

**CITY OF CORAL GABLES
- MEMORANDUM -**

TO: Planning and Zoning Board
FROM: Ramon Trias, AIA AICP LEED AP
Director of Planning and Zoning

DATE: March 9, 2016
SUBJECT: Downtown Overlay
Executive Summary

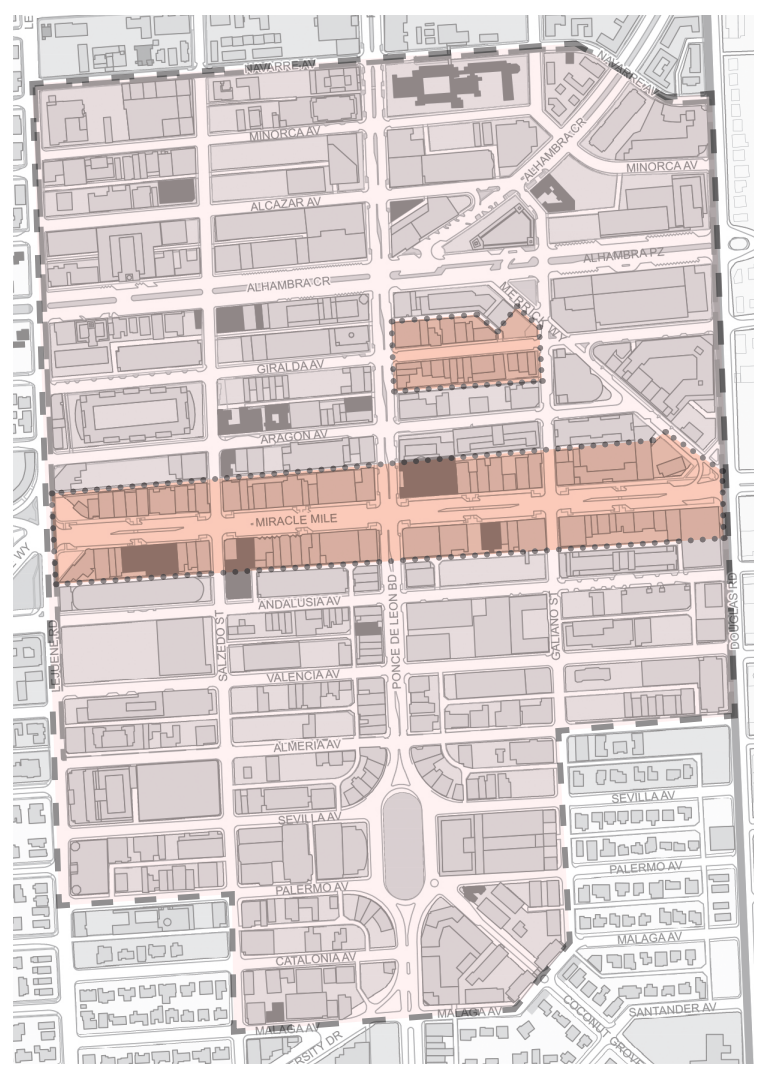
General to Downtown

<i>Current Regulations</i>	<i>Proposed Regulations</i>
Residential use prohibited on small parcels	Residential use allowed on small parcels
Full parking required.	No parking required for small buildings
No clear standards for ground level design.	Clear standards for pedestrian-oriented ground level of buildings.
Signage standards are the same for Downtown as for the entire City.	Special pedestrian-oriented sign options for Downtown.
Exposed parking permitted fronting any Downtown street on the upper levels.	Habitable liner space required for all levels of buildings fronting Primary Streets .

Miracle Mile / Giralda 100

Miracle Mile: Limits small parcels to 45' and large parcels to 70' and 6 stories. Full parking required.	Miracle Mile and Giralda 100 Block: Allows both small and large parcels to be constructed to 77' and 6 stories in height, with a stepback at 45' and 3 stories in height. No minimum parking requirements for any buildings.
Giralda 100 Block: Limits small parcels to 45' and large parcels to 77'. Full parking required.	
Driveways and parking garage entrances permitted fronting Giralda.	Driveways and parking garage entrances prohibited fronting Giralda.
Business hours of operation and outdoor dining standards are the same as for the entire City.	Special extended hours of operation and expedited outdoor dining approval for businesses fronting Miracle Mile and Giralda 100 block.

At the February 17, 2016 Planning and Zoning Board workshop, the Board discussed the draft Downtown Overlay document and provided comments. Staff has updated the document in response to those comments and further clarified the effect of this overlay on the current regulations in Downtown, as shown on this page.



Overlay Provisions
 General to Downtown
 Miracle Mile / Giralda 100 Block: Additional Provisions



DOWNTOWN OVERLAY

Coral Gables Zoning Code Text Amendments

Zoning regulations to enhance the pedestrian character of Downtown Coral Gables and to encourage beautiful, economically sustainable, and controlled development.

Prepared by City of Coral Gables Planning and Zoning Division Staff
DRAFT March 1st, 2016



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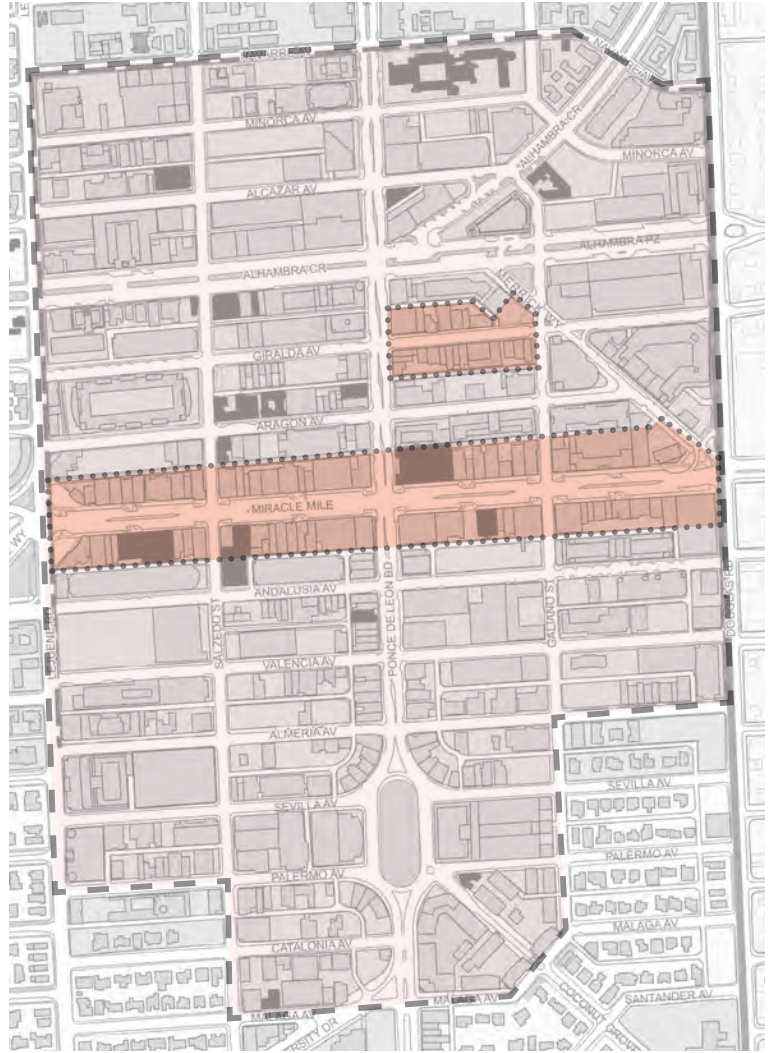
Downtown Overlay Boundary 89


Downtown Overlay Executive Summary


Planning for Vibrant Streets on the Mile, Giralda and Beyond

Downtown Coral Gables is the business, civic, and cultural heart of the City with a growing residential community. The Downtown is a well-loved place, but Coral Gables residents and business stakeholders agree that there is an opportunity to improve the character of new development. The purpose of the Downtown Overlay is to provide incentives for small and medium-scale development, in order to encourage sustainable, controlled growth, small business development, an active residential population, and beautiful streets and public spaces. The Overlay has been developed through community input and close collaboration with the Business Improvement District.

The Downtown Overlay is proposed to encompass the Central Business District as well as an expanded area around Ponce Circle Park. The Overlay includes provisions that will apply to all properties within the Overlay Boundary, including pedestrian frontage, residential use, parking, and signage. Additional provisions will apply to Miracle Mile and the 100 Block of Giralda, in consideration of their special character and the upcoming public investment in the streetscape project. These special provisions for Miracle Mile and Giralda include building form, parking, hours of operation, and outdoor dining.



-  Overlay Provisions
General to Downtown

-  Miracle Mile /
Giralda 100 Block:
Additional Provisions

Downtown Overlay Executive Summary

General to Downtown

Current Regulations

Proposed Regulations

Limits residential use to large-scale mixed-use buildings on lots of at least 20,000 sf.

Allows residential use for the upper floors of buildings on lots of as little as 2,500 sf.

Full parking required for all buildings.

No minimum parking requirements for buildings less than 3 stories and 45' in height.

Ground level design regulated through Board of Architects review, aspirational statements in Zoning Code for Mixed-Use buildings and Mediterranean Bonus buildings only.

Provides clear design standards for the ground level of buildings fronting Primary Streets to ensure appropriate pedestrian design, including storefronts, entrances, awnings, etc.

Signage standards are the same for Downtown as for the entire City.

Special pedestrian-oriented sign options for Downtown.

Exposed parking garages permitted fronting any Downtown street on the upper levels.

Habitable liner space required for all levels of buildings fronting Primary Streets (Ponce de Leon, Miracle Mile, Giralda 100 Block, Alhambra) so that parking garages will not be visible from streets and public spaces.

Miracle Mile / Giralda 100

Miracle Mile: Limits small parcels to 45' in height and large parcels to 70' and 6 stories in height. Full parking required for all buildings.

Miracle Mile and Giralda 100 Block: Allows both small and large parcels to be constructed to 77' and 6 stories in height, with a stepback at 45' and 3 stories in height. No minimum parking requirements for any buildings.

Giralda 100 Block: Limits small parcels to 45' in height and large parcels to 77' in height. Full parking required for all buildings.

Giralda 100 Block: Driveways and parking garage entrances permitted fronting the street.

Miracle Mile and Giralda 100 Block: Driveways and parking garage entrances prohibited fronting the street.

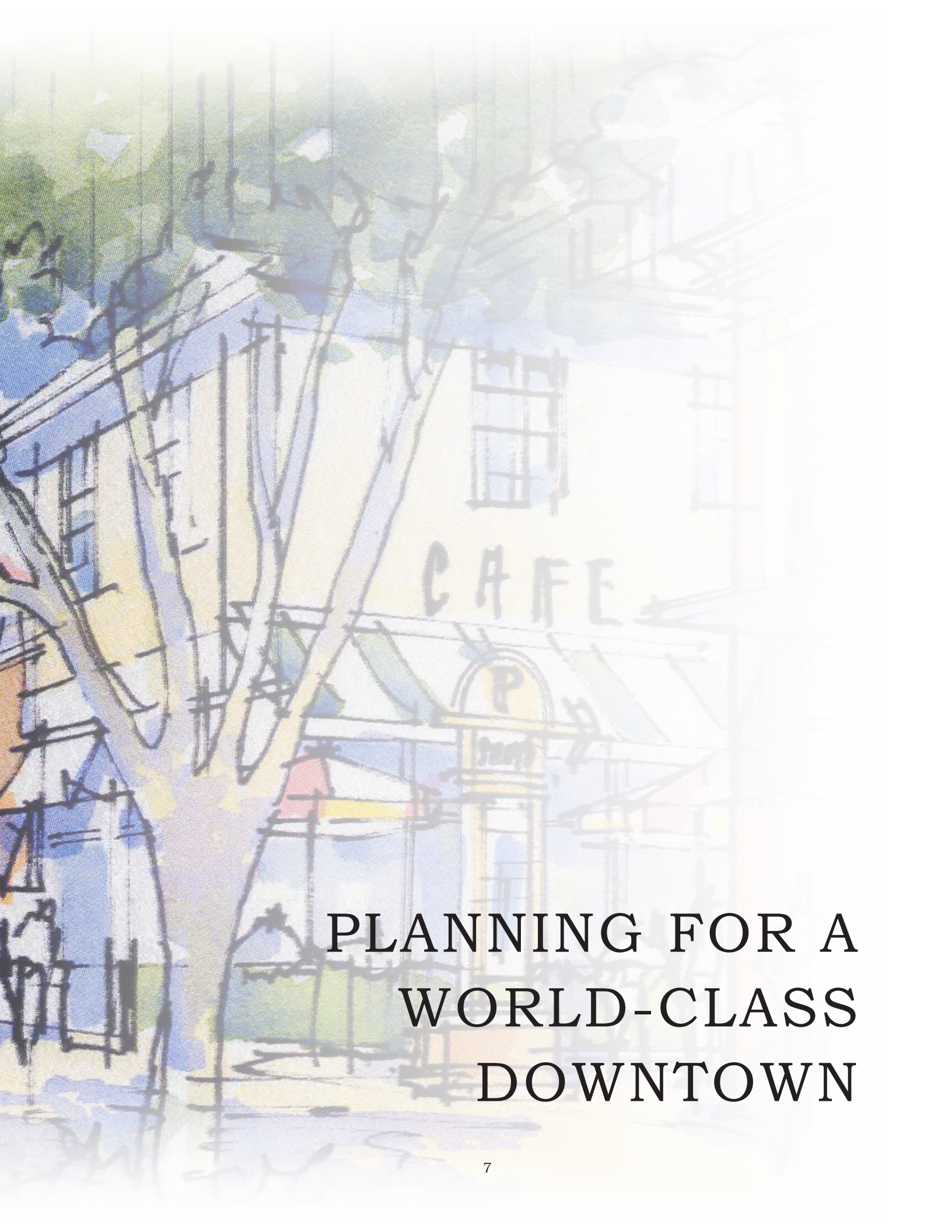
Business hours of operation are the same as for the entire City.

Special extended hours of operation for businesses fronting Miracle Mile and Giralda 100 block.

Outdoor dining approval process and standards are the same as for the entire City.

Special pre-approved and expedited outdoor dining approval process for Miracle Mile and Giralda 100 block.





PLANNING FOR A
WORLD-CLASS
DOWNTOWN





Community Visioning

A community vision for Downtown was established during the 2002 Coral Gables Charrette and the ideas expressed during that planning effort were reaffirmed in 2015 through the North Ponce and US1 workshops, as well as through extensive coordination with the Business Improvement District. The ideas expressed from these multiple planning efforts have been translated into legislation that reflects a shift in policy to promote a more walkable, vibrant, beautiful Downtown.

Planning for a World-Class Downtown

Collaborative Planning with the Business Improvement District

Downtown Coral Gables is a unique mixed-use neighborhood within South Florida and is one of the few places in the region that provides high-quality opportunities to live, work, dine, shop, and access civic and recreational amenities within walking distance and in a transit-served location. While Downtown Coral Gables is a well-loved destination, and is considered the economic engine of Coral Gables, the community has often cited that there is room for improvement in the way that the Downtown redevelops.

Currently, Downtown Coral Gables is characterized by contrast. The building stock consists of small-scale 1920s - 1950s buildings alongside large-scale, high-rise buildings that were constructed from the 1980s to today. Most Downtown streets are a mix of very small and very large buildings, and many streets are characterized by parking garage entrances, parking lots, and parking garage facades. This is a result of the minimum parking requirements introduced into the Zoning Code in the 1960s.

In 2002, the City of Coral Gables collaborated with the University of Miami to host the Coral Gables Charrette, a week-long event that focused on design solutions for Downtown and

the North Ponce neighborhood. The Coral Gables Charrette Report that was produced as a result of this effort is filled with innovative planning and design concepts that continue to be relevant today. Many of these ideas have been implemented, and opportunities exist to continue to put these ideas into action.

The City of Coral Gables has collaborated with the Business Improvement District (BID) for many years to implement improvements for Downtown that will improve business vitality and economic development. An important public improvement project that has resulted from years of collaborative planning is the Miracle Mile and Giralda Avenue Streetscape projects for the Downtown. Renderings of these projects are shown on the facing page. These two projects are on the cusp of commencing construction. In concert with these streetscape projects, the City and the BID have analyzed the existing land development regulations for Downtown, seeking to update the Comprehensive Plan and Zoning Code in order to ensure that future private investment in the Downtown will enhance the Community's vision for Downtown and will make the most of the public investment in the Streetscape projects.



Proposed Design for Miracle Mile Streetscape, 2016



Proposed Design for Giralda Avenue Streetscape, 2016

Community Vision for Downtown

Public Involvement and Visioning 2002- 2015

The 2002 Coral Gables Charrette focused on Downtown and North Ponce. Over 1,000 concerned residents, children, business owners and developers participated. When discussing the future of Downtown Coral Gables,

"A broad base of charrette attendees observed that the downtown is missing convenient and entertaining walkability. A grid of streets and blocks interconnect the Downtown, but many sidewalks are hot, unshaded and unprotected from the rain. Block dimensions are too long to make walking across town convenient. Building frontages are discontinuous and of varying quality; and the relationship of parking to destination is often unclear."

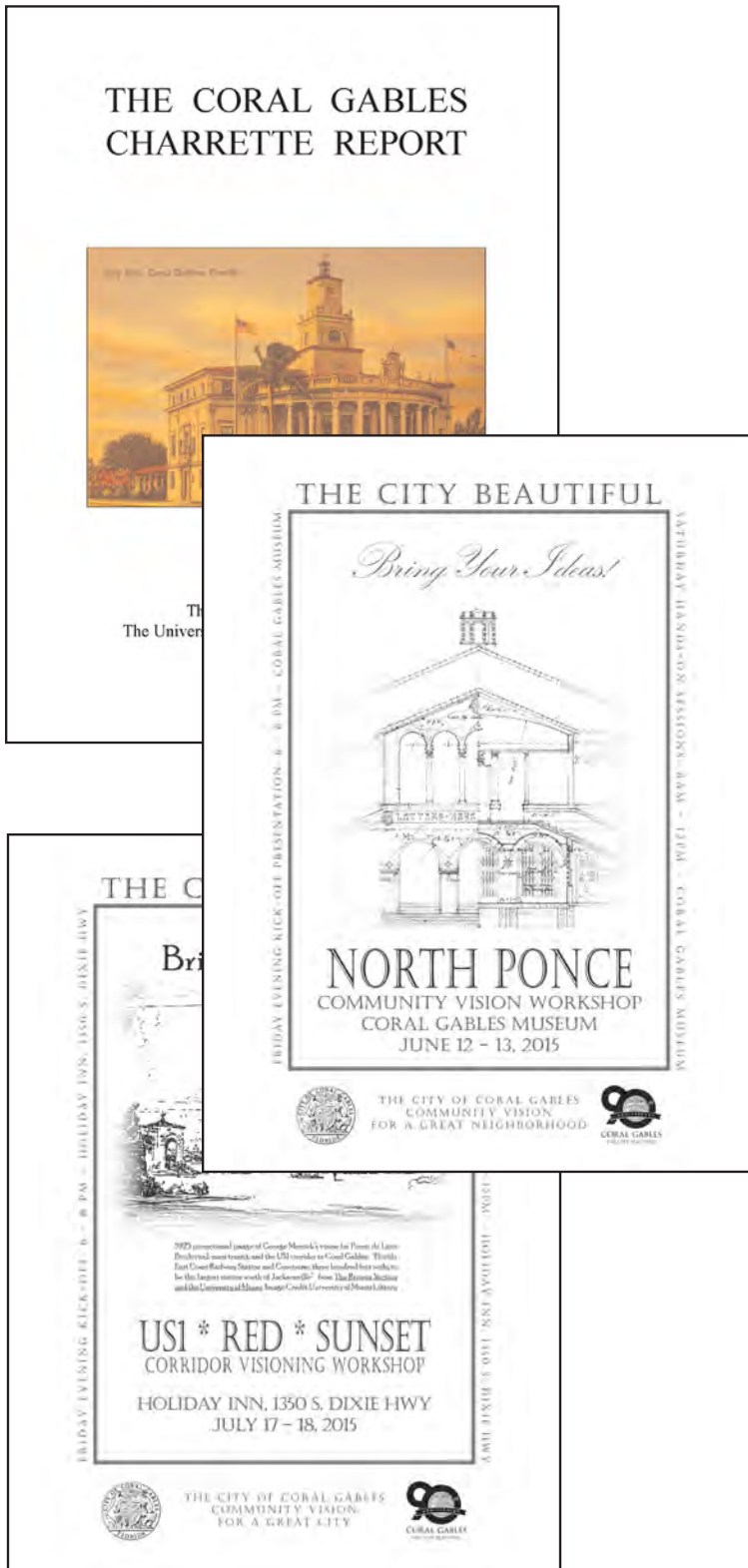
Great progress has been made in Downtown in the past fourteen years and many recommendations of the 2002 Charrette report have been implemented. However, it could still be observed that Downtown walkability leaves much to be desired, that building frontages both

at the sidewalk level and the upper levels are discontinuous and of varying quality, and that the effects of parking on the Downtown could be improved.

In 2015, a renewed effort towards community-driven planning was initiated, with public workshops for both North Ponce and the US1 Corridor. While these workshops dealt with other areas of the City, a general theme arose, with agreement that the City should proactively plan for its commercial and multi-family neighborhoods-. Citizens spoke of a desire for walkable and bikable streets, high quality, convenient retail to meet their daily needs, and predictable building height and scale.

The booklet that follows includes multiple recommendations for updates to the Comprehensive Plan and the Zoning Code in order to fulfill the vision for the future of Downtown that was articulated in 2002 and reaffirmed in 2015.

“While each of the City's neighborhoods and districts are important, the downtown belongs to all citizens; it represents the identity of the entire city, and the reputation of Coral Gables as a whole rises and falls with that of its downtown.”



Above: Materials from community-driven planning efforts over the past fourteen years.



Above: Images from the 2002 Coral Gables Charrette including a masterplan for the Downtown and an illustration of small-scale mixed-use infill construction.

Implementing the Coral Gables Charrette

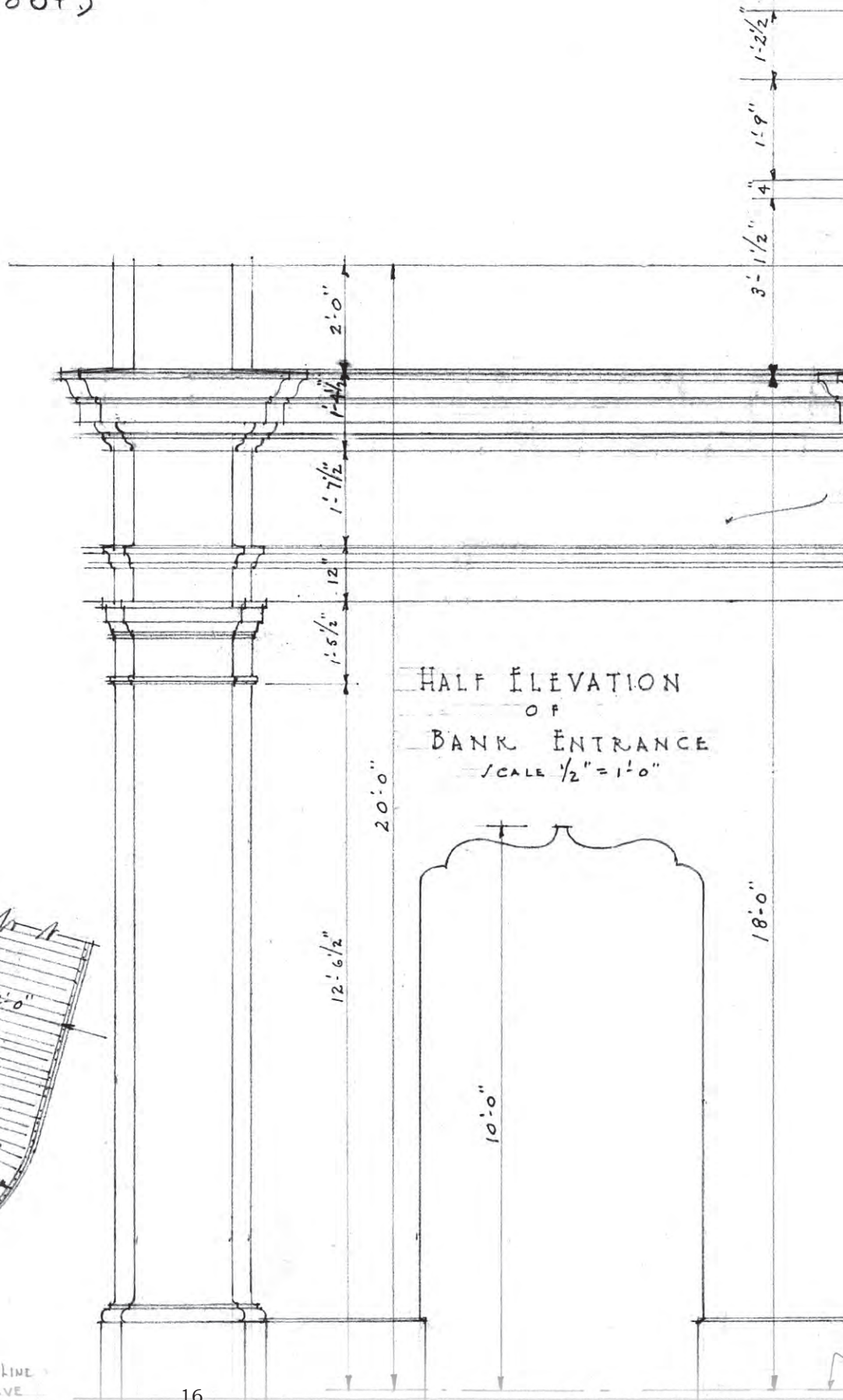
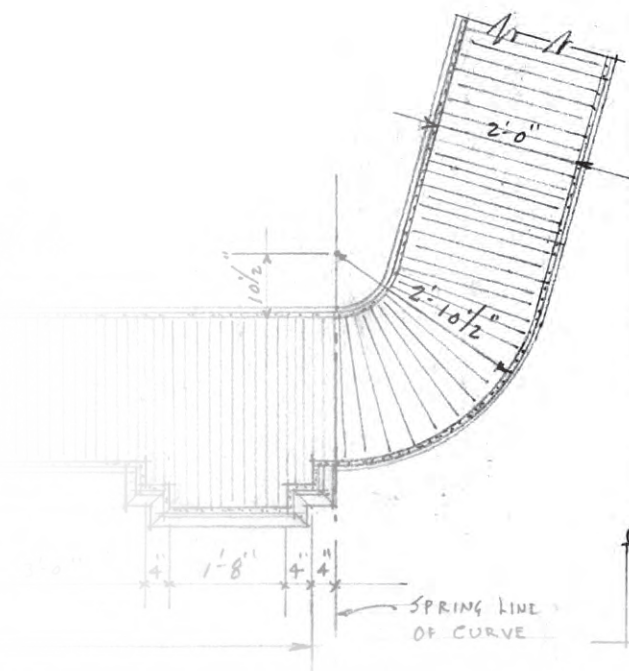
Charrette Recommendation

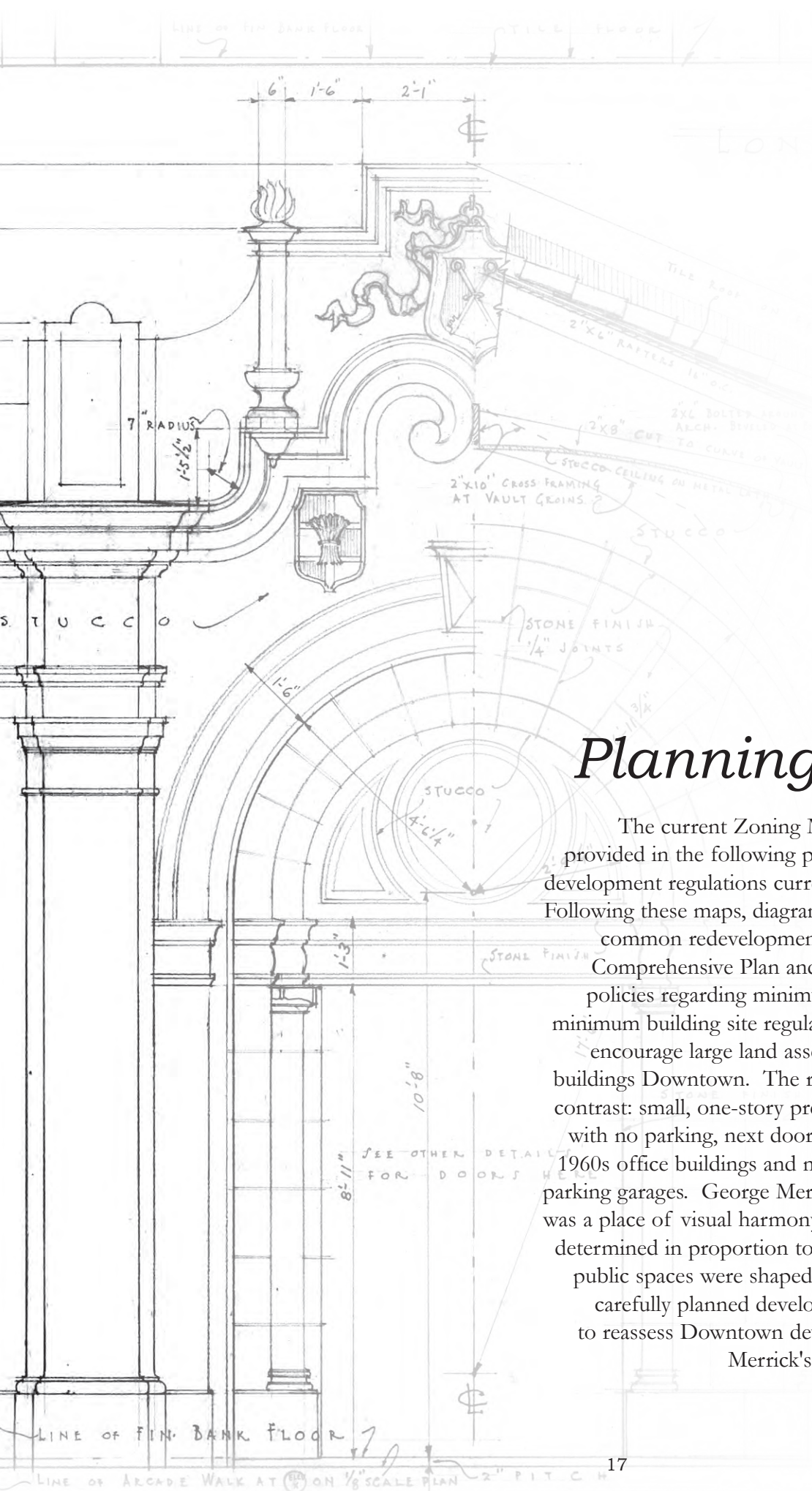
Proposed Legislative Change

1	Encourage sidewalk cafes, garden courts, and upper level terraces.	Expedited outdoor dining approval on Miracle Mile and Giralda (See page 76 - 77.) New provisions for sidewalk cafes and courtyards (See page 54.)
2	Allow live-work units to increase resident activity and small business incubation within Downtown.	Live-work units will be a permitted use within the Downtown Overlay district. (See page 48) Residential use on upper floors will be permitted for both small and large parcels throughout the Downtown Overlay District. (See page 48, 74, 82 and 83.)
3	Allow narrow lot mixed-use infill.	Small parcels along Miracle Mile and Giralda permitted to be built out at the same height as large parcels; parking requirements waived for both large and small properties on these streets (See page 75) Small parcels throughout Downtown permitted to be built up to three stories and 3.0 FAR with no parking requirements. (See page 63)
4	Consolidate retail into the Retail Priority Area and limit the requirement of ground floor retail use to this area only.	Mandatory retail, restaurant, and entertainment uses fronting Miracle Mile and the 100 Block of Giralda (See page 74) Mandatory shopfront frontage throughout the Downtown, but the uses are more flexible, including office space (See page 48 and 52)
5	Require buildings to face streets with habitable space (not parking) for first four floors, with doors and windows onto sidewalks.	Mandatory habitable space (apartment, office, etc) on all upper floors fronting Miracle Mile, Giralda 100 Block, Ponce de Leon Boulevard, and Alhambra Circle. No parking garage facades permitted fronting these streets. (See page 42, 49, 50, 52, 75)
6	Limit height of buildings facing Miracle Mile to three to six stories, allowing taller buildings on the rear lots facing Andalusia and Aragon Avenues.	Currently building height on Miracle Mile is limited to 6 stories and 70'. Proposed changes include increasing the maximum height to 6 stories and 77' which will allow for greater floor-to-ceiling heights and higher quality spaces. In addition, a mandatory stepback will be introduced at three stories and 45', which will encourage terraces overlooking the street and will encourage a pedestrian scale at the sidewalk level. (See page 75)

ELEVATION OF VESTIBULE
(LOOKING OUT)

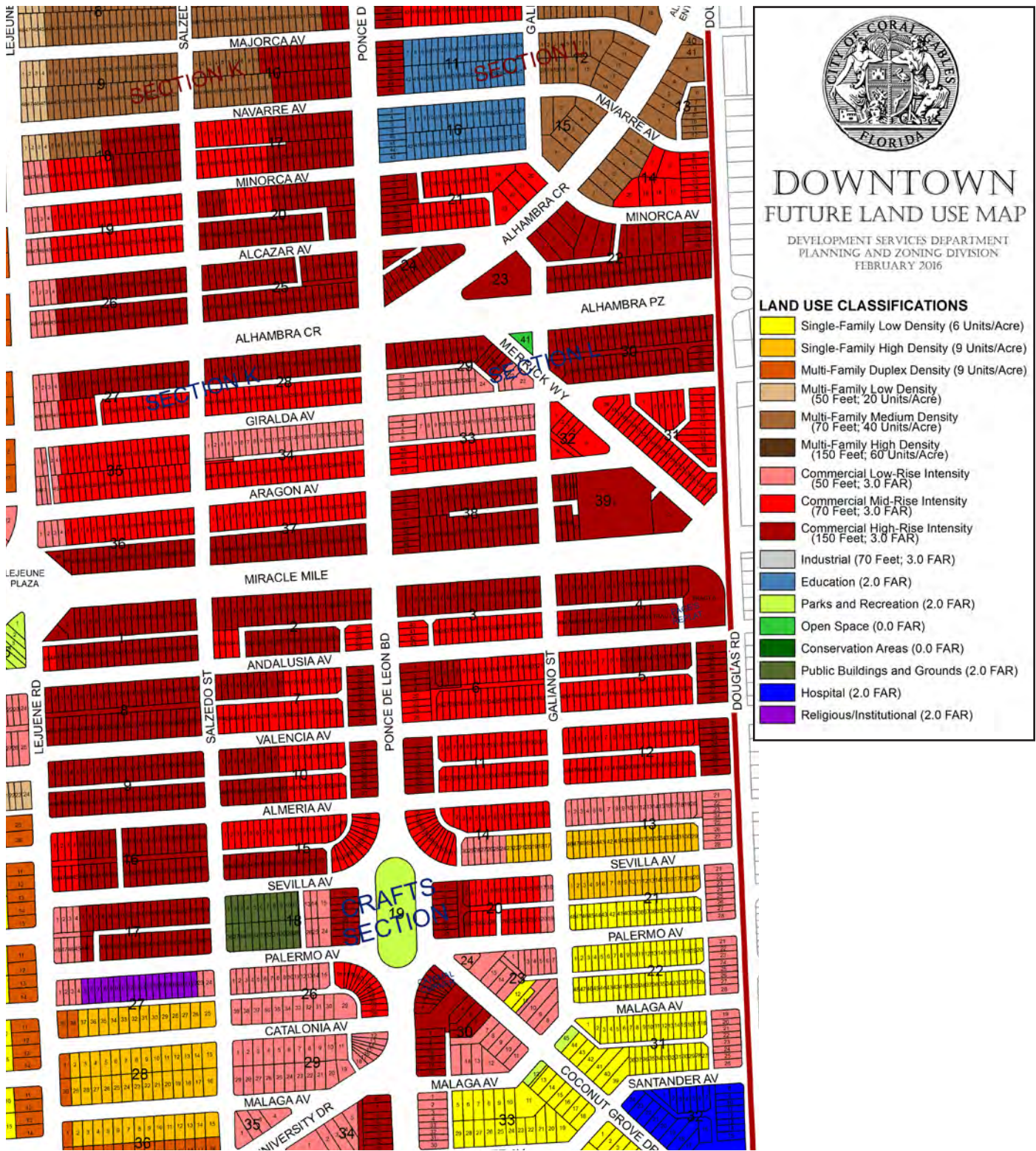
ENTRANCE

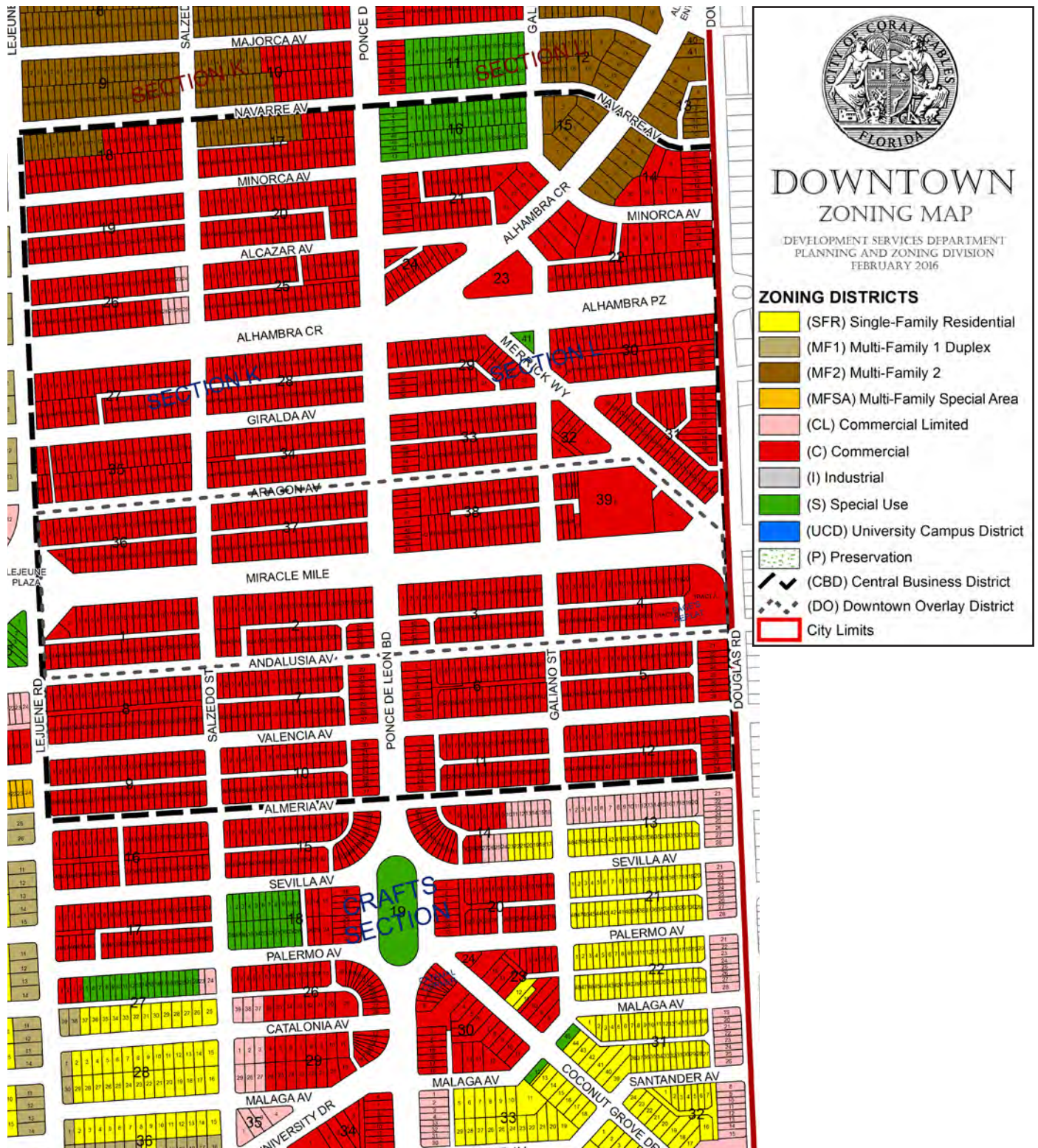




Planning Analysis

The current Zoning Maps and Land Use Maps are provided in the following pages to illustrate some of the development regulations currently in place for Downtown. Following these maps, diagrams are provided that illustrate common redevelopment scenarios under the current Comprehensive Plan and Zoning regulations. Due to policies regarding minimum parking requirements and minimum building site regulations, the current regulations encourage large land assemblies in order to build new buildings Downtown. The resulting streetscape is that of contrast: small, one-story pre-1960s commercial buildings with no parking, next door to full-block, high-rise, post-1960s office buildings and mixed-use buildings with large parking garages. George Merrick's vision for Coral Gables was a place of visual harmony, where building heights were determined in proportion to street widths and streets and public spaces were shaped as "outdoor rooms" through carefully planned development on all sides. It is time to reassess Downtown development policies to achieve Merrick's vision of a harmonious City.

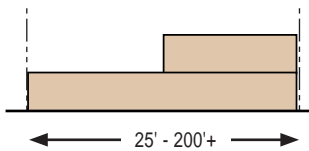




Existing Redevelopment Scenarios

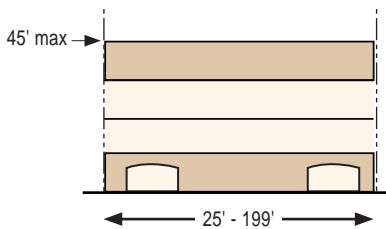
Existing development regulations for small parcels in Downtown limit the maximum practical build out to 1.45 - 2.0 FAR (scenarios 1 and 2), encouraging large assemblies of land to achieve 3.5 FAR (scenarios 3,4, and 5).

1 Existing Building Change of Use: Parking Exemption, 1.45 FAR Limit



- NO MINIMUM PARCEL SIZE OR STREET FRONTAGE
- APPLIES TO ALL LAND USES
- CAN BE USED FOR ANY PROPERTY IN THE CBD
- MOST COMMONLY USED FOR RESTAURANT CHANGE OF USE
- NO MINIMUM PARKING REQUIREMENT
- MAXIMUM FAR: 1.45
- MED BONUS ENCOURAGES ONE VEHICULAR ENTRANCE FRONTING GIRALDA; NO LIMITATION ON WIDTH OF DRIVEWAY

2 Small Parcel Development, Less Than 20,000 sq ft Building Site



- < 200' STREET FRONTAGE, < 20,000 SQ FT SITE
- APPLIES TO ALL LAND USES
- MOST COMMON DEVELOPMENT OPPORTUNITY IN DOWNTOWN
- PARKING / LEASABLE SPACE RATIO: APPROX. 1:1
- MAXIMUM PRACTICAL FAR: 2.0
- NO LIMIT ON DRIVEWAYS AND LOADING FRONTING THE STREET

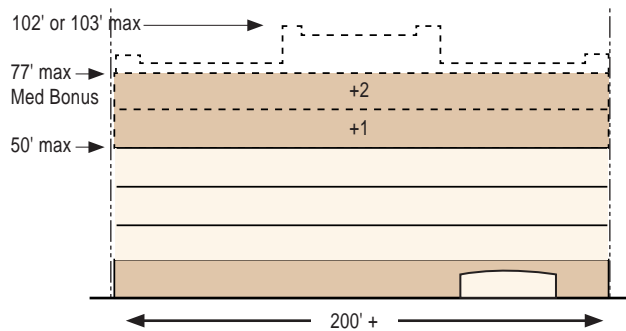
LEGEND

- Property Line
- Leasable Space (FAR)
- Required Parking / Vehicular Area

Existing Redevelopment Scenarios

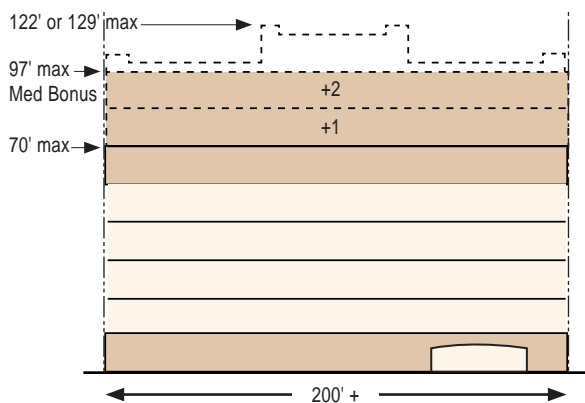
Existing development regulations for small parcels in Downtown limit the maximum practical build out to 1.45 - 2.0 FAR (scenarios 1 and 2), encouraging large assemblies of land to achieve 3.5 FAR (scenarios 3,4, and 5).

3 Large Parcel Redevelopment, Commercial Low Rise Intensity Land Use



- > 200' STREET FRONTAGE, > 20,000 SQ FT SITE
- LOW-RISE LAND USE
- LIMITED OPPORTUNITY SITES
- PARKING / LEASABLE SPACE RATIO: APPROX. 1:1
- MAXIMUM PRACTICAL FAR: 3.0
- MED BONUS ENCOURAGES ONE GARAGE ENTRANCE FRONTING STREET; NO LIMITATION ON WIDTH OF DRIVEWAY

4 Large Parcel Redevelopment, Commercial Mid-Rise Intensity Land Use



- > 200' STREET FRONTAGE, > 20,000 SQ FT SITE
- MID-RISE LAND USE
- LIMITED OPPORTUNITY SITES
- PARKING / LEASABLE SPACE RATIO: APPROX. 1:1
- MAXIMUM PRACTICAL FAR WITH MED BONUS AND TDR: 4.0
- MED BONUS ENCOURAGES ONE GARAGE ENTRANCE FRONTING STREET; NO LIMITATION ON WIDTH OF DRIVEWAY

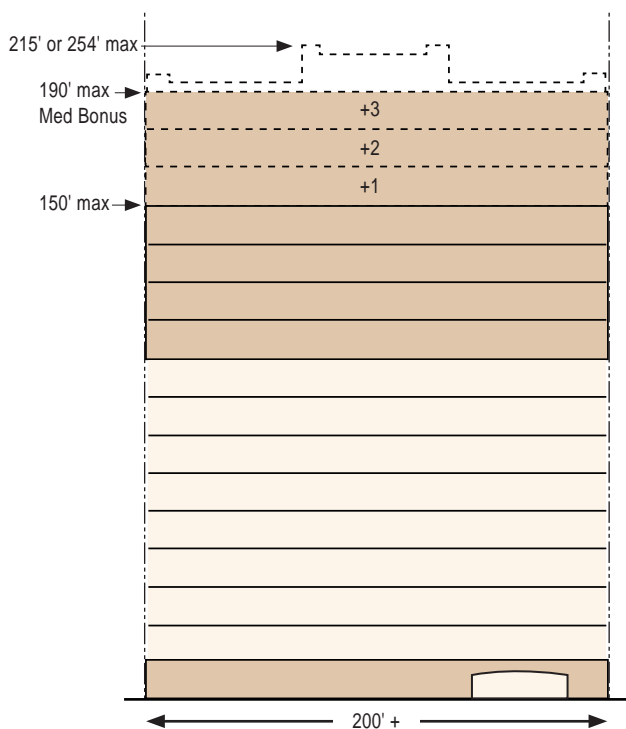
LEGEND

- Property Line
- Leasable Space (FAR)
- Required Parking / Vehicular Area

Existing Redevelopment Scenarios

Existing development regulations for small parcels in Downtown limit the maximum practical build out to 1.45 - 2.0 FAR (scenarios 1 and 2), encouraging large assemblies of land to achieve 3.5 FAR (scenarios 3,4, and 5).

5 Large Parcel Redevelopment, Commercial High-Rise Intensity Land Use



- > 200' GIRALDA FRONTAGE, > 20,000 SQ FT SITE
- HIGH-RISE LAND USE
- LIMITED OPPORTUNITY SITES
- PARKING / LEASABLE SPACE RATIO: APPROX. 1:1
- MAXIMUM FAR WITH MED BONUS AND TDR: 4.375
- MED BONUS ENCOURAGES ONE GARAGE ENTRANCE FRONTING STREET; NO LIMITATION ON WIDTH OF DRIVEWAY

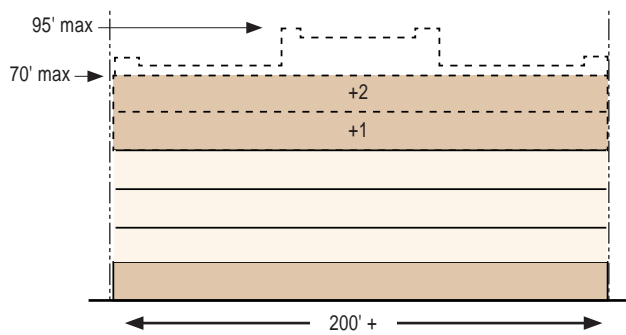
LEGEND

- Property Line
- Leasable Space (FAR)
- Required Parking / Vehicular Area

Existing Redevelopment Scenarios - The Mile

Existing development regulations for small parcels on Miracle Mile limit the maximum practical build out on Miracle Mile to 1.45 - 2.0 FAR (scenarios 1 and 2), encouraging large assemblies of land to achieve 3.0 FAR (scenario 6).

6 *Miracle Mile Large Parcel Redevelopment, Downtown Overlay Zoning District*



- > 200' STREET FRONTAGE, > 20,000 SQ FT SITE
- LIMITED OPPORTUNITY SITES
- PARKING / LEASABLE SPACE RATIO: APPROX. 1:1
- MAXIMUM PRACTICAL FAR: 3.0

LEGEND

- Property Line
- Leasable Space (FAR)
- Required Parking / Vehicular Area

1964: A Watershed Year for Coral Gables

The Effect of Minimum Parking Requirements in Downtown

Why is the Downtown landscape characterized by very small buildings and very large buildings?

In 1964, minimum parking requirements were introduced into the Coral Gables Zoning Code. As a result, all private development was required to store vehicles on-site, a task which proved to be impossible on most small Downtown properties. As a result, development practice and Zoning Code regulations have evolved to favor large assemblies of land in order to fit the necessary structured parking garages on site.

The map on this page shows the contrast between the small buildings on small parcels that were built in Downtown prior to minimum parking requirements, and the large footprint buildings on large parcels that have been built Downtown after the introduction of minimum parking requirements.



LEGEND

- Built on or before 1964*
- Built after 1964*

*Information provided by Miami-Dade County

1930 Zoning Code - Height

The 1930 Coral Gables Zoning Code included many time-tested town planning principles, including building height regulations that relate to the width of the street that the building fronts. This method of regulating building height results in public spaces that have proportions of 1:1 or 1:1.5, which maximizes access to light and air while shaping the street space with buildings of a consistent height. This consistent and continuous building frontage creates the feeling of an outdoor room.

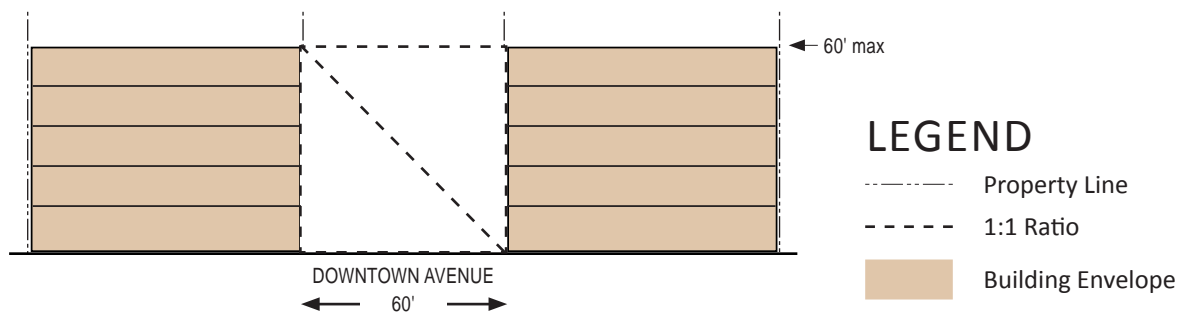
1930 Height District Map Precedent

The 1930 Zoning Code Height District Map indicates that many avenues in the Central Business District were "Second Height District" streets. The Second Height District, as described in the Zoning Code text, was regulated by a maximum height of 1:1 with the width of the street that the building fronts. Most of these avenues were 60' wide, therefore in 1930, the maximum height for most Downtown buildings was 60'.

Observations - Current Building Height Regulations

- Current height limits in the Zoning Code do not relate to the width of the street.
- Potential maximum building heights can vary from 2 stories to 16 stories on the same street (see "Current Regulations - Four Scenarios" pages).
- Current regulations result in streetscapes of varying building heights, as seen on Alhambra Circle in the Central Business District.
- Varying building height regulations and heights that do not relate to the width of the street make it difficult to shape public space through private development, and does not result in the feeling of an "outdoor room."

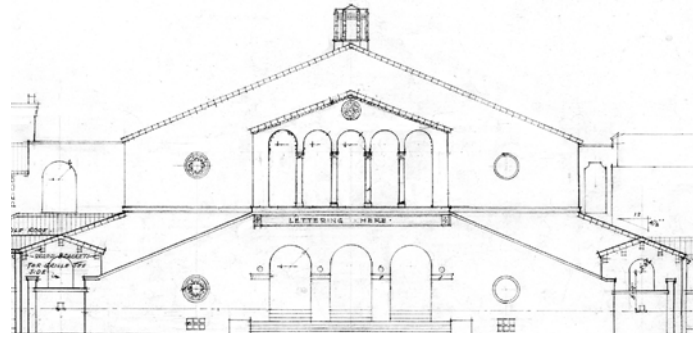
Second Height District: Downtown Avenues



Coral Gables Mediterranean Architecture Design

Section 5-605 of the Zoning Code requires that all applications for development approval shall include design elements and architectural styles of eight Coral Gables landmarks, including:

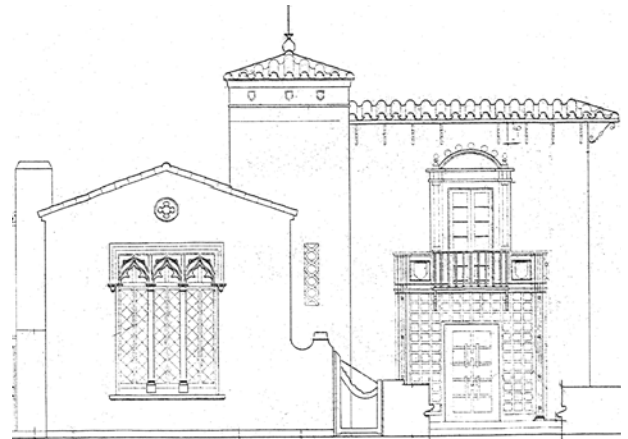
- H. George Fink Offices, 2506 Ponce de Leon Boulevard.
- The Colonnade Building, 169 Miracle Mile.
- Douglas Entrance, 800 Douglas Road.
- Coral Gables Elementary School, 105 Minorca Avenue.
- Granada Shops/Charade Restaurant, 2900 Ponce de Leon Boulevard (demolished).
- San Sebastian Apartments, 333 University Drive.
- Coral Gables City Hall, 405 Biltmore Way.
- Biltmore Hotel, 1200 Anastasia Avenue.



Coral Gables Elementary School



Douglas Entrance



H. George Fink Offices



The Colonnade Building

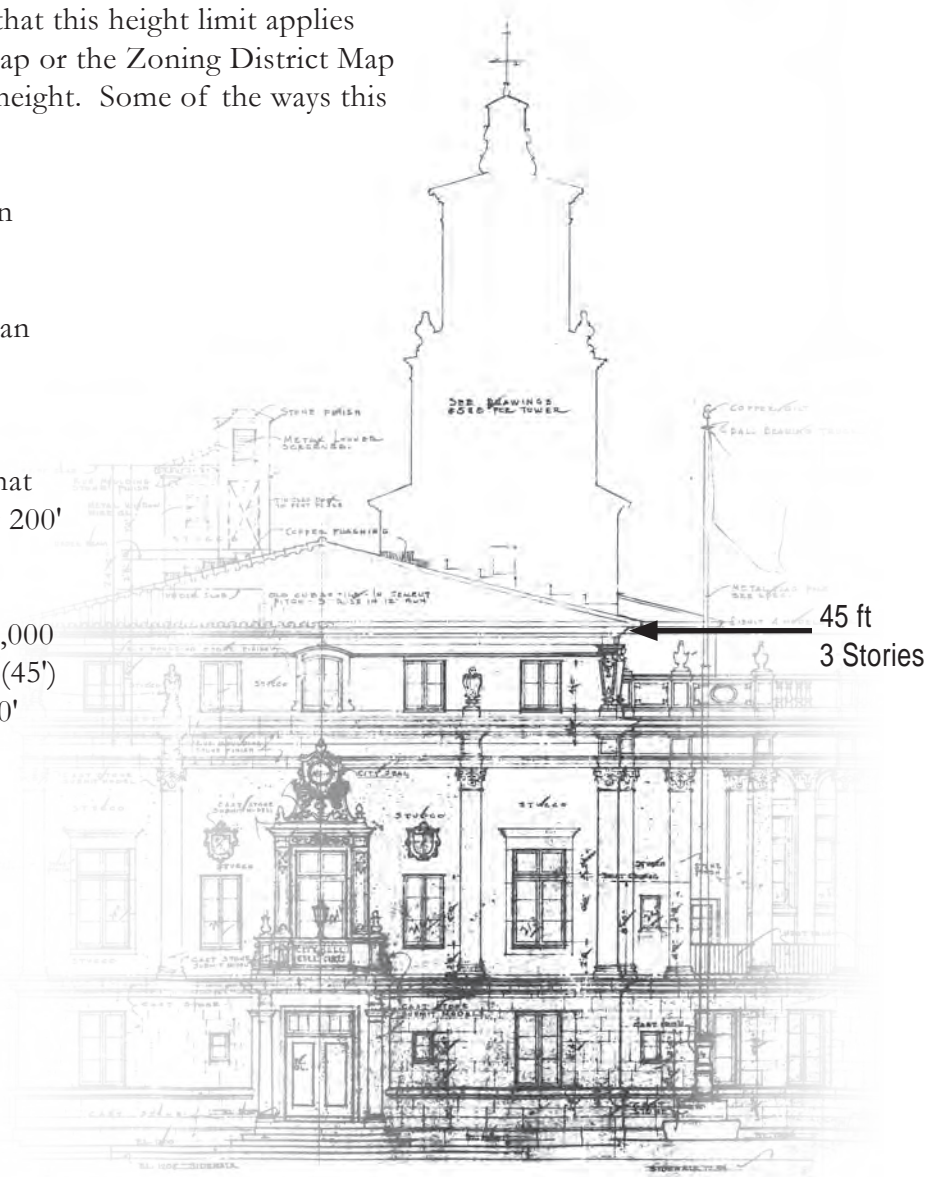
City Hall Precedent

The Magic Number: Three Stories; Forty-five Feet

Coral Gables City Hall, one of the precedent buildings listed in the Zoning Code, was designed by Coral Gables' first City Architect, Phineas Paist. The building is three stories tall and 45' to the cornice line.

The three stories and 45' height limit is a very special metric that is found throughout the Coral Gables Zoning Code. This height limit is used to promote low-scale, pedestrian-oriented urbanism. It is important to note that this height limit applies even when the Future Land Use Map or the Zoning District Map may indicate a larger maximum height. Some of the ways this height limit is used include:

- All buildings constructed within 100' of single-family homes or duplexes (3 - 3.5 stories, 45')
- MF2 parcels that are smaller than 20,000 sq ft or 100' of street frontage (45')
- Certain MFSA parcels (45')
- Commercial or MXD parcels that are smaller than 20,000 sq ft or 200' of street frontage (45')
- North-South Industrial MXD parcels that are smaller than 10,000 sq ft or 100' of street frontage (45')
- Commercial Zoning District: 10' Stepback (40')



Downtown's Original "Mixed-Use" Buildings

When George Merrick developed Downtown Coral Gables, he built multi-story, mixed use buildings with no setbacks, no on-site parking, and plenty of windows, doors, terraces and balconies opening up onto the street. Coral Gables' downtown streets were bustling with the activity of people who lived, worked, and shopped there. The historic buildings that remain in Downtown today are well loved and sought after for their high quality of architectural design and their maximization of building program on a small site.

Coral Gables First National Bank
 2312 Ponce de Leon Boulevard
 Built: 1926
 Lot Size: 2,625 sf
 Building Square Footage: 7,659 sf
 Floor Area Ratio: 2.9
 Building Height: 3 Stories / 45 feet
 Building Setbacks: 0' on all sides
 Parking Spaces: 0

Program:
 First Floor Retail
 Second Floor Office
 Third Floor Residential (14 apartments)



Image Credit: State Archives of Florida / Fishbaugh

Downtown's Original "Mixed-Use" Buildings



Image Credit: State Archives of Florida / Fishbaugh

Over time, Coral Gables' development regulations have evolved, and today this well loved and sought-after building type is no longer legal to build, as a result of on-site parking requirements, residential use restrictions, and minimum lot size restrictions. The proposed Downtown Overlay makes these types of mixed-use buildings legal to build again.

Pollock & Berg, Inc. Building
 178 Giralda Avenue
 Built: 1923
 Lot Size: 2,516 sf
 Building Square Footage: 4,818 sf
 Floor Area Ratio: 1.9
 Building Height: 2 Stories / 28 feet
 Building Setbacks: 0' on all sides
 Parking Spaces: 0

Program:
 First Floor Retail
 Second Floor Office





Public Benefits

The public benefits of these proposed Zoning Code and Comprehensive Plan Amendments include economic sustainability, a robust residential population, protection and enhancement of the Coral Gables brand, and the protection and enhancement of the aesthetic principles upon which Coral Gables was founded.

Public Benefits: Why are we doing this?

#1 Sustainable, Incremental Redevelopment *Making 3 to 6 Story "Main Street" Buildings Possible Again*

Long-term economic sustainability in downtown redevelopment means a diversity of property owners and smaller-scale, incremental development, as opposed to large "mega" projects. Current Zoning Code provisions encourage large-scale land assembles and large-scale projects. By adjusting Code provisions to allow smaller property owners to develop small-scale and medium-scale mixed-use buildings, Coral Gables will be better positioned to sustain real estate cycles for the long-term.

#2 Harmonious Public and Private Investment *Working together on a coordinated future for Miracle Mile and Giralda*

The City and the Business Improvement District are working together on a multi-million dollar streetscape project for Miracle Mile and the 100 block of Giralda. The proposed Zoning Code amendments include clear direction for private development in these locations, including consistent provisions for building height, setbacks, habitable space, and ground floor pedestrian-oriented frontage for all properties facing those important public spaces. This will ensure that public and private investment are working hand-in-hand towards a coordinated, harmonious long-term vision for Downtown's "celebratory spaces."

#3 Robust Residential Population *Improve economic and cultural vitality through 24-hour activity*

A Downtown residential population contributes to the economic health of the city, providing around-the-clock patronage for shops, restaurants and cafes. Downtown residents are more likely to walk, bike or ride the trolley to get around, rather than relying on their car (and the associated parking space for that car) to meet their daily needs. Downtown residents keep the sidewalks bustling with activity, contributing to a greater feeling of safety in Downtown, with more "eyes on the street." The current Zoning Code only allows Downtown residential units in large-scale mixed use buildings on sites of 20,000 square feet or more. This limits opportunities to only large developers who can assemble the right size parcel, and results in a few, scattered large-scale buildings. The proposed legislative changes will allow live-work units and upper-level apartments throughout Downtown, regardless of the size of the parcel. This will provide opportunities for both small and large properties, and will result in a greater variety of residential building types that are distributed throughout the Downtown.

Public Benefits: Why are we doing this?

#4 Protecting the Coral Gables Brand

Ensuring high-quality, harmonious Mediterranean architecture throughout Downtown

George Merrick built Coral Gables through strictly-controlled design standards and review processes that ensured harmonious, consistent architecture that evoked historic Mediterranean towns. As explained by Artistic Director Denman Fink, "The real keynote of Coral Gables is its quality of age-old beauty." Opportunities exist to improve the City's current Mediterranean Bonus program and to mandate that new construction incorporates lessons from Coral Gables' landmark Mediterranean buildings. The proposed Downtown Overlay will require Mediterranean architecture for all new buildings, while providing a clearer explanation of the architectural options available to meet these standards.

#5 Vibrant Pedestrian Places

Awaken Downtown Streets and Public Spaces with Activity

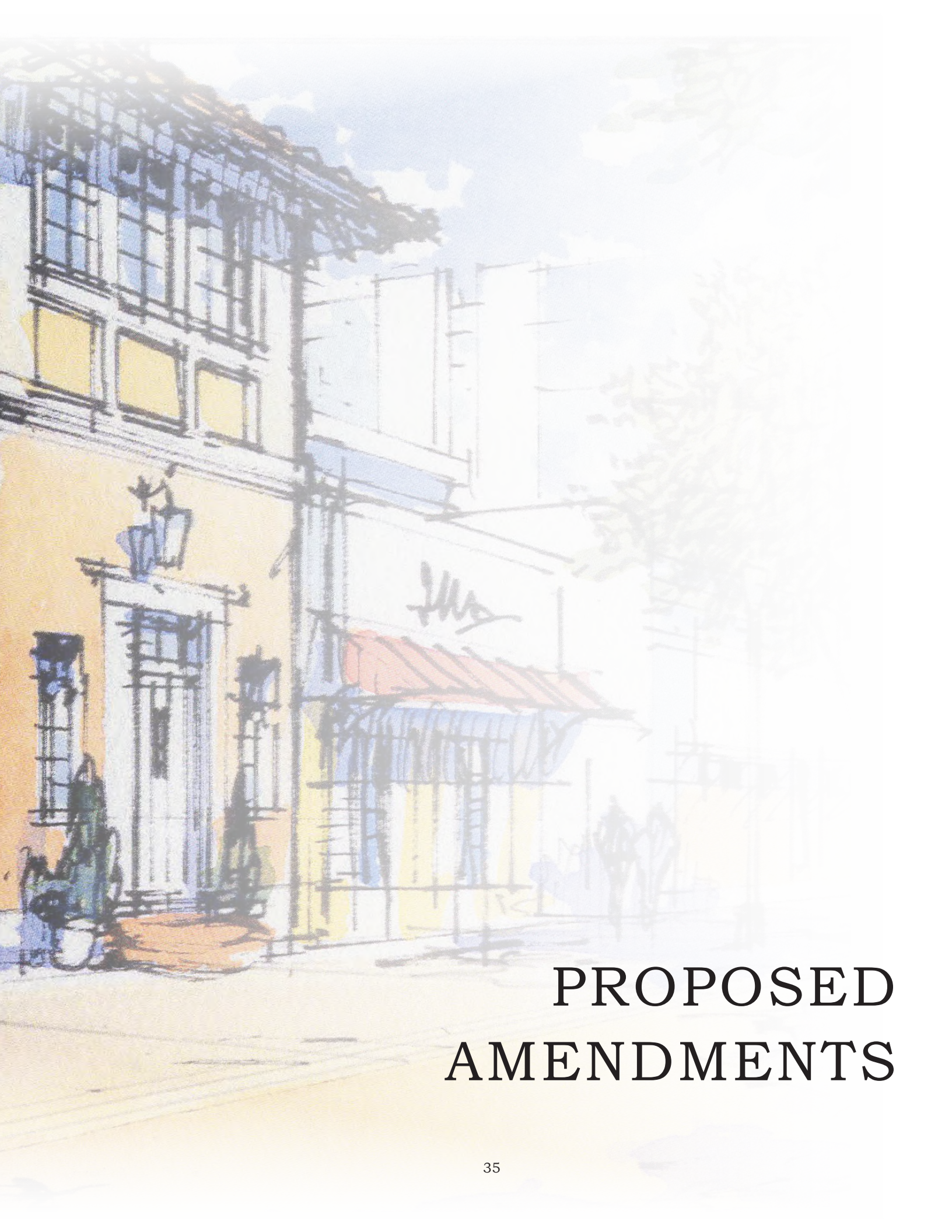
Downtown Coral Gables has great "bones:" a walkable grid of streets, civic focal points, and public spaces. Investment in building construction should capitalize on these streets and public spaces, and shape them as great people places. The proposed Code amendments include mandatory pedestrian frontage where buildings meet the sidewalk level, including shopfronts, signage, and awnings, and arcades where appropriate. The amendments make it easier to approve sidewalk cafes, paseos, and kiosks. Driveways, garage entrances, and loading docks, which interrupt the sidewalk, will be prohibited on primary streets.

#6 The Downtown Beautiful

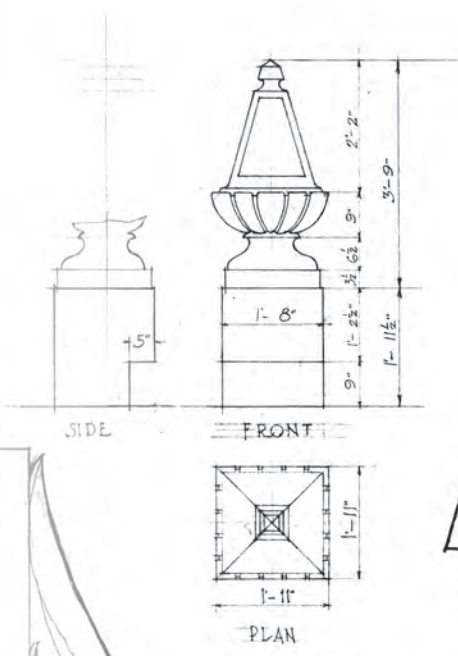
Building facades with windows overlooking the street, not parking

Beautiful cities are made up of beautiful buildings, with engaging facades filled with windows, balconies, terraces, awnings, and other elements of human activity. Current Zoning Code provisions encourage exposed parking garages on the upper level facades of buildings, resulting in a "deadening" of the street and a lost opportunity to shape the streets as beautiful public spaces. The proposed Code amendments require habitable space, including office and residential uses with windows, balconies, and terraces, to be overlooking primary streets. This fulfills the 2002 Charrette vision of "Buildings that sensitively shape the public realm of the City's streets and gathering places, that provide balconies, terraces and windows that open up and take advantage of the temperate South Florida climate, and where people dining, working and living above the ground floors of buildings stay connected to the streetlife below, and contribute to the lively, open-air Mediterranean urbanism that citizens so desire."





PROPOSED AMENDMENTS



NOTE: FINIALS TO BE OF CAST STONE AND IN ONE PIECE.

FINIAL (E)

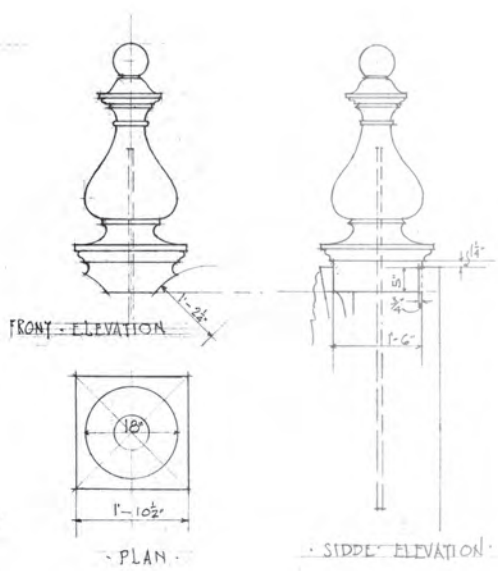
ONE-HALF ELEVATION OF CONSOLE UNDER CAPITAL FULL SIZE

CAST STONE

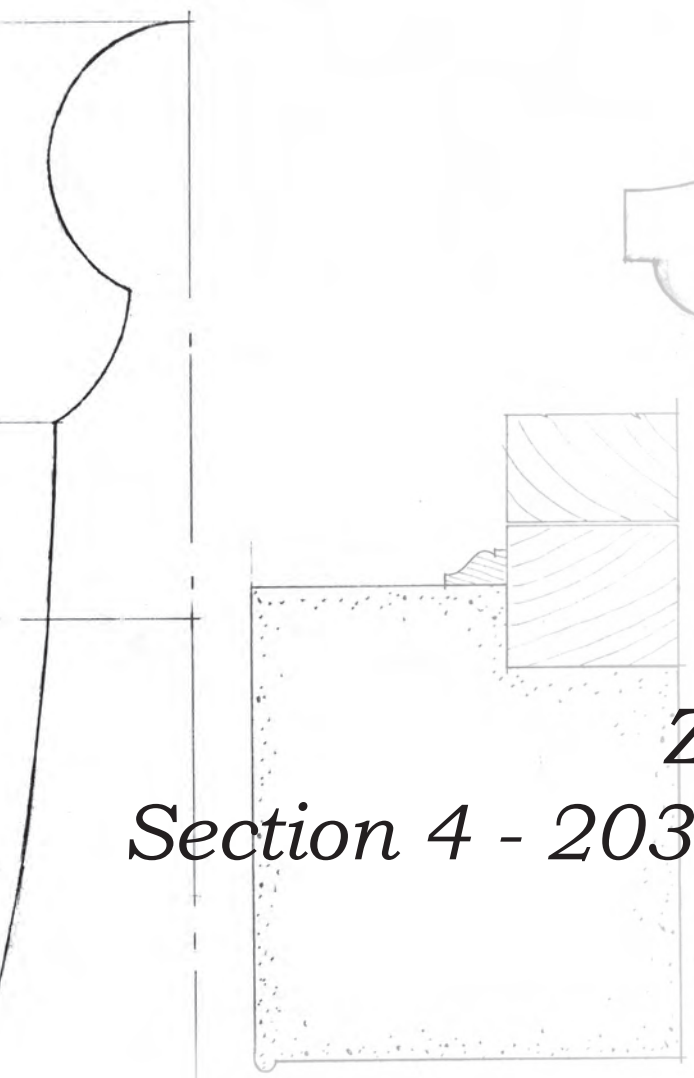
ROUND

OCTAGONAL

FIN PLASTER LINE



FINIAL ©



F. S. DOORJAMB

Zoning Code Article 4 Section 4 - 203. Downtown Overlay

Downtown Overlay Text Amendments

Amend the Downtown Overlay Text Amendments to address a larger downtown-wide area and provide tailored regulations for a walkable, urban area.

Section 4-203. ~~Zain/Friedman Miracle Mile~~ Downtown Overlay (DO) District.

A. Purpose and applicability.

1. The purpose of the Downtown Overlay (DO) District is to promote an urban Downtown District where living, working, shopping, dining, cultural, and entertainment areas are designed to supply the needs of local residents and visitors in accordance with the goals, objectives, and policies of the City's Comprehensive Plan and in accordance with a set of comprehensive standards to be approved within the Downtown Overlay District area.

2. Applicability. The Downtown Overlay District applies to all Commercially-zoned properties within the area bounded by the following streets: Douglas Road (SW 37 Avenue) on the East, LeJeune Road (SW 42 Avenue) on the West, Navarre Avenue on the North, and Malaga Avenue on the South, as shown in the Zoning Map.

Unless otherwise provided in this section, all provisions of applicable underlying zoning district designations affecting individual property in this district shall control use and development.

B. Objectives. The district is established in order to maintain the following objectives:

a. Enhance the aesthetic, physical, and environmental character of Downtown Coral Gables.

b. Provide continued protection for residential neighborhoods from incompatible uses that would disrupt or degrade the health, safety, tranquility, aesthetics and welfare of the neighborhood by noise, light, glare, odor, vibration, dust, hazardous materials or traffic.

c. Promote and encourage pedestrian, bike, and transit activities in Downtown Coral Gables by promoting the concepts of an urban city center mixed-use development and pedestrian-friendly design alternatives.

d. Provide for special development standards for Miracle Mile and the 100 Block of Giralda Avenue, to encourage small-scale, incremental redevelopment that enhances

the mixed-use, pedestrian character of these important public spaces.

e. Provide standards for the continuance and enhancement of the historic downtown buildings as the functional and symbolic center of the City.

f. Promote the viability of the City of Coral Gables trolley routes and alternative means of transportation.

g. Foster the activation of public areas and generate streets with a consistent design intent regarding, but not limited to, street trees, public lighting fixtures, furnishing, sidewalks, crosswalks, and/or any other elements in the public right of way.

h. Provide an orderly integration of public and private improvements and infrastructure.

i. Generate pride and confidence in the Downtown area.

j. Protect property values through the application of the standards, goals, and objectives of this section of the code.

k. Encourage development and redevelopment of buildings through coordinated design and development standards, including provisions for parking, sidewalk frontage and land use consistent with the vision of a high-quality pedestrian environment.

Please refer to Appendix E of the Zoning Code for maps and development standards for the Downtown Overlay District.

~~A. Purpose and applicability:~~

~~1. The purpose of the Zain/Friedman Miracle Mile Downtown Overlay (DO) District is to promote the goals, objectives, and policies of the City's Comprehensive Plan in accordance with a set of comprehensive standards to be approved within the Miracle Mile area. These standards are provided for the continuance and enhancement of the historic downtown area as the functional and symbolic center of the City.~~

~~2. The district is established in order to maintain the following objectives:~~

a. Maintain the aesthetic, physical, historic and environmental character of Downtown Coral Gables.

b. Provide continued protection for residential neighborhoods from incompatible uses that would disrupt or degrade the health, safety, tranquility, aesthetics and welfare of the neighborhood by noise, light, glare, odor, vibration, dust, hazardous materials or traffic.

c. Promote and encourage pedestrian activities in Downtown Coral Gables by promoting the concepts of mixed-use development and pedestrian-friendly design alternatives.

d. Limit building height, bulk, mass and intensity on Miracle Mile of large scale developments to promote compatibility with the existing low-rise scale of development in Downtown Coral Gables as it presently exists.

e. Generate pride and confidence in the Downtown area.

f. Protect property values through quality control.

3. Applicability. The District applies to the area bounded by the following streets: Douglas Road (SW 37 Avenue) on the East, LeJeune Road (SW 42 Avenue) on the West, Aragon Avenue and Merrick Way on the North, and Andalusia Avenue on the South.

Unless otherwise provided in this section, all provisions of applicable underlying zoning district designations affecting individual property in this district shall control use and development.

B. Regulations. Within the DO District, abutting or adjacent property owners having more than two hundred (200) feet of frontage on Miracle Mile, containing more than twenty thousand (20,000) square feet of combined lot area, and designated Commercial High-Rise Intensity pursuant to the Coral Gables Comprehensive Plan, shall be required to submit an application for site plan review, as provided below, and the subject properties shall be considered as if they were a single building site for all purposes under these regulations and such application shall be subject to the following requirements:

1. The properties shall be designated High-Rise Intensity Commercial Land Use on the Comprehensive Plan Map from the right-of-way line of Miracle Mile north to Aragon

Avenue and the right-of-way line of Miracle Mile south to Andalusia Avenue.

2. The building height of the development of the properties shall be limited to not more than six (6) stories or seventy (70) feet of building height or, whichever is less, for properties from Miracle Mile to the centerline of the alley to the north or south of Miracle Mile.

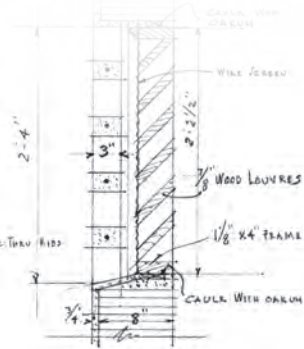
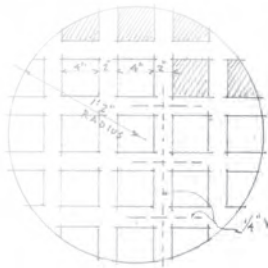
3. A minimum of ninety (90%) percent of the lot front facing Miracle Mile, at ground level, shall be storefronts limited to retail, restaurant, art galleries, personal services, courtyards and building entries.

4. Except for pedestrian building entrances and pedestrian courtyards there shall be a mandatory zero (0) foot setback along the Miracle Mile frontage and there shall be no side setbacks along Miracle Mile to ensure a continuous pedestrian scale façade.

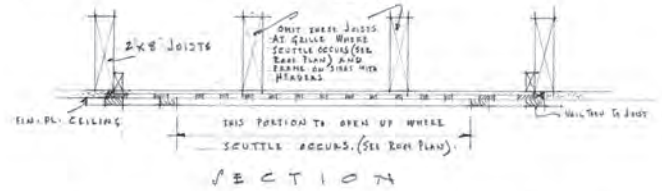
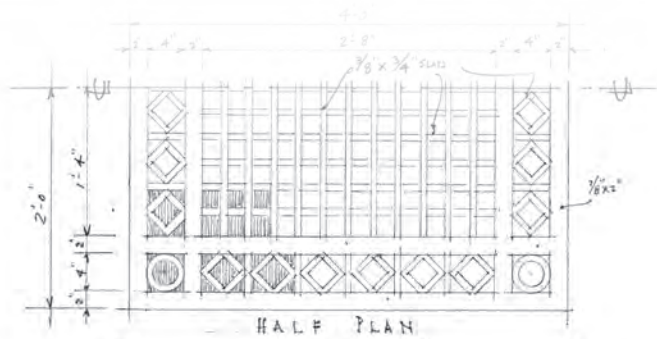
5. In order to ensure consistency with these regulations and to ensure that the development as proposed will be compatible with and further the development of the pedestrian character and scale of Miracle Mile, all such projects shall be subject to site plan review by the Planning and Zoning Board with recommendation to the City Commission.

7. Alterations, expansions, renovations, and similar improvements of existing structures shall, to the extent feasible, conform to the requirements of this section and other applicable provisions of these regulations.

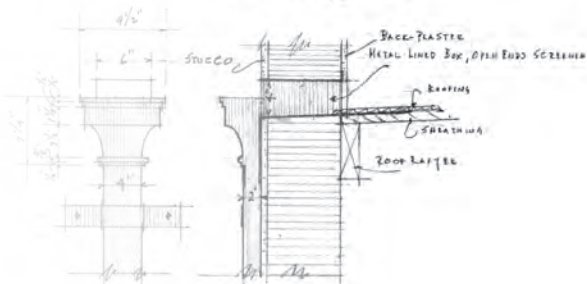
6. Where the designated site or project is subject to multiple ownership, as part of the application for site plan review, the Planning and Zoning Board may allow the Owners of the property to submit a Covenant in Lieu of Unity of Title in accordance with the provisions of Article 5, Division 23.



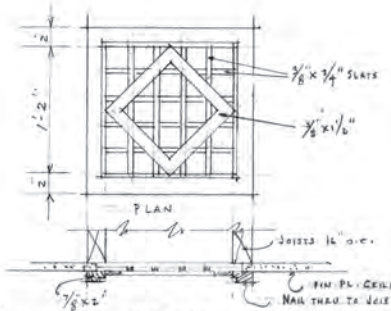
ELEVATION SECTION
 DETAIL OF CEMENT GRILLE VENTS
 TO ATTIC SPACE OF POST OFFICE
 SCALE 1/2" = 1'-0"



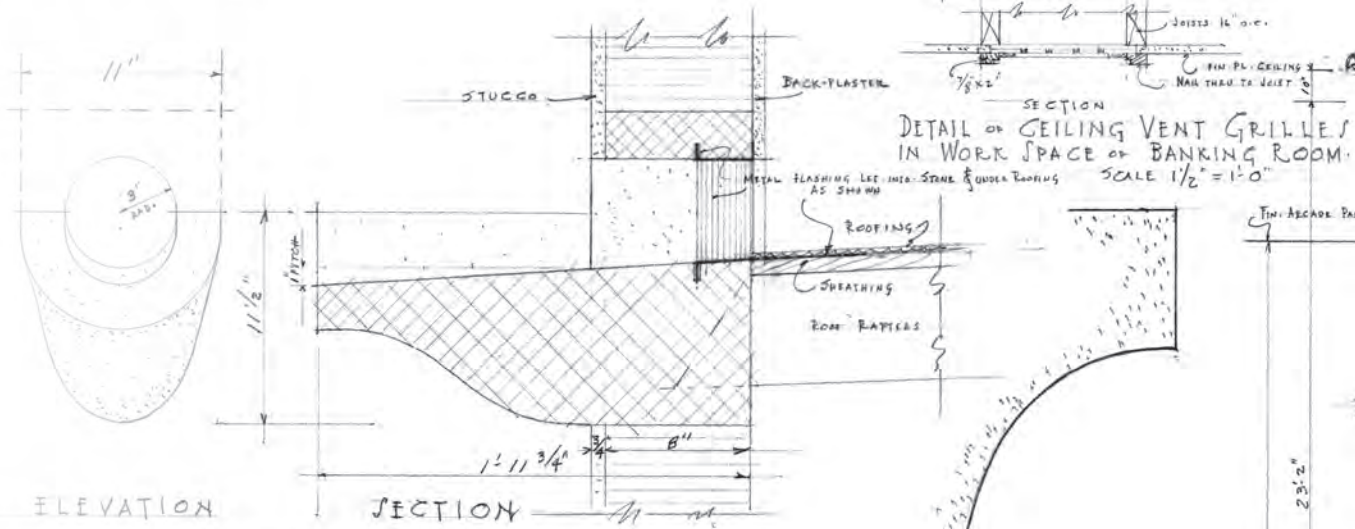
HALF PLAN SECTION
 DETAIL OF CEILING VENT
 GRILLES IN POST OFFICE
 SCALE 1/2" = 1'-0"



ELEV. SECTION
 1/2" SCALE DETAIL OF LEADERS
 TO POST OFFICE ROOF



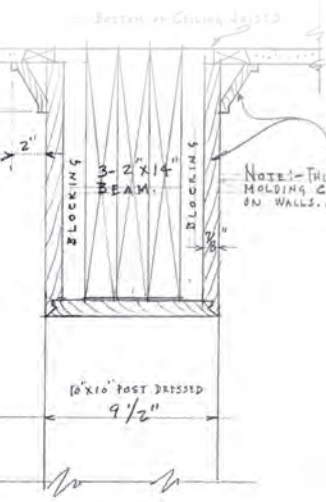
SECTION PLAN SECTION
 DETAIL OF CEILING VENT GRILLES
 IN WORK SPACE OF BANKING ROOM
 SCALE 1/2" = 1'-0"



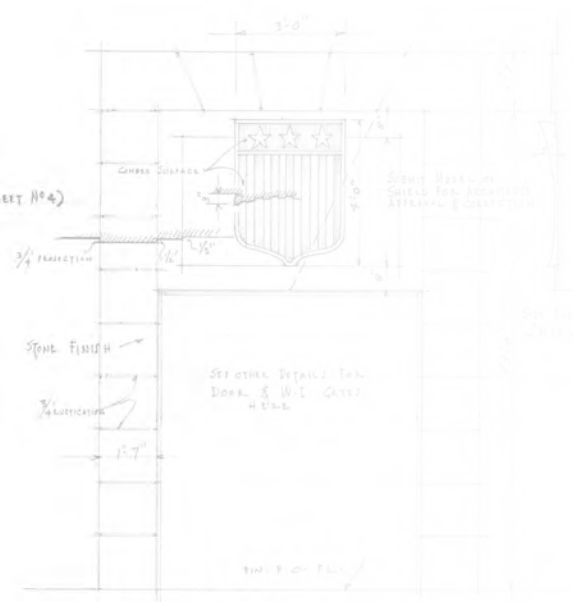
ELEVATION SECTION
 3" SCALE DETAIL OF CAST STONE SPOUTS
 TO ARCADE ROOF

FULL SIZE PROFILE
 OF MOLDING "2"
 (POST OFFICE ENTRY)

DETAILS OF SCA

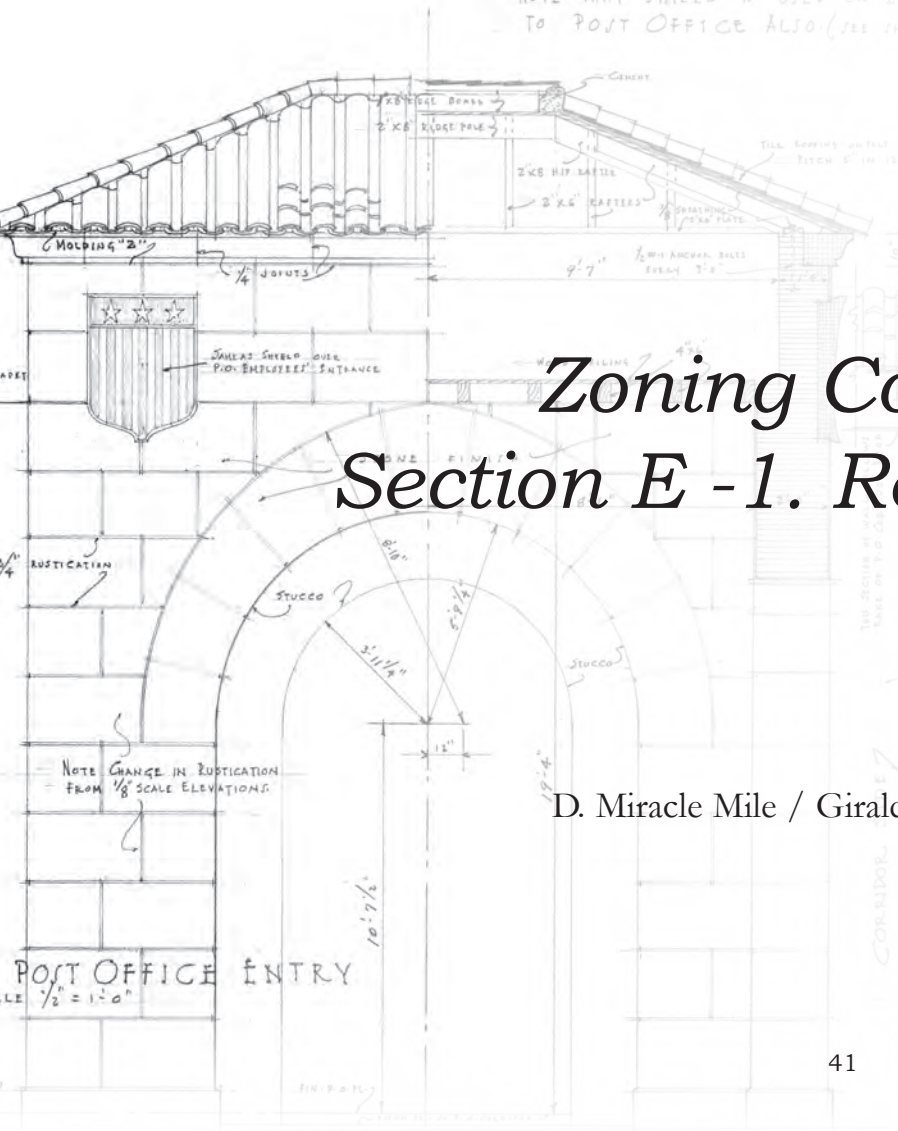


DETAIL OF WOOD BEAMS
IN POST OFFICE
SCALE 3" = 1'-0"



DETAIL OF POST OFFICE
EMPLOYEE'S ENTRANCE
SCALE 1/2" = 1'-0"

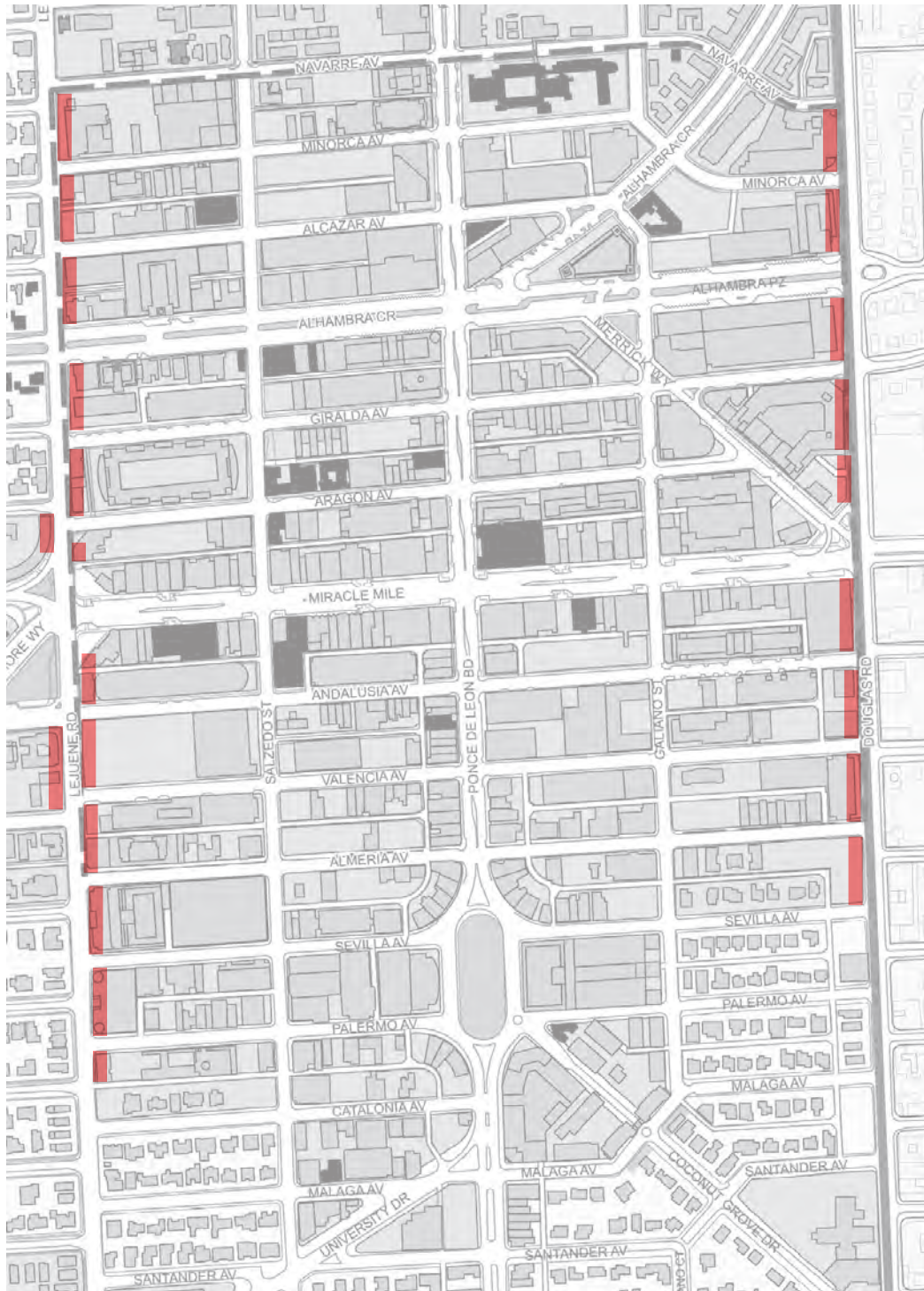
NOTE THAT SHIELD IS USED ON ENTRANCE
TO POST OFFICE ALSO (SEE SHEET NO. 4)



Zoning Code Appendix E Section E -1. Regulating Plans

A. Street Types	42
B. Mandatory Pedestrian Path	43
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D. Miracle Mile / Giralda 100 Block Special Regulations	45

Regulating Plan - Mandatory 10' Pedestrian Path



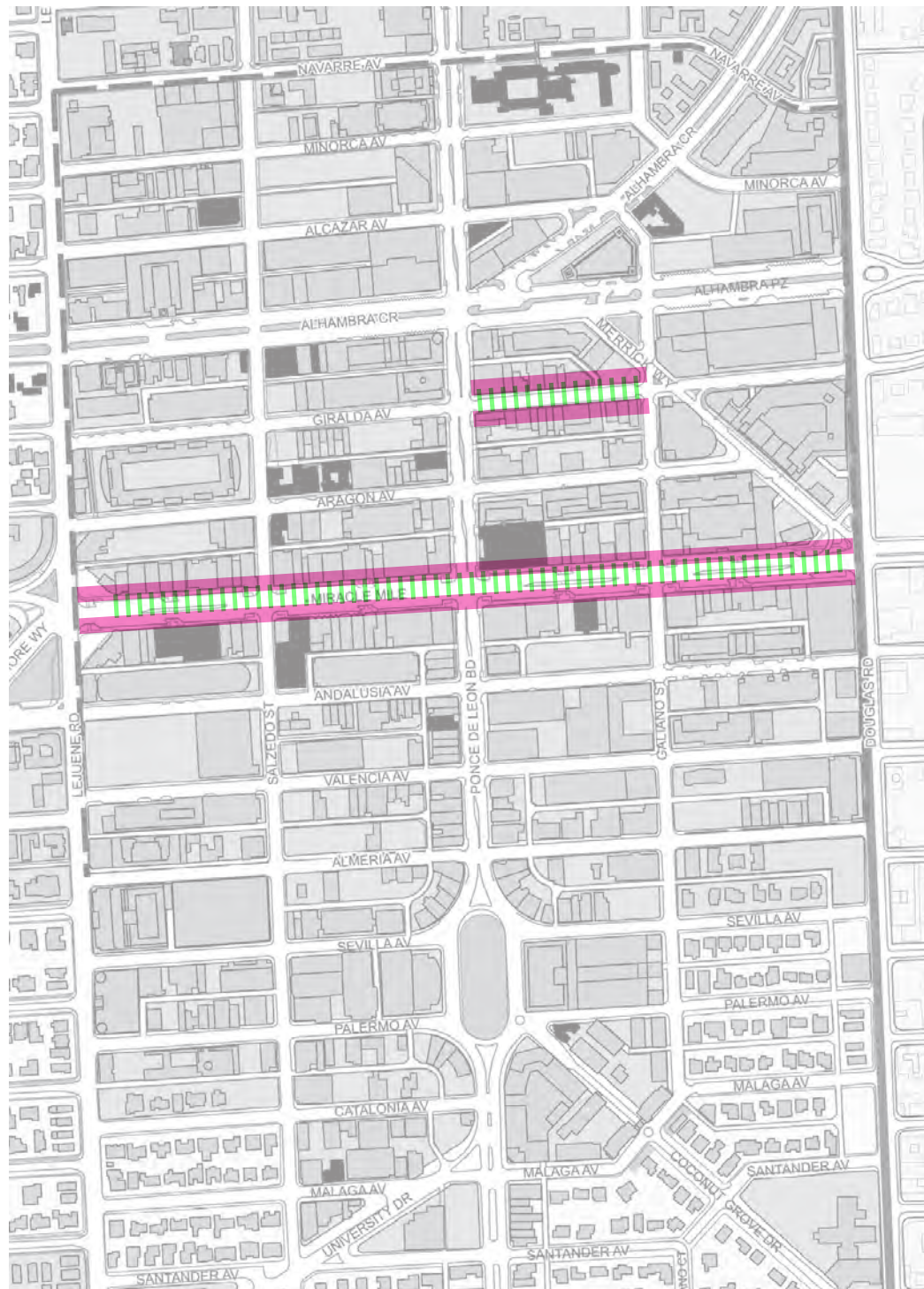
 Mandatory 10' Clear Pedestrian Path on Private Property at Sidewalk Edge
(Options: Building Setback or Arcade flush with sidewalk grade)



Regulating Plan - Historic Properties



■ Designated Historic Properties

Regulating Plan - Miracle Mile / Giralda Regulations



-  Mandatory Retail, Restaurant and Entertainment Ground Floor Uses
-  Outdoor Dining Special Approval





Zoning Code Appendix E

Section E - 2. General to Downtown

A. Purpose, Applicability, Use, and Process	50
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G. Pedestrian-Oriented Signage	66

Purpose, Applicability, Use, and Process

1. Purpose. Encourage a harmonious streetscape throughout the Downtown by requiring a consistent street frontage for both large and small parcels. Allow for the development of small-scale, engaging urban buildings by adjusting minimum parking requirements and encouraging rooftop terraces and balconies overlooking the street. Ensure pedestrian comfort by controlling driveways and off-street parking areas along the street and lining parking garages with habitable space.

2. Applicability. The Downtown Regulations apply to all Commercially-zoned properties within the area bounded by the following streets: Douglas Road (SW 37 Avenue) on the East, LeJeune Road (SW 42 Avenue) on the West, Navarre Avenue on the North, and Malaga Avenue on the South, as shown in the Zoning Map. Additional Special Provisions apply to the properties fronting Miracle Mile and the 100 Block of Giralda, as provided in Section E - 3.

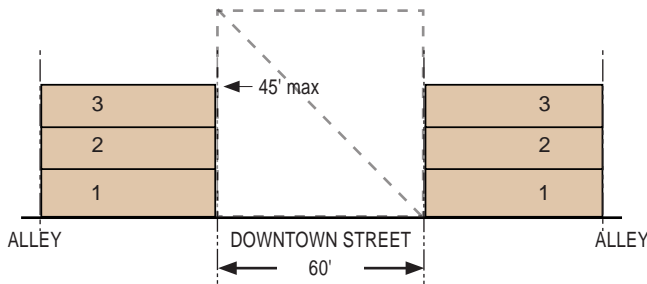
3. Uses. All uses provided for in the underlying Commercial Zoning District shall be permitted in the Downtown Overlay. In addition, live/work and residential uses shall be a permitted use above the ground floor when the Coral Gables Mediterranean Architectural Design Level 2 Bonus is utilized, as per Section 5-604 of the Zoning Code. Residential Use on the upper levels of buildings on lots of more than 20,000 square feet shall be approved by way of the Mixed-Use Site Plan Review process.

4. Development standards for all buildings within the Downtown Overlay District, except for those buildings fronting Miracle Mile or the 100 Block of Giralda Avenue, are provided in Section E-2.B. and E-2.C. These development standards are mandatory for all new construction, alterations, expansions, renovations, and similar improvements of existing structures.

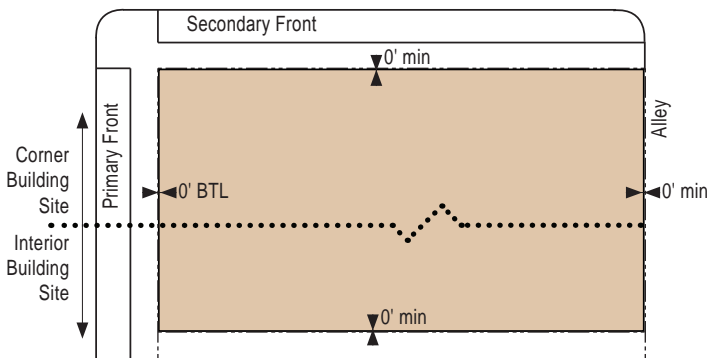
5. Large Scale Projects - Conditional Use Site Plan Review. In order to ensure consistency with these regulations and to ensure that the development as proposed will be compatible with and further the development of the pedestrian character and scale of Downtown, all new development projects on lots of more than 10,000 square feet shall be subject to site plan review reviewed by way of the Conditional Use Site Plan Review process, by Planning and Zoning Board hearing and recommendation and a Resolution of the City Commission.

Building Form: Small - Scale

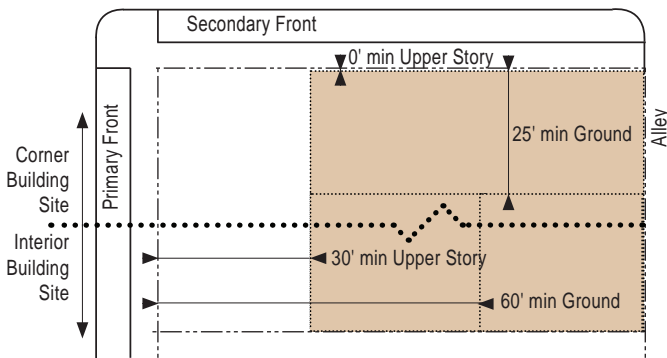
Building Form and Height



Building Setback



Parking Placement



Lot Occupation

Building Site Area	2,500 sf min
Building Site Street Frontage	25' min
Floor Area Ratio (FAR)	3.0 max
Frontage Type (Primary, etc)	See Regulating Plan, E-1.A.
Primary Frontage Standards	70% min Building Frontage 60% min Shopfront Vehicular Areas prohibited
Open Space	20% min rooftop terraces and balconies
Density	no limit

Building Setback

Primary Front	0' Build-to-Line
Secondary Front	0' min
Side	0' min
Rear	0' min

Parking / Loading

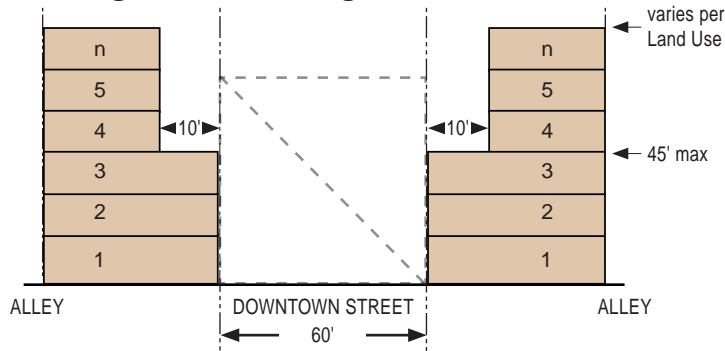
Minimum Required Parking	See Parking Standards, E-2.F.
Primary Front Ground Level Setback	60' min
Primary Front Upper Level Setback	30' min
Secondary Front Ground Level Setback	25' min
Secondary Front Upper Level Setback	0' min
Parking Entrance	Mandatory Alley where present 18' maximum width curb cut
Required Internal Loading / Service	None
Loading / Service	Mandatory Alley where present

Building Height

Building Height	2 stories, 25' min 3 stories, 45' max
Rooftop Architectural Elements	15' max
Ground Floor Height	15' min; 20' max
Upper Level Floor Heights	10' min; 14' max

Building Form: Large - Scale

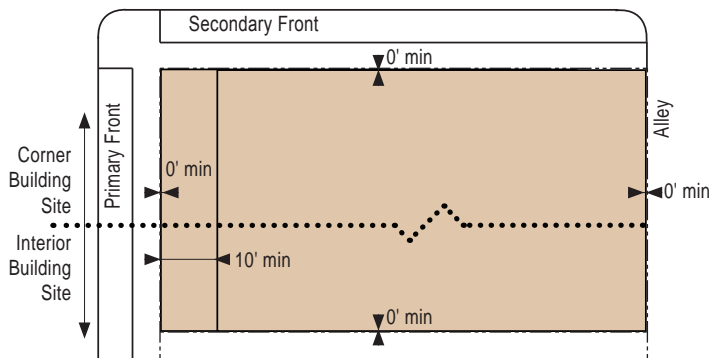
Building Form and Height



Lot Occupation

Building Site Area	20,000 sf min
Building Site Street Frontage	200' min
Floor Area Ratio (FAR)	3.0 max 3.5 max - Mediterranean Bonus 4.375 max - Purchase of Development Rights from Historic Properties
Frontage Type (Primary, etc)	See Regulating Plan, E-1.A.
Primary Frontage Standards	60% min Shopfront Vehicular Areas discouraged
Open Space	20% min rooftop terraces and balconies
Density	no limit as per MXD regulations

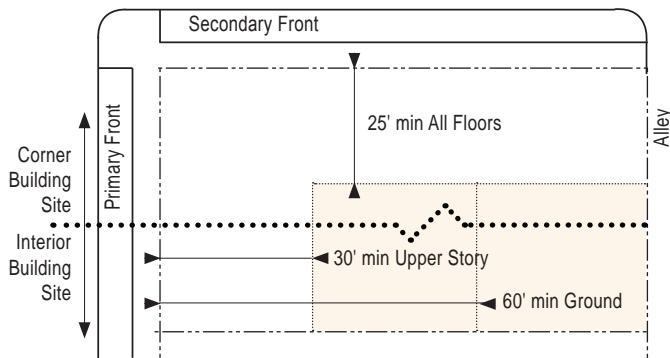
Building Setback



Building Setback

Primary Front	0' Build-to Line
Secondary Front	0' min
Side	0' Build-to Line
Rear	0' min

Parking Placement



Building Stepback

Primary Front - 4th Fl. or 45'	10' min
--------------------------------	---------

Parking / Loading

Minimum Required Parking	As per Parking Standards, E-2.F.
Ground Level	60' min setback from Primary Front
Upper Levels	30' min setback from Primary Front
Parking Entrance	Mandatory Alley Entrance
Loading / Service	Mandatory Alley Frontage

Building Height

Building Height	2 stories, 25' min Maximum Height varies (See Land Use - 77', 97' or 190'6")
Rooftop Architectural Elements	15' max
Ground Floor Height	15' min; 20' max

1. General Standards

Ground Floor heights shall be a minimum of 15 feet floor to ceiling and a maximum of 20 feet floor to ceiling.

1. Pedestrian Frontages shall have no blank walls.
2. Pedestrian Frontages shall have operable building entrances along their front facades spaced at an average of sixty feet (60') on center.
3. The Pedestrian Frontage shall be marked along the Build-to-Line (BTL) by one of the following architectural elements:
 - a. Fixed or Operable Transparent Shopfront.
 - b. Arcade / Loggia
 - c. Pedestrian Court.

2. Shopfronts

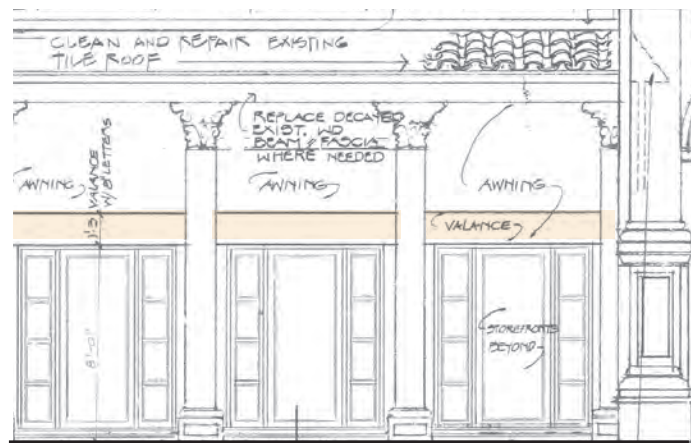
Shopfronts are a mandatory Frontage on Primary Streets, as per the Regulating Plan, Section E.4.B. In a mixed-use building, the Ground Floor Shopfront shall be distinguished from the rest of the building, placing emphasis on the display windows. A minimum of 60 percent and a maximum of 90 percent of the ground floor Shopfront shall be glass.



Shopfronts may be Fixed or Operable Windows or Doors.

ii. Ground-level Transparent Storefront with interior spaces that have a Certificate of Occupancy for Commercial Use (Temporary or regular), shall be fully transparent with a minimum of 88% light transmission to allow maximum visibility into the interior of the ground-level space from the public right of way and pedestrian areas. Tinting, reflective glass, curtains, blinds, paper, or other materials that obstruct visibility into the interior of the ground level space shall not be permitted except as required by the Building Code.

iii. An Operable Transparent Shopfront may have movable glass doors, such as a bi-fold, horizontal sliding, lift and slide, or swing door to allow maximum openness and circulation during operating hours, but which are closed and secured when the business is closed.



Shopfronts, Table 5.18

Shopfront Ratio of Opening to Wall	2/3 min	
Shopfront Windowsill Height above Ground Line	12" min 36" max	S
Shopfront Windows	Clear Glass (88% light transmission)	W
Kickplate shall be of durable material (wood, masonry, stone)		K
Permanent, fixed security grates or grilles in front of windows are prohibited.		
The Expression Line shall be placed above the Sign Panel and provide a strong definition to the top of the Shopfront.		

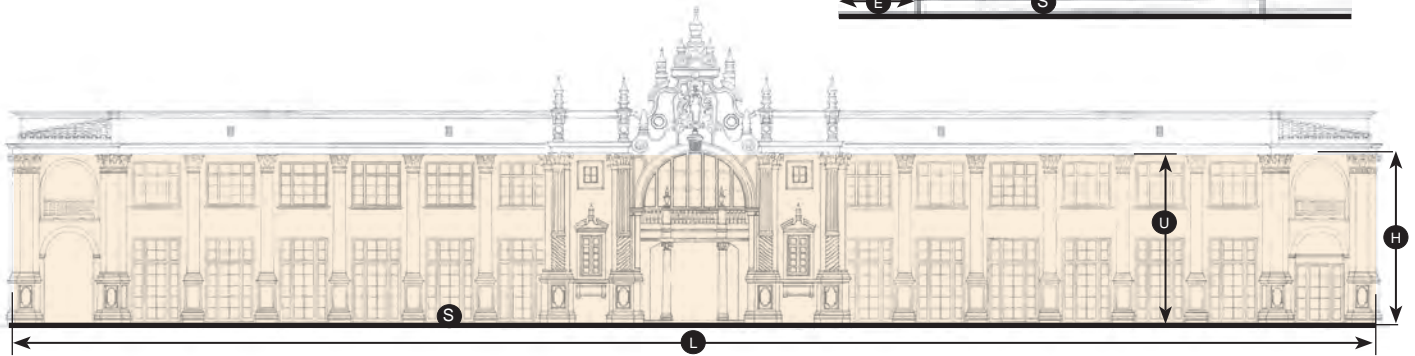
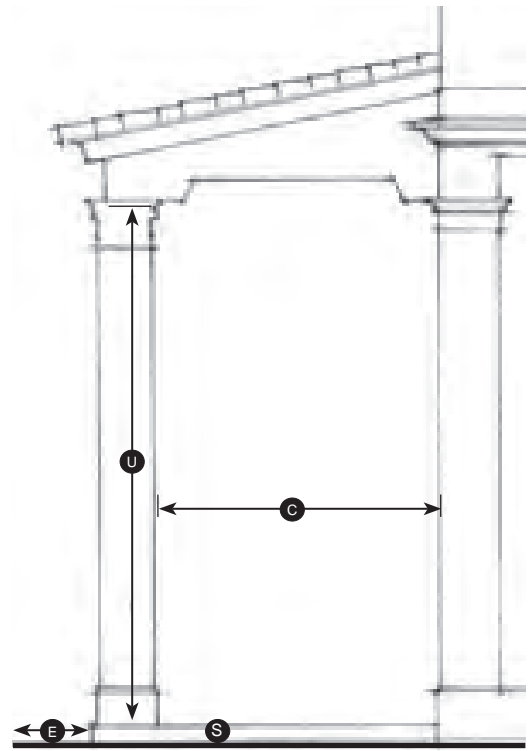
3. Arcades and Loggias

Arcades and Loggias shall be open-air spaces that connect the ground floor of the street-facing facade of a building to the right-of-way, providing a publicly accessible, comfortable pedestrian space along the ground floor of the building. Arcades shall be designed to be consistent with the proportion, scale, architectural style, and materials of the main building. Each bay of the Arcade shall be vertically proportioned in order to allow sufficient light and visibility to the Ground Floor facade of the building.

The finished floor of the Arcade or Loggia shall be flush with and continuous with the adjacent public sidewalk grade to allow for uninterrupted pedestrian flow and to allow for ADA access.

1. The Build-to Line of the arcade or loggia shall be defined by one of the following elements:

- a. Columns and/or pilasters.
- b. Arches and/or rectangular openings.
- 3. Arcades shall be accessible to the public.



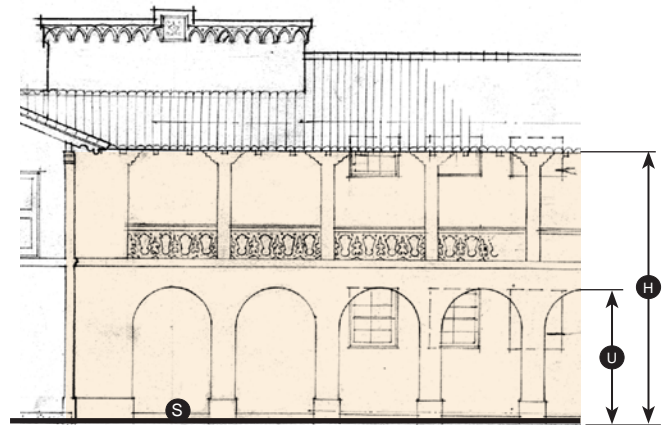
Arcades and Loggias, Table 5.15

Height	1 or 2 Floors; Optional Upper Level Walkway	H
Clearance	10' min	C
Underside Clearance at Sidewalk	1.6 x Depth min	U
Length of Facade	80% min	L
Distance from Edge of Curb	18" min	E
Ground Floor height above sidewalk	6" max	S

A continuous Pedestrian Zone shall be maintained within the Arcade or Loggia along the Building Face, and shall not be obstructed by protruding Storefronts, Stairs, Escalators, Elevators and other building elements.

Arcades and Loggias may occur forward of BTL and/or setback, and may encroach within the sidewalk upon City approval.

Habitable Space, walkways and/or Terraces above Arcades and Loggias may occur forward of BTL upon City approval.



4. Courtyards

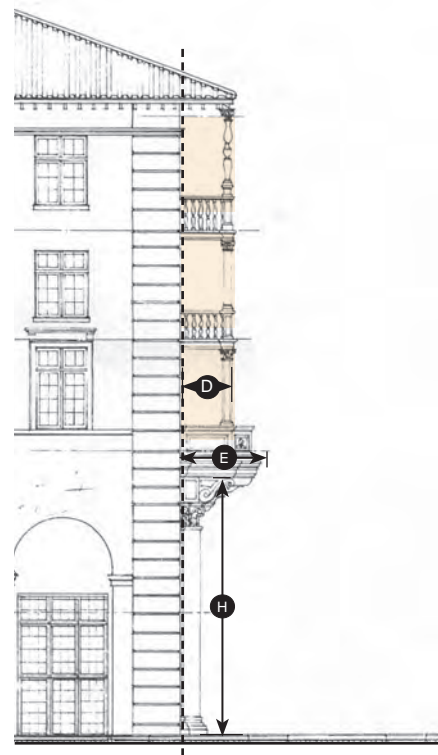
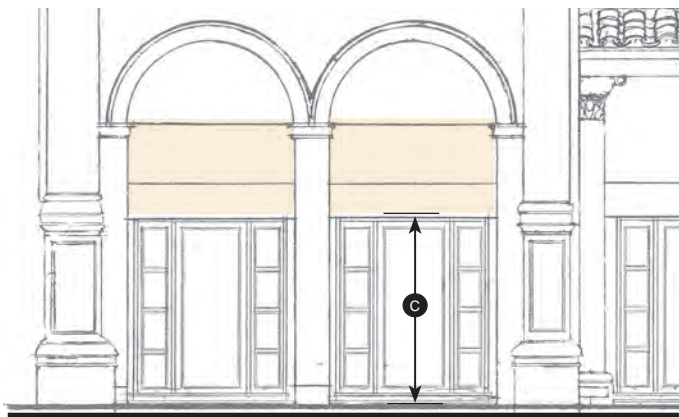
1. The Build-to Line of the arcade or loggia shall be defined by one of the following elements:

- a. Columns and/or pilasters.
- b. Arches and/or rectangular openings.
- c. Urban landscape feature, such as planters or a low wall.
 - i. The urban landscape feature shall be a minimum of 2' in height and a maximum of 4' in height to allow pedestrian visibility and shall be constructed of a material that is consistent and harmonious with the overall building material.

2. The pedestrian court shall be fronted along its entire length by a Transparent Shopfront that is setback at least ten feet (10) from the property line and parallel to the sidewalk. The Transparent Shopfront shall be visible and accessible from the sidewalk and shall have operable doors spaced at an average of sixty feet (60') on center.

5. Awnings, Canopies, and Balconies

Awnings, Canopies, and Balconies provide Emphasis to the Facade, and have the utility of providing shade and rain protection. Awnings and Canopies enhance the Fenestration of the Building. The shape shall relate to the window or door opening. Barrel shaped Awnings should be used to complement arched windows and square Awnings on rectangular windows. When placed above ground level Shopfronts, Awnings and Canopies are permitted to encroach across the sidewalk in order to provide generous protection for pedestrians.



Awnings and Canopies, Table 5.11A

Awning and Canopy Depth	2' min Residential 6' min Ground Floor Retail
Ground Floor Encroachment into ROW	up to 18" from edge of curb
Upper Floor Encroachment into ROW	6' max
Ground Floor Clearance from Sidewalk	7.5' min for structure 6.5' min for loose fabric C
Awning Percent Slope	100% min Residential 40% max Ground Floor Retail

The design of Awnings and Canopies shall relate to the size, shape, materials, and style of the Opening.

Awnings shall be constructed with a metal frame and cloth or canvas covering. Cloth in an awning shall be or look like natural fabric and be limited to two (2) colors.

Canopies shall be either supported from below by brackets, or from above by suspension cables or chains.

Balconies, Table 5.11B

Build-to Line	---
Balcony Depth	2' min D
Balcony Underside Clearance from Sidewalk	10' min H
Balcony Encroachment into ROW	6' max E

Balconies may occur forward of the Build-To-Line, Setback, and/or Build-To-Zone.

Balconies shall be designed with visible support such as brackets.

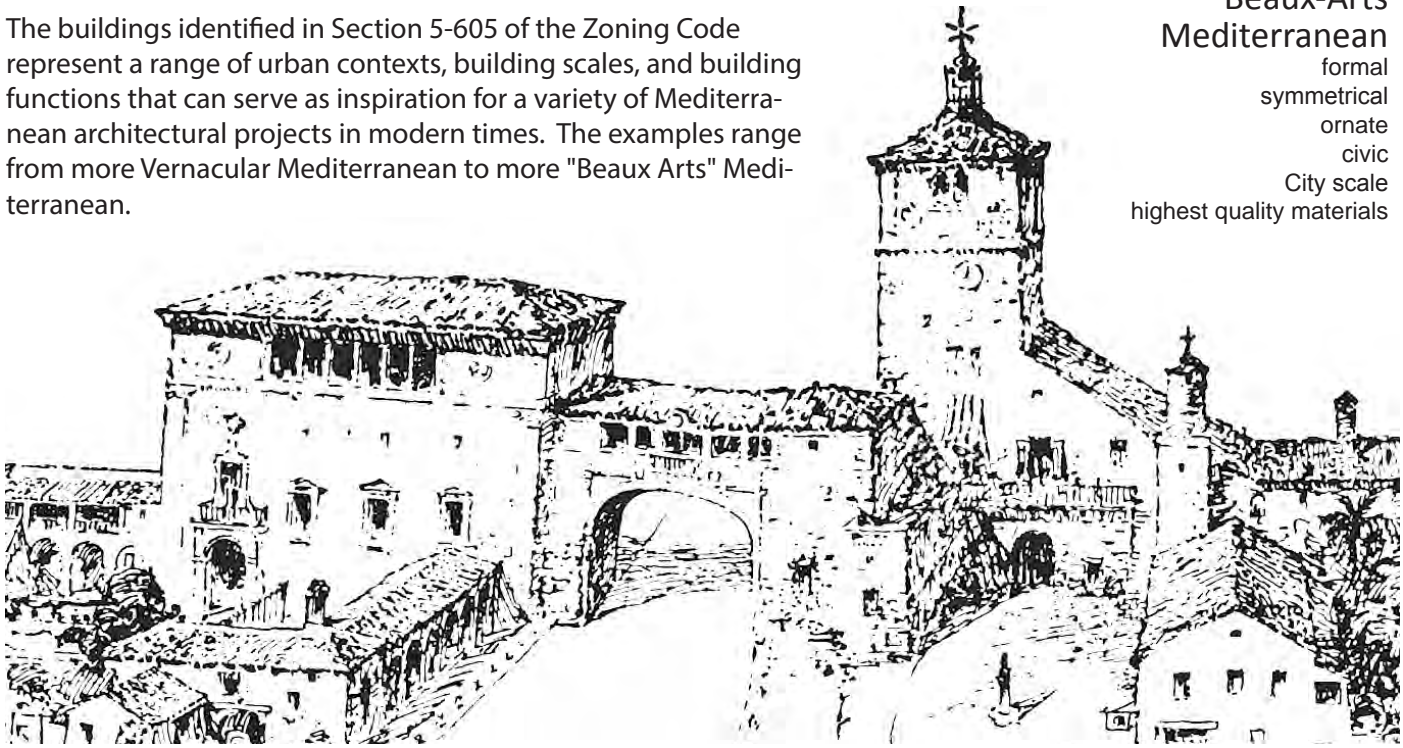
A line of Balconies is recommended to be used with Expression Lines to mark the transition between the Base, Middle and Top of the Building.

Railings shall be compatible with other trim elements, such as door/window frames.

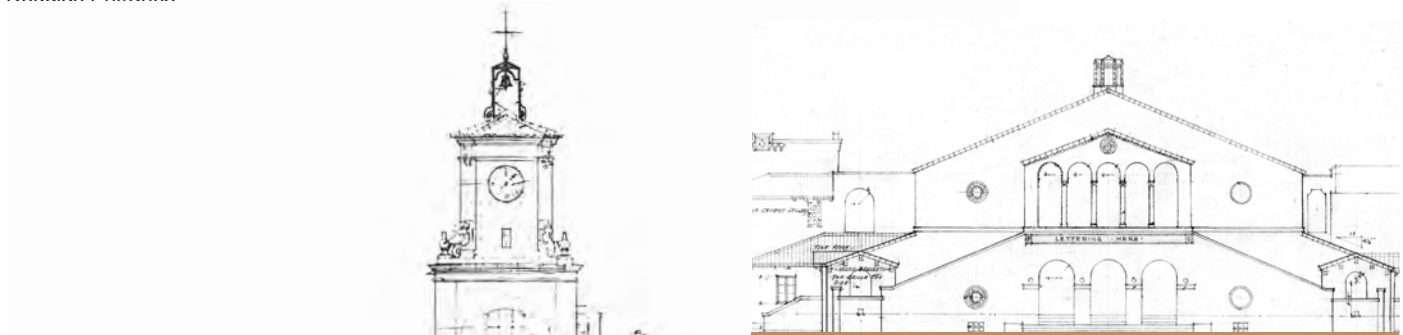
1. Mediterranean Architectural Design

The buildings identified in Section 5-605 of the Zoning Code represent a range of urban contexts, building scales, and building functions that can serve as inspiration for a variety of Mediterranean architectural projects in modern times. The examples range from more Vernacular Mediterranean to more "Beaux Arts" Mediterranean.

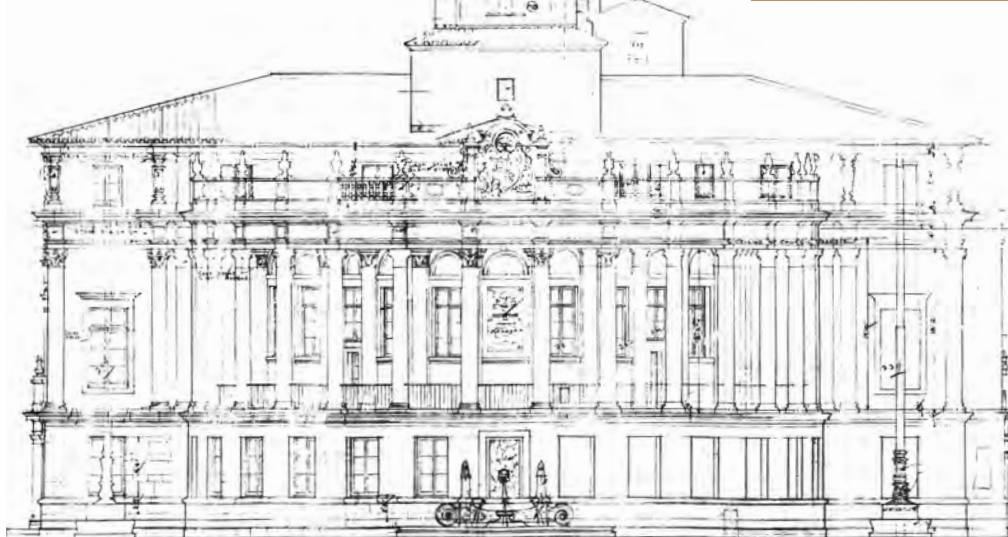
**Beaux-Arts
Mediterranean**
formal
symmetrical
ornate
civic
City scale
highest quality materials



Douglas Entrance



Coral Gables Elementary School



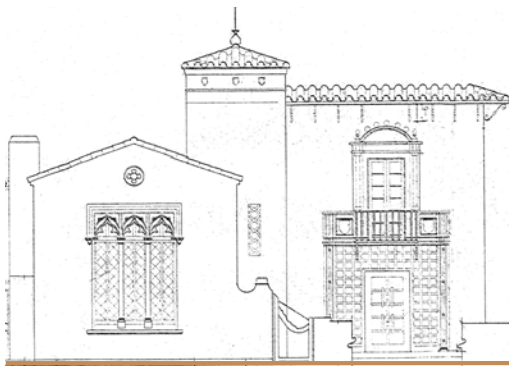
Vernacular Mediterranean
informal
asymmetrical (but balanced)
simple
residential
domestic scale
everyday materials

Coral Gables City Hall

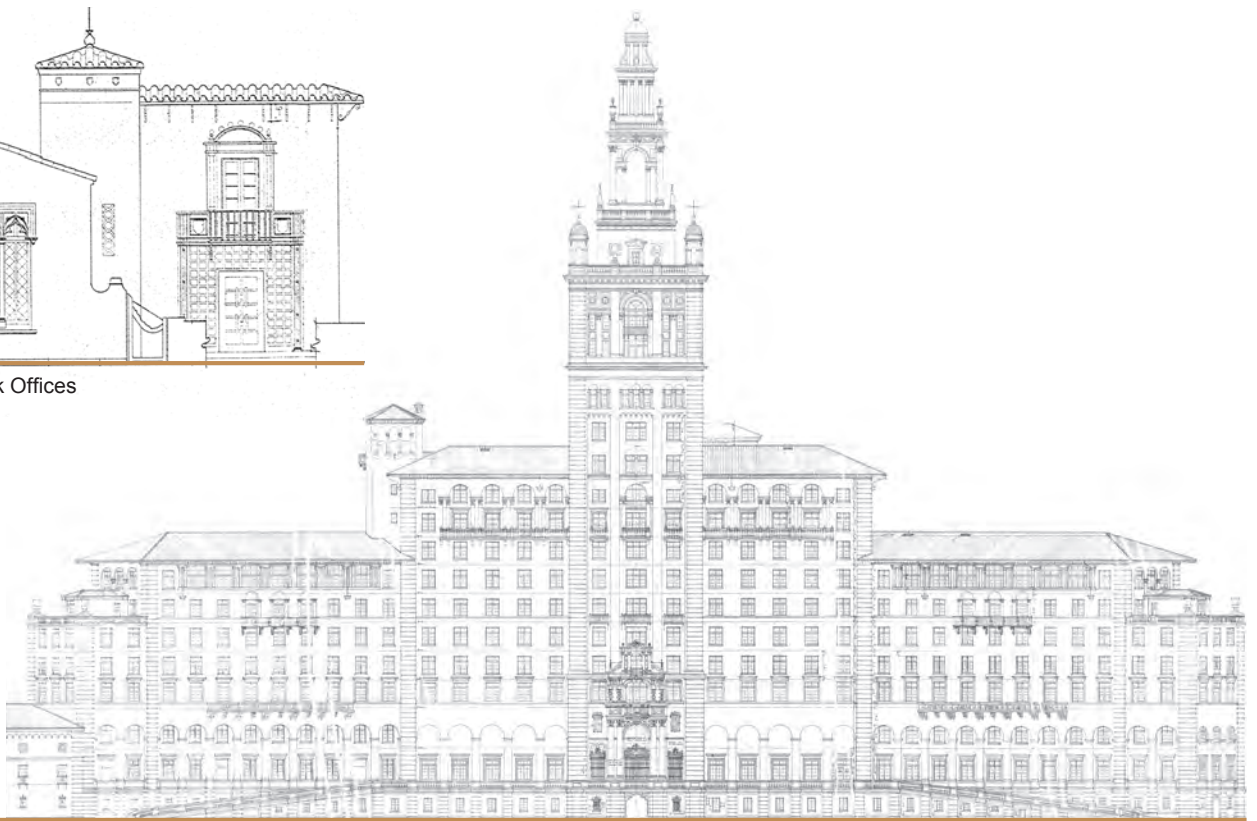
1. Mediterranean Architectural Design



San Sebastian Apartments



H. George Fink Offices



Biltmore Hotel



The Colonnade Building

2. Facade Transparency

Doors, whether opaque or transparent, may be counted towards minimum Facade transparency.

Mullions, muntins, window and door frames may be counted towards minimum Facade transparency.

Facade transparency percentage for a particular floor is calculated as: $X/Y \times 100$. X=Total Area of Doors and Windows at a particular floor level. Y=Total Facade Area belong to a particular level. Y is calculated as the dimension (height) between finished floors multiplied by the width of the Facade.

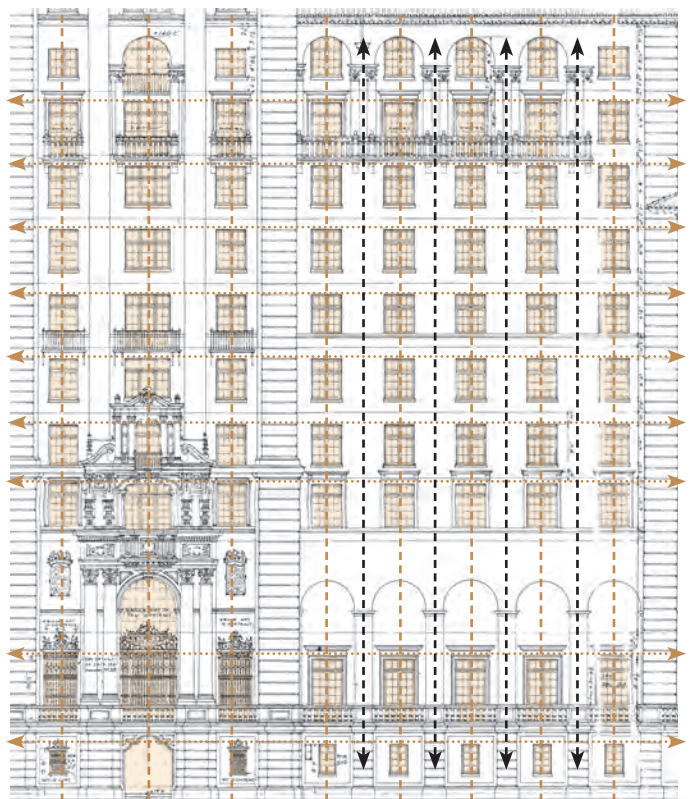
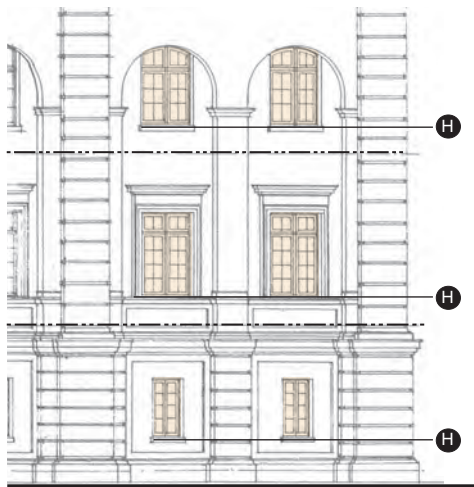
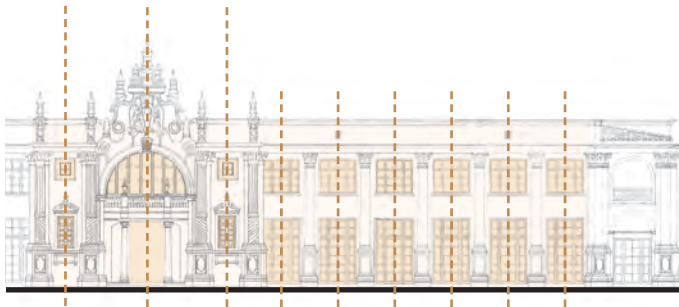
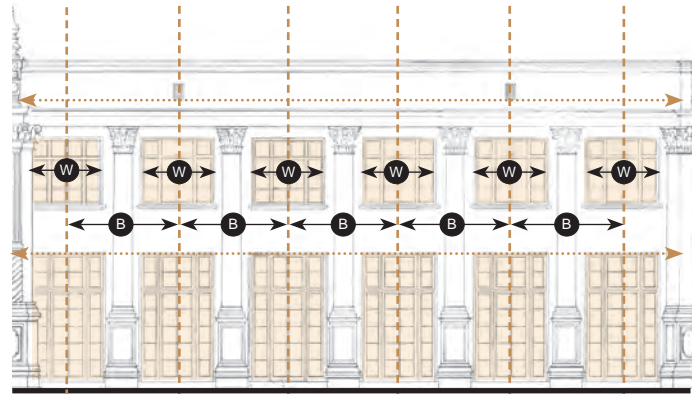
Facades along both the primary and secondary frontage shall be subject to Facade transparency requirements. The ground floor of secondary frontage may use the Facade transparency requirements for upper floors.

3. Building Facade - Fenestration

The rhythm and spacing of openings in the building facade, and the Proportion of opening to wall shall relate to the overall Proportion, Massing, style, formality, and function of the building itself. Fenestration includes Windows, Doors, and Garage Openings. Fenestration shall express each Floor of the Building.

The centerline of opening bays may differ depending on the mass hierarchy. To create an emphasis on a Building Mass, such as a principal entrance or tower, an odd number of opening bays is recommended. To de-emphasize a Building Mass, such as in a secondary mass or linking multiple primary masses, an even number of opening bays is recommended.

Similar to the alignment of openings, the visual weight of the building shall align from roof to base.

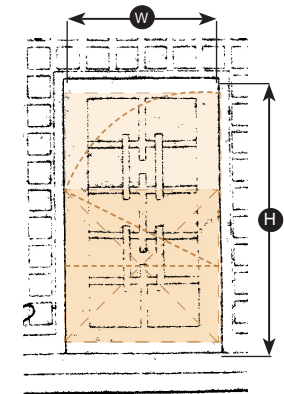
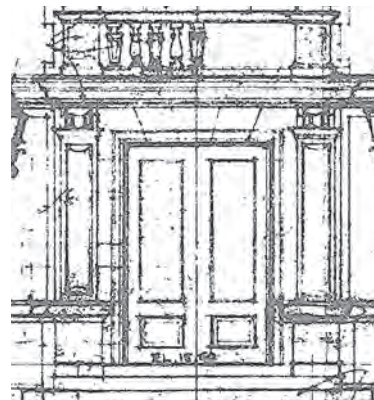
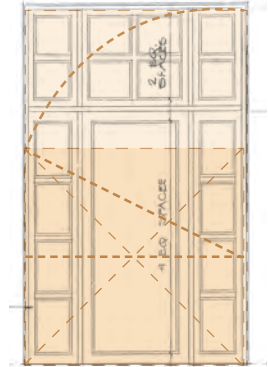
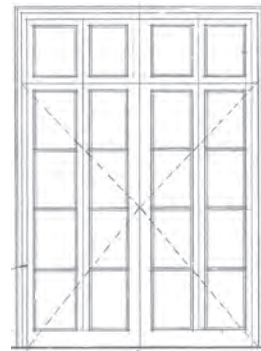
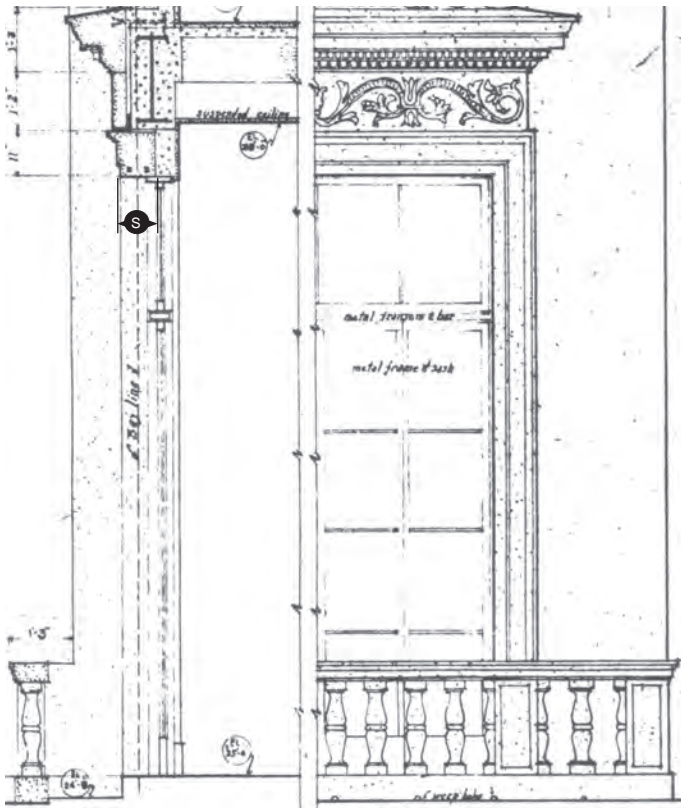


Facade Transparency, Table 5.8A	
Opening to Wall Ratio* (measured for each Floor)	1/5 min 1/3 max
Floor Line	----- (H)
Opening Sill Height above Floor Line	2'-6" max (H)
* Exceptions to the maximum Opening to Wall Ratio may be granted for the Top of a Building.	

Fenestration Rhythm and Proportioning, Table 5.8B	
Opening Width	See Table 5.9 and Table 5.10 (W)
Bay Width	1.5x Opening Width min 3x Opening Width max (B)
Opening Centerline	Aligns Vertically (---)
Opening Head Height	Aligns Horizontally (←---→)

4. Building Facade - Windows and Doors

Windows and Doors are important character-defining features of a building. Proportions, materials, and style shall reflect Mediterranean Architectural precedent.



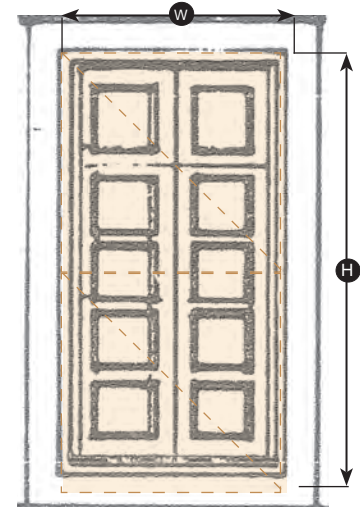
Windows and Doors, Table 5.9	
Height:Width Ratio	Classical Proportion Height > Width (H) (W)
Material	Solid Wood, Wood Veneer, Painted, Stained Anodized Metal
Door Color	varies
Window Frame Color	Black, Bronze, White
Shopfront Frame Color	Bronze
Glass Color	Clear, non-reflective
Permitted Window Types	Sash, Casement, Fixed, Transom
Permitted Door Types	Solid, French Doors
Window Grouping	Paired Windows, Horizontal bands of vertically-proportioned Windows
Lights	Divided Lights with Vertical Proportion
Frame Setback from Facade	4" min (S)

5. Building Facade - Garage Liner

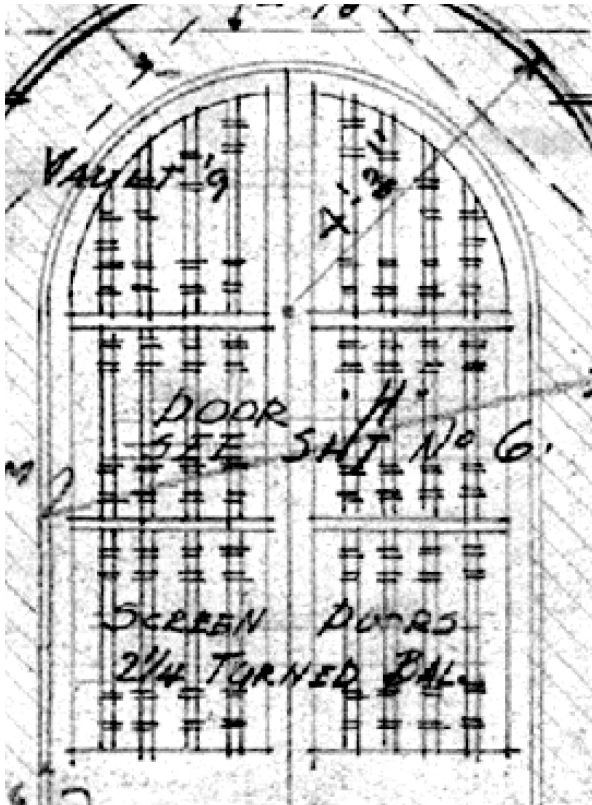
Parking garage facades shall be designed according to the rules of Fenestration, page 5.8. Garage Openings shall be designed to be compatible with the overall Mediterranean Architectural style and Window design of the building, but with a simplified treatment that expresses the utilitarian parking use. Garage Openings shall be screened to hide the garage structure, garage lighting, and vehicle headlights from view. Architectural screening treatment shall derive from Mediterranean Architectural precedent in Coral Gables, as shown in the examples on this page. Ramping shall be internalized wherever possible.

6. Building Facade - Garage Openings

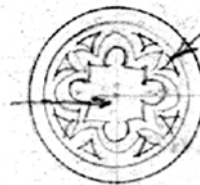
Parking garage facades shall be designed according to the rules of Fenestration, page 5.8. Garage Openings shall be designed to be compatible with the overall Mediterranean Architectural style and Window design of the building, but with a simplified treatment that expresses the utilitarian parking use. Garage Openings shall be screened to hide the garage structure, garage lighting, and vehicle headlights from view. Architectural screening treatment shall derive from Mediterranean Architectural precedent in Coral Gables, as shown in the examples on this page. Ramping shall be internalized wherever possible.



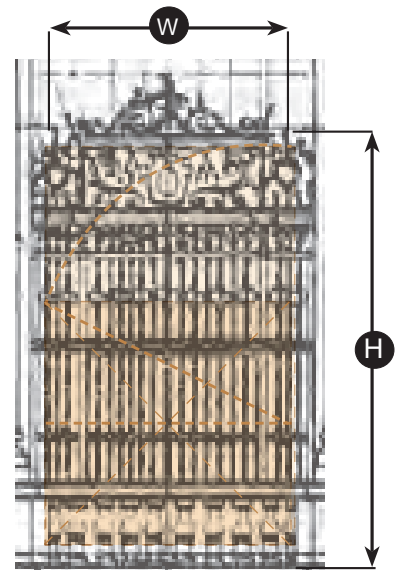
Cast Cement Grille



Wooden Spindles



Cast Cement Grille



Ornamental Wrought Iron Grille

Garage Openings, Table 5.10

Opening Height:Width Ratio	Classical Proportion Height > Width	H W
Architectural Screening Setback from Facade	4" min	

Garage screening materials may include wood, wrought iron, cast cement, terra cotta, or architectural quality pre-cast glass fiber reinforced concrete panels.

Parking

1. Uniform Parking Ratio for Ground Floor Uses. In order to encourage small businesses incubation, market response and flexibility, and to support downtown Coral Gables' emerging status as a pedestrian-oriented restaurant and retail destination, a uniform parking ratio of one (1) parking space per four hundred (400) square feet may be used for any permitted or conditional ground floor use in the DO District, unless exempt under the provision of Section 2 below.
2. Parking Requirement Exemption for Small Buildings using Mediterranean Bonus Level 2. When using Mediterranean Bonus Level 2, any new building construction, change of use, or restoration / renovation of a building located within the DO District may be exempted from off-street parking requirements if the building height does not exceed 3 stories and 45 feet and the lot size does not exceed 10,000 square feet.
3. Trolley Contribution in Lieu of On-Site Parking. An applicant may contribute towards transit and pedestrian mobility improvements in the Downtown in lieu of providing on-site parking pursuant to the payment in lieu contained in the City of Coral Gables Zoning Code.
4. Shared Parking Reduction. In addition to the parking options listed above, reductions from the minimum required parking spaces from the Zoning Code may be approved in the DO District, pursuant to Shared Parking Reduction Standards outlined in Article 5 of the Zoning Code.
5. Downtown Parking Management Plan. Parking requirements for individual buildings may be fulfilled through off-site shared parking, both in public and private off-street parking facilities. The Development Review Official and/or the Planning and Zoning Board may approve off-site shared parking in accordance with the adopted Downtown Parking Management Plan.
6. Valet/Centralized Parking. An off-street parking reduction of two (2) times the number of parking spaces dedicated to Valet/Centralized Parking fronting the property shall be provided to properties abutting areas dedicated to Valet/Centralized Parking. No more than two (2) on-street parking spaces shall be used for Valet/Centralized Parking at any location and no more than four (4) on-street parking spaces shall be used on the two sides of the block. The Development Review Official may approve Valet/Centralized Parking location(s) in accordance with the adopted Downtown Parking Management Plan.
7. Bicycle Parking: bicycle storage facilities shall be provided at a rate of one (1) bicycle space for every fifty (50) vehicular parking spaces or fraction thereof. The Bicycle parking shall be located in a covered and convenient location to the principal use and shall be subject to review as part of the site plan review.

A. Pedestrian - Oriented Signage

In addition to the signage permitted in the Zoning Code, the following Pedestrian-Oriented Signs shall be permitted within the DO District:

1. Retail Directory Sign.

Retail Directory Signs may include multiple tenant listings, addresses, location maps, and directional arrows. The Retail Directory Sign shall be initiated through a Downtown promotional organization or government organization such as the City of Coral Gables, the Business Improvement District, or the Chamber of Commerce.

1. Design Standards.

- a. Location: Edge of curb of the sidewalk at pedestrian crosswalks, within the public right-of-way.
- b. Number permitted: 1 / Pedestrian crosswalk
- c. Sign Area: 15 square foot maximum.
- d. Sign Length: no limit.
- e. Lettering Height: no limit.
- f. Height from sidewalk to the top of the Sign: 8' maximum.
- g. Distance Requirement: The Retail Directory Sign may not encroach within the pedestrian "clear zone" of the sidewalk.
- h. Content: Tenant name, address, location map, and/or wayfinding symbols
- i. Illumination: permitted.

2. Window Decal Sign.

1. Design Standards.

- a. Location: Ground Floor Shopfront.
- b. Number permitted: no limit.
- c. Sign Area: 10% window area maximum and 20 square feet maximum.
- d. Sign Length: no limit.
- e. Lettering Height: 6" max.
- f. Sign Height: no limit.
- g. Distance Requirement: flush with window.
- h. Content: Tenant name, logo, or other tenant-related words or images.
- i. Illumination: permitted.

3. Downtown Projection Sign.

1. Design Standards. As permitted for Projection Signs.

2. Consolidated Approval Process.

- a. Within the DO District, Projection Signs that comply with Zoning Code Design Standards shall be reviewed and approved administratively by the Development Review Official. Property Owner and/or Applicant may also choose to request approval from the Board of Architects.
- b. Insurance Requirements. Insurance requirements for Projection Signs within the DO District shall be covered by the Property Owner and/or the Applicant in coordination with the City.
- c. Public Works Restrictive Covenant. A Uniform DO District Restrictive Covenant shall be available to applicants. Restrictive Covenants shall be coordinated by the Development Review Official.

4. Umbrella Sign.

1. Design Standards.

- a. Location: As approved via the Outdoor Dining Permit.
- b. Number permitted: 4 / umbrella (the total number of umbrellas shall be subject to the Outdoor Dining Permit approval)
- c. Sign Area: no limit.
- d. Sign Length: ½ the umbrella valance length
- e. Signage Placement: limited to the umbrella valance
- f. Lettering Height: 6" max.
- g. Valance Height: 6'8" above the sidewalk min.
- h. Distance Requirement Between Umbrellas: no limit.
- i. Content: Tenant name or logo
- j. Illumination: permitted
- k. Materials: fire-retardant, pressure-treated or manufactured of fire-resistant material. Umbrellas shall be canvas or cloth.

5. Awning Sign.

1. Design Standards.

- a. Location: Over entrances and/or openings.
- b. Number permitted: 1/entrance and/or opening
- c. Sign Area: no limit.
- d. Sign Length: ½ the awning valance length
- e. Lettering Height: 6" max.

A. Pedestrian - Oriented Signage

- f. Distance Requirement: no limit.
- g. Content: Tenant name or logo.
- h. Illumination: permitted.
- i. Materials: fire-retardant, pressure-treated or manufactured of fire-resistant material. Awnings shall be canvas or cloth.

6. Menu Board Sign.

1. Design Standards.
 - a. Location: As approved via the Outdoor Dining Permit.
 - b. Number permitted: 1 menu board and 1 specials board / per tenant for every 50 linear feet of street frontage
 - c. Sign Area: 2 square feet max.
 - d. Sign Length: no limit.
 - e. Sign Height: 5' max. from the sidewalk to the top of the sign
 - f. Distance Requirement: must be located abutting the tenant's private property, 5' min. from the property line.
 - g. Content: Tenant name, logo, and menu.
 - h. Illumination: permitted.

7. Alley Wall Sign.

1. Alley Wall Signs shall be permitted along the walls of premises facing an alley within the DO District.
2. Design Standards:
 - a. Location: attached to the building face
 - b. Number Permitted: 1/tenant
 - c. Content: tenant name and/or logo
 - d. Lettering Height: 8 inches max.
 - e. Illumination: permitted - no neon signs

NOTE: this type of signage will be a very useful locational device during construction, maintenance, or general improvements to any portion of the public-right-of-way within the DO District.

8. Prohibited Signs.

1. No food displays shall be permitted on the public right-of-way.
2. No advertising signs or tenant signs, except for the retail directory sign, shall be permitted on the public right-of-way

9. SPECIAL EVENT SIGNS

A. A-frame Signs

1. Timing: Only permitted in conjunction with a special events permit such as a Farmer's Market, Festival, Gallery Walk, etc. May not be used outside of approved timeframe for special event.
2. Design Standards.
 - a. Location: private property
 - b. Number permitted: 1 / tenant
 - c. Sign Area: 6 square feet max.
 - d. Sign Length: no limit.
 - e. Lettering Height: 6" max.
 - f. Sign Height: 3'6" max. from the sidewalk to the top of the sign
 - g. Distance Requirement: must be located abutting the tenant's private property, 5' min. from the property line.
 - h. Content: Tenant name, logo, or other tenant-related words or images. No advertising of other brand name products
 - i. Illumination: permitted. No projecting lights, neon signs, or backlit signs are permitted.

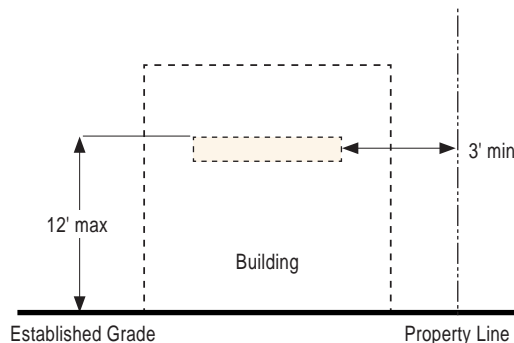
B. Banner.

1. Timing: Only permitted in conjunction with a special events permit such as a Farmer's Market, Festival, Gallery Walk, etc. May not be used outside of approved timeframe for special event.
2. Design Standards.
 - a. Location: attached to Building Face and/or perpendicular to the facade
 - b. Number permitted: 1 / tenant
 - c. Sign Area: 10 square feet max.
 - d. Sign Length: 5 feet max.
 - e. Lettering Height: no limit
 - f. Sign Height: minimum clearance of 7' from the sidewalk to the bottom of the banner.
 - g. Distance Requirement: min. 5' from the side property line
 - h. Content: Tenant name, logo, or other tenant-related words or images. No advertising of other brand name products
 - i. Illumination: permitted.

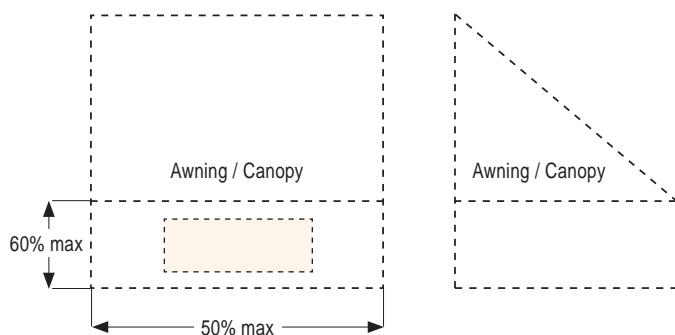
B. Awning & Canopy Sign

A sign incorporated into, attached, affixed to, stamped, perforated, stitched or otherwise applied or painted on a structure made of cloth, canvas, metal or similar material that is affixed to a building and projects. Such signs may or may not be fixed or equipped with a mechanism for raising and holding an awning in a retracted position against the building, an awning or canopy.

Sign Location



Sign Placement



Sign Layout



Sign Standards*

Location	Valance
Number Permitted	1 / Awning or Canopy
Sign Area	4 sf / Awning
Sign Length	50% of Awning or Canopy max
Lettering Height	6" max 60% of Valance Height max
Sign Height	12' max
Distance Requirement	3' min
Content	Tenant Name and/or Logo
Illumination	permitted

* For additional requirements, please refer to Section 5-1904 of the Zoning Code.

Examples:



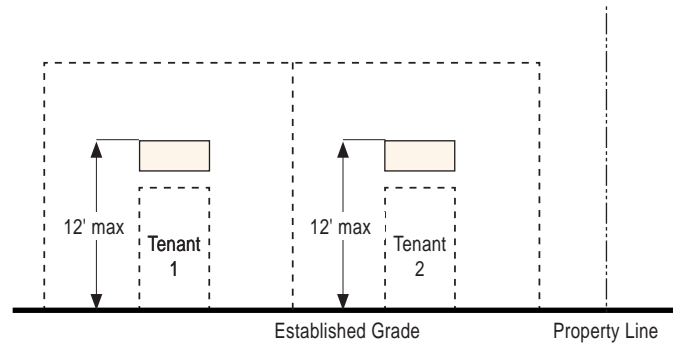
C. Doorway Entrance Sign

A sign attached, affixed to or mounted above an entrance doorway with the intent of identifying the pedestrian entrances/exits to buildings and structures.

Sign Standards*	
Location	Above Ground Floor Doorway
Number Permitted	1 / Ground Floor Tenant
Sign Area	5 sf max
Sign Length	no limit
Lettering Height	6" max
Sign Height	12' max
Distance Requirement	4" max projection from wall
Content	no limit
Illumination	not permitted

* For additional requirements, please refer to Section 5-1904 of the Zoning Code.

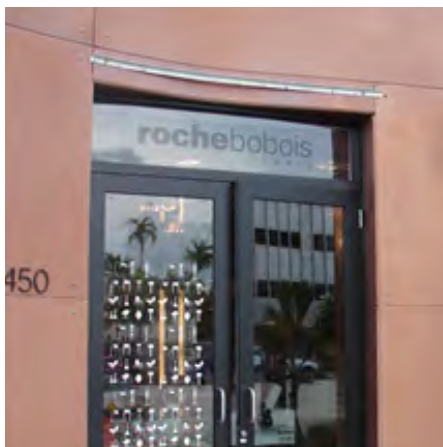
Sign Location



Sign Layout



Examples:



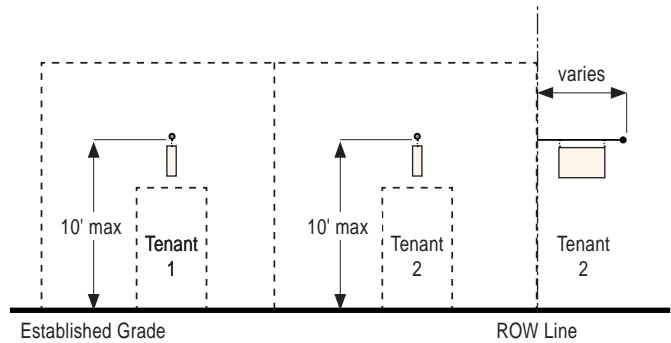
D. Projection Sign

A sign which projects from and is supported by a wall or parapet of a building with the sign face perpendicular or approximately perpendicular to the wall or parapet. The use of logos, raised lettering and three-dimensional features or three-dimensional signs is encouraged and permitted.

Sign Standards*	
Location	Perpendicular to Wall or Parapet
Number Permitted	1 / Ground Floor Tenant 1 / ROW for Corner Tenants
Sign Area	3 sf max
Sign Length	no limit
Lettering Height	6" max
Sign Height	10' max
Sign Clearance	sufficient for passage of pedestrians
Distance Requirement	4' max projection from wall 8' max projection from wall (under Awning or Canopy) 5' max ROW encroachment
Content	Tenant Name and/or Logo
Design	Decorative treatment Raised Lettering or 3-D Design
Materials	Wood permitted
Illumination	permitted

* For additional requirements, please refer to Section 5-1904 of the Zoning Code.

Sign Location



Sign Layout



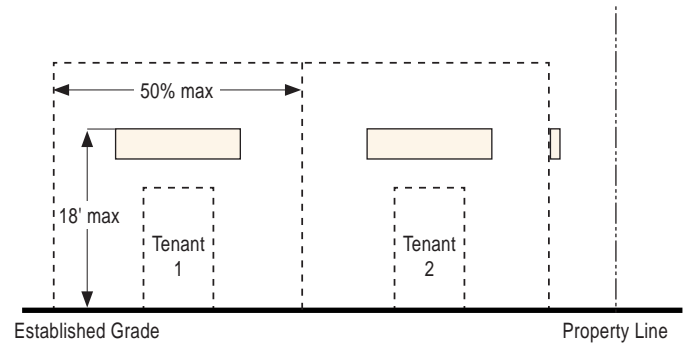
* Please note that decorative and three-dimensional design is encouraged for Projection Signs.

Examples:



E. Tenant Sign

Sign Location



Sign Standards*	
Location	Building Face
Number Permitted	1 / Ground Floor Tenant 1 / ROW for Corner Tenants None if Awning or Canopy Sign provided
Sign Area	18 sf max
Sign Length	50% Tenant Frontage max
Lettering Height	12" max
Sign Height	18' max
Distance Requirement	12" max projection from wall
Content	Tenant Name and/or Logo
Illumination	no limit

Sign Layout



* For additional requirements, please refer to Section 5-1904 of the Zoning Code.

Examples:



F. Window Signs

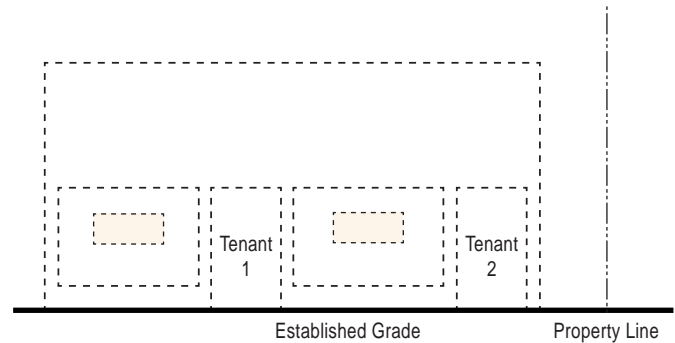
Any display of lettering, text, words, graphics, symbols, pictorial presentation, numerals, trademarks, numbers, logos, crests, emblems, or any part or combination or other devices used to attract attention, or to identify, or as an announcement that is posted, painted, placed, or attached to or projected upon a window exposed to public view or is visible to persons outside the building. This shall include signs visible or located within ten (10) feet of the interior of a glass area with the intent of being visible from the exterior portions of the building. This does not include merchandise displays or similar fixtures.

Sign Standards*

Location	Ground Floor Window
Number Permitted	1 / Ground Floor Tenant
Sign Area	10% Window Area max 20 sf max
Sign Length	no limit
Lettering Height	6" max
Sign Height	no limit
Distance Requirement	flush with Window
Content	Tenant Name and/or Logo
Illumination	not permitted

* For additional requirements, please refer to Section 5-1904 of the Zoning Code.

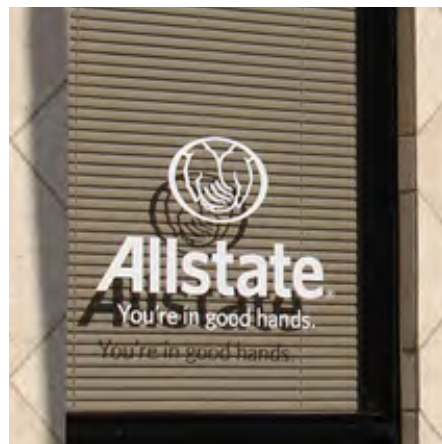
Sign Location



Sign Layout



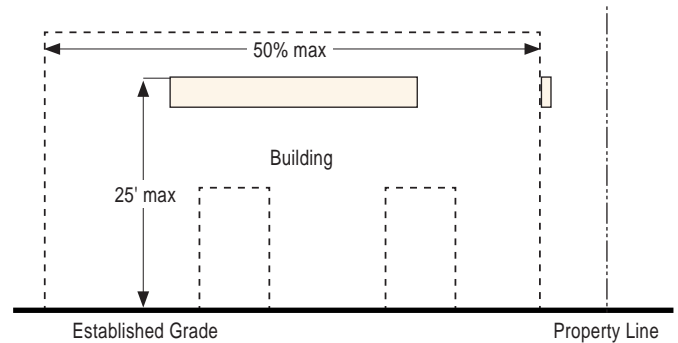
Examples:



G. Wall Signs - Building < 45'

A sign painted or attached on the outside of a building/structure, or attached to, and erected parallel to the face of a building and supported throughout its length by such building/structure.

Sign Location



Sign Standards*

Location	Building Face
Number Permitted	1 / ROW Frontage None if Building Name Sign provided
Sign Area	Primary Frontage - 0.75 sf per 1' Frontage Primary Frontage - 150 sf max Secondary Frontage - 0.25 sf per 1' Frontage
Sign Length	50% Building Frontage max
Lettering Height	18" max
Sign Height	25' max
Distance Requirement	12" max projection from wall
Content	2 Names, Tenant or Building, max
Illumination	no limit

Sign Layout



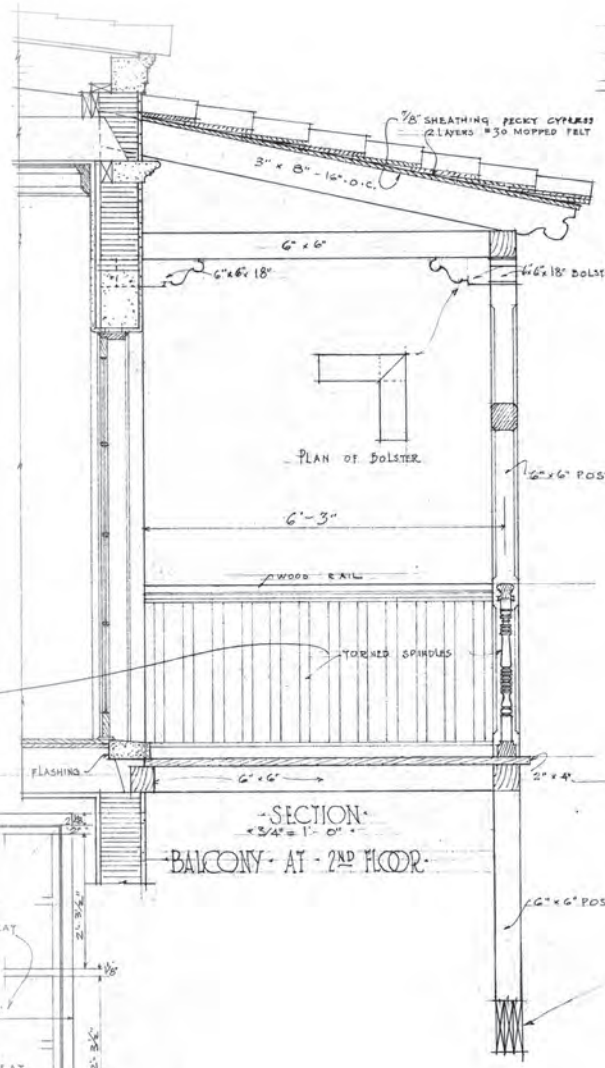
* For additional requirements, please refer to Section 5-1904 of the Zoning Code.

Examples:

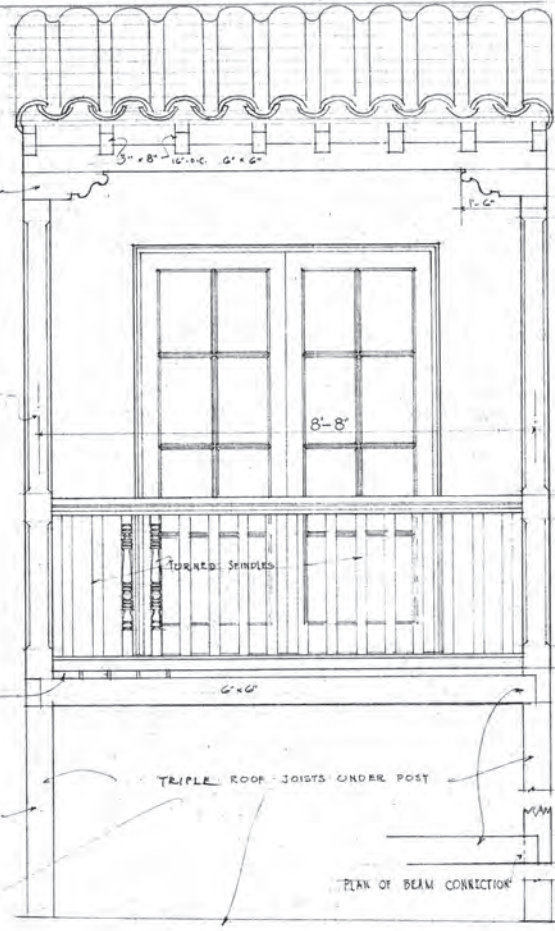




F. S. DETAIL OF RAILING

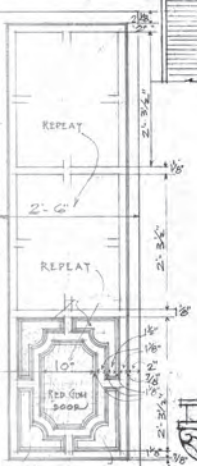


SECTION
BALCONY AT 2ND FLOOR

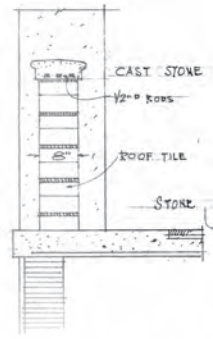


ELEVATION

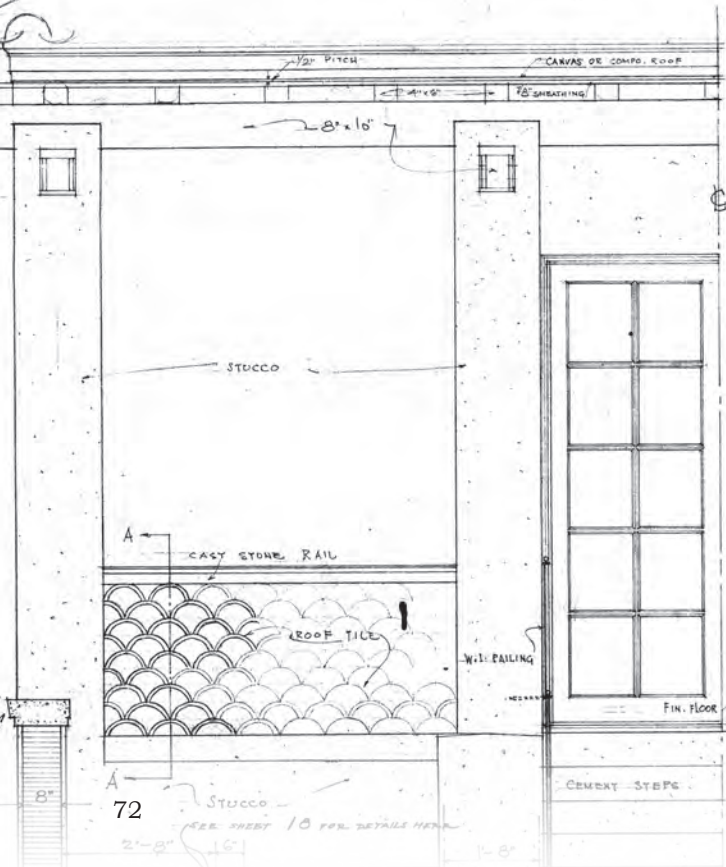
SCALE: 3/4 INCH = ONE FOOT



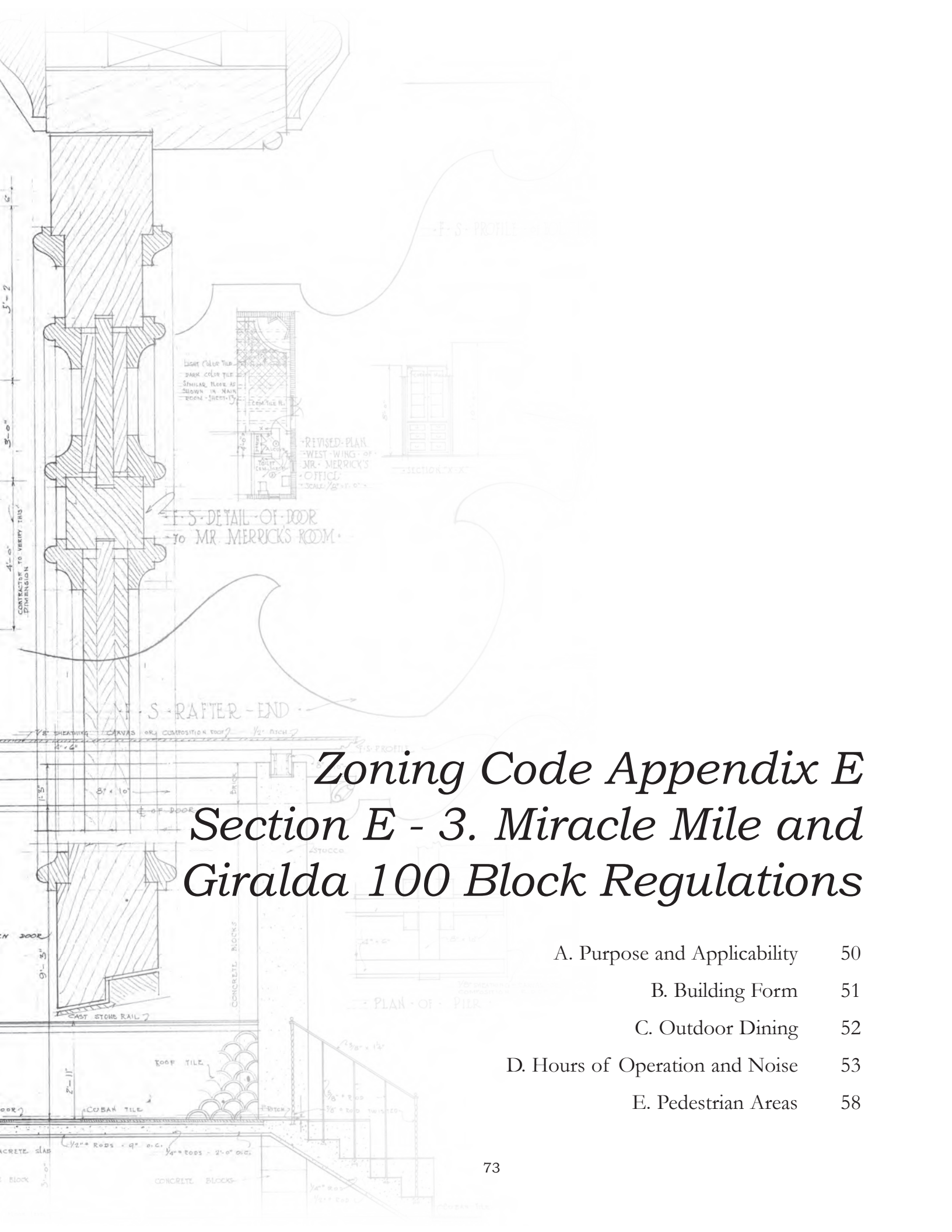
DOOR TO MR. MERRICK'S OFFICE TWO REQUIRED
1/4\"/>



SECTION A-A



8\"/>



Zoning Code Appendix E

Section E - 3. Miracle Mile and Giralda 100 Block Regulations

A. Purpose and Applicability	50
B. Building Form	51
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Miracle Mile and Giralda 100 Block Special Regulations

1. Purpose. Encourage harmonious development by allowing consistent height and FAR for both large and small parcels. Create small-scale, engaging urban buildings by eliminating minimum parking requirements and encouraging rooftop terraces and balconies overlooking the street. Ensure pedestrian comfort by prohibiting driveways and off-street parking areas along the street.

2. Applicability. The Giralda 100 Block and Miracle Mile Special Regulations are shown in the Zoning Map and apply to the properties legally described as:

Lots 21-37, Block 29, Section L

Lots 3-24, Block 33, Section L.

Lots 1 through 21, Block 1, Crafts Section.

Lots 1 through 24, Block 2, Crafts Section

Lots 1 through 22, Block 3, Crafts Section

Lots 1 through 20 and the northern half of Tract A, Block 4, Crafts Section.

Lots 25 through 45, Block 36, Section K.

Lots 25 through 48, Block 37, Section K.

Lots 25 through 47, Block 38, Section L.

Lots 27 through 30, the southern half of Lot B, and Lot C, Block 39, Section L.

3. Uses. All permitted and conditional uses outlined in the underlying Commercial Zoning District shall be permitted or conditional in the Giralda 100 Block and Miracle Mile Special Regulations Area.

Residential Use. Residential use shall be a permitted use above the ground floor when the Coral Gables Mediterranean Architectural Design Level 2 Bonus is utilized, as per Section 5-604 of the Zoning Code.

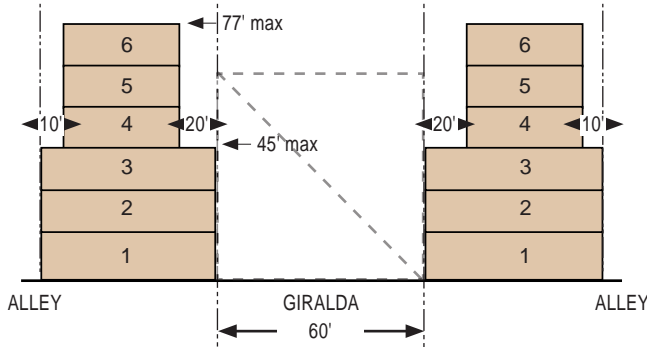
Mandatory Retail, Restaurant, and Entertainment Uses. Retail sales and service, Restaurant, Lounges, Theater, Personal Services, and/or Museum Uses shall be required by-right on the ground floor of all properties fronting Miracle Mile and the 100 Block of Giralda.

4. Development Standards. Development standards for buildings fronting the 100 Block of Giralda Avenue and Miracle Mile are provided in Section E - _____. These development standards are mandatory for all new construction, alterations, expansions, renovations, and similar improvements of existing structures on properties identified in Section E- _____.B.

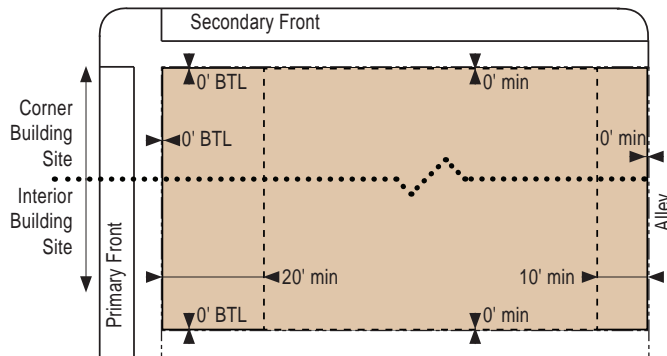
5. Large Scale Projects - Conditional Use Site Plan Review. In order to ensure consistency with these regulations and to ensure that the development as proposed will be compatible with and further the development of the pedestrian character and scale of Miracle Mile, development projects on lots of more than 10,000 square feet shall be subject to site plan review reviewed by way of the Conditional Use Site Plan Review process, by Planning and Zoning Board hearing and recommendation and a Resolution of the City Commission.

Giralda 100 Block and Miracle Mile Regulations

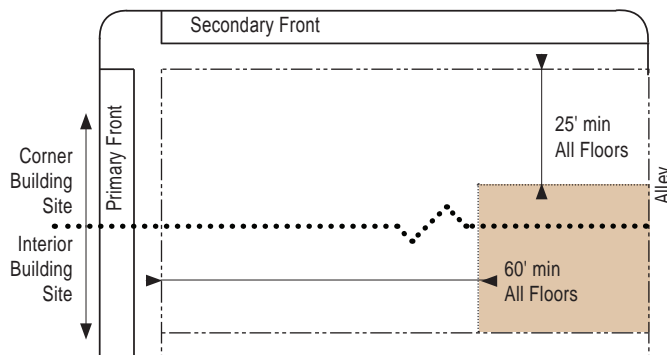
Building Form and Height



Building Setback and Stepback



Parking Placement



Lot Occupation

Building Site Area	2,500 sf min
Building Site Primary Frontage	25' min
Floor Area Ratio (FAR)	3.0 max 3.5 max - Mediterranean Bonus 4.375 max - Purchase of Development Rights from Historic Properties
Primary Streets*	Giralda Avenue
*Properties may have two Primary Streets	Miracle Mile Ponce de Leon Boulevard
Primary Street Frontage	90% min Shopfront Vehicular Areas prohibited Exposed Parking prohibited
Open Space	20% min rooftop terraces and balconies
Density	no limit

Building Setback

Principal Front	0' Build-to Line
Secondary Front	0' min
Side - 2nd Layer	0' Build-to Line
Side - 3rd Layer	0' min
Rear	0' min

Building Stepback

Giralda Avenue	20' min at 4th Fl. or 45' max height
Alley / Rear Property Line	10' min at 4th Fl. or 45' max height
Upper Level Balcony Encroachment	6' into Building Stepback

Parking / Loading

Minimum Required Parking	None
Giralda Avenue Parking Setback	60' min All Floors
Secondary Front Parking Setback	25' min All Floors
Parking Entrance Location	Mandatory Alley Entrance
Required Internal Loading / Service	None
Loading / Service Access	Mandatory Alley Frontage

Building Height

Building Height	3 stories, 45' max
Building Height - Mediterranean Bonus Level 2	6 stories, 77' max
Rooftop Architectural Elements	15' max

Outdoor Dining Standards

a. Miracle Mile / Giralda Avenue Expedited Approval Process. The Development Review Official shall serve as a point of contact for applicants for the Miracle Mile / Giralda Avenue. Applications that meet the Pre-Approved Design Standards below shall be subject of Expedited Review and shall be processed within one (1) month of receipt.

i. Location. Expedited Review will be provided for outdoor dining for the Pre-Approved Design Standards below on both private property and public right-of-way for properties abutting the following streets:

1. Miracle Mile

2. Giralda Avenue between Merrick Way and Ponce de Leon Boulevard

ii. Pre-Approved Design Standards. The Development Review Official will maintain a Miracle Mile / Giralda Avenue Outdoor Dining Plan with pre-approved locations, configurations, and a menu of pre-approved furniture options for Expedited Outdoor Dining Permits. The menu of pre-approved furniture options may be amended from time to time to include outdoor dining furniture that has been previously approved by the Board of Architects. Applications that comply with the Outdoor Dining Plan shall be reviewed and approved administratively by the Development Review Official.

iii. Special Design Review. For Applicants seeking unique outdoor dining locations, configurations, and furniture not addressed in the Miracle Mile / Giralda Avenue Outdoor Dining Plan, Board of Architects approval shall be required as per the Zoning Code.

iv. Insurance Requirements. Insurance requirements for Outdoor Dining within the public right-of-way on Miracle Mile and Giralda Avenue shall be covered by the Property Owner and/or the Applicant in coordination with the City.

v. Public Works and/or City of Coral Gables Public Services Restrictive Covenant. A Uniform Miracle Mile / Giralda Avenue Restrictive Covenant for right-of-way encroachments shall be available to applicants. Restrictive Covenants shall be coordinated by the Development Review Official.

vi. Fee. As set forth in the Fee Schedule.

vii. Applicant. The Applicant for an outdoor dining permit shall be the business that will operate the restaurant and corresponding outdoor dining. The outdoor dining application will be part of the Certificate of Use application process.

viii. Standards, Criteria and Conditions.

1. The area covered by a sidewalk cafe permit, and the sidewalk and street immediately adjacent to it, shall be maintained in a clean, neat and orderly appearance at all times by the permittee. The area of the sidewalk, curb and gutter immediately adjacent to the sidewalk cafe shall be cleared of all debris during hours of operation, and again at the close of each business day, or as may otherwise be determined by the Development Review Official.

2. Outdoor dining furniture shall be located no less than five (5) feet from any property line.

3. Tables, chairs, umbrellas and any other sidewalk cafe furniture shall be maintained in a clean, attractive, and orderly appearance, and shall be maintained and kept in good repair at all times.

4. All sidewalk cafe furniture shall be of high quality, design, materials, and workmanship so as to ensure the safety and convenience of the public.

5. The stacking or piling up of chairs shall be prohibited on the right-of-way.

6. The Development Review Official may require a permittee to store its tables, chairs and/or umbrellas off of the right-of-way if, in his reasonable judgment and discretion, the Development Review Official determines that the sidewalk cafe permit area and immediately adjacent public right-of-way are not being adequately maintained in accordance with this division.

7. No storage of dishes, silverware or other similar sidewalk cafe equipment shall be allowed in the permit area, or in any other portion of the public right-of-way, or outside the structural confines of the building in which the restaurant is located, during non-business hours.

Outdoor Dining Standards

8. Live entertainment or speakers placed in permit areas shall comply with the noise regulations and hours of operation in Section N below.
9. No food preparation, food storage, expanded polystyrene food service articles, refrigeration apparatus or equipment, or fire apparatus or equipment, shall be allowed on the right-of-way. In addition, expanded polystyrene food service articles shall not be provided to sidewalk café patrons.
10. No food displays shall be permitted on the public right-of-way. No advertising signs or business identification signs shall be permitted on the public right-of-way except that the restaurant name and/or its logo may be permitted on umbrellas but such logos and/or lettering may not exceed six inches in height.
11. No retail sales or displays shall be allowed on any public right-of-way areas.
12. Umbrellas shall be fire-retardant, pressure-treated or manufactured of fire-resistant material. No portion of an umbrella shall be less than six feet eight inches above the right-of-way. Two or more umbrellas may not be clipped, zipped or otherwise fastened together in order to form a tent like structure. Clear plastics or other materials may not be fastened, rolled or otherwise be attached to umbrella edges in order to create an enclosure.
13. The Development Review Official may permit the use of planters with the material configuration, number, and size to be reviewed at time of application. Placement of planters within sidewalk cafe areas shall be set at a minimum of five feet from the building frontage. Planters shall not block the normal pedestrian flow on any sidewalk area or street crossing. It shall be the permittee's responsibility to immediately remove planters, upon written and/or verbal notice from the city manager, in case of emergency or other circumstances as provided in this division. Maximum size of planters shall not exceed the following:
- a. Rectangular planters: a maximum 30 inches long, by 15 inches wide by 20 inches high.
 - b. Round planters: a maximum of 24 inches diameter by 24 inches high.
 - c. Planters 20 inches or higher shall be on rollers or on rolling bases.
 - d. The combination of planters and plant height should not exceed a table height of 34 inches.
14. All Outdoor Dining facilities shall be located at the same elevation as the adjoining sidewalk.
15. Outdoor Dining shall not interfere with the free and unobstructed public access to any bus stop, crosswalks, public seating areas and conveniences, street intersections, alley, service easements, handicap facilities, and/or access to adjacent commercial establishments.
- Plants shall be properly maintained. Distressed plants shall be promptly replaced. Plant fertilizers which contain material that can stain the sidewalks shall not be allowed. Water drainage from any plants onto the sidewalk shall not be allowed. Potted plants shall have saucers or other suitable systems to retain seepage.
- b. Private Property. For locations within the DO District not listed in Section J.a. above, the Zoning Code provisions for Outdoor Dining on private property shall apply.
 - c. Public Right-of-Way. For locations within the DO District not listed in Section J.a. above, the Zoning Code provisions for Outdoor Dining in the public right-of-way shall apply.
 - d. A permit used for Outdoor Dining in the public right-of-way shall be issued for a period of two (2) years, renewable bi-annually by the Division of Planning and Zoning. Such permit shall be paid on an annual basis.
 - e. Outdoor Dining shall be restricted to the length of the abutting business property frontage line. The utilization of space extending no more than twenty-five (25) linear feet on either side of the property frontage line may be authorized and transferable subject to a written consent between the neighboring Property Owners and/or Tenants in front of whose businesses the Outdoor Dining service shall occur. Said written consent must stipulate that, if any of the two properties go Out-of-Business, the Property Owners and/or the Tenants must forfeit their written consent and the individual property/frontage bundle of rights shall revert back to the original state.

Hours of Operation and Noise

1. Hours of Operation and Music Outdoors:

Sunday through Thursday, the hours of operation of public outdoor portions of bars, lounges, entertainment and/or outdoor establishments is prohibited between the hours of 12:00 AM and 8:00 AM; no music (live or recorded) shall be produced or played outdoors between 10:00 PM and 10:00 AM.

Friday and Saturday, the hours of operation of public outdoor portions of bars, lounges, entertainment and/or outdoor establishments shall be extended to 1:00 AM; no music (live or recorded) shall be produced or played outdoors between 12:00 AM and 10:00 AM. All times must comply with the City Code General Noise Ordinance. All alcohol sales shall require Certificate of Use for Alcohol Sales.

2. Hours of Operation and Music Indoors:

The hours of operation of indoor portions of bars, lounges, entertainment and/or outdoor establishments is prohibited between the hours of 2:00 AM and 7:00 AM. All times must comply with the City Code General Noise Ordinance. All alcohol sales shall require Certificate of Use for Alcohol Sales.

3. Alcohol Sales. Permitted outdoors in accordance with the State of Florida Laws.

4. Outdoor Noise Levels. After 10:00 PM noise levels shall be governed by the City of Coral Gables Municipal Codes. Special Exceptions may be granted on a case by case basis as a Temporary or Special Events Permit.

5. External Ventilation Systems. External Ventilation Systems coming from commercial kitchens and other facilities, emitting odors of any kind, and facing residential units (vertically or horizontally) or within a mixed-use development are prohibited from operating between 12:00 AM and 6:00 AM, seven (7) days a week.

6. Rooftop Terraces

a. Outdoor Dining areas and Lounges may occupy rooftop terraces in accordance with the Hours of Operation and Noise Regulations.

b. Rooftop Terraces shall not be accessed directly from the public-right-of-way. Rooftop Terraces shall be treated as extensions of enclosed spaces and their public access shall occur from within a built structure.

Pedestrian Areas

1. Special Pavement on Private Property

a. Pre-approved materials and design. As part of the Miracle Mile / Giralda Avenue Outdoor Dining Plan, pre-approved pavement materials and designs will be provided for individual property owners to use on the private property open space adjacent to the public sidewalk. These pre-approved pavement materials and designs will have expedited review and approval by the city.

b. Other materials and design. For those property owners on Miracle Mile and Giralda Avenue that do not wish to use pre-approved pavement materials or design, and for all other areas of the DO District, the Zoning Code provisions for pavement materials on private property shall apply.

2. Paseos

a. All Paseos, whether located on private property or public property, shall have a Pedestrian Frontage, subject to all of the requirements of Section 4-203.C.

b. Special events shall be permitted on Paseos that are located on private property, subject to receipt of a Special Event Permit and compliance with the established requirements of Special Events outlined in the City Code.

c. Paseos shall be clearly demarcated to alert pedestrians of the existence of cross block passages. Paseos shall have a Wall Sign parallel to the surface which is perpendicular to the sidewalk. The sign shall be placed at a height not to exceed eight (8) feet from the sidewalk surface.

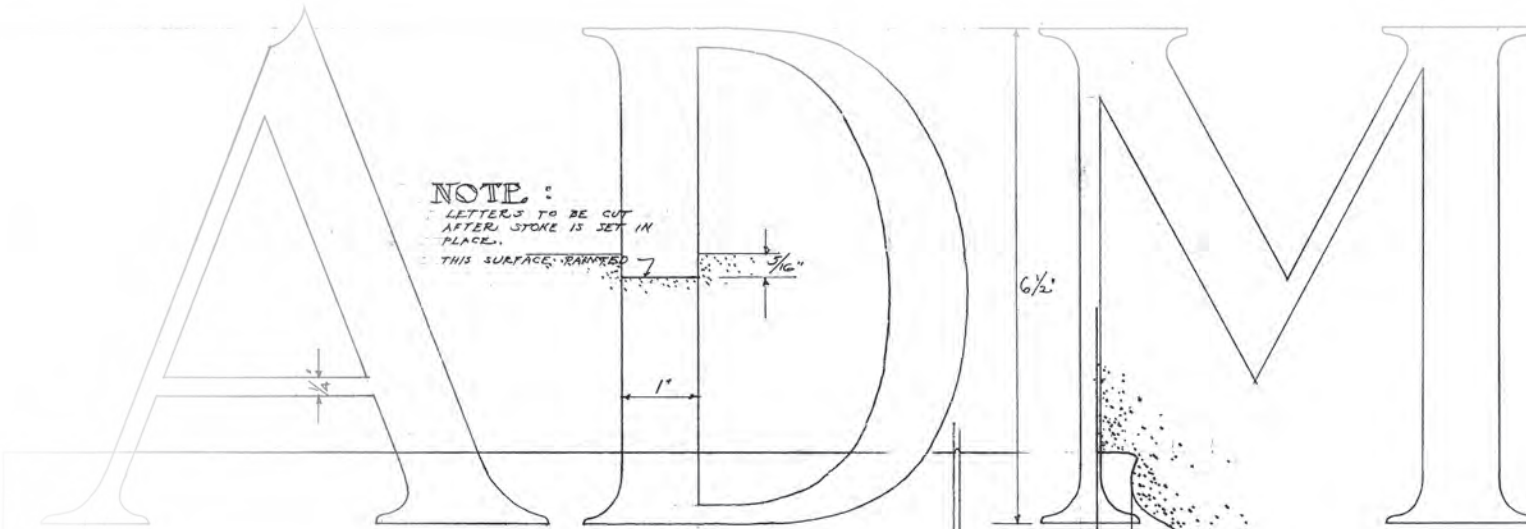
3. Kiosks

a. Kiosks shall be permitted through a special permit use. Their location shall be determined by agreement between the City of Coral Gables Planning and Zoning Division and the City of Coral Gables BID.

b. Kiosks shall be limited to retail sales of printed material and/or distribution of information about the City of Coral Gables or its Downtown District.

c. Kiosks shall not exceed ten (10) feet in height and/or a footprint of thirty-six (36) square feet. Kiosks shall not obstruct the corner triangles of visibility.

NOTE:
 LETTERS TO BE CUT
 AFTER STONE IS SET IN
 PLACE.
 THIS SURFACE RAMPED



CAST STONE
 CONSOLE BRACKET
 FOR DOOR
 ELEVATION

FULL SIZE of CURVED MOULD
 OVER DOOR

SIDE VIEW of
 CONSOLE BRACKET

NOTE:
 THIS SECTION TO BE
 USED FOR STUCCO MOULD
 ALSO

CAST STONE

Comprehensive Plan Text Amendment - Residential Use

Table FLU-2. Commercial Land Uses.			
Classification	Description	Density / Intensity	Height
Commercial Low-Rise Intensity	This category is oriented to low intensity pedestrian and neighborhood commercial uses, including residential, retail, services, office, and mixed-use.	<p>Maximum F.A.R. of 3.0, or 3.5 with architectural incentives. Up to an additional 25% F.A.R. may be granted for properties qualifying as receiving sites for Transfer of Development Rights (TDRs).</p> <p>Residential use shall only be permitted as part of a mixed-use development as provided herein, <u>within the Downtown Overlay as provided in the Zoning Code</u>, or a Mediterranean Village.</p> <p>The density and intensity of a project located in a Mediterranean Village is controlled by an approved Mediterranean Village PAD Plan that cannot exceed a maximum F.A.R. of 4.0 and a maximum density of 125 units per acre.</p>	Up to 50' maximum (no limitation on floors), or up to 77' maximum (with a maximum of 2 additional floors) with architectural incentives per the Zoning Code.
Commercial Mid-Rise Intensity	This category is oriented to medium intensity pedestrian and neighborhood commercial uses, including residential, retail, services, office, and mixed-use.	<p>Maximum F.A.R. of 3.0, or 3.5 with architectural incentives. Up to an additional 25% F.A.R. may be granted for properties qualifying as receiving sites for Transfer of Development Rights (TDRs).</p> <p>Residential use shall only be permitted as part of a mixed-use development as provided herein, <u>within the Downtown Overlay as provided in the Zoning Code</u>, or a Mediterranean Village.</p> <p>The density and intensity of a project located in a Mediterranean Village is controlled by an approved Mediterranean Village PAD Plan that cannot exceed a maximum F.A.R. of 4.0 and a maximum density of 125 units per acre.</p>	Up to 70' maximum (no limitation on floors), or up to 97' maximum (with a maximum of 2 additional floors) with architectural incentives per the Zoning Code.

Comprehensive Plan Text Amendment - Residential Use

Table FLU-2. Commercial Land Uses.			
Commercial High-Rise Intensity	This category is oriented to the highest intensity pedestrian and neighborhood commercial uses, including residential, retail, services, office, and mixed-use.	<p>Maximum F.A.R. of 3.0, or 3.5 with architectural incentives. Up to an additional 25% F.A.R. may be granted for properties qualifying as receiving sites for Transfer of Development Rights (TDRs).</p> <p>Residential use shall only be permitted as part of a mixed-use development as provided herein, <u>within the Downtown Overlay as provided in the Zoning Code.</u> or a Mediterranean Village.</p> <p>The density and intensity of a project located in a Mediterranean Village is controlled by an approved Mediterranean Village PAD Plan that cannot exceed a maximum F.A.R. of 4.0 and a maximum density of 125 units per acre.</p>	<p>Up to 150' maximum (no limitation on floors), or up to 190.5' maximum (with a maximum of 3 additional floors) with architectural incentives per the Zoning Code.</p> <p>The heights of structures located in a project located in a Mediterranean Village may exceed the applicable maximum, to the extent approved by the City, for those areas containing only (a) architectural embellishment or (b) a top floor (one of two level) dining and entertainment destination use open to the public.</p>

Table FLU-5. Other Land Uses.			
Classification	Description	Density / Intensity	Height

Downtown Overlay	Provides an overlay classification which supplements the underlying land use classification. The location of the Downtown Overlay is depicted on the Future Land Use Map.	<p>Per underlying land use and Zoning Code provisions.</p> <p><u>Residential Use shall be permitted as provided in the Downtown Overlay provisions of the Zoning Code.</u></p>	Per underlying land use and Zoning Code provisions.

LE JEUNE

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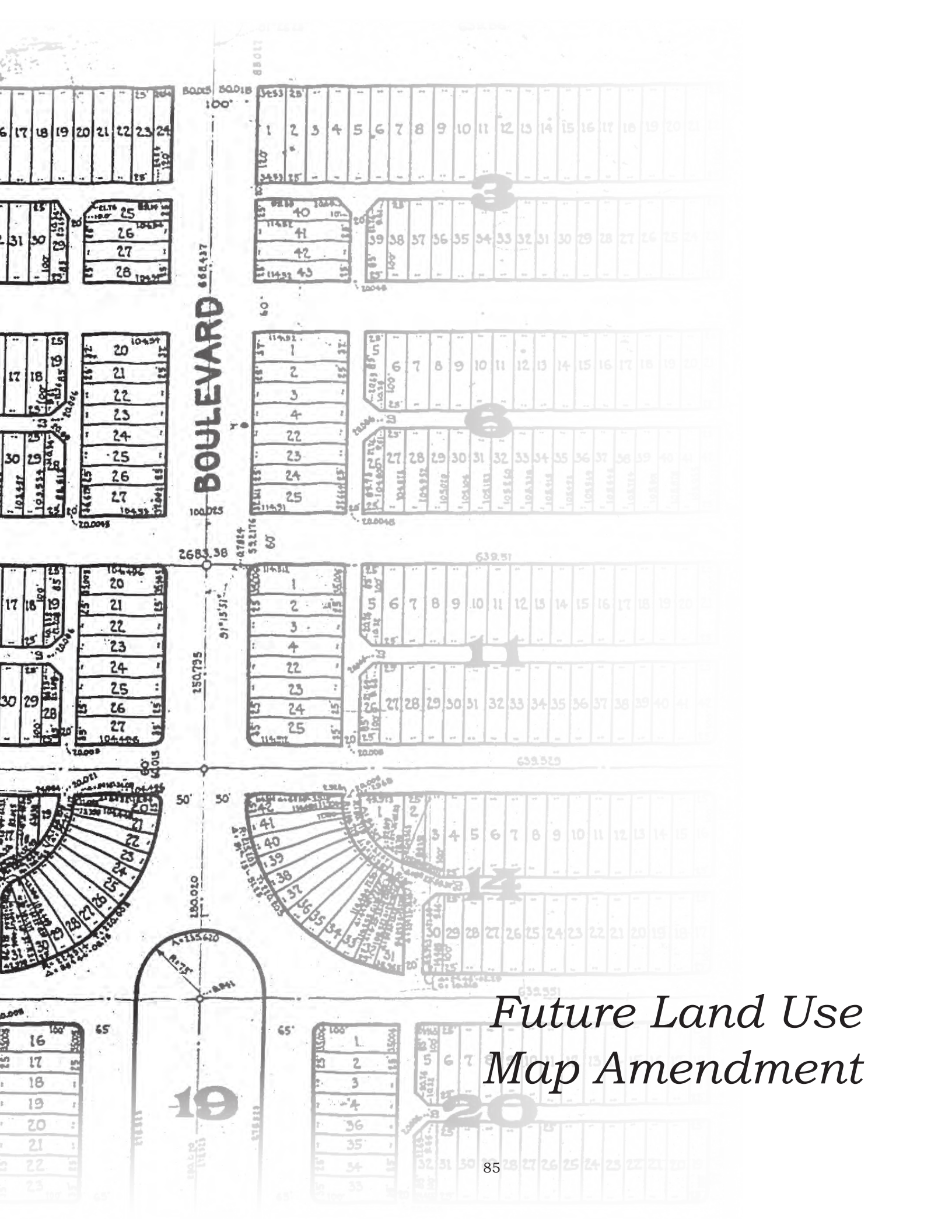
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STREET



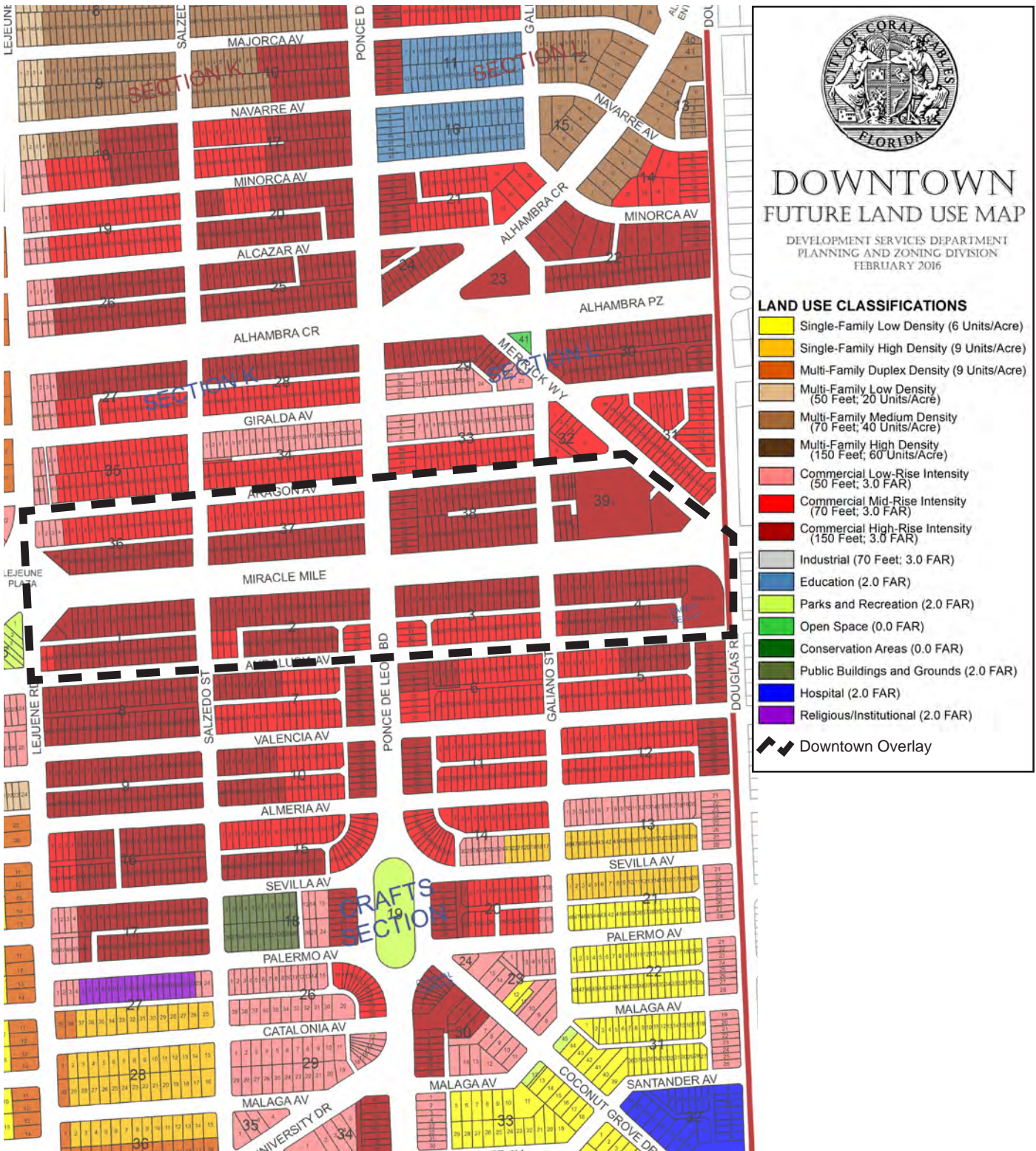
BOULEVARD

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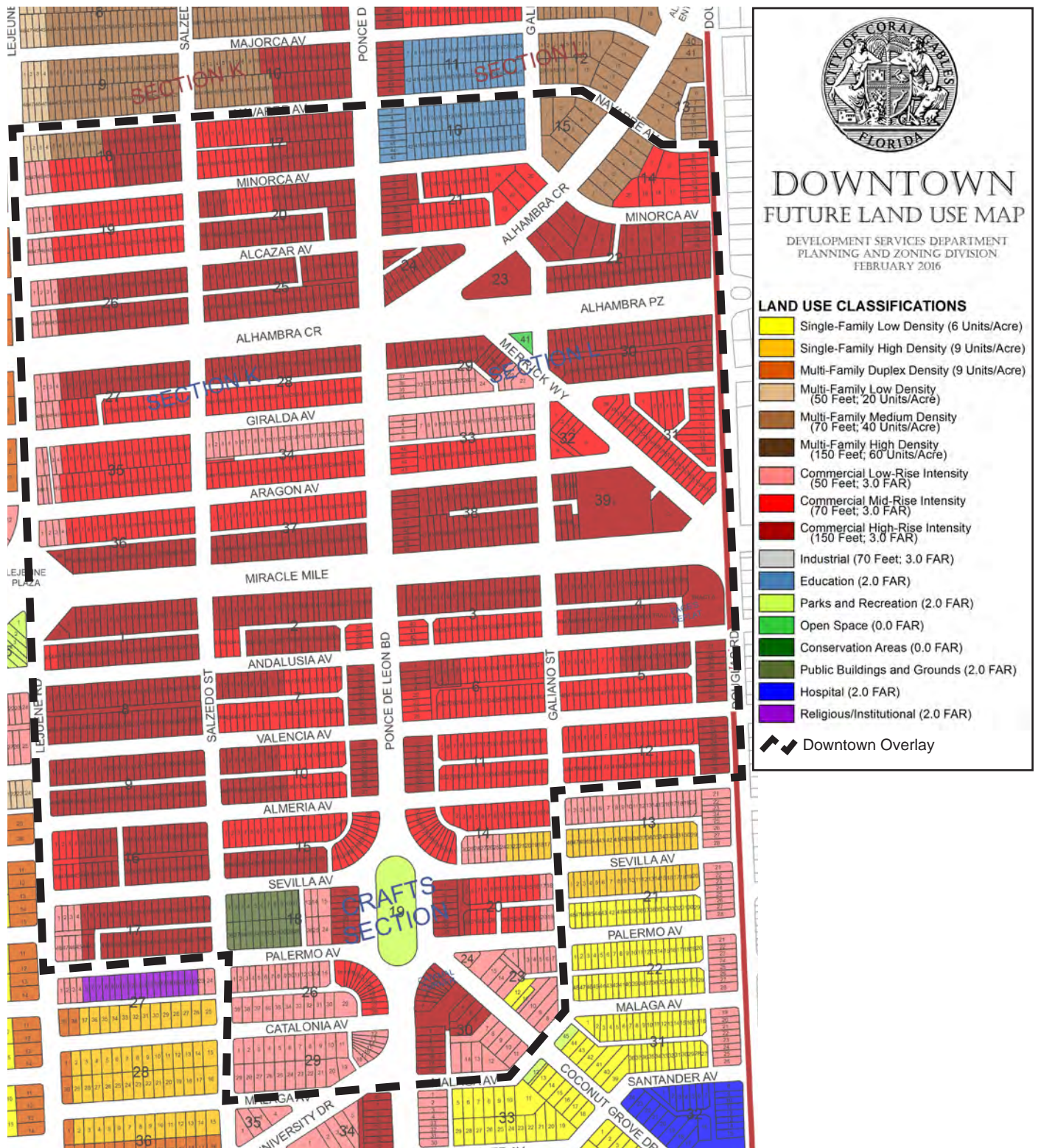
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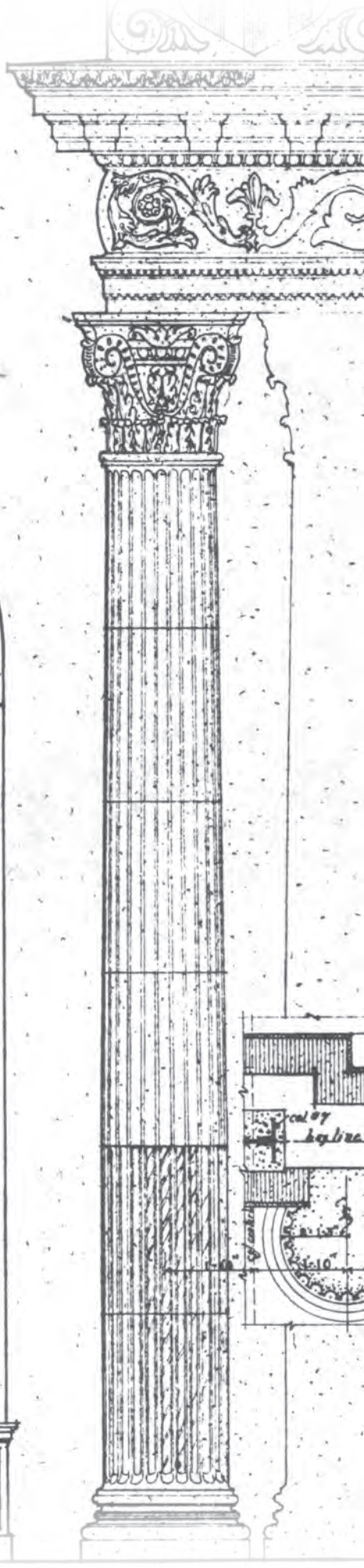
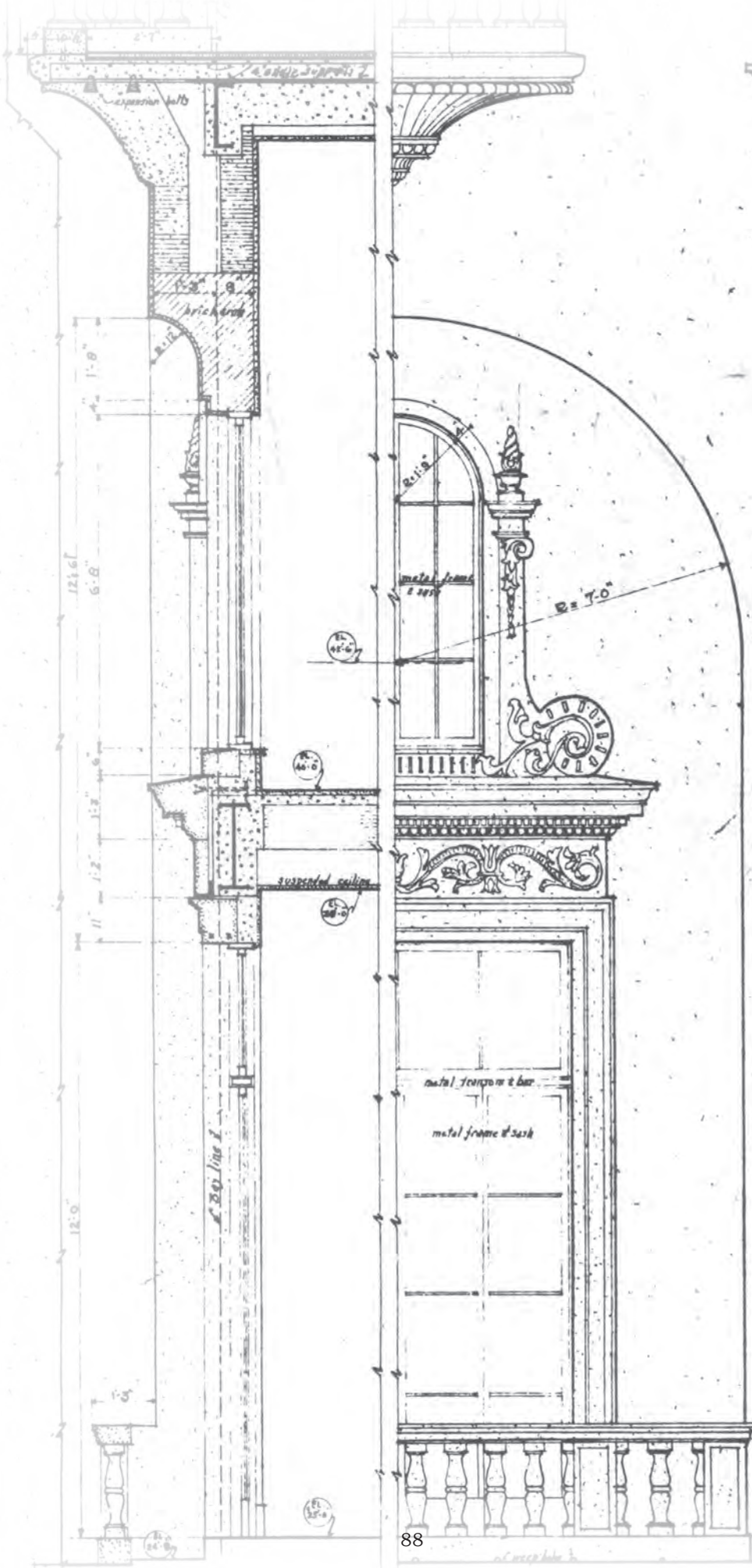
Future Land Use Map Amendment

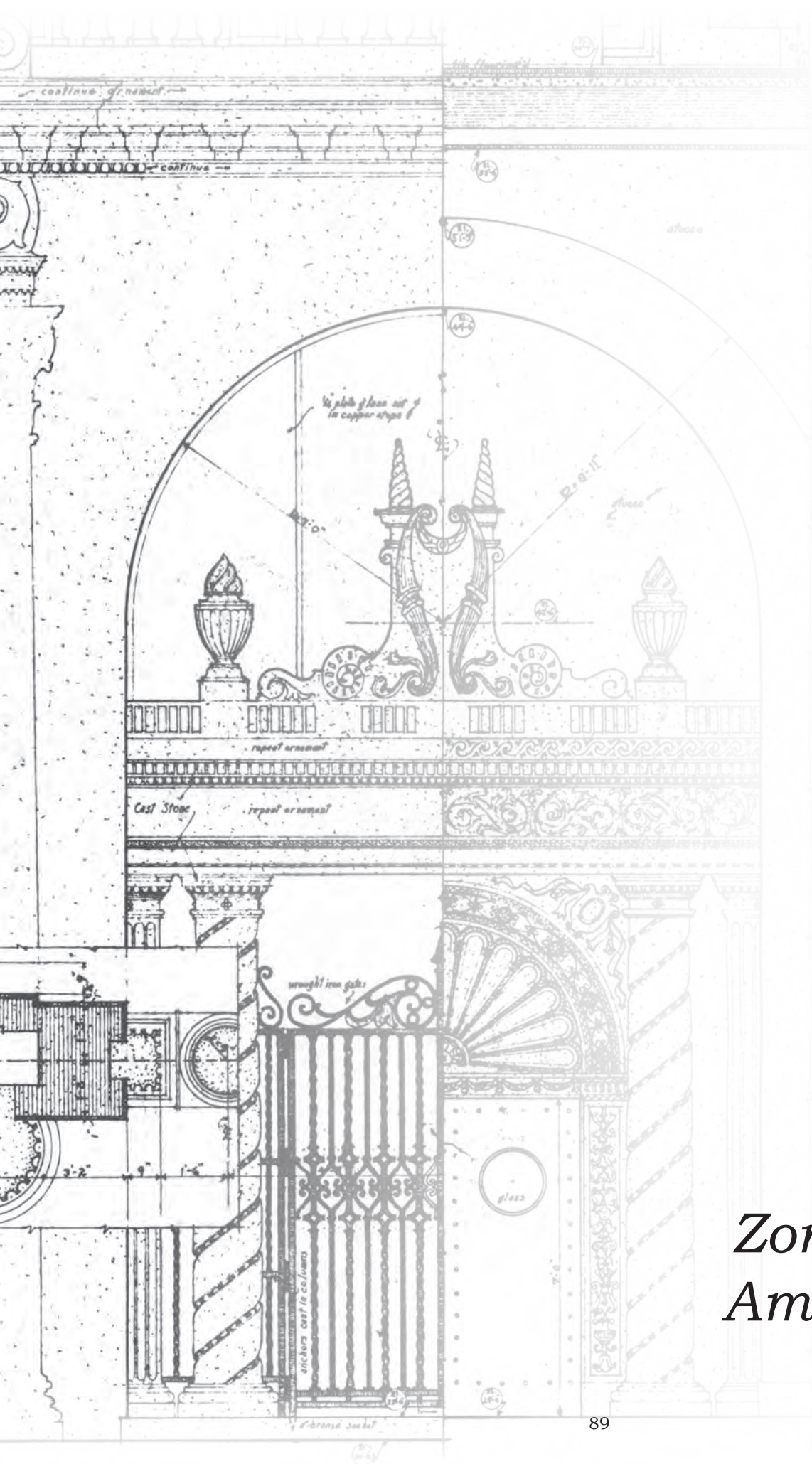
Current Downtown Overlay Boundary



Proposed Downtown Overlay Boundary







Zoning Map Amendment

Current Downtown Overlay Boundary



Proposed Downtown Overlay Boundary

