plan approval for the proposed development.

Currently there are six (6) buildings located on the property consisting of one and two stories multifamily dwelling units. The property is currently master planned as residential multifamily medium density and has a zoning designation of multi-family 2 district. The property is uniquely situated. It is across the street from Coral Gables Elementary, a new 16 story residential development and the commercial downtown. The building located at 42 Navarre Avenue has been declared a historic building and is being incorporated into the design of the overall development of the property. The owner is requesting a change of land use to high intensity commercial, a change of zoning to commercial and site plan approval for a mixed-use development. It is very important to note that the development will remain residential.

The owner has been working with staff for over three years. The original proposal was for a 16 story Mediterranean designed building that will consist of 21 ground floor live-work units and 168 residential units. The parking was proposed to be provided in a 5 level parking garage. Since that time, the owner and its representatives have been working with the neighbors and staff to reduce the size of the building and density. The historic structure will remain on the property and be incorporated into the development located above the first floor. Due to the unique configuration of the site and maintaining the historic structure, the building under the first proposal was taller than if the historic structure was removed. The final use of the historic property has not be determined at this time.

Mr. Ramon Trias May 15, 2017 Page 2

The second proposal reduced the height of the building to ninety seven feet. This is consistant with the as of right height. This proposal was shaped as a "T", with the Alhambra frontage going property line to property line. In this proposal, the building was reduced by five units.

The final proposal is still at ninety seven feet. However, the frontage along Alhambra has been reduced by twenty five percent. A portion of the building has been removed to allow a green space of over ten thousand square feet. The number of units has been reduced to one hundred and thirty residential units and sixteen live work units.

The application was reviewed by the Development Review Committee (DRC) on November 22, 2013 and the architectural plans were reviewed and received preliminary approval by the city's Board of Architects on April 10, 2014.

In addition, due to the historic building located on one of the lots, the proposed new construction had to be reviewed by the Historic Preservation Board. On September 18, 2014 the Historic Preservation Board approved the site plan of the new development.

Based upon the foregoing, we would sincerely appreciate your favorable consideration of our application. If you have any questions or need any additional information, please do not hesitate to contact me.

Very sincerely, Guilford & Associates, P.A.

F.W. Zeke Guilford, Esa

Owner's Representatives

Owner:

TWJ Alhambra, LLC 100 Biscayne Blvd. Suite 900

Miami, FL 33131

Attention: Dean Warhaft Telephone No: 305-358-7710

Fax No: 305-358-1619

Email Address: dwarhaft@fecr.com

Architect:

Bellin and Pratt 285 Sevilla Avenue Coral Gables, FL 33134

Attention: Marshall Bellin, Glenn Pratt

Telephone No: 305-447-1927 Fax No: 305-443-443-5986

Email Address: glenn@bellinandpratt.com Email Address: marshall@bellinandpratt.com

Traffic Engineer:

Kimley-Horn and Associates, Inc. 5200 NW 33rd Avenue

Suite 109

Fort Lauderdale, FL 33309

Attention: John J. McWilliams, P.E. Telephone No: 954-535-5100

Email Address: john.mcwilliams@kimley-horn.com

Attorney:

Guilford & Associates, P.A. 400 University Drive

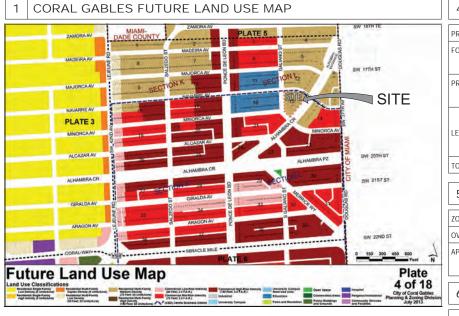
Suite 201

Coral Gables, FL 33134

Attention: F.W. Zeke Guilford, Esq. Telephone No: 305-446-8411

Fax No: 305-445-0563

Email Address: zguilford@guilfordassoc.com



2 CORAL GABLES ZONING MAP SITE Zoning Map Plate 4 of 18 3 BIRD'S EYE VIEW



4 GENERA	AL SITE INFORMATION		
PROPERTY ADDRESS	33 AHMABRA CIRCLE, CORAL GABLES FL. 33134		
FOLIO #	03-4108-007-1680, 03-4108-007-1690, 03-4108-007-1700 03-4108-007-1681, 03-4108-007-1710, 03-4108-007-1720		
PROPERTY OWNER	TWJ ALHAMBRA, LLC 100 SOUTH BISCAYNE BOULEVARD SUITE 900 MIAMI, FL 33131		
LEGAL DESCRIPTION	LOTS 1,2,3,4,5, 6 & 7 OF REVICED PLAT CORAL GABLES SECTION L, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 85 THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA	LOT AREA 48,770.00 sq.ft	
TOTAL LOT AREA		48,770.00 sq.ft (1.12 Acres)	
5 ZONING	SINFORMATION		
ZONING DISTRICT	MULTI-FAMILY 2 DISTRICT (MF-2)		
OVERLAY	CENTRAL BUSOINESS DISTRIC (CBD)		
APPLICABLE CODES	ZONING CODE OF CORAL GABLES FLORIDA BUILDING CODE 2010 EDITION FLORIDA FIRE PREVENTION CODE, NFPA 101 2010 EDITION		

	6	6 FLOOR AREA (F.A.R.) - PROPOSED ZONING (MXD)						
LOT AREA		REA	MIXED USE DENSITY (MXD) F.A.R.	MEDITERRANEAN BONUS TABLE 1 & 2	ALLOWED	PROVIDED		
	48,770 sq.ft.		3.0	0.5	3.5			
			146,310 sq.ft.	24,385 sq.ft.	170,695 sq.ft.	143,486 sq.ft.		
	TOTAL F.A.R. 27,209 sq.ft. Under F.A.R.		143,486 sq.ft. (2.94 F.A.R.)					
	7 MIXED USE BUILDING REQUIREMENTS SEE GROUND FLOOR LEVEL A					SEE GROUND FLOOR LEVEL A1.1		

ı	7 MIXE	SEE GROUND FLOOR LEVEL A1.1		
١	SECTION 4-201, TAI	BLE 1	REQUIRED	PROVIDED
	MIXED USE	MINIMUM 8% PERCENT OF TOTAL SO.FT. OF BUILDING SO.FT. OR ENTIRE GROUND FLOOR, WHICH EVER IS GREATER OF	TOTAL OF BUILDING sq.ft. 8% of 143,486 sq.ft. = 11,479	11,325
	PERCENTAGES PERMITTED FLOOR USES.	TOTAL OF GROUND FLOOR sq.ft. 8% of 41,840 sq.ft. = 3,347 sq.ft.	11,325	

	8	HEIGHT	SEE BUILDING ELEVATIONS –A3.1,A3.2,A3.3—				
	DESC	RIPTION	MXD MAP DESIGNATION	MAX AS PER 5-604	ADD FEET FOR MEDITERRANEAN ARC. STYLE	ALLOWED	PROVIDED
ı	MAXIN	JUM HEIGHT	97'-0"	97'-0"	27'-0" / 2 FLOORS	124'-0"	108'-0"
n	EXCLI	JSION FROM IT		AS PER 5-604 REQUIRED STANDARS, TABLE 1 REF.#3 ORNAMENTAL STRUCTURES NO TO EXCEED 25'-0"			11'-0"
W.	EXCLI HEIGH	JSION FROM IT	DM TABLE 1 REF.#3 ORNAMENTAL STRUCTURES NOT TO EXCEED 1/3 OF THE ALLOWABLE BUILDING HEIGHT			97'-0" /3 =32'-4"	
	TOTA	L HEIGHT					108'-0"

9	SETBACKS			SEE GROUN	ID FLOOR LEVEL A1.
DESC	RIPTION	LOCATION	ZONING CODE	REQUIRED	PROVIDED
FRON	T STREET (SOUTHEAST)	ALHMABRA CIRCLE			0'-0"
SIDE S	STREET (NORTHEAST)	NAVARRE AVENUE	ALLOWED REDUCTIONS TO		0'-0"
SIDE S	STREET (NORTH)	NAVARRE AVENUE	ZERO (0) AS PER 5-604 TABLE 3, REF.#1 OTHER	0'-0"	26'-10"
SIDE S	STREET (WEST)	GALIANO STREET	DEVELOPMENT PTIONS FOR DEVELOPMENT BONUSES		0'-0"
SIDE S	STREET (SOUTHWEST)	MINORCA AVENUE	STANDARS		0'-0"

	10 OPEN SPACE REDUCTION AT GROUND LEVEL SEE GROUND FLOOR LEVEL A0.1						
•	AREA RECEIVED FROM SETBACK REDUCTION		ZONING CODE DESCRIPTION		MINIMUM REQUIRED OPEN SPACE	PROVIDED	
	11,169.60	sq.ft.	SECTION 5-604			47% = 5,264 sq.ft.	
			TABLE 3 #1	GARDEN	25% = 2,792 sq.ft.	22% = 2,407 sq.ft.	
	TOTAL					69% = 7,671 sq.ft.	

11 BUILDING FRONTAGE SEE GROUND FLOOR LEVEL A1.1							
LOCATION	REQUIRED PROVIDED						
ALHMABRA CIRCLE	PRIMARY STREET/CIRCLE	296'-0"	50% = 148'-0"	279'-0"			
NAVARRE AVENUE	SECONDARY STREET/AVENUE	278'-0"	40% = 111'-3"	64'-10" + 71'-6" + 69'-5"= 205'-9"			
GALIANO STREET	SECONDARY STREET/AVENUE	225'-8"	40% = 90'-3"	196'-7"			
MINORCA AVENUE	SECONDARY STREET/AVENUE	89'-10"	40% = 35'-11"	86'-10"			

	12 PARKING D	DATA			
	DESCRIPTION	VALUE	ZONING CODE	REQUIRED	PROVIDED
	RESIDENTAIL	1.00 PER STUDIO	5-1409	12 x1.00 =	12
		1.00 PER 1 BEDROOM UNIT	5-1409	86 x1.00= 86	86
		1.75 PER 2 BEDROOM UNIT	5-1409	32 x 1.75 =	56
		1.00 PER LIVEWORK (LIVING AREA)	5-1409	16 x 1.00 =	16
	WORK AREA / LIVEWORK	1 PER 350 EVERY sq.ft.	5-1409	10,268 sq.ft./350=	36
_	TOTAL HC PARKING SPACES	FROM 201 to 300 - 7 HC SPACES		7 (WITHIN THE TOTAL)	7 (WITHIN THE TOTAL
	TOTAL SPACES (Required)			(199.34) 200	
	TOTAL SPACES (Provided)	2nd Flr. / 40 , 3rd Flr. / 85, 4th Flr. / 85			210
	BIKE PARKING SPACES			5x200 / 250 = 4	12
	ON STREET PARKING	EXISTING ON STREET PARKING			0
		PROPOSED ON STREET PARKING			16
		NET GAIN ON STREET PARKING			16

	BUILDING GROSS AREA	
DESCRIPTION	VALUE	TOTAL
RESIDENTAIL	16 LIVEWORK UNITS (NET LEASABLE MEZZANINE)	9,547 sq.ft.
	130 UNITS (NET LEASABLE)	122,613 sq.ft.
	CIRCULATION, BACK OF HOUSE	15,528 sq.ft.
	TERRACES, BALCONIES & POOL DECK (5TH FLOOR)	14,576 sq.ft.
]	BALCONIES (6TH TO 10TH FLOOR)	2,250 sq.ft.
WORK / LIVEWORK	16 LIVEWORK UNITS (NET LEASABLE GROUND FLOOR)	11,325 sq.ft.
GROUND FLOOR	LOBBY	3,205 sq.ft.
	ARACADES	9,696 sq.ft.
	MECHANICAL, ELECTRICAL, STORAGE, VERTICAL CIRCULATION	12,968 sq.ft.
PARKING GARAGE		103,106 sq.ft.
TOTAL GROSS		304,814 sq.ft.

	1					,
	TOTAL	. GROSS				304,814 sq.ft.
	14	RESIDENT	IAL DENSITY			
A1.1	DESCI	RIPTION	COUNT	CODE / DENSITY	LOT AREA	PROVIDED
	STUDI	0	12 UNITS (8.22 %)	MXD	48,770.00 sq.ft (1.12 Acres)	12
	1 BED	ROOM	86 UNITS (58.90 %)	125 UNITS per Acre (140) CBD		86
	2 BED	ROOM	32 UNITS (21.92 %)	NO DENSITY LIMITATION APPLIES IN		32
	LIVE V	VORK 1 BEDROOM	16 UNITS (10.96 %)	(CBD)		16
	TOTAL	. UNITS				146
	15	LANDSCA	PE OPEN SPAC	E		

ALLOWED/REQUIRED

LANDSCAPE @ GROUND LEVEL

PERVIOUS PLAZAS & COURTYARDS

PLANTERS AT REC. LEVEL (5TH FLOOR)

LANDSCAPE @ PARKWAYS

10% LOT AREA FOR MIXED USE PROPERTIES 48,770 x 10% = 4,877 sq.ft.

DESCRIPTION

OPEN SPACE

TOTAL

AREA

48,770.00 sq.ft (1.12 Acres)

COURTYARDS CONSIDER OPEN SPACE UP TO 75% MAX. OF

PERVIOUS PLAZAS &

REQUIRED LANDSCAPE 4,8770 x 75% = 3,658 sq.ft.

ARCHITECT:
Bellin & Pratt architects, LLC
285 sevilla avenue coral gables. florida. 33134

tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

@ 2017 BELLIN & PRATT ARCHITECTS,

PROJECT NAME:

Proposed Residential Mixed-Use Project

PROPERTY ADDRESS 33 Alhambra Circle Coral Gables FL

OWNER INFORMATION TWJ Alhambra, LLC 100 South Biscayne Boulevard Suite 900 Miami FL 33131

CITY COMMISSION 2nd Reading

ISSUE DATE: 04.18.2017 PROJECT No.: 2013-07 DRAWN BY: T.C. & D.F. APPROVED BY: M.B. & G.P.

REVISIONS:

No.	Description	Date

ALL DRAWINGS AND WRITTEN MATERIALS
HEREIN CONSTITUTE ORIGINAL WORK OF
THE ARCHITECT AND MAY ONLY BE
DUPLICATED WITH THEIR WRITTEN CONSENT



SHEET TITLE:

PROVIDED

5,869 sq.ft

7,405 sq.ft.

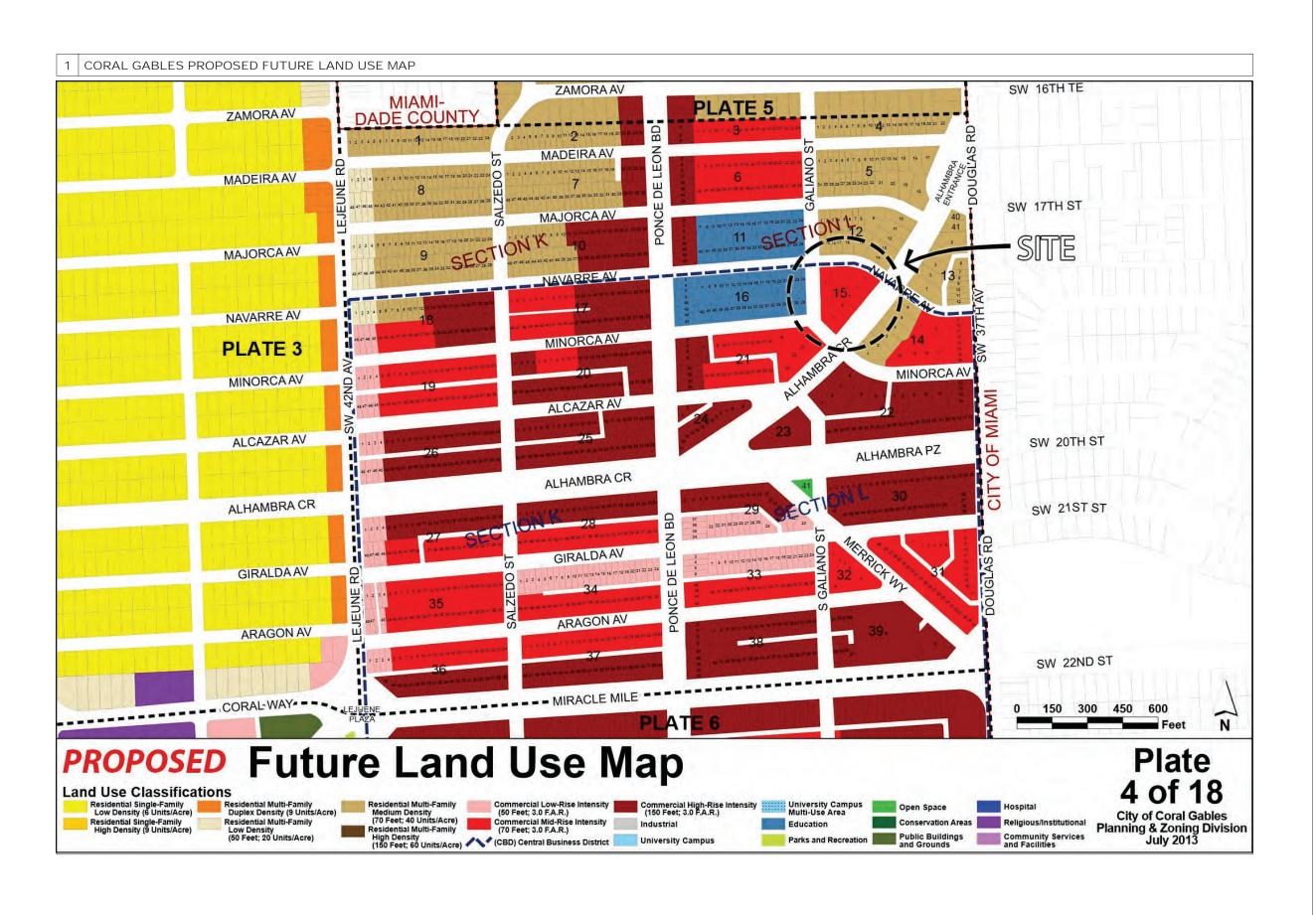
2,141 sq.ft.

1,854 sq.ft.

17,269 sq.ft. =35.40%

ZONING ANALYSIS

SCALE: 1/4" = 1'-0" SHEET No.



ARCHITECT:

Bellin & Pratt

AA260008

285 sevilla avenue coral gables. florida. 33134 tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Address Address Phone Fax

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CITY COMMISSION 2nd Reading

ISSUE DATE: 04.18.2017
PROJECT No.: 2013-07
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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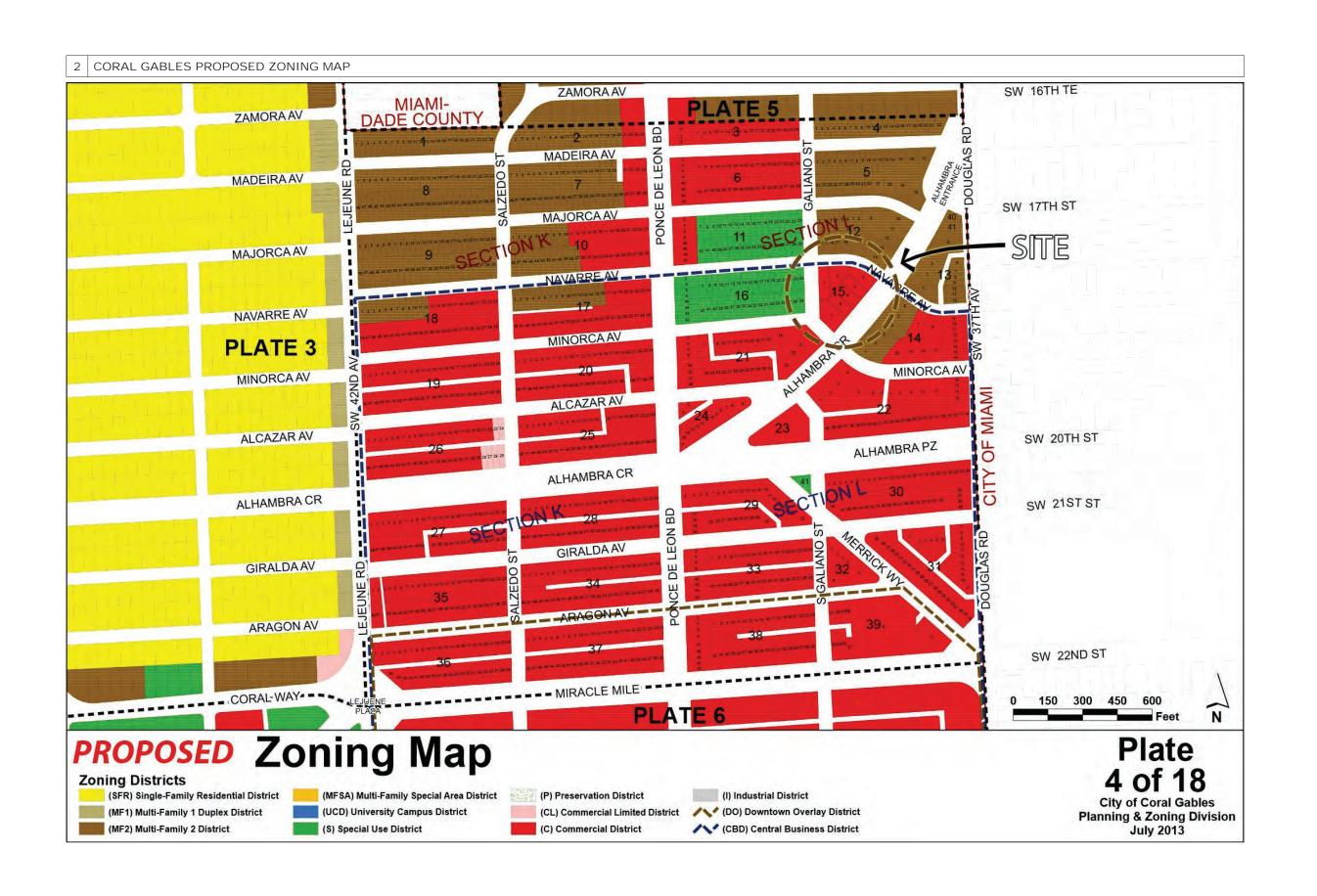
SHEET TITLE

Proposed Future Land Use Map

SCALE: 1/4" = 1'-0"

SHEET No.:

A0.0a



ARCHITEC

Bellin & Pratt

AA2600086

285 sevilla avenue coral gables. florida. 33134 tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Address Address Phone Fax

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SHEET TITLE:

Proposed Zoning Map

SCALE: 1/4" = 1'-0"

SHEET No.:

A0.0b



Area Sch	nedule (Zonin	g Areas)
Name	Area	Area Tvr

Lv. 1 Ground Historic LIVE/WORK 1 394 SF Floor Area LIVE/WORK 2 497 SF Floor Area LIVE/WORK 3 561 SF Floor Area LIVE/WORK 4 616 SF Floor Area LIVE/WORK 5 616 SF Floor Area LIVE/WORK 6 732 SF Floor Area LIVE/WORK 7 732 SF Floor Area LIVE/WORK 8 616 SF Floor Area LIVE/WORK 9 616 SF Floor Area LIVE/WORK 10 560 SF LIVE/WORK 11 501 SF Floor Area LIVE/WORK 12 723 SF Floor Area LIVE/WORK 13 672 SF

Lv. 2 Live-Work		
Historic	1057 SF	Floor Are
LIVE/WORK 1	540 SF	Floor Are
LIVE/WORK 2	546 SF	Floor Are
LIVE/WORK 3	572 SF	Floor Are
LIVE/WORK 4	540 SF	Floor Are
LIVE/WORK 5	513 SF	Floor Are
LIVE/WORK 6	520 SF	Floor Are
LIVE/WORK 7	520 SF	Floor Are
LIVE/WORK 8	513 SF	Floor Are
LIVE/WORK 9	540 SF	Floor Are
LIVE/WORK 10	572 SF	Floor Are
LIVE/WORK 11	546 SF	Floor Are
LIVE/WORK 12	374 SF	Floor Are
LIVE/WORK 13	578 SF	Floor Are
LIVE/WORK 14	504 SF	Floor Are
LIVE/WORK 15	479 SF	Floor Are
LIVE/WORK 16	632 SF	Floor Are

Lv. 5 Pedestal		
Area	1519 SF	Floor Area
Area	18456 SF	Floor Area
Lv. 5 Pedestal	19975 SF	

9547 SF

20550 SF Floor Area 20550 SF Level 6

20522 SF Floor Area 20522 SF Level 7 20522 SF Floor Area

Level 9 Area 20522 SF Floor Area 20522 SF Level 9

20522 SF

Level 10 Area Level 10 20522 SF Floor Area 20522 SF 143486 SF

Bellin & Pratt architects, LLC

285 sevilla avenue coral gables. florida. 33134 tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

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PROJECT NAME:

Proposed Residential Mixed-Use Project

PROPERTY ADDRESS 33 Alhambra Circle Coral Gables FL

OWNER INFORMATION TWJ Alhambra, LLC 100 South Biscayne Boulevard Suite 900 Miami FL 33131

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MARSHALL BELLIN AR-5564 GLENN H PRATT, AIA, AR-96

SHEET TITLE:

F.A.R.

SCALE: 1" = 30'-0"



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SHEET TITLE:

MXD & SETBACK GR. FLOOR PLAN

SCALE: As indicated

SHEET No.:

A0.1



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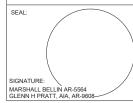
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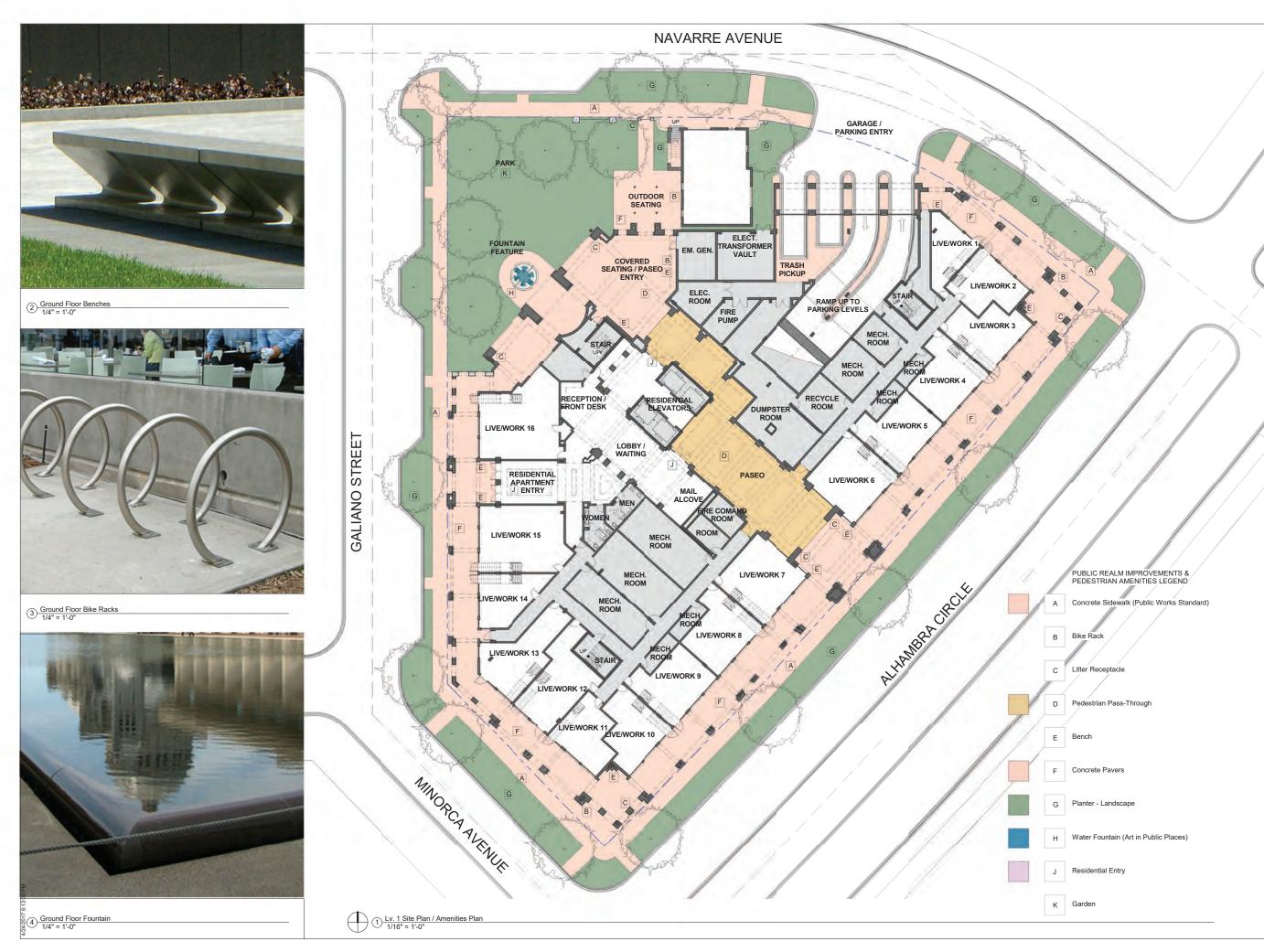


SHEET TITLE:

Site Plan

SCALE: 1/16" = 1'-0"

SHEET No.:



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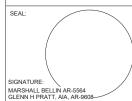
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PROJECT No.: 2013-07
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SHEET TITLE:

SITE PLAN / PEDESTRIAN AMENITIES

SCALE: As indicated

ET No.:



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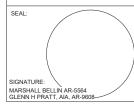
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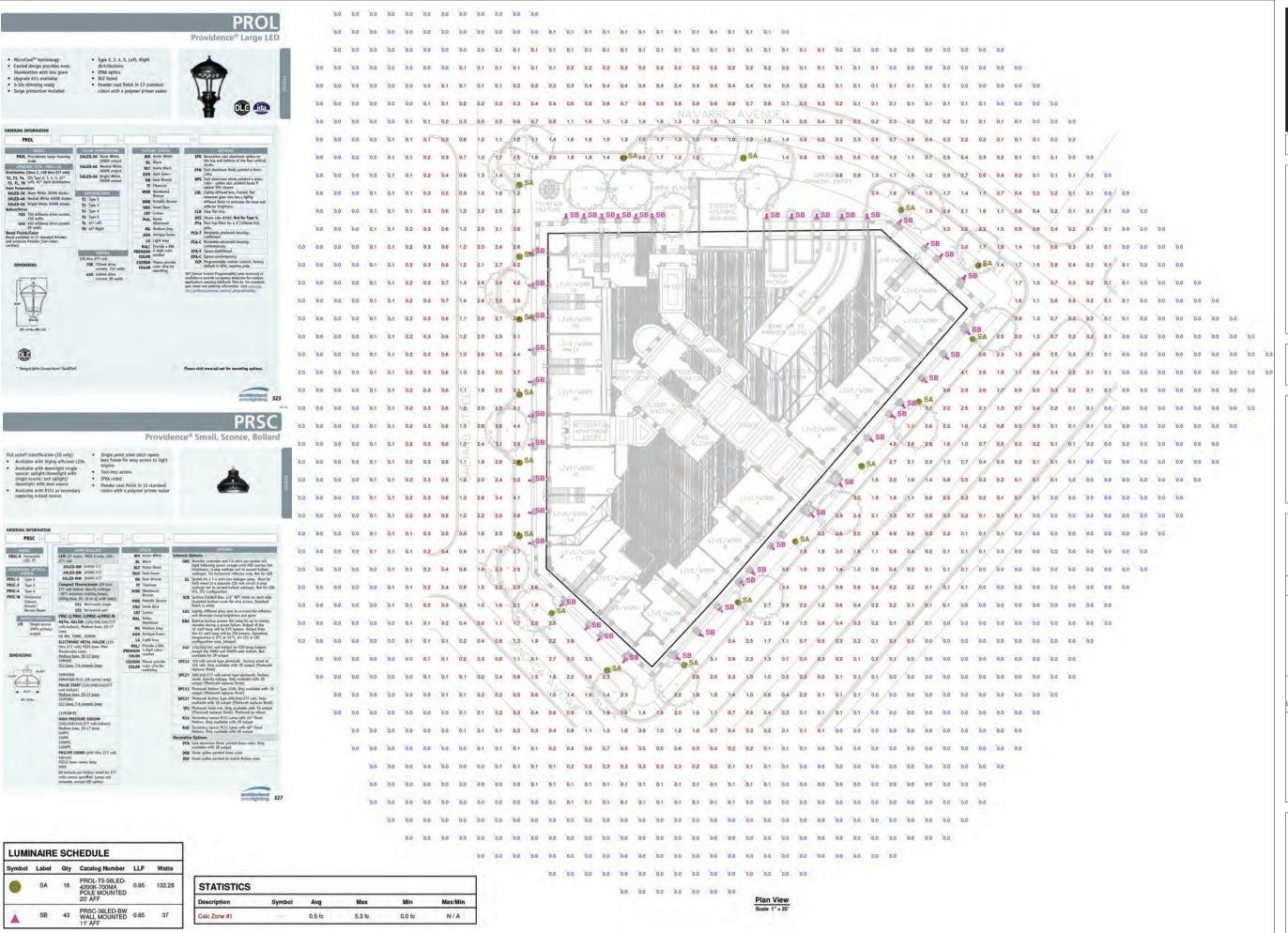
SHEET TITLE:

Site Plan / Statements

SCALE: As indicated

ET No.:

A1.1b



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SHEET TITLE:

Site Plan Lighting Spillover SCALE: Analysis

A1.1c



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PROJECT NAME:

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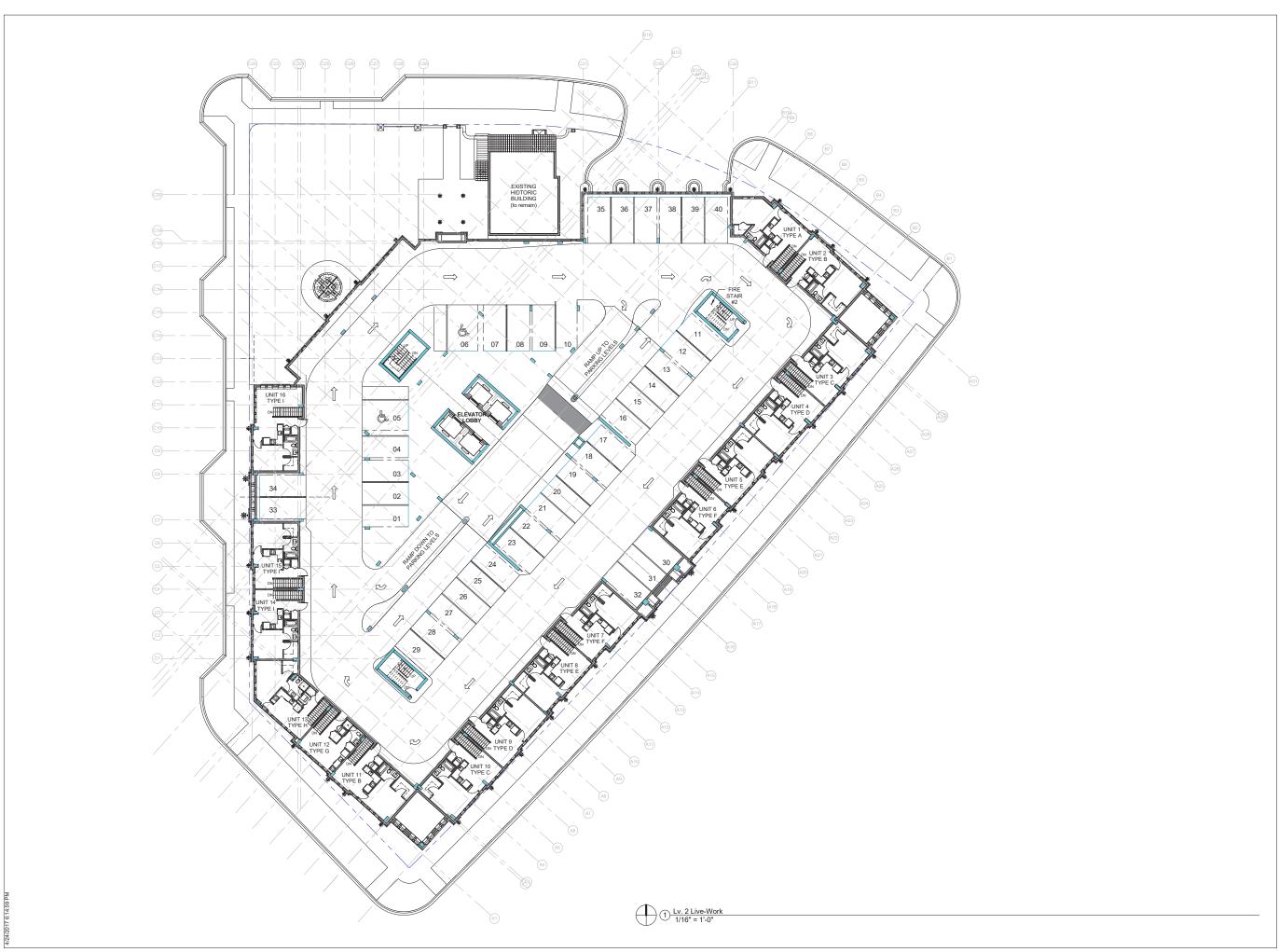
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Signage & **Utilities Ground** Floor Plan

SCALE: As indicated



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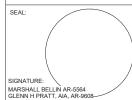
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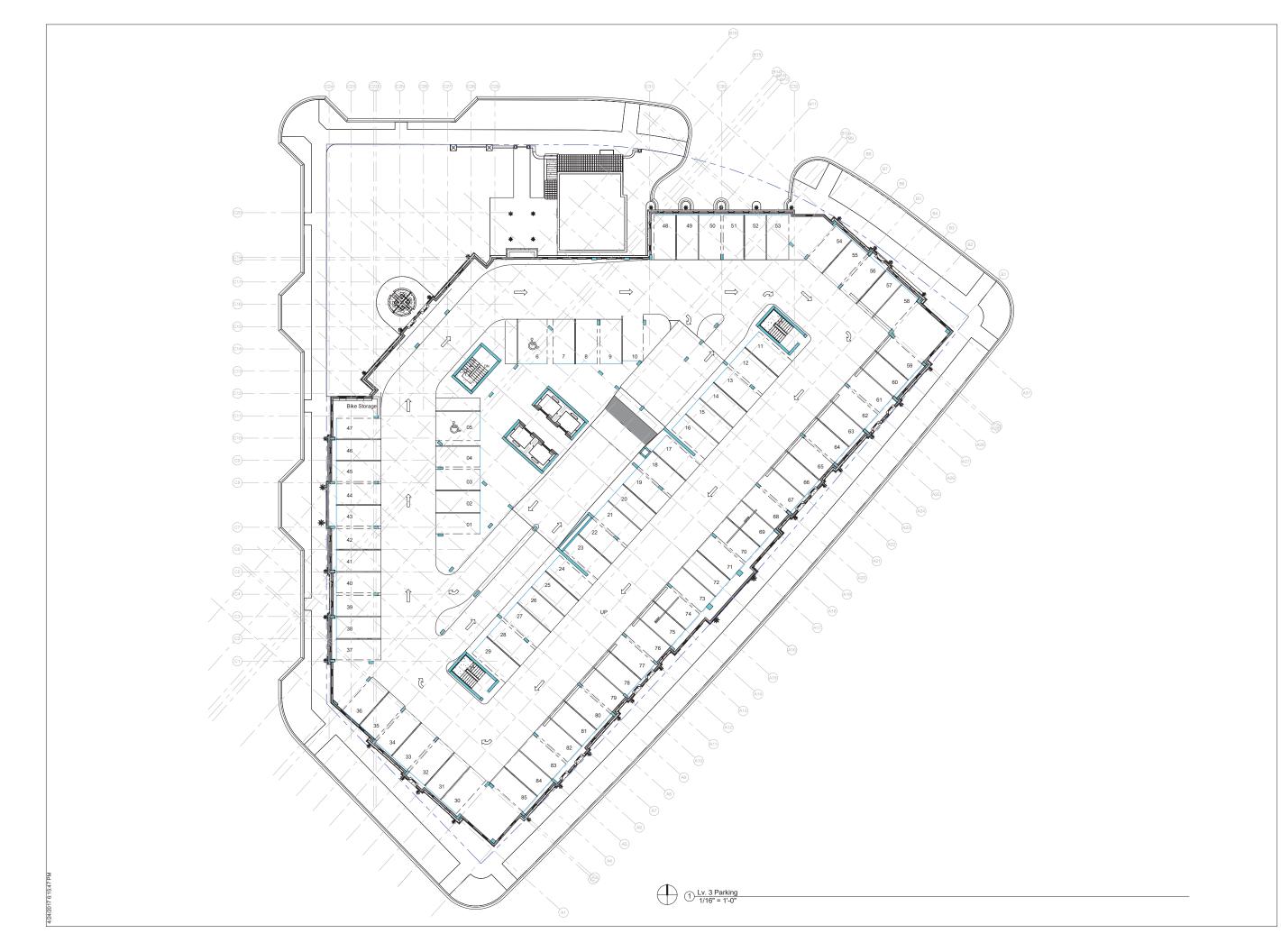


SHEET TITLE:

2nd Floor Level Floor Plan

SCALE: 1/16" = 1'-0"

SHEET No.:



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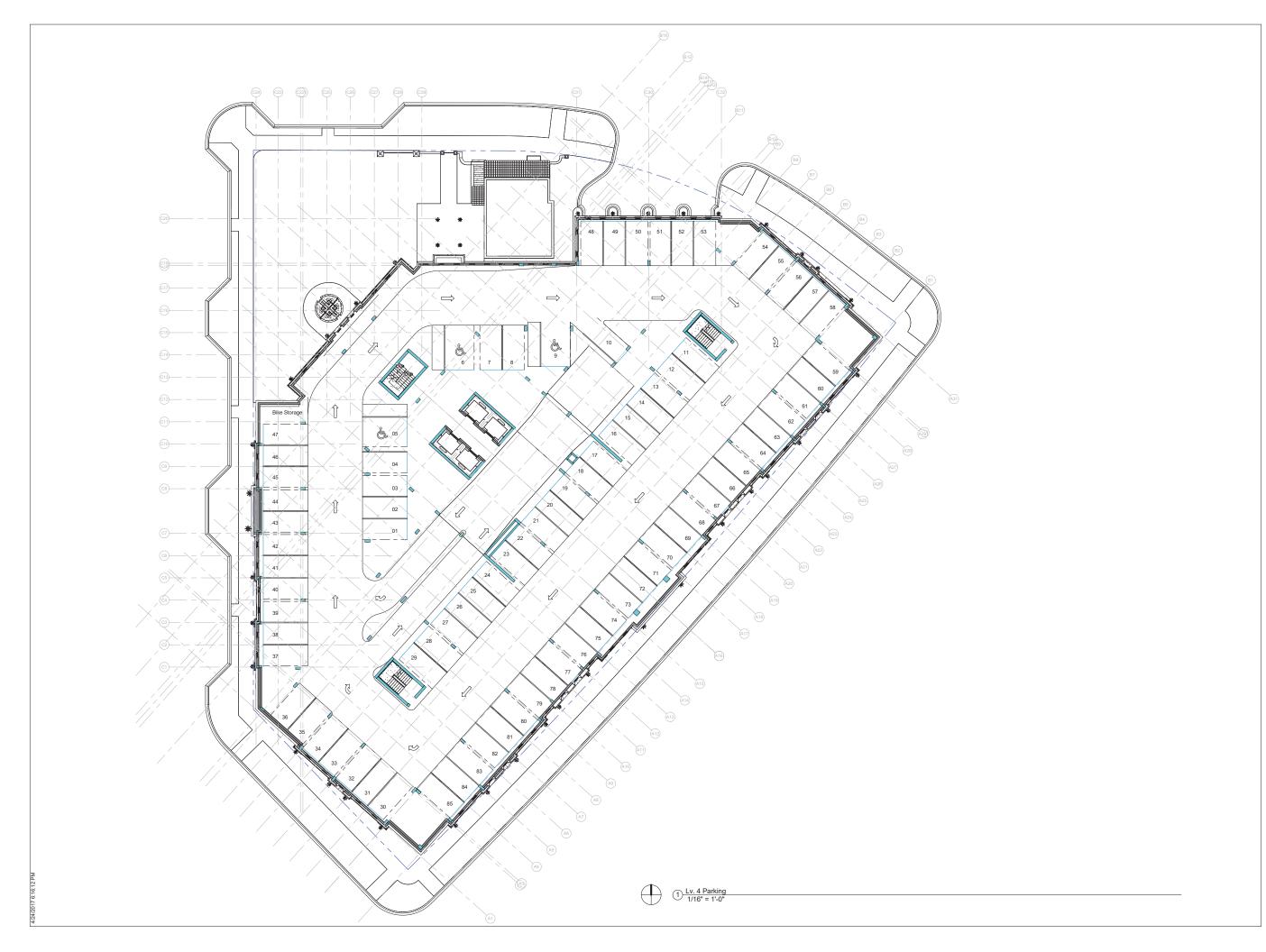


SHEET TITLE:

Parking 3rd Level / Floor

Layout | 1/16" = 1'-0"

SHEET No.:



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PROJECT NAME:

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PROPERTY ADDRESS 33 Alhambra Circle Coral Gables FL

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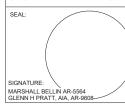
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SHEET TITLE:

Parking 4th Level / Floor

Layout | 1/16" = 1'-0"

SHEET No.:



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PROPERTY ADDRESS 33 Alhambra Circle Coral Gables FL

OWNER INFORMATION TWJ Alhambra, LLC 100 South Biscayne Boulevard Suite 900 Miami FL 33131

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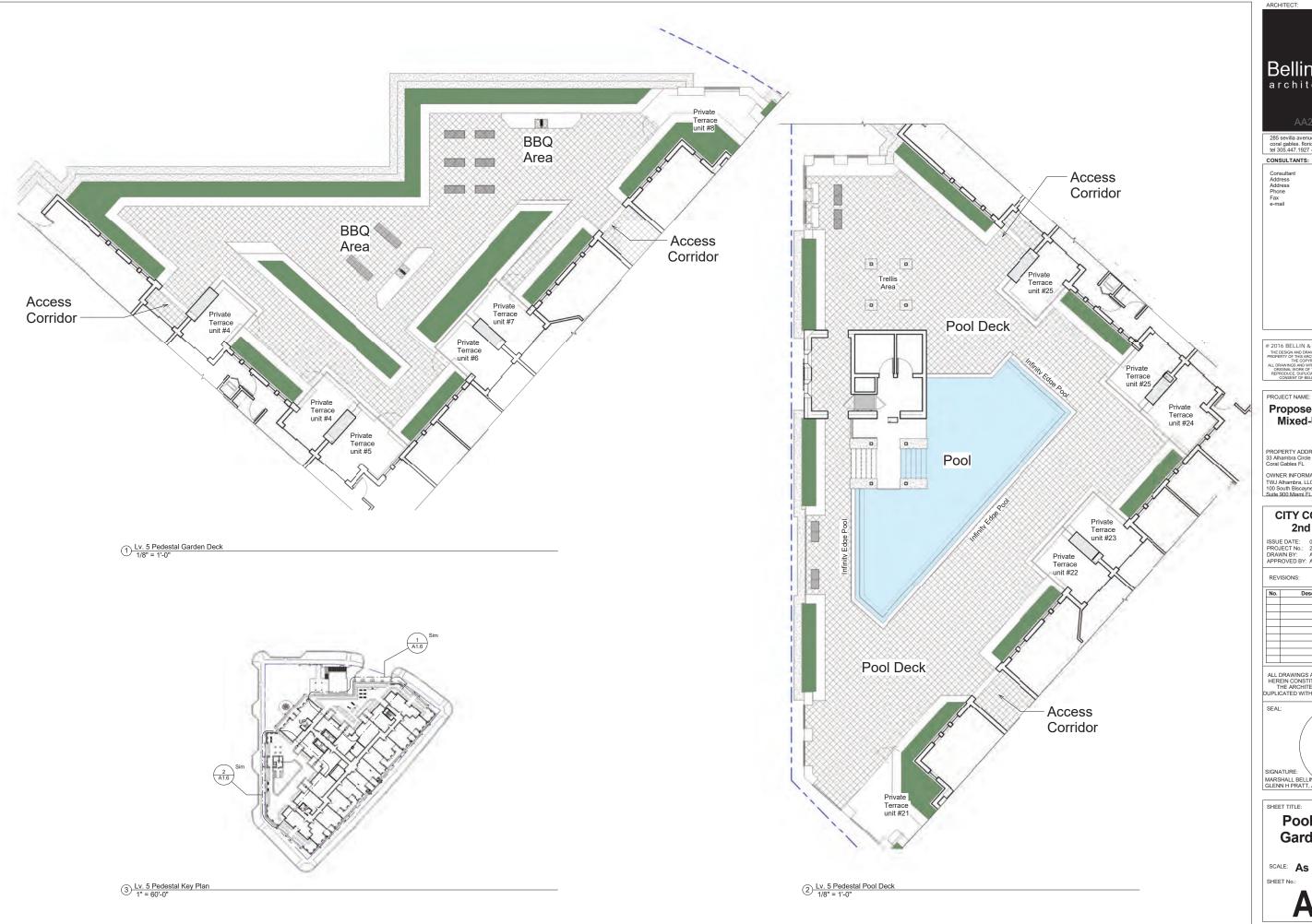


SHEET TITLE:

5th Floor Level Floor Plan

SCALE: 1/16" = 1'-0"

SHEET No.:



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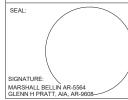
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SHEET TITLE:

Pool Deck & **Garden Deck**

SCALE: As indicated



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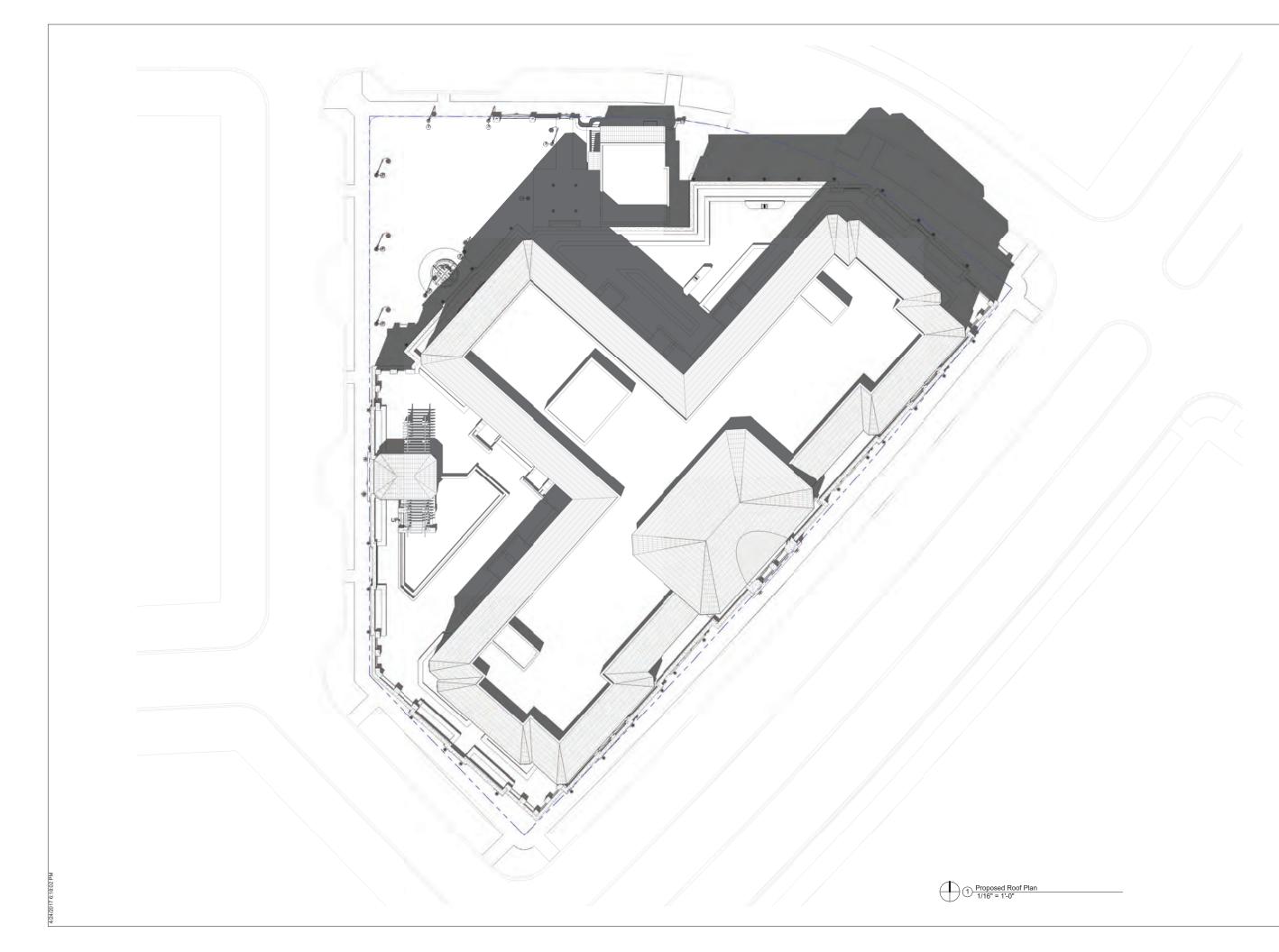


SHEET TITLE

6th Floor Level Floor Plan

SCALE: 1/16" = 1'-0"

SHEET No.:



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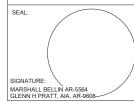
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SHEET TITLE:

PROPOSED ROOF PLAN

SCALE: 1/16" = 1'-0"

SHEET No.:



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SHEET TITLE:

BUILDING ELEVATIONS

SCALE: 3/32" = 1'-0"

SHEET No.:



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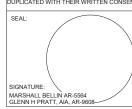
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SHEET TITLE:

BUILDING ELEVATIONS

SCALE: 3/32" = 1'-0"

SHEET No.:





Elevation Material Legend

0504 Decorative Aluminum Vent/Grill panel on Precast Concrete Frame

0614 Cedar Wood Trellis (Concealed Con Submitt Shop Drawings) 0620 Decorative Precast Molding 0621 Architectural Precast Band



3 3D View 6

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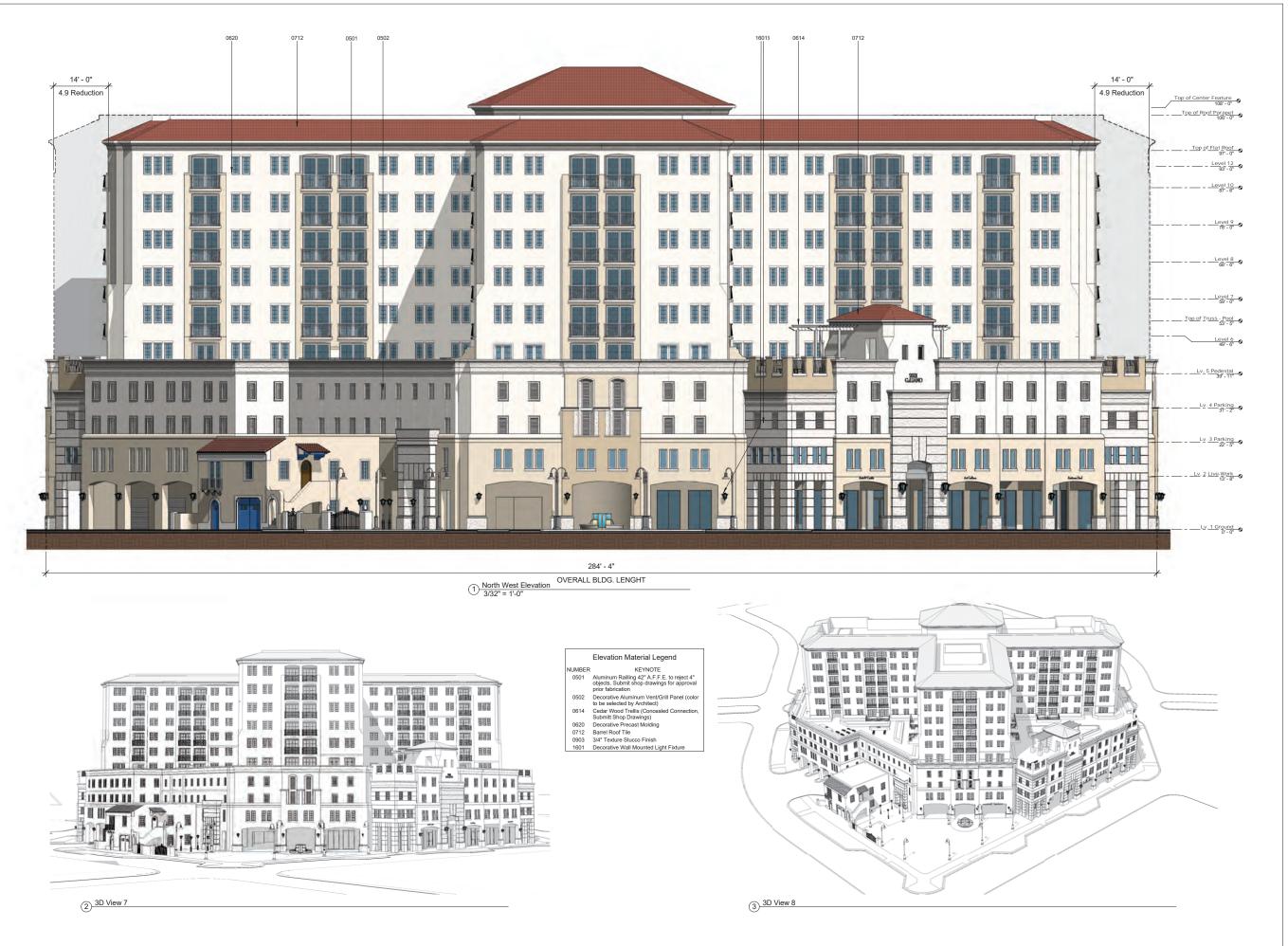


SHEET TITLE:

BUILDING **ELEVATIONS**

SCALE: 3/32" = 1'-0"

SHEET No.:



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SHEET TITLE:

BUILDING ELEVATIONS

SCALE: 3/32" = 1'-0"



Navarre Avenue Elevation
3/32" = 1'-0"



Elevation Material Legend

MBE R

KEYNOTE
 Aluminum Railling 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approva

prior fabrication

0502 Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)

0903 3/4" Texture Stucco Finish



(3) 3D View 10

ARCHITE

Bellin & Pratt

AA2600086

285 sevilla avenue coral gables. florida. 33134 tel 305.447.1927 - fax 305.443.5986

CONSULTANTS:

Address Address Phone Fax

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PROJECT NAME:

Proposed Residential Mixed-Use Project

PROPERTY ADDRESS 33 Alhambra Circle Coral Gables FL

OWNER INFORMATION TWJ Alhambra, LLC 100 South Biscayne Boulevard Suite 900 Miami FL 33131

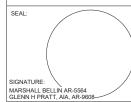
CITY COMMISSION 2nd Reading

ISSUE DATE: 04.18.2017
PROJECT No.: 2013-07
DRAWN BY: Author
APPROVED BY: Approver

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No.	Description	Da
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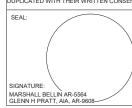
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SHEET TITLE:

BUILDING ELEVATIONS

SCALE: 3/32" = 1'-0"

SHEET No.:



Enlarged Pedestal Elevation @ Alhambra

Oircle 3/32" = 1'-0"



Enlarged Pedestal Elevation @ Minorca

2 Avenue 3/32" = 1'-0"

Elevation Material Legend KEYNOTE Aluminum Railling 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication Decorative Aluminum Vent/Grill Panel (color to be selected by Architect) Decorative Aluminum Vent/Grill panel on Precast Concrete Frame Cedar Wood Trellis (Concealed Connection, Submitt Shop Drawings) 0504 0614 Decorative Precast Molding
Architectural Precast Band
Decorative Precast Base Moulding Decorative Precast Base Moulding
Granite Wall Cladding
Barrel Roof Tile
Impact Resistance Aluminum
Casement Glass Window
Impact Resistance Aluminum Store
Front System
Raised Stucco Smooth Finish Band

3/4" Texture Stucco Finish

0803

Bellin & Pratt architects, LLC

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SHEET TITLE:

ENLARGED PEDESTAL ELEVATIONS

SCALE: 3/32" = 1'-0" SHEET No.

A4.1



Enlarged Pedestal Elevation @ Galiano

1 Street 3/32" = 1'-0"

Elevation Material Legend KEYNOTE Aluminum Railling 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication Decorative Aluminum Vent/Grill Panel (color to be selected by Architect) Decorative Aluminum Vent/Grill panel on Precast Concrete Frame Cedar Wood Trellis (Concealed Connection, Submitt Shop Drawings) 0501 0502 0504 0614 0620 0621 0622 0712 0801 0806 0902 0903 Decorative Precast Molding Architectural Precast Band
Decorative Precast Base Moulding
Barrel Roof Tile Impact Resistance Aluminum Casement Glass Window Aluminum open grill roll-up Garage Door Raised Stucco Smooth Finish Band 3/4" Texture Stucco Finish 3/4" Smooth Stucco Finish



Enlarged Pedestal Elevation @ North West (2) Elevation / 3/32" = 1'-0"

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SHEET TITLE:

ENLARGED PEDESTAL ELEVATIONS

SCALE: 3/32" = 1'-0"

SHEET No



Enlarged Pedestal Elevation @ Navarre

Avenue 3/32" = 1'-0"

Enlarged Pedestal Elevation @ North East

2 Elevation 3/32" = 1'-0"

Aluminum open grill roll-up Garage Door Raised Stucco Smooth Finish Band 3/4" Texture Stucco Finish 3/4" Smooth Stucco Finish

Bellin & Pratt

AA2600086

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SHEET TITLE:

ENLARGED PEDESTAL ELEVATIONS

SCALE: 3/32" = 1'-0"

SHEET No.:

A4.3

Elevation Material Legend NUMBER 0501 Aluminum Railling 42" A.F.F.E. to reject 4" objects. Submit shop drawings for approval prior fabrication 0502 Decorative Aluminum Vent/Grill Panel (color to be selected by Architect) 0504 Decorative Aluminum Vent/Grill panel on Precast Concrete Frame 0620 Decorative Precast Molding 0621 Architectural Precast Band 0622 Decorative Precast Base Moulding 0624 Granite Wall Cladding 0629 Impact Resistance Aluminum Casement Glass Window 0803 Impact Resistance Aluminum Store Front System 0805 Que Raised Stucco Smooth Finish Band 0806 3/4" Smooth Stucco Finish Band



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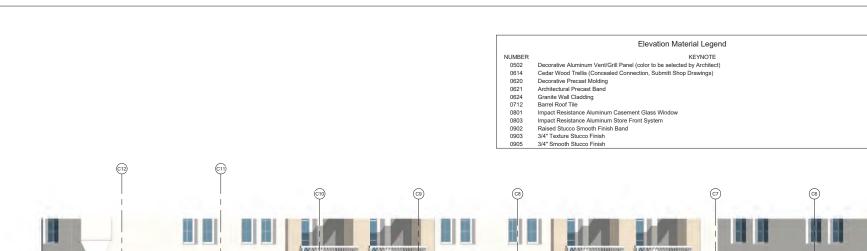
ENLARGED ELEVATION DETAIL

SCALE: 1/4" = 1'-0"

SHEET No.:

A4.4

Detail @ Alhambra Avenue Elevation
1/4" = 1'-0"





1) Detail @ Galiano Street Elevation 1/4" = 1'-0"

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SHEET TITLE:

ENLARGED ELEVATION DETAIL

SCALE: 1/4" = 1'-0"

SHEET No.:

A4.5

Elevation Material Legend

KEYNOTE

Aluminum Railling 42* A.F.F.E. to reject 4* objects. Submit shop drawings for approval prior fabrication

Decorative Aluminum Vent/Grill Panel (color to be selected by Architect)

Decorative Precast Molding

Decorative Precast Mouning Architectural Precast Band Impact Resistance Aluminum Casement Glass Window 3/4" Texture Stucco Finish

3/4" Smooth Stucco Finish



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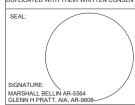
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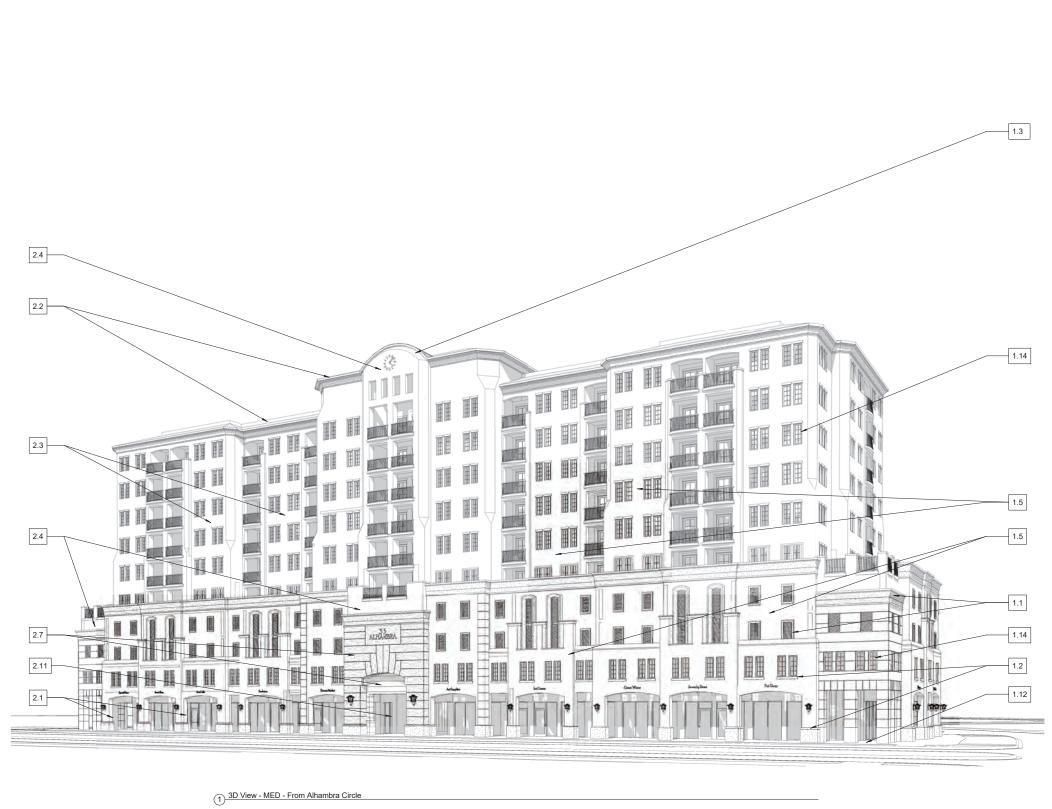
ENLARGED ELEVATION DETAIL

SCALE: 1/4" = 1'-0"

SHEET No.:

A4.6

				Mediterranea Style Design Standars Table No 1
				empliead with all Categories in Table 1
			mplies (An "X" i	means the Project Complies with requirement)
Complies	Referenne No.	Residential	Туре	Comments
Х	1.1	Х	Architectural elements on building	COMPLIES: See decorative reveal and molding on all building elevations (Building elevation sheet A-3.1., A3.2 & A-3.3). Also see 30 Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
×	1.2	×	facades Architectural relief elements at street level.	COMPUES: See Ground floor plan A-1,1 and A-3,1, A-3,4, & A-3,3 (building Elevations). Also see 30 Views A-5,1,A-5,2,A-5,3,A-5,4, and a sides adjoining podestrian sidewalks. Architectural releft elements also include building front arcade, decorative paving treatments, art piece and site & street landscaping.
х	1.3	х	Architectural elements located on the top of	COMPLIES: See Corner & Stair tower feature at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-54, A-5.5, A-5.6. for Roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vaulied roofs.
Х	1.4	×	buildings. Bicycle Facilities.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided in the covered ground floor area.
х	1.5	x	Building Facades	COMPUES: See exterior mass variations & break lines at Building elevations A.1, A-3,2 & A-3,3 and 3D Views A-5,1,A-5,2, A-5,3, A-5,4, A-5,5, A-5,0. The project also stepback different plans as vertical break to comply with his protetion.
Х	1.6	Х	Building lot coverage.	COMPLIES: Permissive provision.
Х	1.7	х	Drive through facilities.	COMPLIES: No drive through 2 Alhmabra Circle
Х	1.8	х	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
Х	1.9	х	Lighting, steet	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
х	1.10	х	Parking garages.	COMPUES: See ground floor plan A-1.0 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The proposed parking all ground floor is not seen from the primar/ street in compliance with this provision.
х	1.11	х	Porte-cocheres.	COMPLIES: See Ground floor plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project does NOT have a Porte-Cochere on Alhambra Circle to comply with this provision.
Х	1.12	х	Sidewalks/ pedestrian access	COMPLIES: See site plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Pedestrian access is provided at street level from Ahambra Circle, Mirorca Avenue, Callano Street & Navarre Avenue.
X	1.13	X	Soil, structural. Windows on	COMPLIES: All right of way planting areas will utilize structural soil. COMPLIES:
^	1.14	^	Mediterranean buildings.	COMPLIES: All windows will have a minimum spacing depth of four inches.
		Cor	al Gables N	Mediterranea Style Design Standars
				Table No 2
	Comp	lies (Ar		Compliead with 11 of 12 in Table 2 Project Complies with requirement) 8 out of 12 recuired
s				
Complies	Referenne No.	Residentia	Туре	Comments
х	2.1	Х	Arcades and/or loggias.	COMPUES: See Ground Floor Plan A-1,1 & Building elevations A-3,1,5,1,5,6,6. The A-3,2 & A-3,3 and 3D Views A-5,1,4-5,2, 4-5,3, 4-5,4, 4-5,5, 4-5,6. The protection: See also the provided Urban Piaza at Navarre Avenue & Gallano Street
Х	2.2	х	Building rooflines.	COMPUES: See Building Elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizers he corner towers, stair towners and center massing for vertical changes in the podestal mass as well of the corner tower and bay window towers for vertical changes at the residental lower to comply with this provision
Х	2.3	х	Building step backs.	COMPUES: See Ground floor plan A-1.1, Pool & roof garden level A-1.6. Bulling elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1 A-5.2, A-1.6. Bulling elevations and See See See See See See See See See Se
х	2.4	х	Building towers.	COMPLIES: See Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjunction with the entry feature comply with this provision.
Х	2.5	х	Driveways	COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entrances on Navarre Avenue
Х	2.6	х	Lighting of landscaping.	the ventcular entrances on Navarre Avenue COMPLIES: Up lighting of landscaping within and/or adjacent to pedestrian areas will be provided.
Х	2.7	х	Materials on exterior building	pedestrian areas will be provided. COMPLIES: Keystone & Granite wall cladding at the Building main entrances comply with this provision.
х	2.8	x	facades. Overhead doors.	COMPLIES: Overhead doors provided for vehicular entrances are
	2.9	х	Paver treatments	recessed to comply with this provision COMPLIES: See Ground Floor Plan A 1.1. Driveways will have a minimum of ten percent of power treatment, and sidewalks will have a minimum of tenepit five percent of prever treatment.
х				
x	2.10	x	Pedestrian amenities.	COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project will have at a minimum four perfection amonities. To
	2.10	X	Pedestrian pass-throughs/ paseos on properties contiguous to	See Ground Floor Plan A-1 and Building elevations A-31, A-32 & A-33 and 30 Years A-51, A-52, A-53, A-54, A-5.5, A-5.6 The project will have all a minimum four prodesition amendies To include: Benches Planters, Refuse Containers, and Walter Features COMPLIEST. See Ground Floor Plan A-11 and Building elevations A-31, A-32 & A-33 and 30 Years A-51, A-52, A-53, A-54, A-5.5, A-5.8
х		,	Pedestrian pass-throughs/ paseos on properties contiguous to alleys and/or streets. Underground	See Ground Floor Plan A-1.1 and Building elevations A-31, A-32.6 A-33 and 30 Views A-51, A-52.6 A-53, A-5-4 A-5.5, A-5.6 The project will have at a minimum four pedestrian amenities To include: Benchles, Planters, Refuse Containers, and Water Features See Ground Floor Plan A-1.1 and Building elevations A-31, A-32.8 A-3.3 and 30 Views A-51, A-52, A-53, A-54, A-5.5, A-56 Navarre Avenue & Galiano Street DOES NOT COMPLY:
x	2.11	х	amenities. Pedestrian pass-throughs/ paseos on properties contiguous to alleys and/or streets. Underground parking.	See Ground Floor Plan A-1 and Building elevations A-31, A-32 & A-33 and 30 Views A-51, A-52, A-53, A-54, A-5.5, A-5.6 The project will have at a minimum four pedestrian amenities To Deathor Besche, Planters, Refuse Continues, and Water Features COMPLIES See Ground Floor Plan A-1 and sulding elevations A-31, A-32 & A-33 and 30 Views A-51, A-52, A-53, A-54, A-5.5, A-56 Newerle Areas & Galdiano Circet DOES NOT COMPLY: No underground parking will be utilized.
х	2.11	х	amenities. Pedestrian pass-throughs/ paseos on properties contiguous to alleys and/or streets. Underground parking.	See Ground Floor Plan A-1 and Building elevations A-31, A-32 & A-33 and 30 News A-51, A-52, A-53, A-54, A-5.5, A-5.6 The project will have at a minimum four pedestrian amenities To Deather Belles, Planter, Refuse Continues, and Water Fratures COMPLIES See Ground Floor Plan A-11 and Building elevations A-31, A-32 & A-33, and 30 Views A-51, A-52, A-53, A-54, A-5.5, A-56 Navarre Averance & Calaimo Circet DOES NOT COMPLY: No underground parking will be utilized. Telediterranea Style Design Standars
x	2.11	Х	Pedestrian pass-throughs/ paseos on properties contiguous to alleys and/er streets. Underground parking. Tal Gables N	See Ground Floor Plan A-1 and Building elevations A-31, A-32 & A-33 and 30 Views A-51, A-52, A-53, A-54 A-5.5, A-5.6 The project will have at a minimum four pedestrian amenities. To Analysis Basics, Planters, Refuse Continues, and Water Fratures COMPLIES See Ground Floor Plan A-1 and Building elevations A-31, A-32 & A-3, and 30 Views A-51, A-52, A-53, A-54, A-5.5, A-56 Navare Avenue & Galiano Circet DOES NOT COMPLY: No underground parking will be utilized.
X	2.11 2.12	Х	Pedestrian pass-throughs/ paseos on properties contiguous to alleys and/er streets. Underground parking. Tal Gables N	See Ground Floor Plan A-1.1 and Building elevations A-31, A-32 & A-33 and 30 Views A-51, A-52, A-53, A-54, A-5.5, A-5.6 The project will have at a minimum four pedestrian amerities. To include: Denches, Planters, Refuse Containers, and Water Features See Ground Floor Plan A-1.1 and Building elevations A-31, A-32 & A-33, and 30 Views A-51, A-52, A-53, A-54, A-5.5, A-56 Refused Floor Plan A-1.1 and Building elevations A-31, A-32 & A-33, and 30 Views A-51, A-52, A-53, A-54, A-5.5, A-56 Refused Floor Building See Ground Floor Results of Company Newsre Avenue & Galiano Street DOES NOT COMPLY: No underground parking will be utilized. **Table No 3** Table No 3**
х	2.11	х	amenities. Pedestrian pass-throughs/ passeos on properties contiguous to alleys and/e streets. Underground parking. (An "X" f	See Ground Floor Plan A-1 and Building elevations A-31, A-32 & A-33 and 30 News A-51, A-52, A-53, A-54, A-5.5, A-5.6 The project will have at a minimum four pedestrian amenities To observe the project will have at a minimum four pedestrian amenities To observe the project of the project has an interior pass throught that connect Ahamiyra Circle, Navarre Avenue & Galaino Street DOES NOT COMPLY: No underground parking will be utilized. Table No 3 neans the Project utilizes the option) Comments
x	Seferenne No	Х	amenities. Pedestrian pass-broughn/ passes or properties configuous to alleys andre streets. Cal Gables N (An "X" r Type Building seback	See Ground Floor Plan A-1 and Building elevations A-31, A-32 & A-33 and 30 News A-51, A-52, A-53, A-54, A-5.5, A-5.6 The project will have at a minimum four pedestrian amenities To observe the project will have at a minimum four pedestrian amenities To observe the project of the project has an interior pass throught that connect Ahamiyra Circle, Navarre Avenue & Galaino Street DOES NOT COMPLY: No underground parking will be utilized. Table No 3 neans the Project utilizes the option) Comments
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Bellin & Pratt

AA2600086

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CONSULTANTS:

Consultant Address Address Phone Fax

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ALL DRAWINGS AND WRITTEN AND THE PROJECT ON STITULE
CHICANAL WORK OF THE ARCHITECT AND MAY NOT BE
REPRODUCE DUPLICATE AND USED WITH THE WRITTEN
ERPRODUCE DUPLICATE AND USED WITH THE WRITTEN

PROJECT NAME:

Proposed Residential Mixed-Use Project

PROPERTY ADDRESS 33 Alhambra Circle Coral Gables FL

OWNER INFORMATION TWJ Alhambra, LLC 100 South Biscayne Boulevard Suite 900 Miami FL 33131

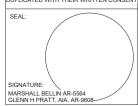
CITY COMMISSION 2nd Reading

ISSUE DATE: 04.18.2017 PROJECT No.: 2013-07 DRAWN BY: Author APPROVED BY: Approver

REVISIONS:

No.	Description	Date

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT



SHEET TITLE:

3D VIEW & MED BONUS

SCALE: 12" = 1'-0"

SHEET No.:

				Mediterranea Style Design Standars Table No 1
				ompliead with all Categories in Table 1
		T	mplies (An "X"	means the Project Complies with requirement)
Complies	Referenne No.	Residential	Туре	Comments
х	1.1	X	Architectural elements on building	COMPLIES: See decorative reveal and molding on all building elevations (Building elevation sheet A-3.1., A3.2 & A-3.3). Also see 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
х	1.2	x	facades Architectural relief elements at street level.	COMPILES: See Ground floor plan A-1.1 and A-3.1, A-3.2 & A-3.3 (Building Elevations). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.3, A-5.6. (Similar attributed at lefer determents are provided on all on include building front arcade, decorative paving treatments, and picked building front arcade, decorative paving treatments, and picked set set test landscaping.
×	1.3	х	Architectural elements located on the top of	COMPLIES: See Corner & Stair tower feature at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. for Roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vaulied roofs.
Х	1.4	Х	buildings Bicycle Facilities.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided in the covered ground floor area.
х	1.5	x	Building Facades	COMPLIES: See exterior mass variations & break lines at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project also stepback different plans as vertical break to comply with this provision.
Х	1.6	х	Building bt coverage	COMPLIES: Permissive provision.
Х	1.7	Х	Drive through facilities.	COMPLIES: No drive through 2 Alhmabra Circle
Х	1.8	Х	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
х	1.9	х	Lighting, street	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Depurtment.
х	1.10	х	Parking garages.	COMPLIES: See ground floor plan A-1.0 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The proposed parking at ground floor is not seen from the primary street in compliance with this provision.
х	1.11	х	Porte-cocheres.	COMPLIES: See Ground floor plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project does NOT have a Porte-Cochere on Alhambra Circe to comply with this provision.
х	1.12	х	Sidewalks/ pedestrian access	OOMPLIES: See site plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3.0 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Pedestrian access is provided at street level from Alhambra Circle, Minorca Avenue, Gallano Street & Navarre Avenue
X	1.13	X	Soil, structural.	COMPLIES: All right of way planting areas will utilize structural soil.
Х	1.14	Х	Windows on Mediterranean buildings	COMPLIES: All windows will have a minimum spacing depth of four inches,
		Coı	ral Gables N	Mediterranea Style Design Standars
				Table No 2
			Project	Compliead with 11 of 12 in Table 2
	Comp	lies (Ar	"X" means the	Project Complies with requirement) 8 out of 12 required
Complies	Referenne No.	Residential	Туре	Comments
х	2.1	Х	Arcades and/or loggias.	COMPLIES: See Ground Floor Plan A-1.1 & Building selevations A-3.1, 5.4.3.8 A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.6. The protection: See also the provided Urban Plaza at Navarre Avenue & Gallano Street
х	2.2	х	Building rooflines.	COMPLES: See Building Elevations A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the corner towers, stair towers and center massing for vertical changes in the pedestal mass as well of the corner tower and bay window towers for vertical changes at the residental tower to comply with this provision
Х	2.3	Х	Building step	COMPLIES:
			backs.	See Ground floor plan A-1.1, Pool & roof garden level A-1.4. Bulkling elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The bulkling steps from the principal façade, and utilizes a vertical step back on all street elevations, as well as the step back of the lower & upper residential levels.
х	2.4	х	backs. Building towers.	and utilizes a vertical step back on all street elevations, as well as the
X	2.4	X	Building	and utilizes a vertical step back on all street developers, as well as the step back of the lowest a upper recipional levels. COMPLIES: See Building elevations A-3.1, A-3.2, & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.5, A-5.5. The building corner & stair tower elements in conjunction with the entity feature comply within provision. COMPLIES: See Ground floor plan A 1.1. The building consolidates all
			Building towers.	and utitizes a verticus ship back on all street elevations, as well as the step back of the lowest a upper recipional levels. COMPUES: See Building elevations A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, B-10 building corner & stair tower elements in conjunction with the entry feature comply with this provision. COMPUES: See Ground floor plan A.1.1. The building consolidates all the vehicular entrances on Navarre Avenue COMPUES: Use whicular entrances on Navarre Avenue COMPUES: Use highing of landscaping within and/or adjacent to
x	2.5	х	Building towers. Driveways Lighting of landscaping. Materials on exterior	and utilizes a vertical step back on all street develors, as well as the step back of the lower 4 upper recidential levels. COMPLIES: See Building elevations A-3.1, A-3.2, 8, A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjugation with the verify feature comply with this provision. COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entrances on Navarre Avenue COMPLIES: Up lighting of landscaping within and/or adjacent to pededestrian areas with per provided. COMPLIES: COMPLIES:
x	2.5	x	Building towers. Driveways Lighting of landscaping. Materials on	and utilizes a verticul step back on all street develories, as well as the eight back of the lower all upper recipional levels. COMPLIES: See Bubliding elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5, IA-5.2, A-5.3, A-5.5, A-5.5, A-5.6. The bubliding corner 6 stair tower elevations in scale production with the very solutive comply with this provision. COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entrances on Navarre Avenue COMPLIES: Up lighting of landscapping within and/or adjacent to pedestrian areas will be provided. COMPLIES: COMPLIES: COMPLIES: COMPLIES: COMPLIES: COMPLIES:
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x x x x	2.5 2.6 2.7 2.8 2.9 2.10 2.11	X X X X X	Dubling building lowers. Driveways Lighting of landscaping. Materials on exterior building of building discovers. Materials on exterior building discovers building discovers discovers and treatments. Padestrian amenities. Pedestrian passes diraughad passes on configuous to alleys and/or streets. Lindergrand parking. Type Building setback	and utilizes a verticul step back on all street elevations, as well as the step back of the lowest a typer recidental levels. COMPLIES: See Bullding elevations A-3.1, A-3.2, & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjunction with the entity fleature comply withins provision. COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entrances on Navarre Avenue COMPLIES: Up lighting of landiccaping within and/or adjacent to pedestrian areas will be provided. COMPLIES: Comply with this provision. COMPLIES: See Ground floor plan A 1.1. Driveways will have a minimum of the original comply with this provision. COMPLIES: COMPLIES: See Ground Floor Plan A 1.1. Driveways will have a minimum of the provised of power treatment. COMPLIES: See Ground Floor Plan A 1.1 and Building elevations See Ground Floor Plan A 1.1 and Building elevations A-3.1, A-3.2 a A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4. A-5.5, A-5.6 The project will have at a minimum four podestrian amenities. To include. Benches, Planters, Radiuse Containers, and Water Features. COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 a A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4. A-5.5, A-5.6 The project will have at a minimum four podestrian amenities. To include. Benches, Planters, Radiuse Containers, and Water Feature. COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 a A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4. A-5.5, A-5.6 The project will have at a minimum four podestrian amenities. To include. Benches, Planters, Radiuse Containers, and Water Feature. COMPLIES:
x x x	2.5 2.6 2.7 2.8 2.9 2.10 2.11 2.12	X X X X X	Dubling towers. Driveways Lighting of landscapping. Materials on exterior building setback Encreachment or nights-of-any further-of-any further	and utilizes a vertical step back on all street elevations, as well as the estep back of the lowest a typer recidental levels. COMPLIES: See Bullding elevations A-3.1, A-3.2, & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjugation with the entity feature comply within provision. COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entitraness on Newarre Avenue COMPLIES: Up lighting of transicaping within and/or adjacent to pedestrian areas with be provided. COMPLIES: COMPLIES: COMPLIES: COMPLIES: See Ground floor plan A 1.1. The building main entitle control of the complex of
x x x	2.5 2.6 2.7 2.8 2.9 2.10 2.11	X X X X X	Building towers. Driveways Lighting of landscaping. Materials on the discount of landscaping. Materials on the discount of landscaping. Materials on the landscaping. Materials on the landscaping. Paver treatments Paver treatments Pedestrian amenties. Pedestrian pass-Braugharl pass	and utilizes a vertical step back on all street elevations, as well as the estep back of the lowest a typer recidential levels. COMPLIES: See Bullding elevations A-3.1, A-3.2, & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair lower elements in conjunction with the entity feature comply withins provision. COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entrances on Navarre Avenue COMPLIES: Up lighting of landscaping within and/or adjacent to pededictrian areas will be provided. COMPLIES: COMPLIES: Complies: Complies: See Ground floor plan A 1.1. Drieways will have a minimum of the original comply with this provision. COMPLIES: See Ground Floor Plan A 1.1. Drieways will have a minimum of the precised of power treatment, and addisuable will have a minimum of hearty five pecent of power treatment, and addisuable will have a minimum of benefit precised of power treatment. COMPLIES: See Ground Floor Plan A 1.1 and Building elevations A-3.1, A-3.2 a A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4. A-5.5, A-5.6 The project will have at a minimum four podestrian amenilies. To include. Benches, Planters, Reduce Containers, and Water Features COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 a A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4. A-5.5, A-5.6 The project will have at a minimum four podestrian amenilies. To include Benches, Planters, Reduce Containers, and Water Features. COMPLIES: ODES NOT COMPLY: No underground parking will be utilized. Additerranea Style Design Standars Table NO 3 means the Project utilizes the option)



ARCHITE

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AA2600086

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CONSULTANTS:

Address Address Phone Fax

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ERPRODUCE DUPLICATE AND USED WITH THE WRITTEN

PROJECT NAME:

Proposed Residential Mixed-Use Project

PROPERTY ADDRESS 33 Alhambra Circle Coral Gables FL

OWNER INFORMATION TWJ Alhambra, LLC 100 South Biscayne Boulevard Suite 900 Miami FL 33131

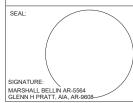
CITY COMMISSION 2nd Reading

ISSUE DATE: 04.18.2017
PROJECT No.: 2013-07
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

Description	Date
	Description

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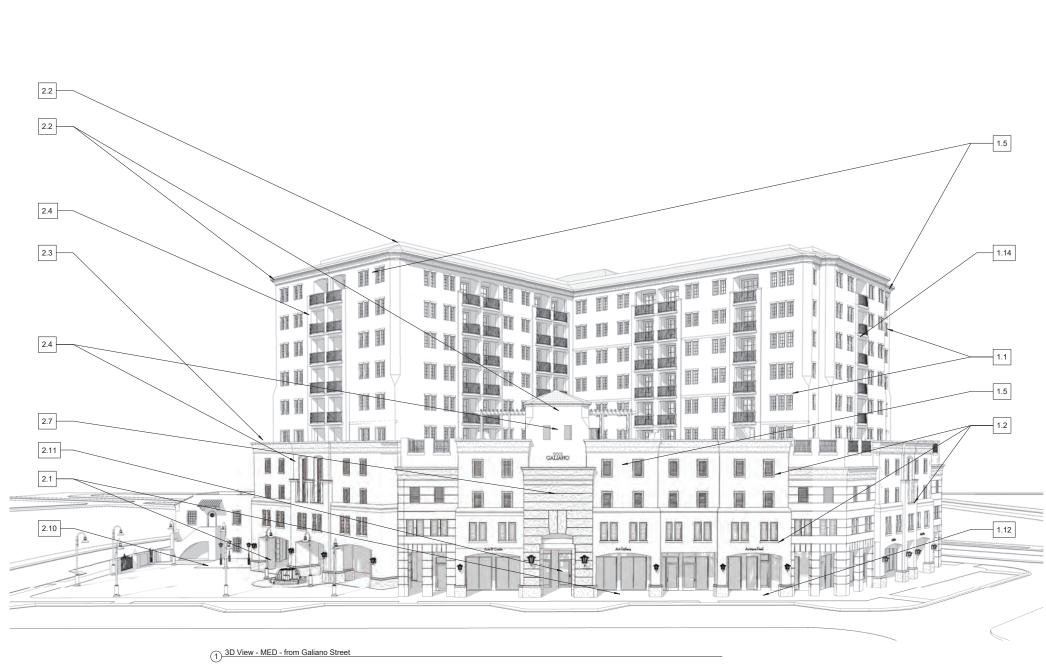
SHEET TITLE:

3D VIEW & MED BONUS

SCALE: 12" = 1'-0"

SHEET No.:

				Mediterranea Style Design Standars Table No 1
				ompliead with all Categories in Table 1
		Co	mplies (An "X"	means the Project Complies with requirement)
complies	Referenne No.	Residential	Туре	Comments
х	1.1	X	Architectural elements on building	COMPLIES: See decorative reveal and molding on all building elevations (Building elevation street A-3.1., A3.2 & A-3.3). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
х	1.2	×	facades Architectural relief elements at street level.	COMPUES: See Ground floor plan A-1.1 and A-3.1, A-3.2 & A-3.3 (building Elevations). Also see 3D Views A-5.1, A-5.2, A-5.3, A-5.4, (building Elevations). Also see 3D Views A-5.1, A-5.2, A-5.3, A-5.4, askes adjoining pedestrian sidewalks. Architectural relef elements also include building front arcade, decorative paving treatments, art piece and site & street landscaping.
х	1.3	х	Architectural elements located on the top of	COMPLIES: See Corner & Stair tower feature at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6, for Roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vauthed roofs.
х	1.4	х	buildings. Bicycle Facilities.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided in the covered ground floor area.
Х	1.5	х	Building Facades	COMPLES: See exterior mass variations & break lines at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project also stepback different plans as vertical break to comply with this provision.
Х	1.6	Х	Building let coverage.	COMPLIES: Permissive provision.
Х	1.7	х	Drive through facilities.	COMPLIES: No drive through 2 Alhmabra Circle
Х	1.8	Х	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
Х	1.9	Х	Lighting, street	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
Х	1.10	х	Parking garages.	COMPLIES: See ground floor plan A-1.0 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The proposed parking all ground floor is not seen from the primary street in compliance with this provision.
Х	1.11	х	Porte-cocheres.	COMPLIES: See Ground floor plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1.A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project does NOT have a Porte-Cochere on Alhambra Circle to comply with this prof
x	1.12	х	Sidewalks/ pedestrian access	COMPLES: See sille plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Pedestrian access is provided at street level from Alhambra Circle, Mnorca Avenue, Gallano Street & Navarre Avenue
Х	1.13	Х	Soil, strudural.	COMPLIES: All right of way planting areas will utilize structural soil.
х	1.14	X	Windows on Mediterranean buildings.	COMPLIES: All windows will have a minimum spacing depth of four inches.
		Cor	ral Gables N	Mediterranea Style Design Standars
				Table No 2
			Froject	Compliead with 11 of 12 in Table 2
	Comp	lies (Ar	"X" means the	Project Complies with requirement) 8 out of 12 required
Complies	Referenne No.	Residential	Тура	Comments
Х	2.1	Х	Arcades and/or loggias.	COMPLIES: See South Floor Plan A-1.1 & Building elevations A-3.1, See South Floor Plan A-1.1 & Building elevations A-3.1, See South Floor Plan A-1.1 & Building elevations A-3.1, A-5.5, A-5.6, The project has an arcade at the ground nevel that provides pediatrian protections: See also the provided Urban Plaza at Navarre Avenue & Gallaino Street
х	2.2	х	Building rooflines.	COMPLES: See Bulding Elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the corner towers, stair towers and center massing for vertical changes in the podestal mass as well of the corner tower and bay window towers for vertical changes at the residential tower to comply with this provision
х	2.3	х	Building step backs.	COMPLIES: See Ground floor plan A-1.1. Pool & roof garden level A-1.4, Budding elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The buddings steps from the principal façade, and utilizes a vertical step back on all street elevations, as veil as the step back of the lower & upper residential levels.
х	2.4	х	Building towers.	COMPLIES: See Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjunction with the entry feature comply with his provision.
Х	2.5	х	Driveways	COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entrances on Navarre Avenue
х	2.6	х	Lighting of landscaping.	COMPLIES: Up lighting of landscaping within and/or adjacent to
Х	2.7	х	Materials on exterior	pedestrian areas will be provided. COMPLIES: Keystone & Granite wall cladding at the Building main
Х	2.8	Х	building facades. Overhead	entrances comply with this provision. COMPLIES: Overhead doors provided for vehicular entrances are
х	2.9	х	Paver treatments	recessed to comply with this provision COMPLIES: See Ground Floor Plan A 1.1. Driveways will have a
x	2.10	x	Pedestrian amenities	minimum of ten percent of paver treatment, and sidewalks will have a minimum of tenetly five percent of paver treatment. COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-54, A-5.5, A-5.6
х	2.11	х	Pedestrian pass-throughs/	The project will have at a minimum four pedestrian amenities. To include: Benches, Planters, Refuse Containers, and Water Features COMPLIES: See Ground Floor Plan A-1.1 and Building elevations
			pass-throughs/ paseos or properties configuous to alleys and/or streets.	A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass throught that connect Alhanbra Circle, Navarre Avenue & Galiano Street
	2.12		Underground parking.	DOES NOT COMPLY: No underground parking will be utilized.
		Cor	ral Gables N	Mediterranea Style Design Standars
		70	/A- THE	Table No 3
		99	(A) "X" (means the Project utilizes the option)
10	e No.	den		
Complies	eferenne No.	lon-Residen	Туре	Comments
Complies	1.5 Reference	Non-Residentia	Building setback	reductions.
Complies	Referenne	Non-Residen	Building setback Encroachment orights-of-way	



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PROJECT NAME:

Proposed Residential Mixed-Use Project

PROPERTY ADDRESS 33 Alhambra Circle Coral Gables FL

OWNER INFORMATION TWJ Alhambra, LLC 100 South Biscayne Boulevard Suite 900 Miami FL 33131

CITY COMMISSION 2nd Reading

ISSUE DATE: 04.18.2017
PROJECT No.: 2013-07
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

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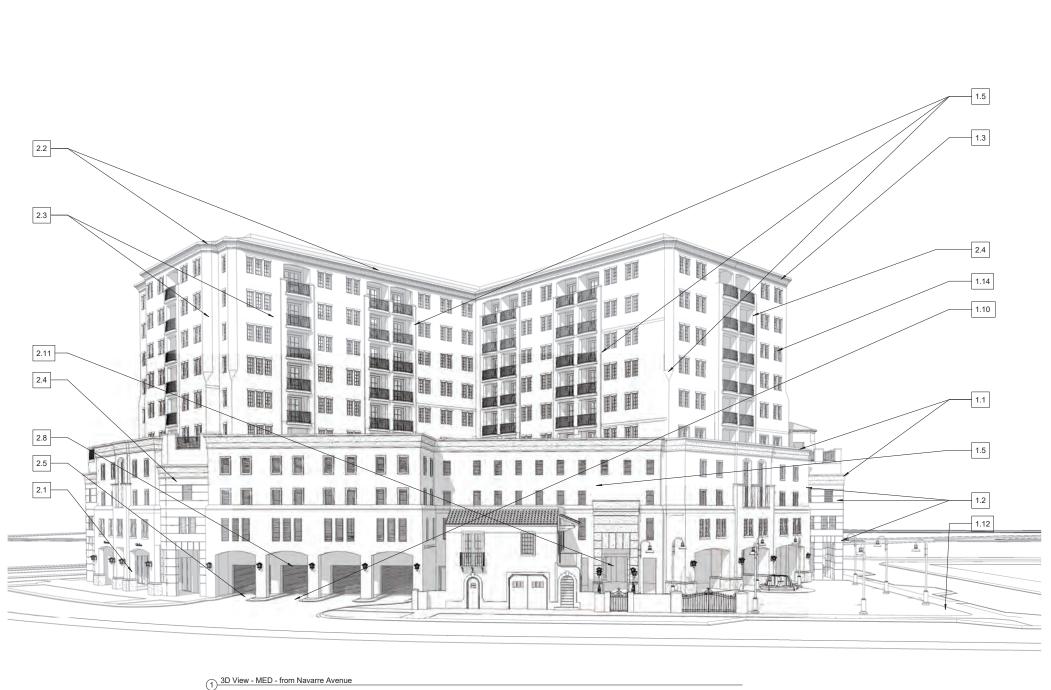
SHEET TITLE:

3D VIEW & MED BONUS

SCALE: 12" = 1'-0"

SHEET No.:

				Table No 1
				ompliead with all Categories in Table 1
			mplies (An "X"	means the Project Complies with requirement)
Complies	Referenne No.	Residential	`уре	Comments
Х	1.1	х	Architectural etements on building facades	COMPLIES: See decorative reveal and molding on all building elevations (Building elevation sheet A-3.1., A3.2 & A-3.3). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
х	1.2	х	Architectural relief elements at street level.	COMPLIES: See Cround floor plan A-1.1 and A-3.1,A-3.2 & A-3.3 (Building Elevations). Also see 30 Views A-5.1.4-5.2, A-5.3, A-5.4, A-5.4, A-5.5, A-5.6. Similar architectural relief elements are provided on all sides adjoining podestrian sidewalks. Architectural relief elements also include building front arcade, decorative paving treatments, art piece and site & street lambscaphing.
х	1.3	х	Architectural elements located on the top of buildings.	COMPLIES: See Corner & Stair tower feature at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6, for Roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vaulted roofs.
х	1.4	х	Bicycle Facilities.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided in the covered ground floor area.
х	1.5	х	Building Facaces	COMPLIES: See exterior mass variations & break lines at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.5. The project also stepback different plans as vertical break to comply with this provision.
Х	1.6	х	Building lot coverage.	COMPLIES: Permissive provision.
х	1.7	х	Drive through facilities.	COMPLIES; No drive through 2 Alhmabra Circle
Х	1.8	х	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
Х	1.9	х	Lighting, street	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
х	1.10	х	Parking garages.	COMPLIES: See ground floor plan A-1.0 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The proposed parking at ground floor is not seen from the primary street in compliance with this provision.
х	1.11	х	Porte-cocheres.	COMPLIES: See Ground floor plan A-1,1 & Building elevations A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project does NOT have a Porte-Cochere on Alhambra Circle to comply with this provision.
х	1.12	х	Sidewalks/ pedestrian access	COMPLES: See site plan A-1,1 & Building elevations A-3,1, A-3,2 & A-3,3 and 3D Views A-5,1,4-5,2, A-5,3, A-5,4, A-5,5, A-5,6. Pedestrian access in provided at street level from Alhambra Circle, Minorca Avenue, Gallano Street & Navarre Avenue
Х	1.13	Х	Soil, structural.	COMPLIES: All right of way planting areas will utilize structural soil.
х	1.14	х	Windews on Mediterranean buildings.	COMPLIES: All windows will have a minimum spacing depth of four inches.
		Coı	-	Mediterranea Style Design Standars
				Table No 2
				Compliead with 11 of 12 in Table 2
	Comp	lies (Ar	n "X" means the	Project Complies with requirement) 8 out of 1? required
Complies	Referenne No.	Residential	"уре	Comments
Complies	Reference No.	X Residential	"ype Arcades and/or loggias.	Comments COMPUES: See Ground Floor Plan A-1.1.8 Baldding elevations A-3.1, A-3.2.8.A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an arcade at the ground well that provides potentian protection. See also the provided Urban Plaza at Navarre Avenue & Gallano Street
_		_	Arcades and/or	COMPLIES: See Ground Floor Plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an arcade at the ground level that provides podestrian protections. See 80th per provided Uninn Plazza at Namare Avenue &
x	2.1	x	Arcades and/or loggias.	COMPUES: See Ground Floor Plan A-1.1.8 Baldding elevations A-3.1, A-3.2.8 A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an areada et the ground weel that provides pedestrian protection: See also the provided Urban Plaza at Navare Avenue & Gallano Street COMPUES: COMPUES: See Building Elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the comer towers, staff towers and conterin sounding for vertical changes in the vertical changes at the residential tower to comply with this provision COMPUES: See Ground froor plan A-1.1, Pod & roof garden level A-1.4. Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-1.4. Suitting elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-3, A-5, A-5, A-5, S-6.5. The balding elepts from the principal flaçade,
x	2.1	x	Arcades and/or loggias. Building rooflings.	COMPUES: See Ground Floor Plan A-1.1 & Baldding elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an excade at the ground well that provides geoderisin protection: See also the provided Urban Plaza at Navare Avenue & Gallamo Street COMPUES: COMPUE
x	2.1	x	Arcades and/or loggias. Building rooflines. Building step backs.	COMPUES: See Ground Floor Plan A-1.1.8 Building elevations A-3.1, A-3.2.8 A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an areada et the ground weel that provides pedestrian protection: See also the provided Urban Plaza at Navare Avenue & Gallano Street COMPUES: See Building Blevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the comer towers, stall towers and conterin sounding for vertical changes in the vertical changes at the residential tower to comply with this provision COMPUES: See Ground from plan A-1.1, Pool & roof garden level A-1.4. Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.5, A-5.6. The project utilizes were see Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.4, A-5.4, A-5.5, A-5.5, A-5.6. The publishing corner & stall rower design belief of the lower & upper residential levels. COMPUES: See Building elevations A-3.1, A-3.2, & A-3.3, and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.5, The building corner & stall rower dements in conjunction with the entry feature comply with this provision. COMPUES: See Ground from plan A-1.1. The building consolidates at
x	2.1	x	Arcades and/or loggias. Building rooflines. Building step backs. Building towers.	COMPUES: See Ground Floor Plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, N-5.5, A-5.6. The project has an areada et the ground well that provides geoderation protectour. See also the provided Urban Plazas at Navare Avenue & Gallano Birsel. COMPUES: Computed See See See See See See See See See S
x	2.1	X X X	Arcades and/or loggiss. Building reoffees. Building step backs. Building towers. Driveveys Lighting of land scaping. Materials on extering	COMPUES: See Ground Floor Plan A-1.1 & Baldding elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5. The project has an excade at the ground well that provides geoderstain protection: See also the provided Urban Plaza at Navare Avenue & Gallamo Street COMPUES: See Budding Elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the corner A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project utilizes the corner prodectal mains as well of the corner flower and buy window lowers for vertical changes at the residential tower to comply with this provision COMPUES: A-1.4, Budding elevations a-3.1, a-3.2, a-3.3 and 3D Views A-5.1, A-5.2, A-1.4, Budding elevations a-3.1, a-3.2, a-3.3 and 3D Views A-5.1, A-5.2, a-5.3, a-5.4, a-5.5, a-5.6. The building corner & stair tower elements in conjunction with the entry feature comply with this provision. COMPUES: See Budding elevations A-3.1, A-3.2, a-3.3 and 3D Views A-5.1, A-5.2, a-5.3, a-5.4, a-5.5, a-5. The building corner & stair tower elements in conjunction with the entry feature comply with this provision. COMPUES: See Ground from plan A-1.1. The building consolidates all the vehicular entrances on Navarre Avenue COMPUES: Well and the seed of the corner within and/or adjacent to pedestrian areas will be provided.
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CONSULTANTS:

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ORIGINAL WORK OF THE ARCHITECT AND MAY NOT BE
REPRODUCED, DUPLICATE AND USED WITH THE WRITTEN.

PROJECT NAME:

Proposed Residential Mixed-Use Project

PROPERTY ADDRESS 33 Alhambra Circle Coral Gables FL

OWNER INFORMATION TWJ Alhambra, LLC 100 South Biscayne Boulevard Suite 900 Miami FL 33131

CITY COMMISSION 2nd Reading

ISSUE DATE: 04.18.2017
PROJECT No.: 2013-07
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSEN



SHEET TITLE:

3D VIEW & MED BONUS

SCALE: 12" = 1'-0"

SHEET No.:

				Table No 1
				ompliead with all Categories in Table 1
	T		omplies (An "X" i	means the Project Complies with requiremert)
Complies	Referenne No.	Residential	Туре	Comments
Х	1.1	х	Architectural elements on building facades	COMPLIES: See decorative reveal and molding on all building elevations (Building elevation sheet A-3.1., A3.2 & A-3.3). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
х	1.2	х	Architectural relief elements at street level.	COMPLES: See Ground floor plan A-1.1 and A-3.1, A-3.2 & A-3.3 (Building Elevations). Also see 3D Viewa A-5.1, A-2.2, A-3.3, A-5.4, A-5.5, A-5.6. Similar architectural relief elements are provided on all sides adjoining pedestrian sidewalks. Architectural relief elements also include building front arcade, decorative paving treatments, art piece and site 8 street landscaping.
х	1.3	х	Architectural elements located on the top of	COMPLIES: See Corner & Stair tower feature at Bulding elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6, for Roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vaultedroofs.
Х	1.4	х	buildings. Bicycle Facilities.	COMPLIES: See A-1.1 A bicycle rack for a minimum of five bicycles will be provided in the covered ground floor area.
х	1.5	х	Building Facades	COMPUES: See sether mass variations 8 break lines at Building, elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project also slepback different plans as vertical break to comply with this provision.
Х	1.6	х	Building lot coverage.	COMPLIES: Permissive provision.
Х	1.7	х	Drive through facilities.	COMPLIES: No drive through 2 Alhmabra Circle
Х	1.8	х	Landscape open space area,	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
Х	1.9	х	Lighting, street	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
X	1.10	X	Parking garages.	COMPLIES: See ground floor plan A-1.0 & Building elevations A-2.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.1, A-5.5, A-5.6. The proposed parking all ground floor is not seen from the primary street in compliance with this provision.
X	1.11	X	Pore-cocheres.	COMPLES: See Ground floor plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-6.3, A-5.5, A-5.6. The project does NOT have a Porte-Cochere on Alhambra Circle to comply with this provision.
X	1.12	X	pedistrian access	COMPLIES: See slie plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Pedestrian access is provided at street level from Alhambra Circle, Minorca Avenue, Galliano Street & Navarre Avenue COMPLIES:
Х	1.14	X	Wirdows on Mediterranean	All right of way planting areas will utilize structural sail. COMPLIES: All windows will have a minimum spacing depth of four
			buildings.	inches.
		Cor	ral Gables N	Mediterranea Style Design Standars
			Project	Table No 2 Compliead with 11 of 12 in Table 2
	Comp	lies (Ar		Project Complies with requirement) 8 out of 12 required
Complies	Referenne No.	Residertial	Type	Comments
Х	2.1	х	Arcades and/or logçias.	COMPLIES: See Ground Floor Plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.1, A-5.5, A-5.6. The project has an arcade at the ground level that provides pedestrian provided and the provided Urban Plaza at Naurer Alexane & Calaborator. See
х	2.2		Building	COMPLIES: See Building Elevations A-3.1, A-3.2 & A-3.3 and 3C Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project willizes the corner
		X	rootines.	towers, stair towers and center massing for vertical changes in the
Х	2.3	x	Building step backs.	towers, staff towers and center massing for vertical changes in the pedectal mass as well of the comer tower and buy window towers for vertical changes at the residential tower to comply with this provision COMPUSES. See Ground floor plan A-1, Poel 8 not garden level A-1.4 Building eventions A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2 A-5.3, A-5.4, A-5.5, A-5.6. The building steps from the principal fiscade, and utilizes a vertical step back on a street developer, as well as the
x	2.3		rootines. Building step	towers, stair towers and center massing for vertical changes in the pedestal mass as well of the comer tower and buy worked where for vertical changes at the residential tower to comply with this provision COMPLIES: See Ground floor plan A-1.1, Pool 8 roof garden level A-1.4, Building elevations A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1,A-5.2 A-5.3, A-5.4, A-5.5, A-5.6. The building steen from the principal facades.
		x	Building step backs.	towers, staff towers and center massing for vertical dhanges in the pedectal mass as well of the comer tower and buy window towers for vertical changes at the residential tower to comply with this provision OMPURES: See Ground floor plan A-1, Poel 8 not garden level A-1.4 Building eventions A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2 A-5.3, A-5.4, A-5.5, A-5.6. The building steps from the principal fisquide, and utilizes a vertical step back on altreet develoties, as well as the step back of the lower & upper residential levels. COMPURES:
X	2.4	x	Builting step backs. Builting step backs.	towers, stafe towers and center massing for vertical changes in the prodestal mass as well of the comer tower and bay window towers for vertical changes at the residential flower to comply with this provision COMPLES: See Ground floor plan A-1.1, Pool & not garden level A-1.8 suiting elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2 A-5.3, A-5.4, A-5.3, A-5.4, A-5.3, A-5.4, A-5.2 & A-3.3 and 3D Views A-5.1,A-5.2 & A-5.3, A-5.4, A-5.
x	2.4	x	rootines. Builting step backs. Builting towers. Driveways Lighting of	towers, stafe towers and center massing for vertical changes in the pedectal mass as well of the comer tower and by window towers for vertical changes at the residential flower to comply with this provision COMPUES: See Ground floor plan A-1, Pod 8 not garden level A-1, Building vertical selsp back on all street elevations, A-3, A-3, B-4, A-5, A-5, A-5, A-5, A-5, A-5, A-5, A-5
x	2.4	x x	Builting step baces. Builting step baces. Builting towers. Driveways Lighting of lankscaping. Materials on exterior	towers, stafe towers and center massing for vertical changes in the prodestal mass as well of the comer tower and bay window towers for vertical changes at the residential flower to comply with this provision COMPLIES: See Ground floor plan A-1.1, Pool & not garden level A-1.8 suitings elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2 A-5.3, A-5.4, A-5.5, A-5.6. The basiding steps from he principal stopade, and utilizes a vertical slap back on a stend elevations, as well as the and utilizes a vertical slap back on a stend elevations, as well as the See Busiding elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-6.4,A-5.4,A-5.4,A-5.4,A-5.4,A-5.6. The busiding corner & stair tower elevations in conjunction with the entry feature comply with this provision. COMPLIES: See Ground floor plan A-1.1. The building consolidates all the vehicular entrances on Navarre Avenue COMPLIES: (COMPLIES: Keystone & Grantle wall cladding at the Building main entrances comply with this provision. COMPLIES: COMPLIES: COMPLIES:
X X	2.4	x x x x	Builting step bacis. Builting step bacis. Builting towers. Drheweys Ligiting of lancicaping. Matterials on exterior builting works.	towers, stafe towers and center massing for vertical changes in the prodestal mass as well of the comer tower and bay window towers for vertical changes at the residential flower to comply with this provision COMPLIES: See Ground floor plan A-1.1, Pool & not garden level A-1.8 Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2 A-5.3, A-5.4, A-5.3, A-5.4, A-5.3, A-5.4, A-5.3, A-5.4, A-5.3, A-5.4, A-5.2 & A-3.3 and 3D Views A-5.1,A-5.2 & A-5.3, A-5.4, A
x x x x	2.4 2.5 2.6 2.7	X X X X X	Builting step bacs. Builting step bacs. Builting towers. Drheways Lighting of lancecaping. Materials on exterior Dovined doors.	towers, stafe towers and center massing for vertical changes in the prodestal mass as well of the comer tower and bay window towers for vertical changes at the residential tower to comply with this provision COMPLIES: See Ground floor plan A-1.1, Pool 8 not garden level A-1.8, Butleting elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1.4-5.2 A-5.3, A-5.4, A-5.5, A-5.6. The batleting sleeps from the principal sleeps, as the peaks of the lower 8 upper residential levels. COMPLIES: See Ground floor plan A-1.4. The batleting comply from the principal sleeps and the stafe of the peaks of the floor plan A-1.5. A-5.6. The batleting corner's stafe tower should be stafe to the sleep and the stafe of the sleep and the sleep an
x	2.4 2.5 2.6 2.7 2.8	X X X X X X	Builting step bacus. Builting step bacus. Builting fewers. Drheways Lighting of lancecaping. Materials on exterior builting step builting step builting step builting step step step step step step step step	towers, stafe towers and center massing for vertical changes in the prodestal mass as well of the comer tower and bay window towers for vertical changes at the residential lower to comply with this provision COMPLES: See Ground floor plan A-1.1, Pod 8 not garden level A-1.8 suiting elevations A-3.1, A-3.2 8 A-3.3 and 30 Views A-5.1,A-5.2 A-5.3, A-5.4, A-5.5, A-5.6. The building steps from he principal stoade, and utilizes a vertical ship back on a street devolers, as well as the COMPLES: See Building elevations A-3.1, A-3.2 8 A-3.3 and 30 Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building steps from the principal stoade, and utilizes a vertical ship back on a street devolers, as well as the COMPLES: See Ground floor plan A 1.1. The building comer & stafe tower elements in conjunction with the verby feature comply with this provision. COMPLES: COMPLES: COMPLES: COMPLES: COMPLES: Keystone & Grantle wall cladding at the Building main entrances comply with this provision. COMPLES: COMP
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x x x x x x x	2.4 2.5 2.6 2.7 2.8 2.9 2.10	X X X X X X	Poesitian amendies Peesitian passe peesitian	towers, stafe towers and center massing for vertical changes in the prodestal mass as well of the comer tower and bay window towers for vertical changes at the residential flower to comply with this provision COMPLES: See Ground floor plan A-1.1, Pod 8 not garden level A-1.8 Building elevations A-3.1, A-3.2 8 A-3.3 and 3D Views A-5.1.4-5.2 A-5.3, A-5.4, A-5.5, A-5.6. The building steps from he principal facade, and utilizes a vertical ship back on stered elevations, as well as the slop bab of the hower & upper residential levels. COMPLIES: See Building elevations A-3.1, A-3.2 8 A-3.3 and 3C Views A-5.1.4-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building steps are simply as a simple step and a sincrease and a simple step and a simple step and a simple step and
x x x x x x x	2.4 2.5 2.6 2.7 2.8 2.9 2.10	x x x x x x	Poesitian amendies Peesitian passe peesitian	towers, stafe towers and center massing for vertical changes in the prodestal mass as well of the comer tower and bay window towers for vertical changes at the residential flower to comply with this provision COMPLES: See Ground floor plan A-1.1, Pod 8 not garden level A-1.4, Building elevations A-3.1, A-3.2 & A-3.3 and 3.0 Views A-5.1,A-5.2 A-5.3, A-5.4, A-5.5, A-5.6. The building steeps from he principal floade, and utilizes a vertical step back on a street elevations, as well as the slep back of the hower & upper residential levels. COMPLIES: See Ground floor plan A-1.1. The building comper & stair tower elements in conjunction with the entry feature comply with this provision. COMPLIES: See Ground floor plan A-1.1. The building consolidates all the vehicular entrances on Neurante Avenue. COMPLIES: Que planting of landscaping within and/or adjacent to pedestrain areas will be provided. COMPLIES: OVER-LIES: OVER-LIES
x x x x	2.4 2.5 2.6 2.7 2.8 2.9 2.10 2.11	x x x x x x	Builting step bacus. Builting step bacus. Builting towers. Drheways Ligiting of lancicoping. Materials on exterior and and an exterior an	towers, stafe towers and center massing for vertical changes in the prodestal mass as well of the comer tower and bay window towers for vertical changes at the residential flower to comply with this provision COMPLIES: See Ground floor plan A-1.1, Pod 8 not of garden level A-1.4, Building elevations A-3.1, A-3.2 & A-3.3 and 3.0 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building steeps from he principal facade, and utilizes a vertical ship back on a street elevations, as well as the slop bab of the hower & upper residential levels. COMPLIES: See Building elevations A-3.1, A-3.2 & A-3.3 and 3.0 Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building steeps with this provision. COMPLIES: See Ground floor plan A 1.1. The building conner & stair tower elements in conjunction with the verity leafure comply with this provision. COMPLIES: Up lightling of landscaping within and/or adjacent to pedestrian areas will be provided. COMPLIES: COMPLIES: COMPLIES: COMPLIES: COMPLIES: COMPLIES: COMPLIES: Comply with this provision. COMPLIES: Comply with this provision. COMPLIES: Comply with this provision and the Building main entertances comply with this provision. COMPLIES: Comply with this provision and the standard done provision of the standard done provision
x x x x x x x	2.4 2.5 2.6 2.7 2.8 2.9 2.10 2.11	X X X X X X	Builting step bacus. Builting step bacus. Builting step bacus. Drheways Ligiting of lancicapping. Materials on builting focusion. Focusion of control of contro	towers, stafe towers and center massing for vertical changes in the prodestal mass as well of the corner tower and buy window towers for vertical changes at the residential tower to comply with this provision COMPLIES: See Ground floor plan A-1.1, Pod 8 not garden level A-1.8, Butleing elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The balding steps from he principal flaquide, step back of the lower 8 upper residential levels. COMPLIES: COMPLIES: COMPLIES: COMPLIES: COMPLIES: See Ground floor plan A-1.1. The building corner fix stain tower elements in conjunction with the entry feature comply with this provision. COMPLIES: COM
x x x x	2.4 2.5 2.6 2.7 2.8 2.9 2.10 2.11 2.12	x x x x x x	Builting step baces. Builting step baces. Builting step baces. Drheways Ligiting of lancesping. Materials on forested to the step of	towers, staff towers and center massing for vertical changes in the prodestal mass as well of the corner tower and bay window towers for vertical changes at the residential tower to comply with this provision COMPLIES: See Ground floor plan A-1.1, Pod & not garden level A-1.8 suiting elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2 A-5.3, A-5.4, A-5.5, A-5.6. The building steps from he principal flaquide, until mass and suiting steps from the principal flaquide, until mass and suiting steps from the principal flaquide, until mass and suiting steps from the principal flaquide, until mass and suiting steps from the principal flaquide, until mass and suiting steps from the principal flaquide, until mass and suiting steps from the principal flaquide, until mass and suiting steps from the principal flaquide, until mass and suiting steps from the principal flaquide, until mass and suiting steps from the principal flaquide, until mass and suiting steps from the entity flaquide compile with this provision. COMPLIES: Up lighting of landicaping within and/or adjacent to podestrain areas will be provided. COMPLIES: Up lighting of landicaping within and/or adjacent to podestrain areas will be provided. COMPLIES: COMPLIES: See Ground floor plan A 1.1. Driveways will have a minimum of hearthy five precent of power treatments, and cisiowalke will have a minimum of hearthy five precent of power treatment, and cisiowalke will have a minimum of hearthy five precent of power treatment, and cisiowalke will have a minimum of hearthy five process of power heathers. COMPLIES: See Ground Floor Plan A 1.1 and Building elevations A.3.1, A.3.2 & A.3.3 and 30 Views A.5.1, A.5.2, A.5.3, A.5.4, A.5.5, A.5.6. The project will have at a minimum four protestrian anentities. To include Benches, Plantners, Refuse Containers, and Water Features COMPLIES: See Ground Floor Plan A.1.1 and Building elevations A.3.1, A.3.2 & A.3.3 and 30 Views A.5.1, A.5.2, A.5.3, A.5.4, A.5.5, A.5.6. Mediterranea Style Design Standars Table No 3

3.4 X Multi-family residential density bonus for Mediterranean Architectural Cesign buildings.



ARCHITECT

Bellin & Pratt

AA2600086

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CONSULTANTS:

Consultant Address Address Phone Fax

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REPRODUCED, DUPLICATE AND USED WITH THE WRITTEN.

PROJECT NAME:

Proposed Residential Mixed-Use Project

PROPERTY ADDRESS 33 Alhambra Circle Coral Gables FL

OWNER INFORMATION TWJ Alhambra, LLC 100 South Biscayne Boulevard Suite 900 Miami FL 33131

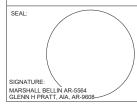
CITY COMMISSION 2nd Reading

ISSUE DATE: 04.18.2017
PROJECT No.: 2013-07
DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

No.	Description	Date

ALL DRAWINGS AND WRITTEN MATERIALS
HEREIN CONSTITUTE ORIGINAL WORK OF
THE ARCHITECT AND MAY ONLY BE
DUPLICATED WITH THEIR WRITTEN CONSENT



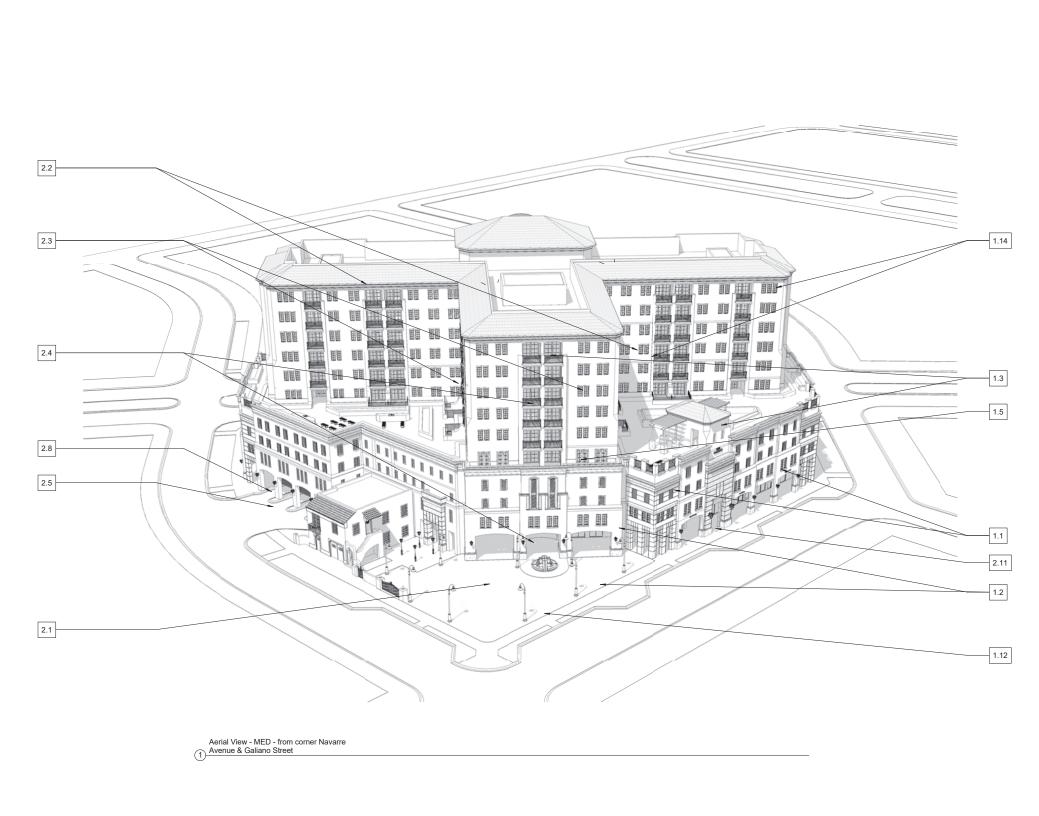
SHEET TITLE:

3D VIEW & MED BONUS

SCALE: 12" = 1'-0"

SHEET No.:

				Mediterranea Style Design Standars Table No 1
				empliead with all Categories in Table 1
	Ι	_	mplies (An "X" i	means the Project Complies with requirement)
complies	Referenne No.	Residentia	Туре	Comments
Х	1.1	х	Architectural elements on building facades	COMPLIES: See decorative reveal and molding on all building elevations (Building elevation sheet A-3.1., A3.2 & A-3.3). Also see 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
х	1.2	х	Architectural milef elements at street level.	COMPULES: See Ground floor plan A-1.1 and A-3.1, A-3.2 & A-3.3 (Ruiding [Bewaton). Also see 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Similar architectural relief elements are provided on all sides adjoining potentians isidewasks. Architectural relief elements also include building front arcade, decorative paving teatments, art piece and site & street landscaping.
х	1.3	х	Architectural elements located on the top of buildings.	COMPLIES: See Corner & Stair tower feature at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, N-5.3, A-5.4, A-5.5, for Roof structure elements and locations. Similar architectural elements for roof structure elements and locations. Similar architectural elements for roof structures. See also Metal Vaulied roofs.
Х	1.4	х	Bicycle Facilities.	COMPLIES: See A-1.1 A bicycle rack for a mininum of five bicycles will be provided in the covered ground floor area.
Х	1.5	х	Building Facades	COMPLIES: See exterior mass variations & break lines at Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-3.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project also stepback differen plans as vertical break to comply with his provision.
x	1.6	×	Building lot coverage.	COMPLIES: Permissive provision.
Х	1.7	х	Drive through facilities.	COMPLIES: No drive through 2 Alhmabra Circle
Х	1.8	х	Landscape open space area.	COMPLIES: The project will have landscape open space that exceeds the minimum requirement of twenty-five percent for residential projects.
х	1.9	х	Lighting, street	COMPLIES: The project will provide right away street lighting as allowed, required and approved by the Public Works Department.
Х	1.10	х	Parking garages.	COMPLES: See ground floor plan A-1.0 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The proposed parking at ground floor is not seen from the primary street in compliance with this provision.
Х	1.11	х	Porte-cocheres.	COMPLES: See Ground floor plan A-1,1 & Building elevations A-3,1, A-3,2 & A-3,3 and 3D Views A-5,1,A-5,2, A-5,3, A-5,4, A-5,5, A-5,6 The project does NOT have a Porte-Cochere on Alhambra Circle to comply with this provision.
Х	1.12	х	Sidewalks/ pedestrian access	COMPLIES: See site plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. Pedestrian access is provided at street level from Alhambra Circle, Minorca Avenue, Gallano Street & Navarre Avenue.
X	1.13	X	Soil, structural.	COMPLIES: All right of way planting areas will utilize structural soil. COMPLIES:
^	1.14	^	Windows on Mediterranean buildings.	All windows will have a minimum spacing depth of four inches.
		Cor	al Gables N	Mediterranea Style Design Standars
				Table No 2
				Compliead with 11 of 12 in Table 2
	Comp	_	"X" means the	Project Complies with requirement) 8 out of 12 required
Complies	Referanne No.	Residentia	Туре	Comments
Х	2.1	х	Arcades and/or loggias.	COMPUES: See Ground Floor Plan A-1.1 & Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1,A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The project has an arcade at the ground level that provides pedestrian protections: See also the provided Urban Piaza at Navarre Avenue & Gallano Street
х	2.2	х	Building rooflines.	COMPULES: See Bulding Elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.5. The project utilizes the corner towers, stair towers and center massing for vertical changes in the podestal mass as well of the corner tower and bay window towers for vertical changes at the residental tower to comply with this provision
Х	2.3	х	Building step tacks.	COMPUES: See Ground floor plan A-1.1, Pool & roof garden level A-1.4. Building elevations A-3.1, A-3.2 & A-3.3 ard 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building steps from the principal façade, and utilizes a vertical step back on all street elevations, as well as the
Х	2.4	х	Building bwers.	step back of the lower & upper residential levels. COMPLES: See Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6. The building corner & stair tower elements in conjunction with the entry feature comply with this provision.
Х	2.5	х	Driveways	elements in conjunction with the entry resture compty with this provision. COMPLIES: See Ground floor plan A 1.1. The building consolidates all the vehicular entrances on Navarre Avenue
х	2.6	х	Lighting of landscaping.	COMPLIES: Up lighting of landscaping within and/or adjacentto
х	2.7	х	Materials on exterior	pedestrian areas will be provided. COMPLIES: Keystone & Granite wall cladding at the Building main
х	2.8	х	building tacades. Overhead doors.	entrances comply with this provision. COMPLIES: Overhead doors provided for vehicular entrances are
	2.9	х	Paver teatments	recessed to comply with this provision COMPLIES: See Ground Floor Plan A 1.1. Driveways will have a minimum of ten percent of paver treatment, and sidewalks will have a
х			Pedestrian	minimum of twenty five percent of paver treatmest. COMPLIES: See Ground Floor Plan A-1.1 and Building elevations
X	2.10	х	amenities.	A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6
	2.10	x	Pedestrian pass-throughs/ paseos on	Ad 1, Ad 2 & Ad 3 and 3D Views Ad 1, Ad 2, Ad 3, Ad 4, Ad 5,
х	2.11		Pedestrian pass-throughs/ paseos on properties contiguous to dileys and/or streets.	A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project will have at a minimum four pedestriar amenities. To include: Benches, Plantines, Relutions Containers, and Valter Features— See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass throught that connect Alhambra Circle, Navarre Avenue & Gallano Street
х			Pedestrian pass-throughs/ paseos on properties contiguous to alleys and/or	A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project will have at a minimum four podestriar amenities. To include: Benches, Plantens, Relutuse Containers, and Valtar Features See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 3D Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass through that connect Alhambra Circle,
Х	2.11	x	emenibles. Pedestrian pass-throughs/ paseos on properties contiguous to alleys and/or streets. Underground parking.	A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project with some at a minimum, four prodestinar amendises. To include Benches, Planters, Refuse Containers, and Water Features—COMPLIES: Sec Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass throught that connect Athambra Circle, Navarre Avenue & Gallano Street DOES NOT COMPLY:
Х	2.11	Coi	Pedestrian pass-throughs/ paseos on properties contiguous to alleys and/or streets. Underground parking.	A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project will have at a minimum four podestriar amenities. To trackets levelse, Planters, Rehards Continues, and Waler Features—COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-5.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass throught that connect Athambra Circle, Navarre Avenue & Gallamo Street DOES NOT COMPLY: No underground parting will be utilized. **Tedliterranea Style Design Standars Table No 3
x	2.11	Coi	Pedestrian pass-throughs/ paseos on properties contiguous to alleys and/or streets. Underground parking.	A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project will have at a minimum four podestriar amenibles. To include: Benches, Planters, Relutase Containers, and Water Features COMPLICE of the Plant A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass throught that connect Alhambra Circle, Navarre Avenue & Gallano Street DOES NOT COMPLY: No underground parking will be utilized. **Technology** **Technolog
x	2.11	X	Pedestrian pass-throughs/ paseos on properties contiguous to alleys and/or streets. Underground parking.	A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project will have at a minimum four podestriar amenities. To trackets levelse, Planters, Rehards Continues, and Waler Features—COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-5.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass throught that connect Athambra Circle, Navarre Avenue & Gallamo Street DOES NOT COMPLY: No underground parting will be utilized. **Tedliterranea Style Design Standars Table No 3
x	2.11 2.12 O	Coi	amenities. Pedestrian pass-througha/ pases so repreparties configuous to dileys and/or streets. Underground parking. Tal Gables N (An "X" r Type Building setback	A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project will have at a minimum four pedestriar amenities. To chables lesses. Plantines, Relutes Continuers, and Valter Features—COMPLIES: COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass throught that connect Athambra Circle, Namure Avenue & Gallamo Direct DOES NOT COMPLY: No underground parting will be utilized. fediterranea Style Design Standars Table No 3 neans the Project utilizes the option) Comments
х	Referenne No.	Coi	Pedestrian pass-throughar pass-throughar passes on configuous to deys and/or treets. Underground parking. (An "X" r Type building setback Encrosochment of spith-of-way	A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project will have at a minimum four podestriar amenities. To stackers leading, Plantiers, Refuses Continues, and White Features—COMPLIES: See Ground Floor Plan A-1.1 and Building elevations A-3.1, A-3.2 & A-3.3 and 30 Views A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, A-5.6 The project has an interior pass throught that connect Alhambra Circle, Navarre Avenue & Gallamo Street DOES NOT COMPLY: No underground parting will be utilized. **Table No 3** means the Project utilizes the option) Comments



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PROJECT NAME:

Proposed Residential Mixed-Use Project

PROPERTY ADDRESS 33 Alhambra Circle Coral Gables FL

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CITY COMMISSION 2nd Reading

ISSUE DATE: 04.18.2017
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DRAWN BY: Author
APPROVED BY: Approver

REVISIONS:

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SHEET TITLE:

3D VIEW & MED BONUS

SCALE: 12" = 1'-0"

SHEET No.:



1 3D View From Alhambra Circle

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SHEET TITLE:

Massing View

SCALE:

SHEET No.:



1) 3D View from Galiano Street

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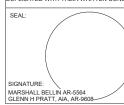
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SCALE:

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SHEET TITLE:

Exterior View

SCALE:



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Exterior View

SCALE:





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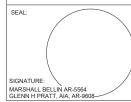
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SHEET TITL

Exterior View

SCALE:

A610



VIEW FROM ALHAMBRA CIRCLE

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134

AA2600086

Bellin & Pratt architects, LLC



VIEW FROM ALHAMBRA CIRCLE

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134





VIEW FROM ALHAMBRA CIRCLE

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Bellin & Pratt architects, LLC



VIEW FROM GALIANO STREET

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134

Bellin & Pratt architects, LLC



VIEW FROM GALIANO STREET

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134





VIEW FROM GALIANO STREET & NAVARRE AVENUE

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134

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VIEW FROM NAVARRE AVENUE & GALIANO STREET

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134

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VIEW FROM NAVARRE AVENUE

RESIDENTIAL MIXED-USE PROJECT

33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134





VIEW FROM NAVARRE AVENUE

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134

Bellin & Pratt architects, LLC



AERIAL VIEW FROM GALIANO STREET & MINORCA AVENUE

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134





AERIAL VIEW FROM NORTH EAST

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134

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AERIAL VIEW FROM ALHAMBRA CIRCLE

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134

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AERIAL VIEW FROM NAVARRE AVENUE STREET

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134

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AERIAL VIEW FROM NAVARRE AVENUE & GALIANO STREET

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AERIAL VIEW FROM GALIANO STREET

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134

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1 Aerial View 1/4" = 1'-0" ARCHITEC

Bellin & Pratt architects, LLC

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REVISIONS:

No.	Description	Date

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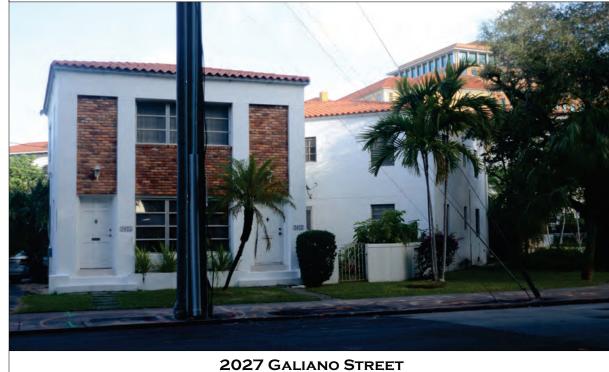
AERIAL VIEW

SCALE: 1/4" = 1'-0"

A0 3



47 ALHAMBRA CIRCLE



PHOTOS OF EXISTING PROPERTIES

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134

PLANNING AND ZONING SUBMITTAL ISSUE DATE: 11.21.2014

Bellin & Pratt architects, LLC



20-22 NAVARRE AVENUE

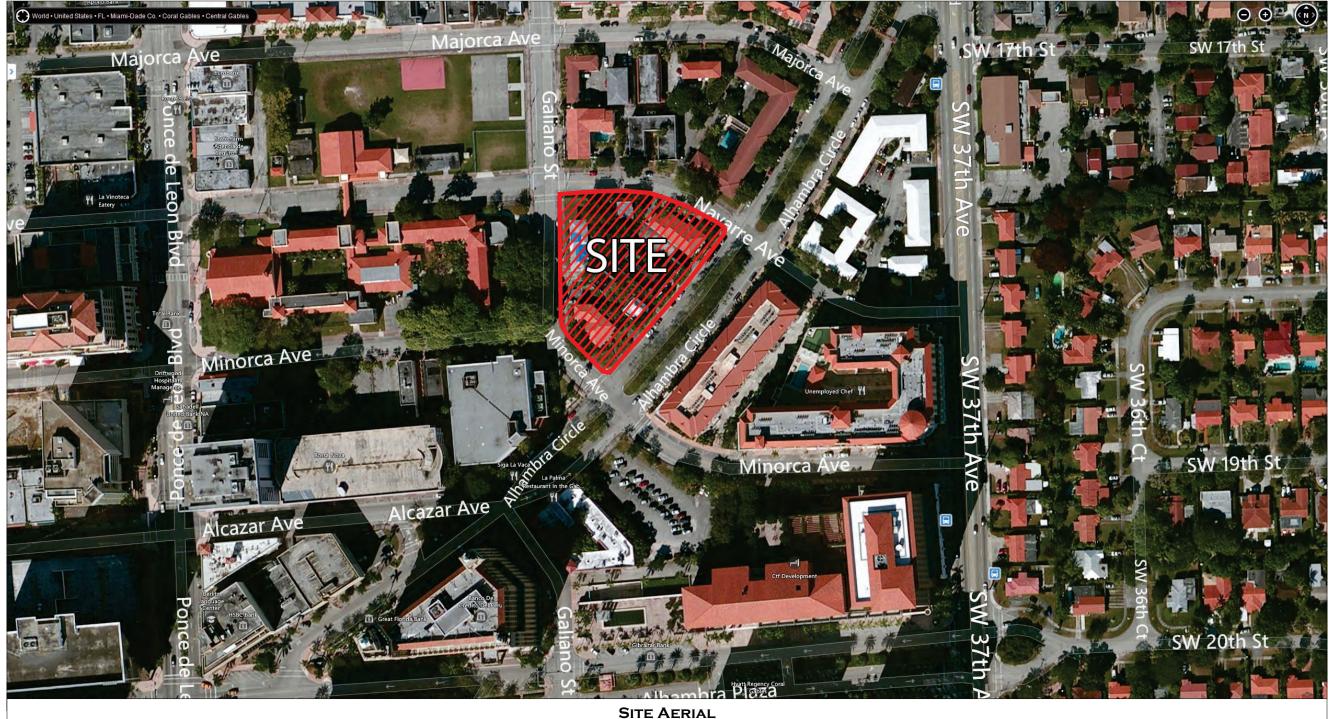


20-22 NAVARRE AVENUE

PHOTOS OF EXISTING PROPERTIES

RESIDENTIAL MIXED-USE PROJECT 33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134





PHOTOS OF EXISTING PROPERTIES

RESIDENTIAL MIXED-USE PROJECT

33 ALHAMBRA CIRCLE, CORAL GABLES FL. 33134



Traffic Impact Analysis

33 Alhambra Circle Coral Gables, Florida



Kimley»Horn

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Traffic Impact Analysis

33 Alhambra Circle Coral Gables, Florida

Prepared for:

TWJ Alhambra, LLC Miami, Florida





John J. McWilliams, P.E.
Florida Registration Number 62541
Kimley-Horn and Associates, Inc.
600 North Pine Island Road, Suite 450
Plantation, Florida 33324

EXECUTIVE SUMMARY

TWJ Alhambra, LLC is proposing a mixed-use development consisting of residential, office, and retail uses located on the site generally bound by Alhambra Circle, Minorca Avenue, Navarre Avenue, and Galiano Street in the City of Coral Gables. Currently, the area proposed for development is occupied by 30 residential units that will be demolished as part of the redevelopment. The proposed development will consist of a high-rise apartment building consisting of 130 typical units and 16 live-work units, as well as 2,168 square feet of specialty retail. Access to the site is provided through one (1) full-access driveway along Navarre Avenue. The project is expected to be completed and opened by year 2020.

A traffic impact analysis was conducted to assess the project's impact on the surrounding roadway network and to determine if adequate capacity is available to support future traffic volumes. Trip generation calculations for the proposed development were performed using the Institute of Transportation Engineer's (ITE's) *Trip Generation*, 9th Edition. ITE Land Use Code (LUC) 222 (High-Rise Apartment with 10 or more floors) was utilized for the typical and livework residential units of the development, ITE LUC 710 (General Office Building) was utilized for the work space within the live-work units, and ITE LUC 826 (Specialty Retail) was utilized for the retail component. Credit for the existing use on the site was applied to the trip generation analysis. This project is expected to generate 58 new trips during the A.M. peak hour and 134 new trips during the P.M. peak hour.

Intersection capacity analyses indicate that the study intersections are expected to operate at accepted levels of service during the A.M. and P.M. peak hours under all analysis conditions.

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INTRODUCTION

TWJ Alhambra, LLC is proposing a mixed-use development consisting of residential, office, and retail uses located on the site generally bound by Alhambra Circle, Minorca Avenue, Navarre Avenue, and Galiano Street in the City of Coral Gables. Note that the project site is within the Gables Redevelopment Infill District (GRID). Currently, the area proposed for development is occupied by 30 residential units that will be demolished as part of the redevelopment. The proposed development will consist of a high-rise apartment building consisting of 130 typical units and 16 live-work units, as well as 2,168 square feet of specialty retail. Access to the site is provided through one (1) full-access driveway along Navarre Avenue. A project location map is included as Figure 1 and a site plan is provided in Appendix A. The project is expected to be completed by year 2020.

The roadways within the immediate vicinity of the site include Alhambra Circle, Minorca Avenue, Navarre Avenue, Galiano Street, Majorca, and South Douglas Road/Southwest 37th Avenue. Minorca Avenue, Navarre Avenue, and Majorca Street are all two-lane undivided eastwest roadways with on-street parking; Alhambra Circle is a two-lane divided roadway with on-street parking; Galiano Street is a two-lane undivided north-south roadway with on-street parking; and South Douglas Road/Southwest 37th Avenue is a four-lane undivided north-south roadway.

Kimley-Horn and Associates, Inc. has completed this traffic impact analysis to assess the project's impact on the surrounding roadway network and determine if adequate capacity is available to support future traffic volumes. Methodology correspondence detailing the traffic study requirements is included in Appendix B. This report summarizes the data collection, project trip generation and distribution, and capacity analyses.



Kimley»Horn

Figure 1 Site Location Map 33 Alhambra Circle Coral Gables, Florida

PROJECT TRAFFIC

Project traffic used in this analysis is defined as the vehicle trips expected to be generated by the project and the distribution and assignment of that traffic over the study roadway network.

Existing and Proposed Land Uses

The project site is currently occupied by 30 multi-family residential dwelling units. The proposed development will consist of a high-rise apartment building consisting of 130 typical units and 16 live-work units, as well as 2,168 square feet of specialty retail.

Project Access

Proposed access to the site is provided through one (1) full-access driveway along Navarre Avenue. A site plan is provided in Appendix A.

Trip Generation

Trip generation calculations for the proposed development were performed using the Institute of Transportation Engineer's (ITE's) *Trip Generation*, 9th Edition. ITE Land Use Code (LUC) 222 (High-Rise Apartment with 10 or more floors) was utilized for the typical and live-work residential units of the development, ITE LUC 710 (General Office Building) was utilized for the work space within the live-work units, and ITE LUC 826 (Specialty Retail) was utilized for the retail component. ITE LUC 220 (Apartment) was used for the existing residential development which will be demolished. Table 1 summarizes the project's forecast trip generation for the weekday A.M. and weekday P.M. peak hours of adjacent street traffic. Detailed trip generation information is included in Appendix C.

Internal Capture Volumes

Internal capture is expected between the complementary land uses within a project. Internal capture trips are trips made among the on-site uses, which in the case of this project are trips between the apartment units, the office space, and retail space. Internal capture trips for the project were determined based upon methodology contained in the ITE's, *Trip Generation Handbook*, 2nd Edition June 2004. The applied internal capture percentages are presented in Table 1. Detailed calculations are contained in Appendix C.

Net New Project Trips

Net new project trips are equal to the gross project trips minus the internal capture and existing development trips. The net new project trips represent additional vehicles on the roadway network. As shown in Table 1, this project is expected to generate 58 net new trips during the A.M. peak hour and 134 net new trips during the P.M. peak hour.

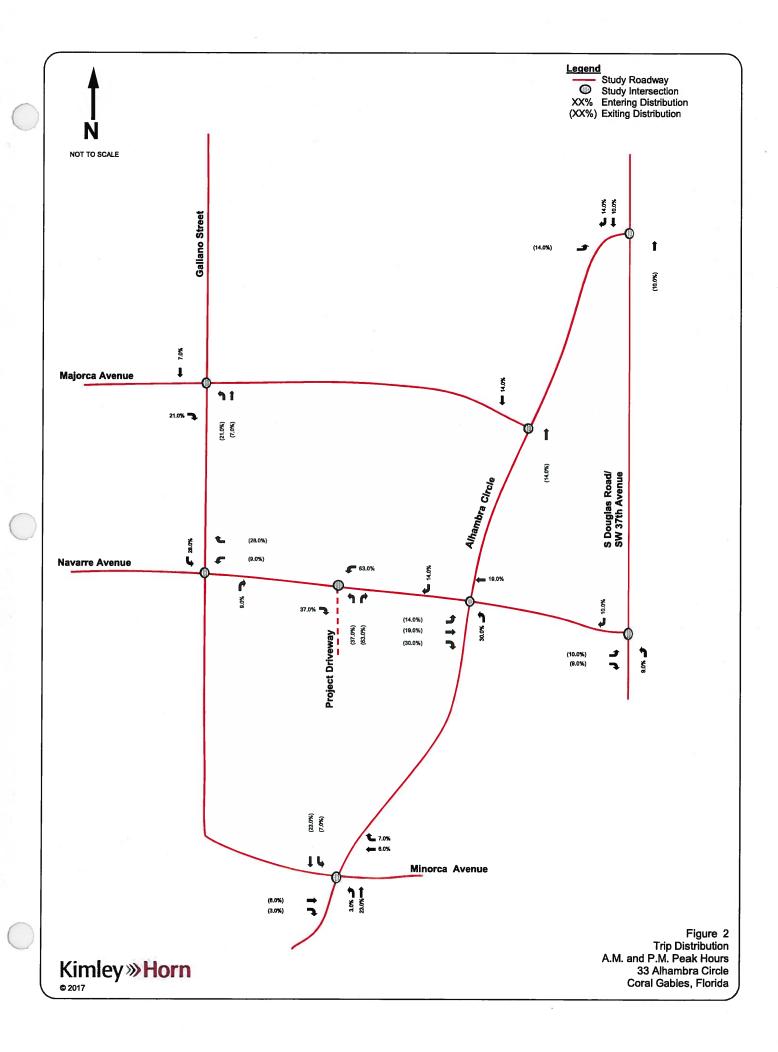
Table 1: Peak Hour Trip Generation										
Land Uses	ITE Scale	Gross Project Trips			Internal Capture		Net New Project Trips			
	Code	Code	Enter	Exit	Total	%	Trips	Enter	Exit	Total
	Existing W	eekday A.M. Pe	ak Hour (I	Existing	Weekday	P.M. Peak	Hour)	•		
Apartment	220	30 d.u.	4 (22)	14 (12)	18 (34)	0.0% (0.0%)	0 (0)	4 (22)	14 (12)	18 (34)
	Proposed W	eekday A.M. Pe	ak Hour (I	Proposed	l Weekda	ıy P.M. Ped	ık Hour)			
High-Rise Apartment	222	146 d.u	11 (36)	33 (23)	44 (59)	0.0% (6.8%)	0 (4)	11 (33)	33 (22)	44 (55)
General Office Building	710	10.5 ksf	28 (15)	4 (75)	32 (90)	0.0% (1.1%)	0 (1)	28 (15)	4 (74)	32 (89)
Specialty Retail Center	826	2.168 ksf	0 (12)	0 (15)	0 (27)	0.0% (11.1%)	0 (3)	0 (11)	0 (13)	0 (24)
Proposed			39 (63)	37 (113)	76 (176)	0.0% (4.5%)	0 (8)	39 (59)	37 (109)	76 (168)
Total (Proposed – Existing)				,			35 (37)	23 (97)	58 (134)	

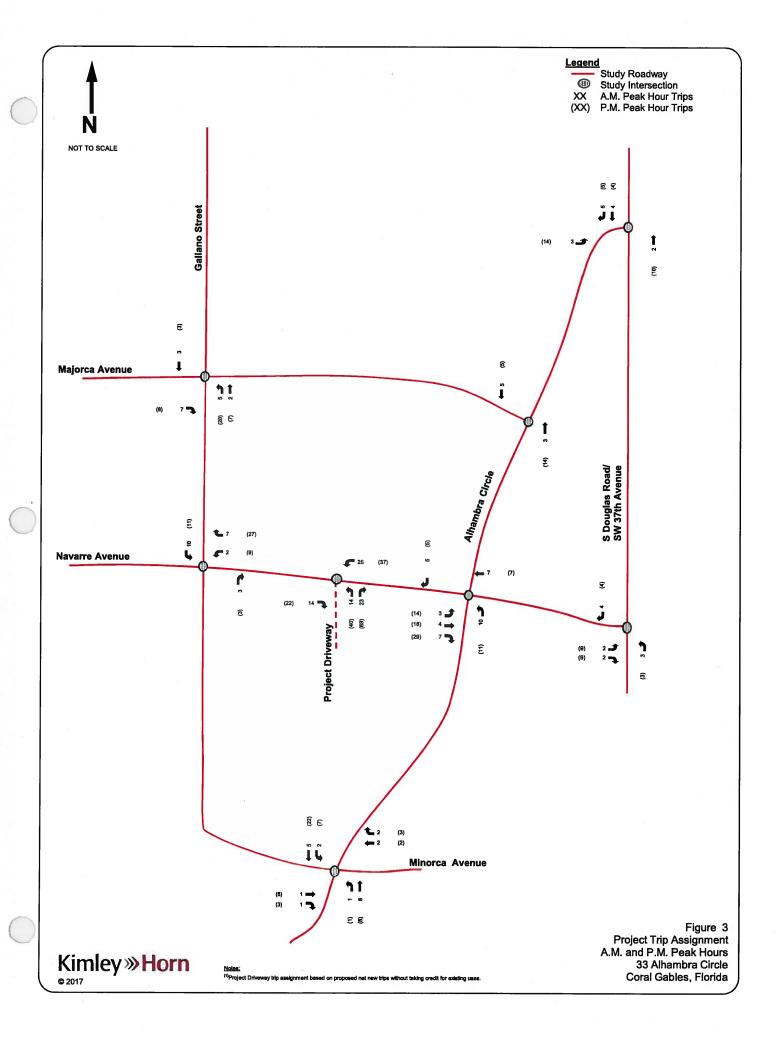
Trip Distribution and Assignment

The likely distribution of project traffic was forecasted for the trips expected to be generated by the proposed development. The trip distribution was based on a cardinal trip distribution for the project site's traffic analysis zone (TAZ 1035) obtained from the 2035 Cost Feasible Plan travel demand model developed by the Miami-Dade Metropolitan Planning Organization. The cardinal trip distribution for TAZ 1035 interpolated for the year 2020 is provided in Table 2.

Table 2: Cardinal Trip Distribution			
Cardinal Direction	Percentage of Trips		
North-Northeast	12.36%		
East-Northeast	16.69%		
East-Southeast	3.94%		
South-Southeast	8.86%		
South-Southwest	16.12%		
West-Southwest	16.67%		
West-Northwest	10.30%		
North-Northwest	15.07%		
Total	100.00%		

The detailed cardinal distribution is included in Appendix D. Figure 2 presents the project's trip distribution and Figure 3 presents the project's traffic assignment for the weekday A.M. and P.M. peak hours.



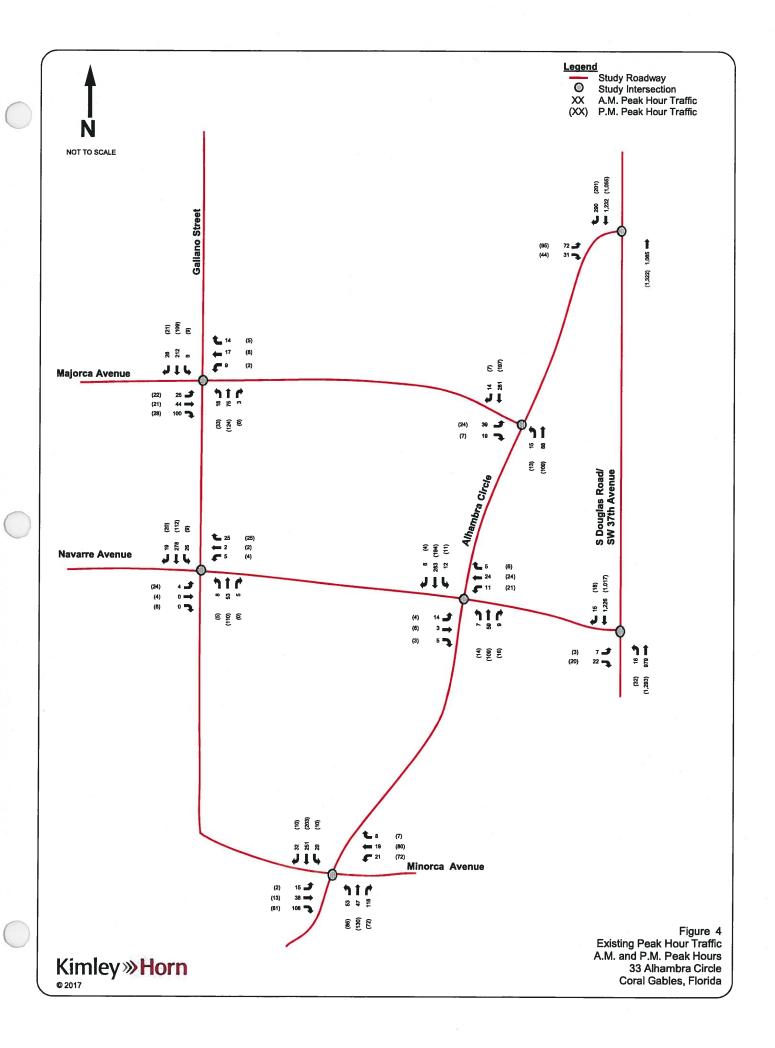


EXISTING TRAFFIC

A.M. peak period (7:00 to 9:00 A.M.) and P.M. peak period (4:00 to 6:00 P.M.) turning movement counts were collected on February 1, 2017 (Wednesday) at the following seven (7) intersections:

- Alhambra Circle and Minorca Avenue
- Alhambra Circle and Douglas Road/SW 37th Avenue
- Galiano Street and Majorca Avenue
- Galiano Street and Navarre Avenue8
- Alhambra Circle and Majorca Avenue
- Alhambra Circle and Navarre Avenue
- Douglas Road/SW 37th Avenue and Navarre Avenue

The volumes were collected in 15-minute intervals and the peak hour was determined for each intersection. The Florida Department of Transportation (FDOT) peak season conversion factor (PSCF) was applied to the traffic counts to adjust the traffic to peak season volumes. The appropriate peak season conversion factor for the week the counts were collected is 1.01. The turning movement counts and FDOT peak season factor category report are included in Appendix E. Figure 4 presents the existing turning movement volumes at the study intersections during the weekday A.M. and P.M. peak hours.



FUTURE BACKGROUND TRAFFIC

Future background traffic conditions are defined as expected traffic conditions on the roadway network in the year 2020 without the construction of the proposed project. Future background traffic volumes used in the analysis are the sum of the existing traffic and an additional amount of traffic generated by growth in the study area. Figure 5 presents the year 2020 peak hour background traffic volumes during the weekday A.M. and P.M. peak hours.

Background Area Growth

Future traffic growth on the transportation network was determined based upon historic growth trends at nearby FDOT traffic count stations and based upon the Miami-Dade Metropolitan Planning Organization's (MPO) projected 2005 and 2035 model network volumes. FDOT count stations referenced in this analysis include:

- Count Station #2534 located on SR 972/Coral Way, 200' east of SW 37th Ave.
- Count Station #0024 located on SR 953/LeJeune Road, 200' south of Coral Way/SR 972
- Count Station #0025 located on SR 953/LeJeune Road, 200' S of S SW 8th St./SR 90

The FDOT historic growth rate analysis yielded a negative 2.08 percent (-2.08%) growth rate over the most recent five (5) year period and a negative 1.23 percent (-1.23%) growth rate over the most recent ten (10) year period.

Additionally, the MPO 2005 and 2035 model network volumes were examined to determine the growth trend for the roadway segments near the site location. MPO model roadway segments referenced in this analysis include:

- South Douglas Road/SW 37th Avenue
- Ponce De Leon Boulevard
- Alhambra Circle

The MPO model growth rate analysis yielded a 0.72 percent (0.72%) growth rate.

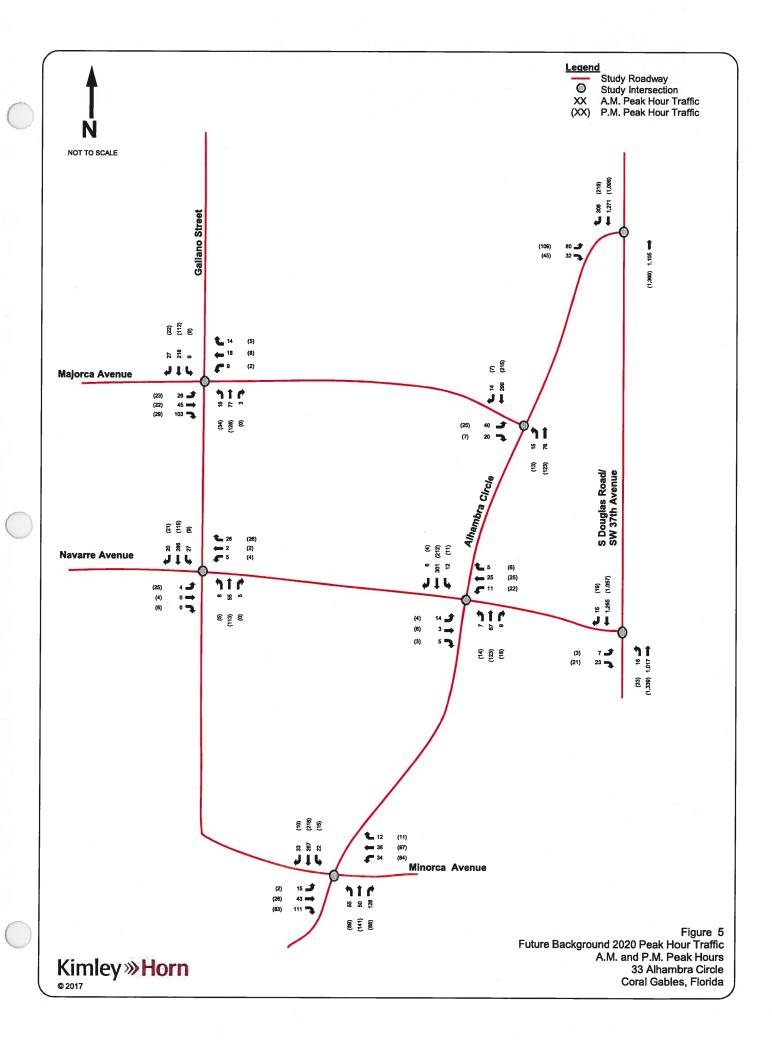
To provide for a conservative analysis, a 1.0 percent (1.0%) growth rate was applied annually to the existing traffic volumes to attain future (2020) background traffic conditions. The worksheets used to analyze the historic growth trends are included in Appendix F.

Committed Developments

Five (5) committed (not yet built) developments were identified by the City of Coral Gables staff:

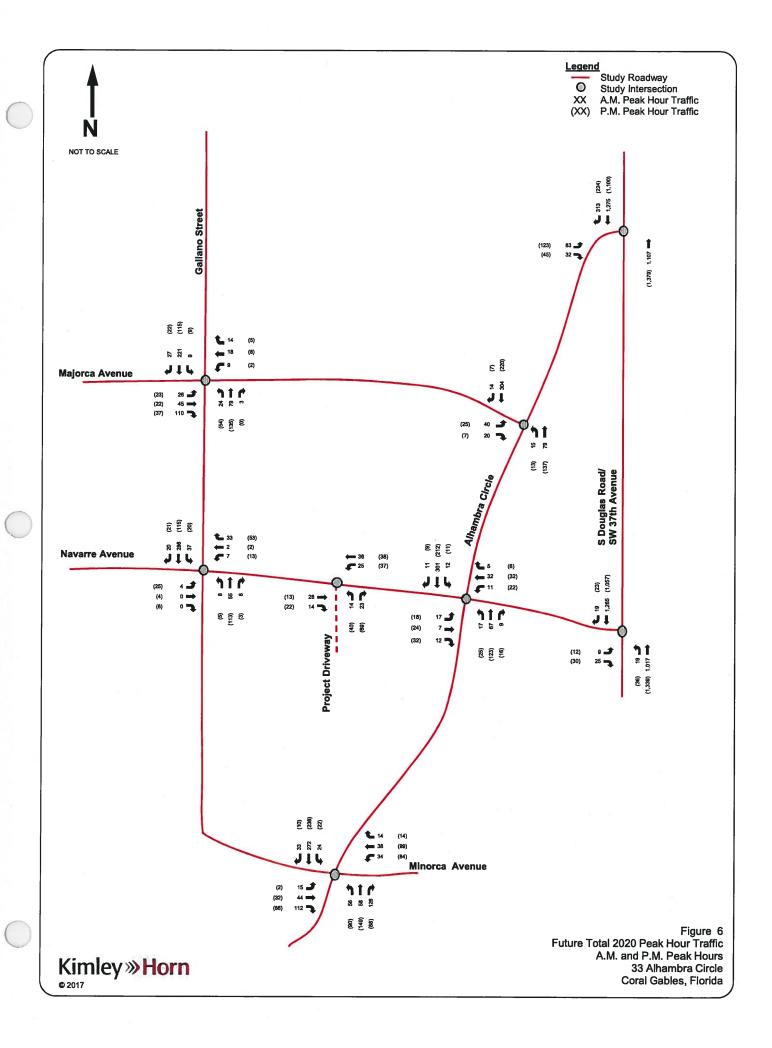
- 1. 100 Alhambra Circle
- 2. 2020 Salzedo
- 3. 2222 Ponce de Leon (Giralda Complex)
- 4. 301 Giralda (Tap 42)
- 5. 300 Giralda (Coral Gables Day Care)

Based on the trip assignment from the traffic studies previously prepared for these developments, project trips from only the first three (3) developments listed above are expected to travel through the study intersections related to this project. Therefore, traffic projected from the first three (3) developments listed above was added to background A.M. peak hour and P.M. peak hour traffic. Corresponding traffic assignments and site plans are included in Appendix F. Volume development worksheets are included in Appendix G.



FUTURE TOTAL TRAFFIC

Future total traffic conditions are defined as the expected traffic conditions in the year 2020 after the opening of the project. Total traffic volumes considered in the analysis for this project are the sum of the year 2020 background traffic volumes and the expected project traffic volumes. Figure 6 presents the future traffic volumes for the weekday A.M. and P.M. peak hours. Volume development worksheets for the study intersections are included in Appendix G.



INTERSECTION CAPACITY ANALYSIS

The operating conditions were analyzed for the study intersections. Three (3) scenarios (existing conditions, future background conditions, and future total conditions) were analyzed using *Trafficware's SYNCHRO 8.0 Software*, which applies methodologies outlined in the *Highway Capacity Manual, 2010 Edition*. Synchro worksheets for the study intersections are included in Appendix H. A summary of the intersection analyses for the A.M. and P.M. peak hours is presented in Table 3. As this table indicates, the study intersections are expected to operate at accepted levels of service during the A.M. and P.M. peak hours under all analysis conditions.

		Overall		Appro	ach LOS	
Intersection	Traffic Control	LOS/Delay	EB	WB	NB	SB
Existing Conditi	ions (Background Condit	tions) [Future Tota	l Conditions	Scenario]		<u> </u>
	A.M. Pe	ak Hour				
Galiano Street and Majorca Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	B (B) [B]	(2)	(2)
Galiano Street and Navarre Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	A (A) [A]	(2)	(2)
Alhambra Circle and Majorca Avenue	One-Way Stop-Controlled	(1)	A (B) [B]	N/A	(2)	(2)
Alhambra Circle and Navarre Avenue	One-Way Stop-Controlled	(1)	B (B) [B]	B (B) [B]	(2)	(2)
Alhambra Circle and S Douglas Road/SW 37 th Avenue	Two-Way Stop-Controlled	(1)	D (E) [E]	N/A	(2)	(2)
Alhambra Circle and Minorca Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	B (B) [B]	(2)	(2)
S Douglas Road/SW 37 th Avenue and Navarre Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	N/A	(2)	(2)
Navarre Avenue and Project Driveway	One-Way Stop-Controlled	(1)	(2)	(2)	[A]	N/A
	Р.М. Ре	ak Hour				
Galiano Street and Majorca Avenue	Two-Way Stop-Controlled	(1)	A (B) [B]	A (A) [B]	(2)	(2)
Galiano Street and Navarre Avenue	Two-Way Stop-Controlled	(1)	A (A) [A]	A (A) [A]	(2)	(2)
Alhambra Circle and Majorca Avenue	One-Way Stop-Controlled	(1)	A (A) [B]	N/A	(2)	(2)
Alhambra Circle and Navarre Avenue	One-Way Stop-Controlled	(1)	A (A) [B]	A (B) [B]	(2)	(2)
Alhambra Circle and S Douglas Road/SW 37 th Avenue	Two-Way Stop-Controlled	(1)	D (D) [E]	N/A	(2)	(2)
Alhambra Circle and Minorca Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	B (C) [C]	(2)	(2)
5 Douglas Road/SW 37 th Avenue and Navarre Avenue	Two-Way Stop-Controlled	(1)	B (B) [B]	N/A	(2)	(2)
Navarre Avenue and Project Driveway	One-Way Stop-Controlled	(1)	(2)	(2)	[A]	N/A

Notes: (1) Overall intersection LOS is not defined, as intersection operates under stop-control conditions.

Approach operates under free-flow conditions. LOS is not defined.

SCHOOL TRAFFIC OBSERVATIONS

School traffic observations were performed at the Coral Gables Preparatory Academy – Lower Academy located at 105 Minorca Avenue immediately west of the project site at the request of Coral Gables staff. The purpose of these field observations is to determine if the proposed development would create adverse impacts to the school's operations including vehicular and pedestrian travel patterns.

The Lower Academy serves students from grades Pre-Kindergarten to 4th Grade. Pre-Kindergarten and 1st Grade students attend classes from 8:20 a.m. to 1:50 p.m. These students are required to arrive on campus by 8:10 a.m. Second Grade through 4th Grade attend classes from 8:35 a.m. to 3:05 p.m. These students are required to arrive on campus by 8:25 a.m. Since the proposed development is primarily a residential project, peak traffic volumes will occur between 7:00 a.m. and 9:00 a.m. and from 4:00 p.m. to 6:00 p.m. Therefore, potential impacts from the development on school traffic would typically occur during the overlapping a.m. peak period.

Field reviews were conducted on May 23, 2016 (Monday) from 2:30 p.m. to 3:30 p.m. and on May 24, 2016 (Tuesday) from 7:45 a.m. to 8:45 a.m. to assess school traffic operations along Galiano Street. Galiano Street directly abuts the school property to the west and the proposed development to the east. The following operations were noted during the arrival/dismissal periods:

 A portion of parents dropped students off in personal vehicles along the west side of Galiano Street between Majorca Avenue and Navarre Avenue approaching in the southbound direction in a designated curbline. Minorca Avenue between Galiano Street and Ponce De Leon Boulevard serves as one of the primary designated drop-off/pick-up points for personal vehicles.

- Two (2) school buses were observed dropping students off/picking students up along Galiano Street in the same designated area.
- Parents were also observed parking on-street and walking to the school to dropoff/pick-up students. On-street parking spaces in the vicinity of the proposed
 development along Navarre Avenue, Galiano Street, Minorca Avenue, and Galiano
 Street were observed to be occupied by residents of the adjacent multi-family
 residential uses. Therefore, parents were generally parking in on-street parking spaces
 one (1) or two (2) blocks from the school.
- Minimal school pedestrian traffic was observed crossing at the existing east-west crosswalks at Navarre Avenue and Galiano Street during both periods.
- Parents were observed performing illegal parking maneuvers, mid-block u-turn movements, and crossing the streets at unmarked locations.
- Existing school crossing signs on the east side of Galiano Street at Navarre Avenue were obscured by parked vehicles.

In general, there was minimal school-related congestion along the streets adjacent to the project site during the observation periods. Minimal congestion was observed along the southbound lane of Galiano Street from 8:05 a.m. to 8:25 a.m. consistent with peak drop-off period for parents.

As previously mentioned, the proposed development is primarily residential and is not expected to generate a significant number of trips during the school dismissal period. Therefore, any project impacts would typically occur during the overlapping a.m. peak period. The project's access is located along Navarre Avenue with full access to Alhambra Circle. Therefore, minimal project traffic is expected to travel along Galiano Street between Navarre Avenue and Minorca Avenue along the school's property during the a.m. peak period. As indicated in the analysis, less than ten (10) trips related to the proposed development are expected to travel along this subject segment during the a.m. peak hour. Therefore, the project is not expected to adversely impact traffic conditions in the vicinity of the school.

The project is proposing numerous improvements to the streetscapes adjacent to the site including corner and mid-block bulbouts along the east side of Galliano Street. These improvements will reduce the crosswalk distances at Navarre Avenue, improve the visibility of school crossing signs, and reduce the potential of midblock u-turn movements.

CONCLUSIONS

This analysis has addressed traffic-related impacts associated with the proposed 33 Alhambra Circle mixed-use project consisting of 130 typical units and 16 live-work units, as well as 2,168 square feet of specialty retail. Based on the results of the analysis, the following is concluded:

- The project is expected to generate 58 new trips during the A.M. peak hour and 134 new trips during the P.M. peak hour.
- Intersection capacity analyses indicate that the study intersections are expected to operate
 at accepted levels of service during the A.M. and P.M. peak hours under all analysis
 conditions.
- School traffic observations were performed at the Coral Gables Preparatory Academy Lower Academy located at 105 Minorca Avenue immediately west of the project site to determine if the proposed development would create any adverse impacts to the school's operations including vehicular and pedestrian travel patterns. Minimal school pedestrian traffic was observed crossing at the existing east-west crosswalks at Navarre Avenue and Galiano Street during both periods. Additionally, minimal project traffic is expected to travel along Galiano Street between Navarre Avenue and Minorca during the a.m. peak period. Therefore, the project is not expected to adversely impact school-related traffic conditions in the site's vicinity.

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Return to: (Enclose self-addressed stamped envelope):
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Folio Numbers: 03-4108-007-1680; 03-4108-007-1681; 03-4108-007-1690; 03-4108-007-1700; 03-4108-007-1710; 03-4108-007-1720.

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QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED, executed this Off day of July, 2012, by 1814 BRICKELL, LLC, a Florida limited liability company n/k/a TWJ ALHAMBRA, LLC, a Florida limited liability company, whose address is 100 S. Biscayne Blvd, Suite 900, Miami, FL 33131, first party, to TWJ ALHAMBRA, LLC, a Florida limited liability company, whose address is 100 S. Biscayne Blvd, Suite 900, Miami, FL 33131, second party:

(wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH, that the said first party, for and in consideration of the sum of \$10.00 in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land situate, lying and being in the County of Miami-Dade, State of Florida, to-wit:

Lots 1, 2, 3, 4, 5, 6 and 7, Block 15, REVISED PLAT CORAL GABLES SECTION L, according to the Plat thereof as recorded in Plat Book 8, Page 85, of the Public Records of Miami-Dade County, Florida.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

NO DOCUMENTARY STAMP TAXES ARE DUE ON THIS QUIT CLAIM DEED, AS THE SAME IS BEING RECORDED ONLY TO REFLECT THE NAME CHANGE OF THE GRANTOR/GRANTEE.

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered

in the presence of: 1814 BRICKELL, LLC, a Florida limited liability company n/k/a TWJ ALHAMBRA, LLC, a Florida limited liability company By: Print Name Title: STATE OF FLORIDA : SS. COUNTY OF MIAMI-DADE) Sworn to and subscribed before me day of July, 2012, by JERAME HOLLO, as MANAGER, of 1814 BRICKELL, LLC limited liability company n/k/a TWJ ALHAMBRA, LLC, a Florida limited liability company. , of 1814 BRICKELL, LLC, a Florida NOTARY PUBLIC-State of Florida Kathleen Crogan (Print, Type or Stamp Commissioned Name of Notary Public) COMMISSION # DD959750 EXPIRES: FEB. 26, 2014 Personally known ____ or produced identification ____ WWY. AARON NOTARY.com Type of Identification Produced # 193599 - 1