

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134 Email: planning@coralgables.com Phone: 305.460.5211

Development Review General Procedures – Non-Conditional

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level Two (2) Development Review Committee consideration and review for the following application(s) (please check all that apply):

Permitted use new construction, additions, and alterations to buildings and/or structures (Board of Architects review only).

□ Change in use or occupancy.

Other: _____

Coral Gables Mediterranean Architecture Bonus

Coral Gables Mediterranean Style Bonus - Table 1

Coral Gables Mediterranean Style Bonus - Table 2

Coral Gables Mediterranean Style Bonus - Table 3

📕 None

Property information

Street address of the subject property: no address assigned; 03-4108-006-1200; west of 255 Minorca

Property/project name: 265 Minorca Ave / The Boschetti Group Corporate Office

Current land use classification(s): <u>Commercial Medium Rise Intensity</u>

Current zoning district(s): MX2

Proposed land use classification(s) (if applicable): N/A

Proposed zoning district(s) (if applicable): N/A

Last use/current use of the property/building(s): <u>Surface</u> Parking

Proposed use(s) of the property/building(s): Mixed Use Development

Size of property (square feet/acres): 5,202 SF

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): 9,218 +/- SF

Total number of residential units per acre and total number of units: 4 Units; total; 33 Units to the acre

Estimated cost of the existing/proposed building/project: \$2,200,000 (costs subject to change and will



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Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

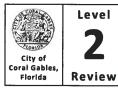
Project Legal Description: Lot(s): _____ 17 Block(s): __ Κ Section(s): ______ Listing of all folio numbers for subject property: 03-4108-006-1200 **General information** Applicant(s)/Agent(s) Name(s): _____ ____ Telephone Contact No: (305) 458-2730 Fax No.: _____ Email: _____ Fax No.: _____ 5701 Sunset Dr, Suite 128, South Miami, FL, 33143 (City) (State) (ZIP Code) TBG Minorca, LLC
Property Owner(s) Name(s): Telephone Contact No: ______ Fax No.: _____ Email: _____Email: _____ Mailing Address: ______ 5701 Sunset Dr, Suite 128, South Miami, FL, 33143 (City) (State) (ZIP Code)



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Property Owner(s) Nan	ne(s): N/A		
Telephone Contact No:	Fax No.:	Email:	
Mailing Address:		4	
	(City)	(State)	(ZIP Code)
Project Architect:	IED RODRIGUEZ ARCHITE	CT INC.	
Telephone Contact No:	(305) 529-996 Fax No.:	ha Email:	med@hr-architects-inc.com
Mailing Address: 275 N	Minorca Avenue Coral Gable	s, FL 33134	
<u> </u>	(City)	(State)	(ZIP Code)

Provide the date(s) and types of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:



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Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to be tentatively scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. First Floor Board Room, 427 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agent shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary. City staff to check/confirm if all below information is provided at time of application submittal.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

Table of Contents with page numbers identifying all below documents.

DRC Application.

Statement of use and/or cover letter.

- 🔳 Aerial.
- Photographs of property, adjoining properties and/or streetscape.
- Property survey and legal description.
- Architectural drawings (signed/sealed), including: Zoning chart / supporting information; site plan; floor plan(s); and all affected elevations. Maximum of 20 sheets shall be accepted.
- Landscape plan; vegetation assessment; and tree survey / relocation plan.
- Art in Public Places plan and/or statement.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Historical Significance letter.
- □ Name and contact information for property owner, applicant, architect, attorney, etc.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Warranty Deed.

Application fee of \$100.00 dollars in check form, payable to the City of Coral Gables. Submit copy of check.
 Other:

Posting of the property. The Applicant will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant's responsibility to remove the sign.



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Application submittal requirements

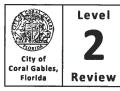
Electronic copy. A PDF of the entire application shall be submitted. The total file size shall not exceed 30 MB.

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

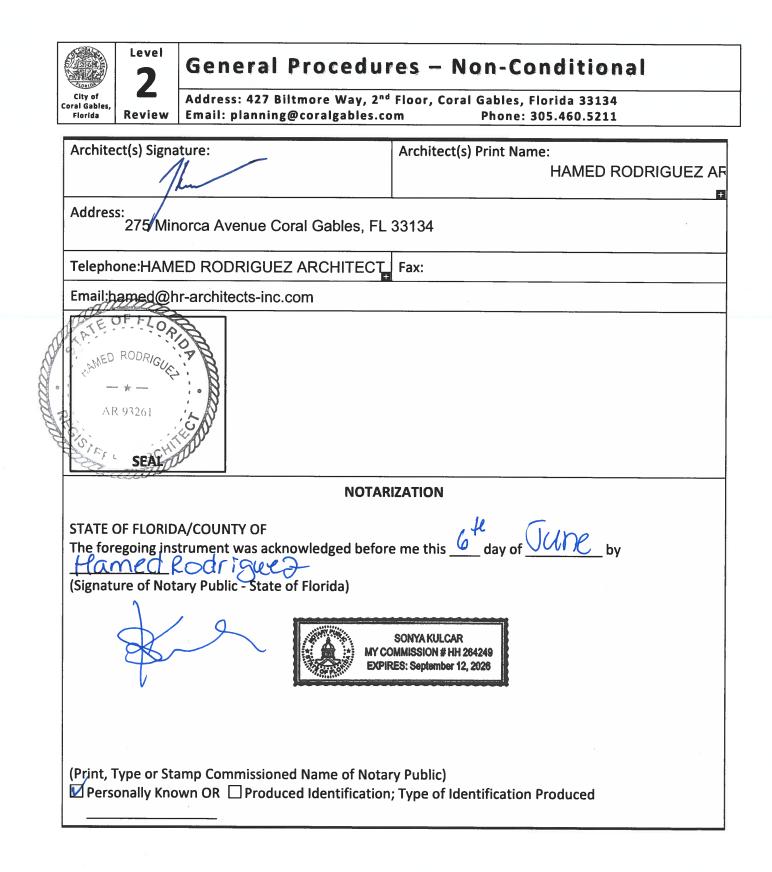
- 1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
- 2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
- 3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
- 4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
- 5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
- 6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
- 7. Understand that under Florida Law, all the information submitted as part of the application are public records.
- 8. The subject property will be posted by the Applicant in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
- 9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.

Level	General Procedui	res – Non-Conditional		
City of Coral Gables, Florida	Address: 427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 view Email: planning@coralgables.com Phone: 305.460.5211			
Applicant(s)/Ager	nt(s) Signature:	Applicant(s)/Agent(s) Print Name:		
		TBG Minorca, LLC		
Address: 5701 St	unset Dr, Suite 128, South Mian	ni, FL, 33143		
Telephone:(305)	458-2730	Fax:		
Email:jota@theb	oschettigroup.com			
NOTARIZATION				
STATE OF FLORIDA/COUNTY OF The foregoing instrument was acknowledged before me this day of <u>June</u> by <u>Hamed Ray 13</u> (Signature of Notary Public - State of Florida)				
SONYA KULCAR MY COMMISSION # HH 264249 EXPIRES: September 12, 2026				
(Print, Type or Stamp Commissioned Name of Notary Public)				



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Property Owner(s) Signature:	Property Owner(s) Print Name:				
	TBG Minorca, LLC				
Property Owner(s) Signature:	Property Owner(s) Print Name:				
	N/A				
Property Owner(s) Signature:	Property Owner(s) Print Name:				
Address:5701 Sunset Dr, Suite 128, South Miami, FL, 33143					
Telephone:(305) 458-2730	Fax:				
Email:jota@theboschettigroup.com					
NOTAR	NOTARIZATION				
STATE OF FLORIDA/COUNTY OF The foregoing instrument was acknowledged before me this day of JUR by <u>Hamed Rodif</u> WCZ (Signature of Notary Public - State of Florida)					
SONYA KULCAR MY COMMISSION # HH 264249 EXPIRES: September 12, 2026					
(Print, Type or Stamp Commissioned Name of Notary Public) Personally Known OR Produced Identification; Type of Identification Produced					



December 2022



The City of Coral Gables Development Services Department 427 Biltmore Way Coral Gables, Florida 33134

6/13/2025 Date Submitted

Project Name: The Boschetti Group Corporate Office				
Address:	265 Minorca Ave			
Total Bldg.	Sqft. <u>0</u>	(existing) 12,756	(proposed)	

CITY OF CORAL GABLES | DEVELOPMENT SERVICES DEPARTMENT APPLICATION FOR A CONCURRENCY REVIEW SERVICE DEMAND ANALYSIS

To ensure compliance with the <u>Section 14-218 Concurrency Review</u> of the Zoning Code, the <u>Comprehensive</u> <u>Plan</u> and Florida Statutes, no development permit shall be approved unless sufficient design capacity is available to sustain the required levels of service established by the City of Coral Gables. In addition to meeting all other applicable requirements, all development permit requests or applications, unless exempt, must undergo a concurrency review to assess their impact on the following public services. This process is designed to ensure that "public facilities and services needed to support development shall be available concurrent with the impacts of such development" (Florida Statutes Section 163.3202).

(Complete the following:)

Service Demands By Type		Current Us	<u>e</u>	Proposed L	lse
 Potable Water Consumption Potable Water Fire Flow Sanitary Sewer Solid Waste Traffic & Level of Service (Letter Service) 		0 0 0 0	gpd gpm gpd lbs		_gpd _gpm 7,188 SF of Retail _gpm 7,188 SF of Office 4 Units: _gpd - 2 1 Bedrooms _1bs - 2 Studios _ 4 total bathrooms _ 3,000 SF Total
a. Trip Generation (applican b. Gables Redevelopment in	t attach) 22	Parking Space	<u>es</u> trips	4 on-site parking spaces	_trips
		🗹 Within G	RID (please check or	ne box)	
		□ Outside (GRID		
 Drainage and Flood Criteria Crown of Road Elevation Base Flood Elevation (BFE Finished Floor Elevation (:)	11.96 N/A N/A	NGVD29 NGVD29 NGVD29	11.96 N/A	_NGVD29 _NGVD29 _NGVD29
7. Parks and Recreationa. Park/Facility Type:b. Service Radius:	Phillips Park 5 (minute walk))28 miles	_ name _ (miles)		
8. School Sites and Facilities Total Acres Single Family Units		N/A N/A	acres du	N/A N/A	_acres du
Multi-Family Units		N/A	du	N/A	_du

*For comprehensive information on the requirements of the Concurrency Management Program (CMP), applicable Level of Service standards, and associated application procedures, please refer to the City of Coral Gables <u>Concurrency Management Manual</u>. For further assistance, contact the Development Services Department via email at <u>DevelopmentServices@coralgables.com</u> or by telephone (305) 460-5245.

Jose Boschetti (305) 458-2730 jota@theboschettigroup.com

June 6, 2025

VIA ELECTRONIC SUBMITTAL

Jennifer Garcia, AICP, CNU-A Planning Official Planning & Zoning Division of Development Services Department City of Coral Gables 427 Biltmore Way, 2nd Floor Coral Gables, Florida 33134

> Re: Statement of Use / Development Review Committee (DRC) Level 2 Application / Property Identified by Miami Dade County Folio No. 03-4108-006-1200) (the "Property")

Dear Ms. Garcia:

On behalf of TBG Minorca, LLC, owner of the Property identified above (the "**Owner**" and "**Applicant**"), please accept this as our Statement of Use in connection with a request for Level Two (2) Development Review Committee consideration of a new proposed mixed use development with first class ground floor retail and upper level office and multi-family residential apartments / condominiums at the Property (the "**Application**").

I. <u>PROPERTY INFORMATION</u>

The Property is generally located on the north side of the street between Ponce de Leon Blvd and Salzedo St. The Property consists of Lots 39 and 40, less than North 12 feet thereof, Block 17, of the Coral Gables Section "K", according to the Plat thereof, as recorded in Plat Book 8, Page 33 of the Public Records of Miami-Dade County, Florida. Per the enclosed survey prepared by Royal Point Land Surveyors, Inc., the Property is comprised of a lot size consisting of approx. 5,202 square feet and 0.119 +/- acres is currently improved with a surface parking lot. Additionally, a twelve (12) foot wide alley, running in an East/West direction, abuts the Property to the North (the "Alley")¹.

¹ Per the enclosed City Resolution Nos. 10428 and 11369, the North twelve feet (12') of the Property was conveyed to the City for "alley purposes in the commercial area..."



Image: Property Aerial View

The Property is currently designated Commercial Medium-Rise Intensity pursuant to the City's Future Land Use Map (FLUM). Additionally, the Property is zoned Mixed-Use 2 (MX2) and is located within the Central Business District (CBD) on the City's Zoning Map as reflected in the images below.



Image: Property Zoning Map Designation



Image: Property FLUM Designation

II. <u>PROPOSED PROJECT</u>

As detailed in the plans prepared by Hamed Rodriguez Architects, Inc. (the "**Plans**"), the Applicant seeks to redevelop the Property with an 4-story, mixed use building containing approximately 2,030 +/- square feet of ground floor commercial space, approximately 7,188 +/- square feet of 2nd and 3rd floor office space and approximately four (4) 4th floor residential units (the "**Project**") with the ability for overnight accommodations via a professionally managed operator. The Project has been designed in accordance with the MX-2 zoning regulations. The Project will replace the surface parking lot at the Property with a high quality, mixed use development that integrates ground floor commercial space, office space and upper level units within the core of the City's Central Business District. The proposed ground floor commercial space (i.e. cafe, retail shops, and restaurants) aims to activate the streetscape encouraging pedestrian engagement and fostering a vibrant and inviting environment for both residents, visitors and patrons.

The multi-family programming, designed with four (4) apartments / condominium units, offers a unique blend of upscale living with the flexibility for overnight accommodation rental to meet the various housing and lodging demands within the Central Business District. This unique, residential program enhances the City's housing options by catering to individuals who seek to live within the heart of the City's CBD, while also providing luxurious, up-scale, hotel-quality accommodations for the City's visitors and guests.

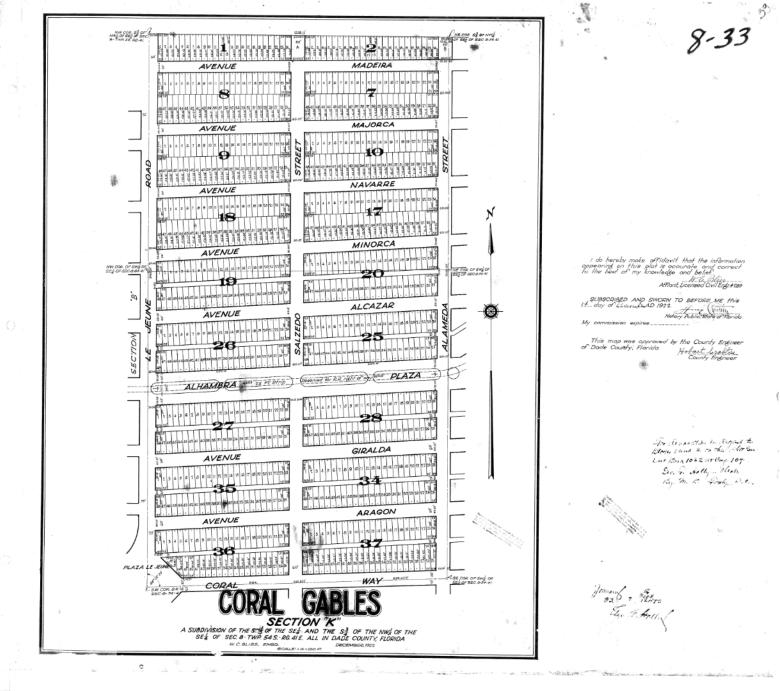
III. <u>CONCLUSION</u>

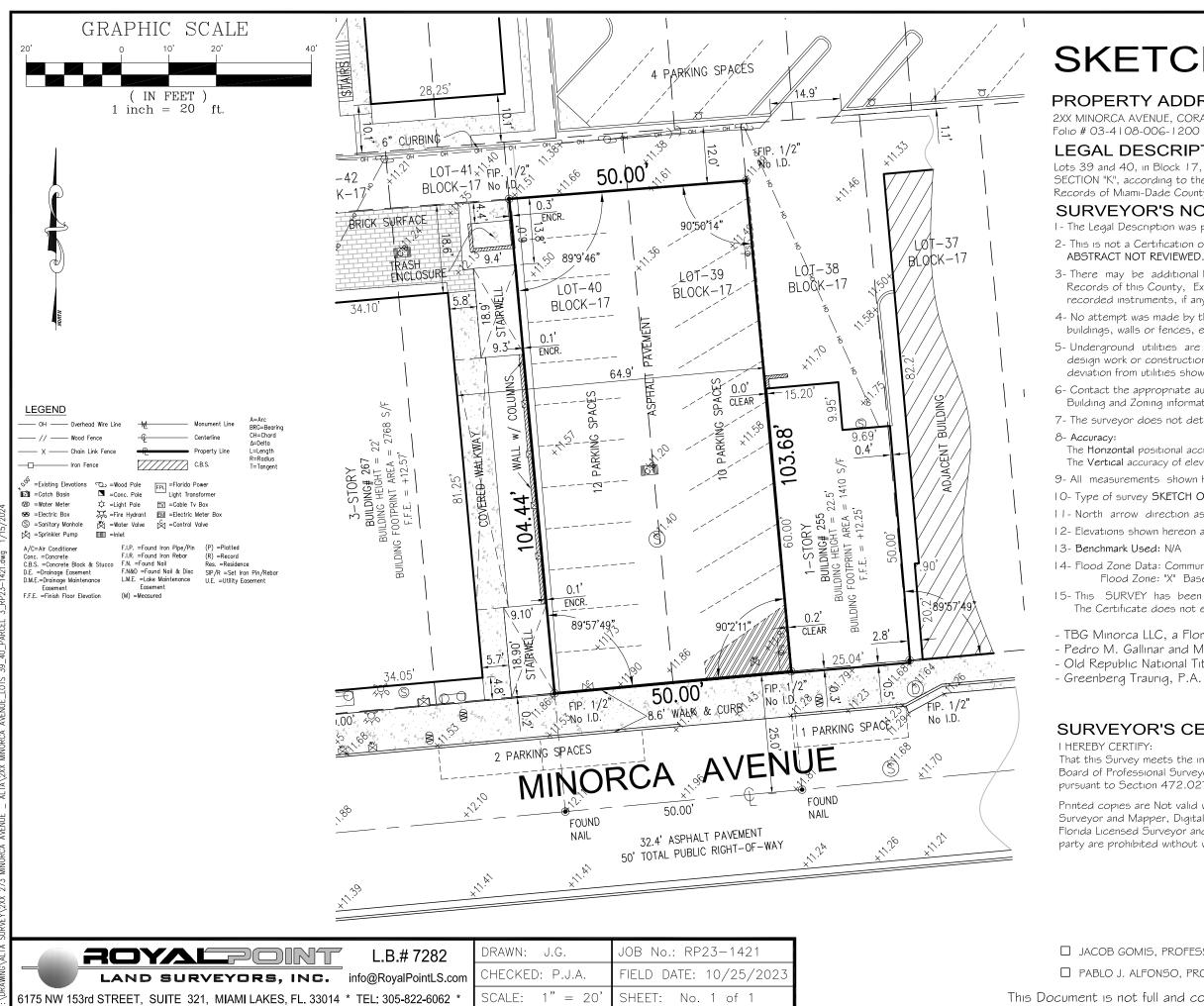
Based on the foregoing, the proposed Project is consistent with the goals of the Comprehensive Plan and Mixed-Use 2 Zoning District regulations under the Zoning Code. As such, we look forward to your favorable consideration of our Application. Should you have any questions or require any additional information, please do not hesitate to contact me at 305-458-2730

Sincerely, TBG Minorca, LLC

Enclosures

Jose R Boschetti, Jr Manager





SKETCH OF SURVEY

PROPERTY ADDRESS:

2XX MINORCA AVENUE, CORAL GABLES, FLORIDA 33134

LEGAL DESCRIPTION

Lots 39 and 40, in Block 17, LESS the North 12 feet thereof, in Block 17, of CORAL GABLES SECTION "K", according to the Plat thereof, as recorded in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:

I - The Legal Description was provided by the Client from most recent County Records available.

2- This is not a Certification of Title, Zoning, Easements, or Freedom of Encumbrances.

ABSTRACT NOT REVIEWED.

3- There may be additional Restrictions not shown on this survey that may be found in the Public Records of this County, Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.

4- No attempt was made by this firm to locate underground utilities, foundations and/or footings of buildings, walls or fences, except as shown hereon, if any.

5- Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon

6- Contact the appropriate authority prior to any design work on the herein - described parcel for Building and Zoning information.

7- The surveyor does not determine fence and/or wall ownership.

The Horizontal positional accuracy of well-defined improvement on this survey is +/-0.2'. The Vertical accuracy of elevations of well-defined improvement on this survey is +/-O. I'

9- All measurements shown hereon are made in accordance with the United States Standard Feet. 10- Type of survey SKETCH OF SURVEY.

II-North arrow direction as shown on the aforementioned Plat.

12- Elevations shown hereon are relative to National Geodetic Vertical Datum (1929 Mean Sea Level)

14- Flood Zone Data: Community/ Panel #120639/0294/L Dated: 9/11/2009 Flood Zone: "X" Base Flood Flevation = N/A

15-This SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party:

- TBG Minorca LLC, a Florida limited liability company

- Pedro M. Gallinar and Marie Gallinar, as tenants by the entireties

- Old Republic National Title Insurance Company

- Greenberg Traurig, P.A.

SURVEYOR'S CERTIFICATE:

That this Survey meets the intent of the required Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.051, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Printed copies are Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper, Digital Copies are Not valid without an electronic authorized signature of a Florida Licensed Surveyor and Mapper, Additions or deletions to this survey by other than the signing party are prohibited without written consent of the signing party.

For the Firm Royal Point Land Surveyors, Inc LB# 7282 JACOB GOMIS, PROFESSIONAL SURVEYOR AND MAPPER LS# 6231 STATE OF FLORIDA PABLO J. ALFONSO, PROFESSIONAL SURVEYOR AND MAPPER LS# 5880 STATE OF FLORIDA This Document is not full and complete without all Sheets, Containing a total of (1) Sheets



SHEET INDEX

- A0.0 COVER PAGE
- A0.1 SURVEY
- A0.2 SURROUNDING PROPERTIES
- A0.3 EXISTING PROPERTY
- A0.4 RENDERS
- A0.5 ZONING DIAGRAMS
- A1.0 SITE PLAN
- A1.1 FLOOR PLANS
- A1.2 ROOF PLAN
- A2.0 ELEVATIONS
- A2.1 ELEVATIONS
- A2.2 ELEVATION TRANSPARENCY

THE BOSCHETTI GROUP CORPORATE OFFICE

265 MINORCA AVE, CORAL GABLES, FL 33143

DRC SUBMITTAL PACKAGE

275 MINORC/ CORAL GABL P 305.529.996	A AVE .ES, FL 33134	Rodriguez architect
	DRODRIGUEZ.C	
HAMED RODI AR93261 AA26002034	RIGUEZ ARCHI	TECTS
REV.	DATE	COMMENT
NEW C	ONSTRU	JCTION FOR
265	Min	orca
	NORCA / GABLE	

OWNERSHIP AND USE OF THESE DOCUMENTS SPECIFICATIONS AS INSTRUMENTS OF ARE AND SHALL REMAIN THE PROPERTY OF ARCHITECT WHETHER THE PROJECT THEY MADE FOR IS EXECUTED OR NOT. THEY NOT BE USED BY THE OWNER OR OTHERS, OTHER PROJECTS OR FOR ADDITIONS TO PROJECT BY OTHERS, EXCEPT BY AGREEMENT WRITING AND WITH APPROPRIATE TO THE ARCHITECT.

....

6-1-2025

6-1-2025

HRA

HR

AS NOTED

PROJECT NO .:

ISSUE DATE:

PLOT DATE:

DRAWN BY:

CHECKED BY:

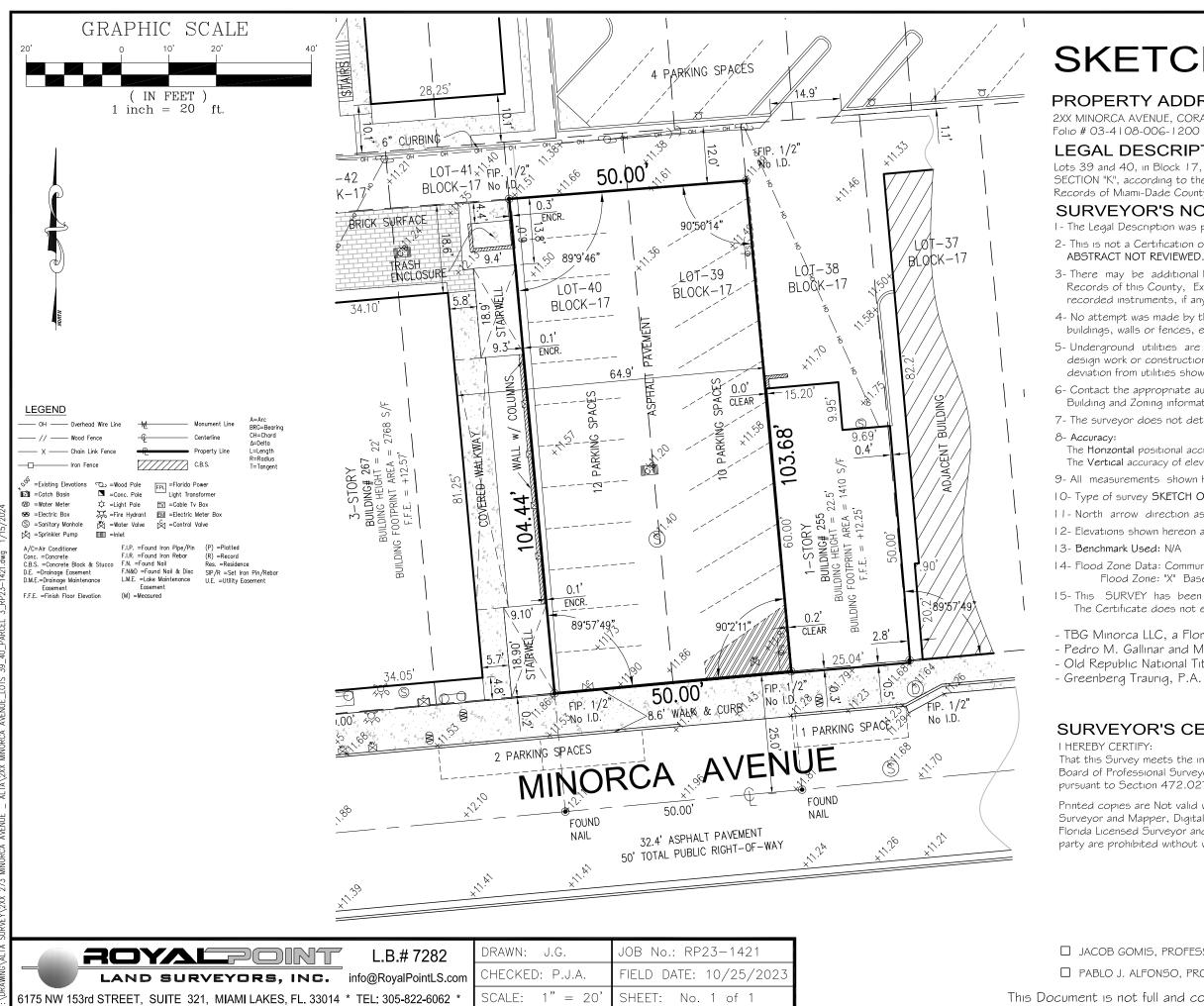
SHEET TITLE:

SCALE:

SHEET NUMBER:

A0.0

COVER



SKETCH OF SURVEY

PROPERTY ADDRESS:

2XX MINORCA AVENUE, CORAL GABLES, FLORIDA 33134

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For the Firm Royal Point Land Surveyors, Inc LB# 7282 JACOB GOMIS, PROFESSIONAL SURVEYOR AND MAPPER LS# 6231 STATE OF FLORIDA PABLO J. ALFONSO, PROFESSIONAL SURVEYOR AND MAPPER LS# 5880 STATE OF FLORIDA This Document is not full and complete without all Sheets, Containing a total of (1) Sheets



1 WEST NEIGHBOR



(4) EAST NEIGHBOR



7 SOUTH NEIGHBOR



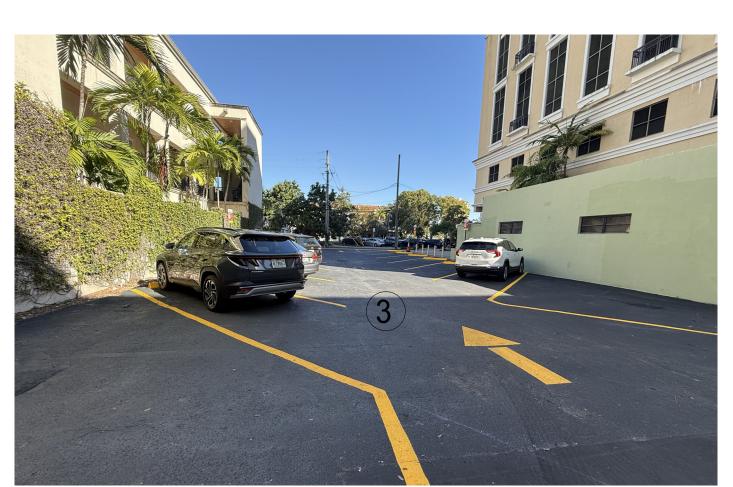
2 WEST NEIGHBOR



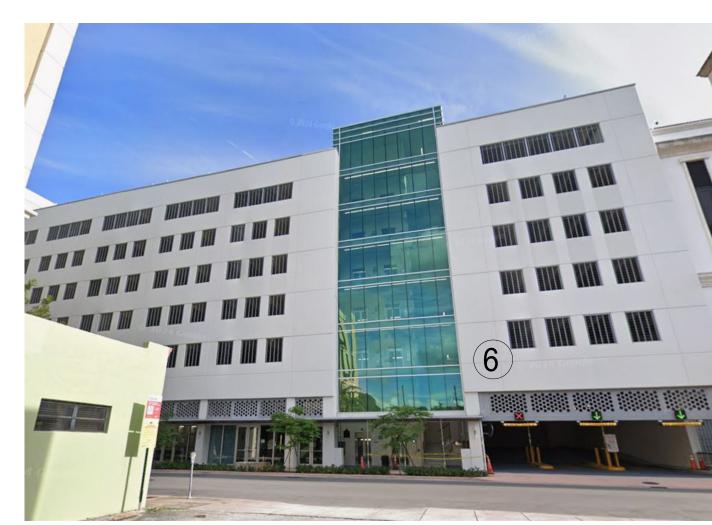
(5) EAST NEIGHBOR



(8) WEST PARKING LOT



3 SUBJECT PROPERTY



6 SOUTH NEIGHBOR



9 NORTH PARKING LOT



HamedRodriguez 275 MINORCA AVE CORAL GABLES, FL 33134 P 305.529.9967 E HAMED@HR-ARCHITECTS-INC.COM WWW.HAMEDRODRIGUEZ.COM HAMED RODRIGUEZ ARCHITECTS AR93261 AA26002034 REV. DATE COMMENT NEW CONSTRUCTION FOR: 265 Minorca 265 MINORCA AVE CORAL GABLES, FL OWNERSHIP AND USE OF THESE DOCUMENTS SPECIFICATIONS AS INSTRUMENTS OF ARE AND SHALL REMAIN THE PROPERTY OF ARCHITECT WHETHER THE PROJECT THEY MADE FOR IS EXECUTED OR NOT. THEY NOT BE USED BY THE OWNER OR OTHERS, OTHER PROJECTS OR FOR ADDITIONS TO PROJECT BY OTHERS, EXCEPT BY AGREEMENT WRITING AND WITH APPROPRIATE TO THE ARCHITECT. PROJECT NO .: ISSUE DATE: 6-1-2025 6-1-2025 PLOT DATE: SCALE: AS NOTED DRAWN BY: HRA CHECKED BY: HR SHEET TITLE: SURROUNDING BUILDINGS SHEET NUMBER: A0.2



SUBJECT PROPERTY



 HAMED RODRIGUEZ ARCHITECTS

 APPROXIMA

 MAMED RODRIGUEZ ARCH

265 Minorca

265 MINORCA AVE CORAL GABLES, FL

OWNERSHIP AND USE OF THESE DOCUMENTS SPECIFICATIONS AS INSTRUMENTS OF ARE AND SHALL REMAIN THE PROPERTY OF ARCHITECT WHETHER THE PROJECT THEY MADE FOR IS EXECUTED OR NOT. THEY NOT BE USED BY THE OWNER OR OTHERS, OTHER PROJECTS OR FOR ADDITIONS TO PROJECT BY OTHERS, EXCEPT BY AGREEMENT WRITING AND WITH APPROPRIATE TO THE ARCHITECT.

ROJECT NO.:
SSUE DATE:
PLOT DATE:
SCALE:
RAWN BY:
HECKED BY:

.... 6-1-2025 6-1-2025 AS NOTED HRA HR

SHEET TITLE: EXISTING PROPERTY SHEET NUMBER:

FRONT ELEVATION



FRONT ELEVATION

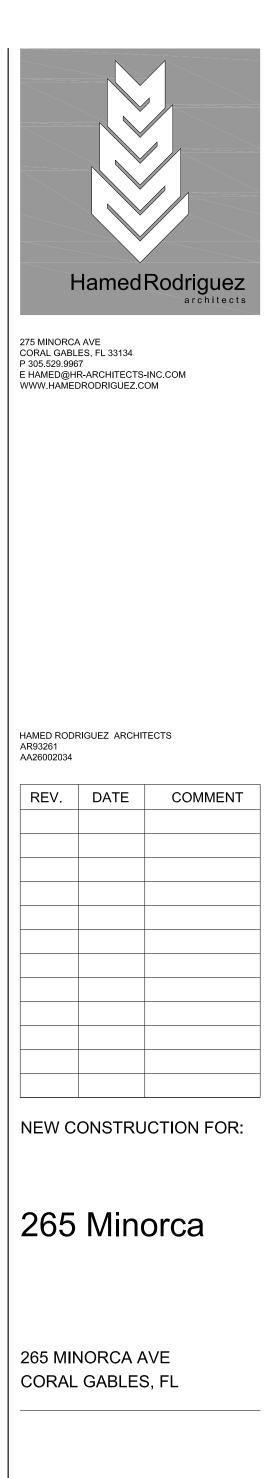












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PROJECT NO .: ISSUE DATE: PLOT DATE: SCALE: DRAWN BY: CHECKED BY: HR

6-1-2025 6-1-2025 AS NOTED HRA

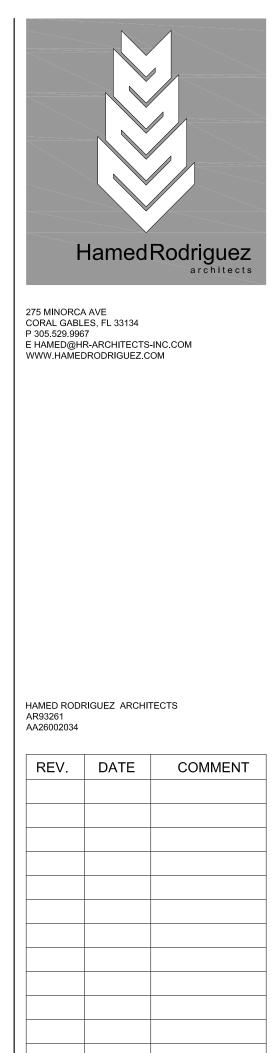
SHEET TITLE:

RENDERS

SHEET NUMBER:



AERIAL VIEW FROM SOUTH-EAST



NEW CONSTRUCTION FOR:

265 Minorca

265 MINORCA AVE CORAL GABLES, FL

OWNERSHIP AND USE OF THESE DOCUMENTS SPECIFICATIONS AS INSTRUMENTS OF ARE AND SHALL REMAIN THE PROPERTY OF ARCHITECT WHETHER THE PROJECT THEY MADE FOR IS EXECUTED OR NOT. THEY NOT BE USED BY THE OWNER OR OTHERS, OTHER PROJECTS OR FOR ADDITIONS TO PROJECT BY OTHERS, EXCEPT BY AGREEMENT WRITING AND WITH APPROPRIATE TO THE ARCHITECT.

PROJECT NO .: ISSUE DATE: PLOT DATE: SCALE: DRAWN BY: CHECKED BY:

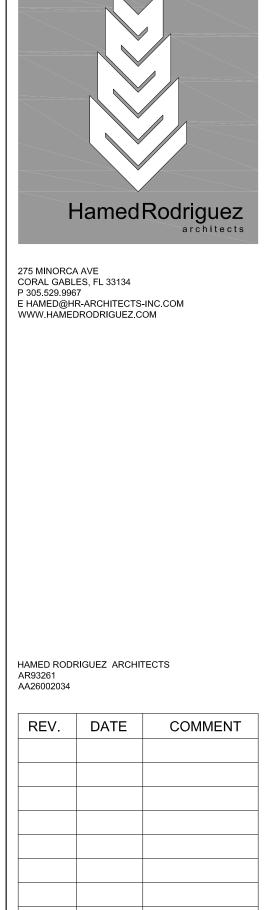
.... 6-1-2025 6-1-2025 AS NOTED HRA HR

SHEET TITLE:

AERIAL RENDER SHEET NUMBER:



AERIAL VIEW FROM NORTH-EAST



265 MINORCA AVE CORAL GABLES, FL

265 Minorca

NEW CONSTRUCTION FOR:

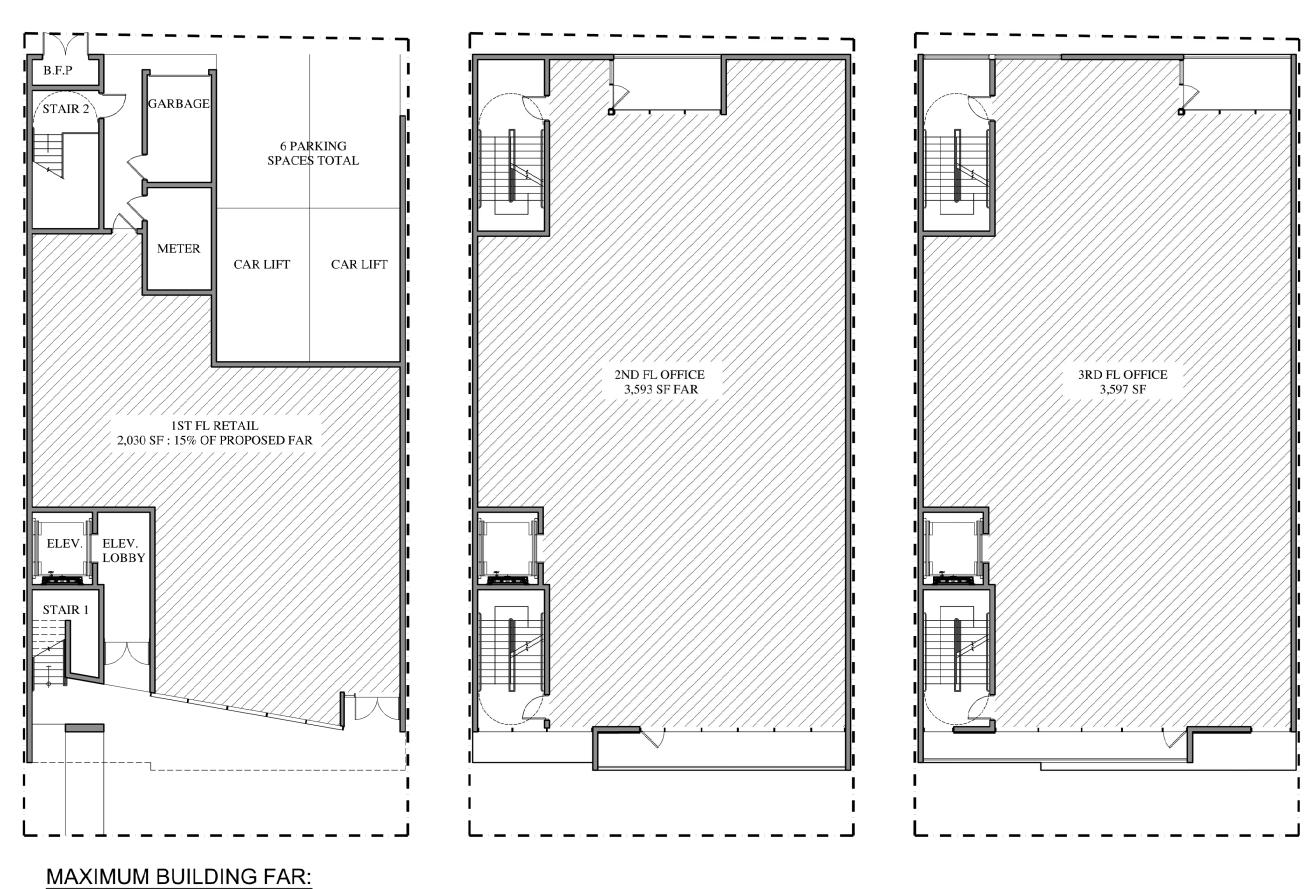
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PROJECT NO .: ISSUE DATE: PLOT DATE: SCALE: DRAWN BY: CHECKED BY:

.... 6-1-2025 6-1-2025 AS NOTED HRA HR

SHEET TITLE:

AERIAL RENDER SHEET NUMBER:



3.0 OR 15,606 SF

PROPOSED: 1ST A/C AREA = 2,030 SF 2ND A/C AREA = 3,593 SF 3RD A/C AREA = 3,597 SF

4TH A/C AREA = 3,538 SF

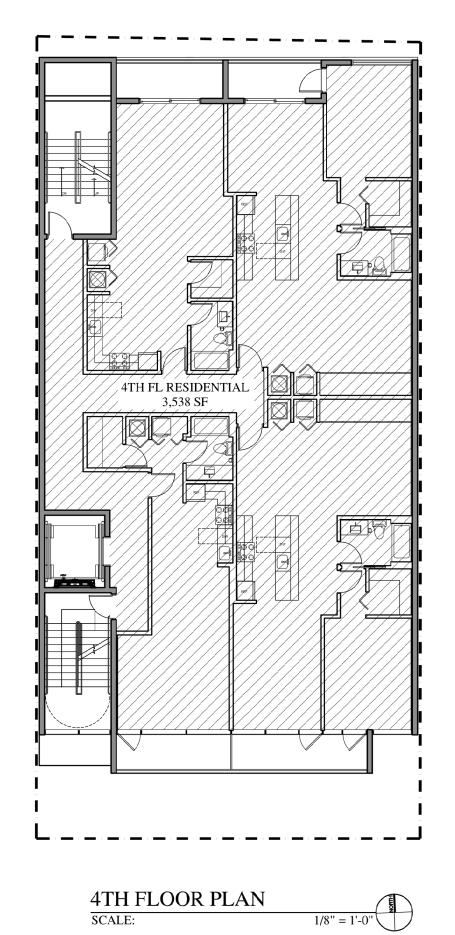
PROPOSED FAR 12,758 SF

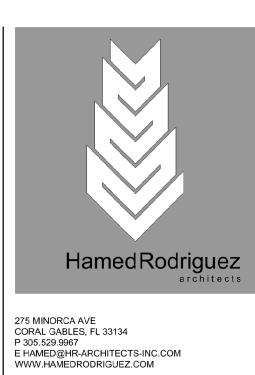
NOTE : F.A.R MEASURED TO INSIDE FACE OF BLOCK WALLS.



OPEN SPACE PROVIDED:

15% OR 777 SF





HAMED RODRIGUEZ ARCHITECTS AR93261 AA26002034

DATE	COMMENT
	DATE

NEW CONSTRUCTION FOR:

265 Minorca

265 MINORCA AVE CORAL GABLES, FL

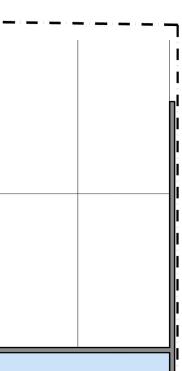
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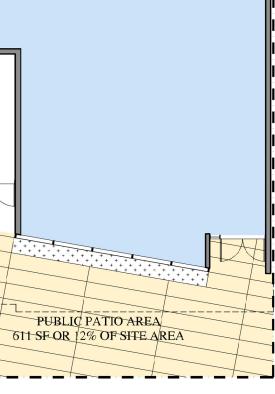
PROJECT NO.:	
ISSUE DATE:	6-1-2025
PLOT DATE:	6-1-2025
SCALE:	AS NOTE
DRAWN BY:	HRA

_____ ΓED HRA CHECKED BY: HR

SHEET TITLE:

ZONING DIAGRAMS SHEET NUMBER:

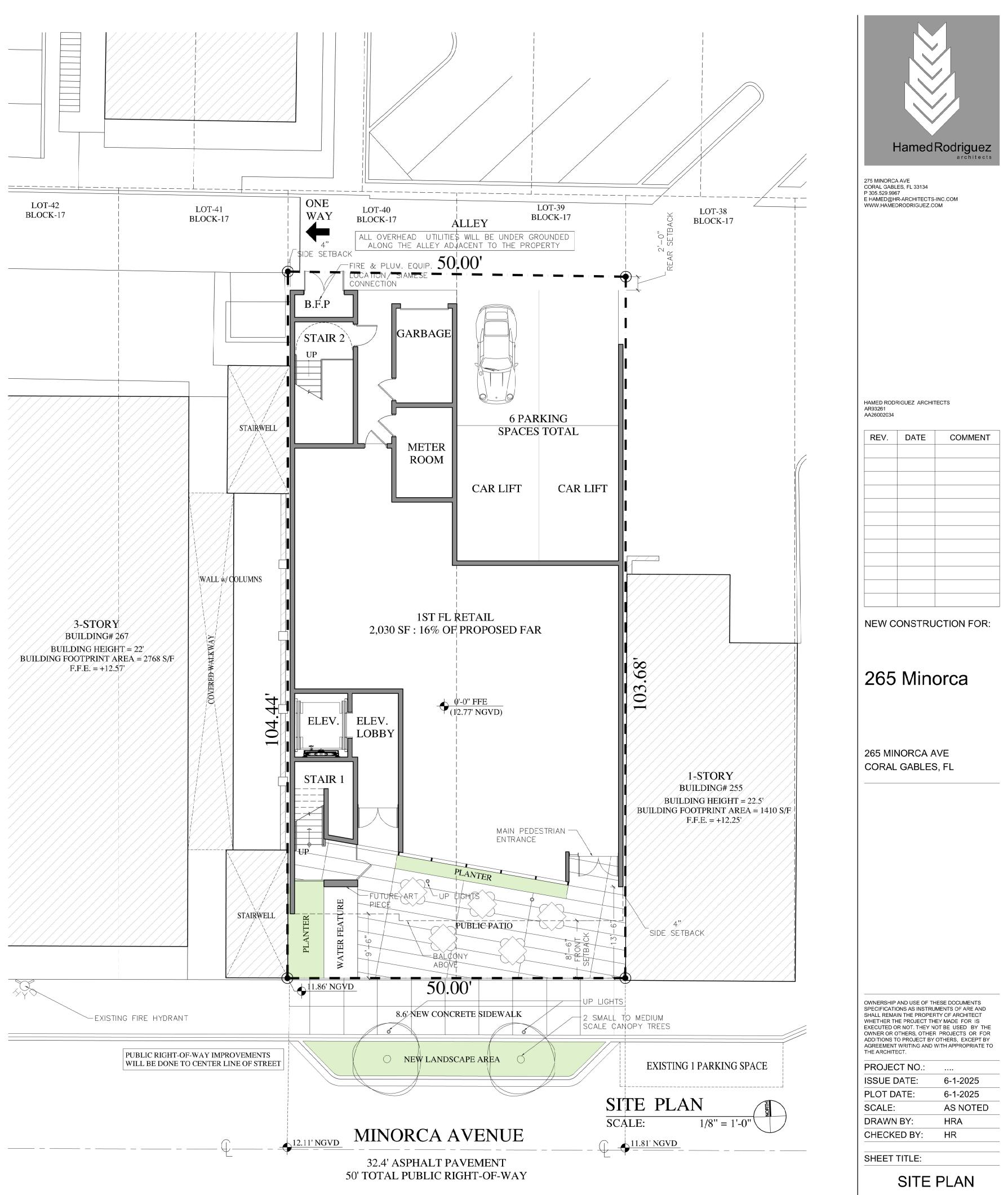




ЗE	ENERAL NOTES	ZONING DATA	l l	(M	X2 ZONING)
	AIA Documents A201, "General Conditions Of The Contract For Construction, Latest Edition," shall govern all work under this Contract and shall apply to all trades	SET BACKS:	PEOL	JIRED (MIN)	PROPOSED
	and is hereby incorporated into these documents. All work shall comply with all applicable National Codes, the latest edition of The Florida Building Code (2023) (herein also refereed to as F.B.C.)- Residential,	<u>SET BACKS.</u>	REQU		FROFUSED
	Seventh Edition, and updated Local Zoning Ordinances. The Contractor shall field verify all dimensions and existing conditions and notify the Architect of all discrepancies or needed interpretations prior to commencing	FRONT:	0'		8'-6"
	construction.	REAR AT ALLEY :	0'		2'-0"
	Omissions from drawings and/or misdescription of details of work which are manifestly necessary to carry out intent of drawings or are customarily performed shall not relieve contractor from performing such omitted or misdescribed details or work, but shall be performed as if fully and correctly set forth and described in drawings using most appropriate method, with final approval issued by Architect to alleviate conflicts of scheduling, drawings, details, and/or specifications. All work shall be performed in the best and most professional manner by mechanics skilled in their respective trades.	SIDE (EAST): SIDE (WEST):	0' 0'		0'-4" 0'-4"
	Contractor shall be responsible for quality and performance of all materials, appliances, and work. All materials, equipment, and systems shall be installed in strict accordance with applicable standards and manufacturers written specifications, instructions, and recommendations. Contractor shall review all shop drawings such as and not limited to roof trusses, doors, windows and hardware. Contractor will inform the Architect of any item which deviates from the working drawings. These plans may be used only under such conditions in which all applicable safety laws, rules and regulations are the sole responsibility of the contractor.	SITE AREA : 5,202 SF			
	Written dimensions have precedence over scaled dimensions. Do not scale drawings. Field verify all dimensions. Contractor is responsible that easements and setbacks are not encroached. Coordinate Architectural drawings with Structural, Mechanical, Plumbing, and Electrical drawings. Any discrepancies are to be brought to Architect's attention for clarification	MAX. FLOOR AREA RATIO (FAR) :	<u>REQUIRED</u> 3.0 OR 15,606 SF	PROPOSED 12,758 sf
0.	prior to bidding and work. Not used.	OPEN SPACE MIN. :		10% OR 520 SF	777 sf
1. 2.	Not used. Provide all site clearing, excavating to required grades and lines, back fill, grading fill, compaction and dewatering as required to execute the work. All fill under slabs shall be Compacted with fine sand fill set in 6" layers to 95% density ASTM 1157. Verify against Structural drawings. Preserve all existing trees and shrubs unless otherwise	MAX. BUILDING HEIGHT :		45'- 0"	45'-0" TO ROOF DECH (+10' ARCHITECTURA ROOF ELEMENT)
3. 4. 5.	specified by Owner. Contractor shall remove all construction debris and leave the site graded as indicated on the site plan or as specified by Architect/Owner. All concrete work at ground level shall have 6 Mil thick Visqeen vapor Barrier, or approved equal. Lap visqueen by min. 6" fully duct tape along length of lap. Finish grade shall slope away from building walls and property lines. Refer to Site Plan.	PARKING CALCULATIONS:		REQUIRED	PROPOSED
6.	Not used				<u>I ROFOSED</u>
7. 8.	All gates to be self closing and latching (If applicable). Not used.	RETAIL: 2,030 SF		0 SPACES	
9. 20.	Refer to engineering drawings for all engineering information (coordinate against Architectural). Not used.	OFFICE:		23 SPACES	
21. 22. 23.	All work shall comply with chapter 10 (means of egress) of the Florida Building Code and NFPA 101. Typical throughout these documents. Elevations shown on the plan refer to National Geodetic Vertical Datum (N.G.V.D.). Termite protection shall be provided by registered termiticides or other approved methods of termite protection labeled for use as a preventative treatment to new	1 PER 300 SF 7,190 SF / 300 = 23.9			
	construction All new structures shall comply to section 1B16 of F.B.C.				
24.	UTILITY NOTES:	(2) 1 BED + DEN UNITS(2) STUDIO UNITS		2 SPACES 2 SPACES	
	 A. General Contractor to verify exact locations of the following outside the property line: 1. Electric Service. 2. Gas 3. Water Main. 4. Telephone. B. All above and associated work utilities shall be as per enforced edition of the Florida Building Code F.B.C. and all applicable Codes. C. Contractor shall verify the locations of all utilities, overhead and underground, prior to construction and coordinate with Architect/Owner prior to start of work. D. Electrical power, telephone. water and gas shall be run as required to meet existing service. All to be verified with Architect/Owner. The Contractor shall coordinate tie-ins and service with utility companies prior to start of work. 	<u>TOTAL:</u>		27 SPACES	4 SPACES ON-SITE 23 OFF-SITE
5.	All premanufactured items such as exterior shutters and doors, but not limited to these, shall be under a separate permit if required. General contractors and any subcontractor providing the above items shall provide signed and sealed calculations and shop drawings. All submissions shall be according to N.F.P.A. 101 and the latest edition of the F.B.C. for A/E approval prior to fabrication and ordering. All manufactured items shall meet high velocity hurricane zone (HVHZ) prior to ordering and work,	FLOOD LEGE	ND		ZONE X
6.	typical throughout project. Refer to Structural engineering sheets for applicable information, i.e. wind pressure calculations, etc. Typical throughout project: Where slope is indicated with an arrow, contractor to provide 1/4" per ft. min. slope or as noted.	ADDRESS: 265 MINORCA AVE, CORAL GABLES, FLORIDA 33134 HIGHEST CROWN OF ROAD ELEV: AS PER THE ATTACHED CERTIFIED SURVEY. BASE FLOOD ELEVATION (N.G.V.D.) = N/A			
27.	For septic tank and drain field refer to plumbing drawings (if applicable).	ALL ELECTRICAL, MECHANICAL AND PL (B.F.E.)	UMBING W	ILL BE PLACED AT OR ABOVE T	HE BASE FLOOD ELEVATION.
28.	Not used.	ALL AREAS BELOW B.F.E. SHALL BE PR		TH A MINIMUM OF TWO (2) OPE	NINGS HAVING A TOTAL NET
29.	Not used.	AREA OF NO LESS THAN ONE SQUARE SUBJECT TO FLOODING. THE BOTTOM	OF THE OP	ENING WILL BE NO HIGHER TH	AN ONE (1) FOOT ABOVE GRADE
		AND LOCATED ON DIFFERENT SIDES O LOUVERS. FLOOD RESISTANT MATERIA			BE EQUIFFED WITH SCREENS OR
0.	Not used.	ALTERNATIVELY SEE A CERTIFICATION ALLOWED FOR AUTOMATIC EQUALIZAT			
1. 2.	Not used The plans and specifications are not intended to depict each and every detail as the party in the field. The contractor is in the best position to verify that all conditions are completed to provide a watertight structure.	ALLOWED FOR AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS. THE SITE WILL BE GRADED IN A MANNER TO PREVENT THE FLOODING OF ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTORS SWALES WILL BE CONSTRUCTED ON-SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES.			
33.	FEMA NOTES:				
	All areas below FEMA elevation shall meet the requirements of chapter 11C: development within flood hazard districts. A. Not used.				
	B. All Electrical, Mechanical & Plumbing shall be above base flood elevation.	LEGAL DESC	RIPT	ION	
34.	BACKING FOR WALL HUNG FIXTURE NOTES:	FOLIO : 03-4108-006-1200 Lots 39 and 40, 1n Block 17, L	ESS the	North I 2 fact thereof	n Plack 17 of CORAL
	Where wall-hung fixtures are provided 2" x 4" bracing between studs at point of attachment of fixture shall be provided to withstand 200 lb. force applied in all directions (or supports be provided as per fixture manufacturer's requirement)	GABLES SECTION "K", accor 33, of the Public Records of M	ding to the	ne Plat thereof, as reco	and a more family produced as a re-
35.	EGRESS WINDOW SPECIFICATION: Not used.	L			
36.	EGRESS DOOR SAFETY NOTE: Not used.	SYMBOL LEG		1	
37.	APPLICABLE ITEMS OF CHAPTER .24 OF FBC. REGARDING DOORS AND OPERABLE WINDOWS IN EXTERIOR WALLS: Not used.				
38.	ZONING DISTRICT (Residential):				
	Site to be filled to county flood elevation N.G.V.D. or an elevation no less than the highest approved crown elevation of the road abutting the	8" C.M	I.U WALL		
	property.		TITION WA		
				TO BE DEMO	
			DED AREA		
DE	EMOLITION NOTES	SCOPE OF WO	ORK		
	DASHED WALLS AS INDICATED ON PLANS ARE TO BE REMOVED. NO WALL REMOVED IS LOAD BEARING	NEW CONSTRUCTION OF A NEW FOUR	STORY CO	MMERCIAL AND RESIDENTIAL E	BUILDING.
2.	SELECTIVE REMOVAL AND OFF SITE DISPOSAL INCLUDES: FLOOR TILES AND THINSET/ THICKSET REMOVAL				
-	FRAME WALLS AND WALL BOARD		P		
	INDICATED INTERIOR DOORS INTERIOR FINISHES AS INDICATED KITCHEN APPLIANCES (ASK OWNER IF TO BE DISPOSED)				
3.	OWNER OR ARCHITECT TO ASSUME NO RESPONSIBILITY FOR THE ACTUAL CONDITIONS ON SITE.			Article Ave	
l.	PROTECT EXISTING FINISH WORK ON SITE FROM DAMAGE DUE TO NEW CONSTRUCTION.				
•	CONTRACTOR TO REPAIR ANY (AT NO COST TO THE OWNER) ON SITE OR ON ADJACENT FACILITIES DUE TO DAMAGES. CONTRACTOR TO SHUT OFF UTILITIES TO ALL AREAS EXCEPT OCCUPIED PORTIONS OF THE BUILDING	LOCATI	DN		Prior to Ave
			and the second second	A DECK MARKED AND A DECK MARKE	

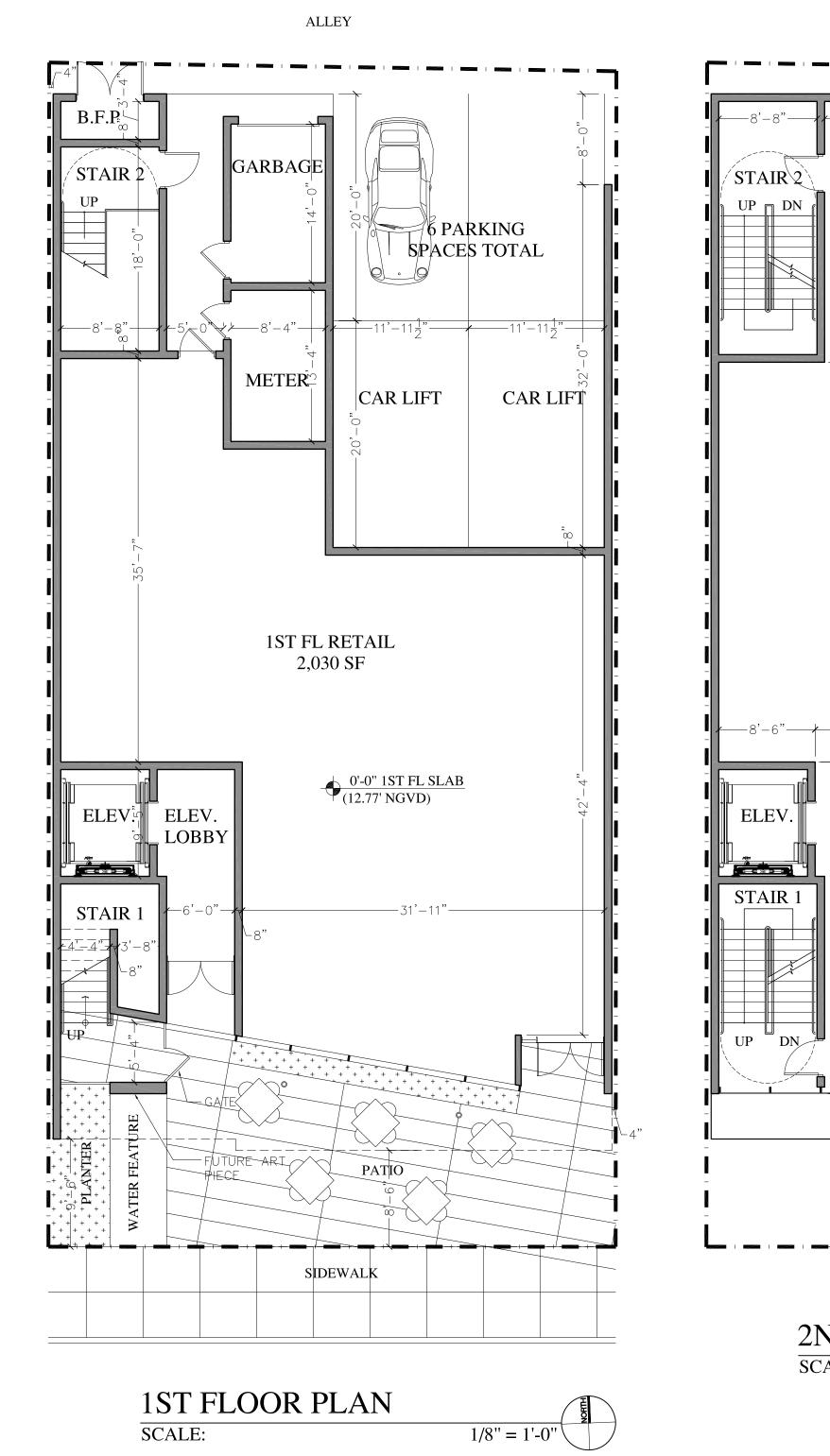
- 6. CONTRACTOR TO SHUT OFF UTILITIES TO ALL AREAS EXCEPT OCCUPIED PORTIONS OF THE BUILDING
- 7. CONTRACTOR TO OBTAIN ALL APPLICABLE PERMITS PRIOR TO BEGINNING WORK
- 8. DEMOLITION WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF ALL CODES HAVING JURISDICTION OVER THE PROJECT.
- 9. CONTRACTOR TO PROVIDE BRACING AND SHORING TO PREVENT THE SETTLEMENT OR COLLAPSE OR STRUCTURE WHEN APPLICABLE.
- 10. CONTRACTOR TO IDENTIFY, STUB OFF AND DISCONNECT UTILITY SERVICE TO REMAIN.



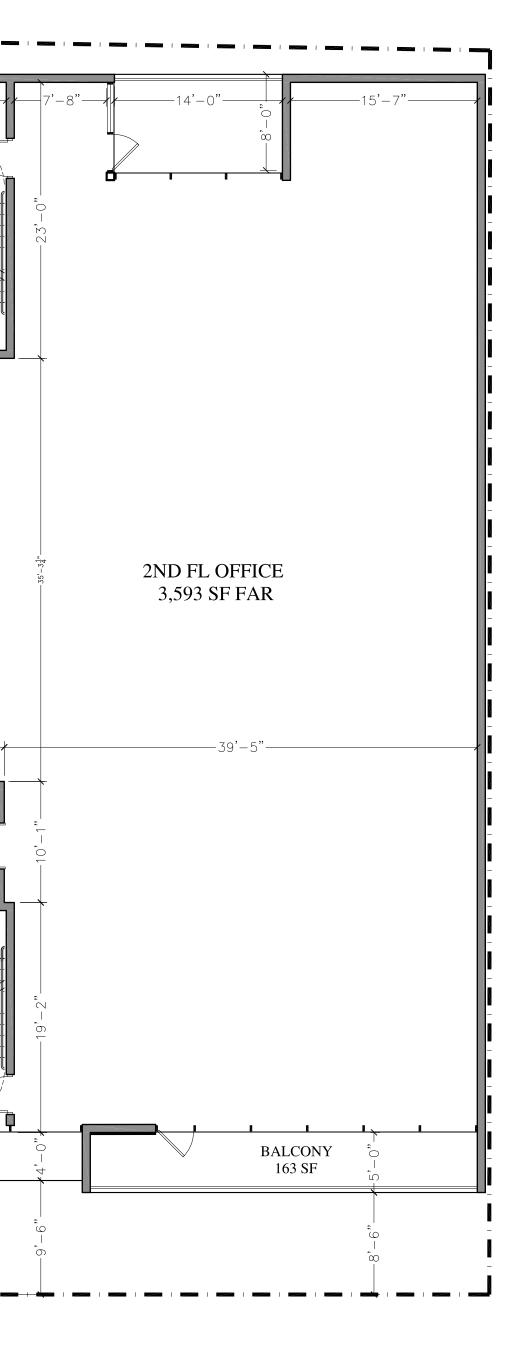


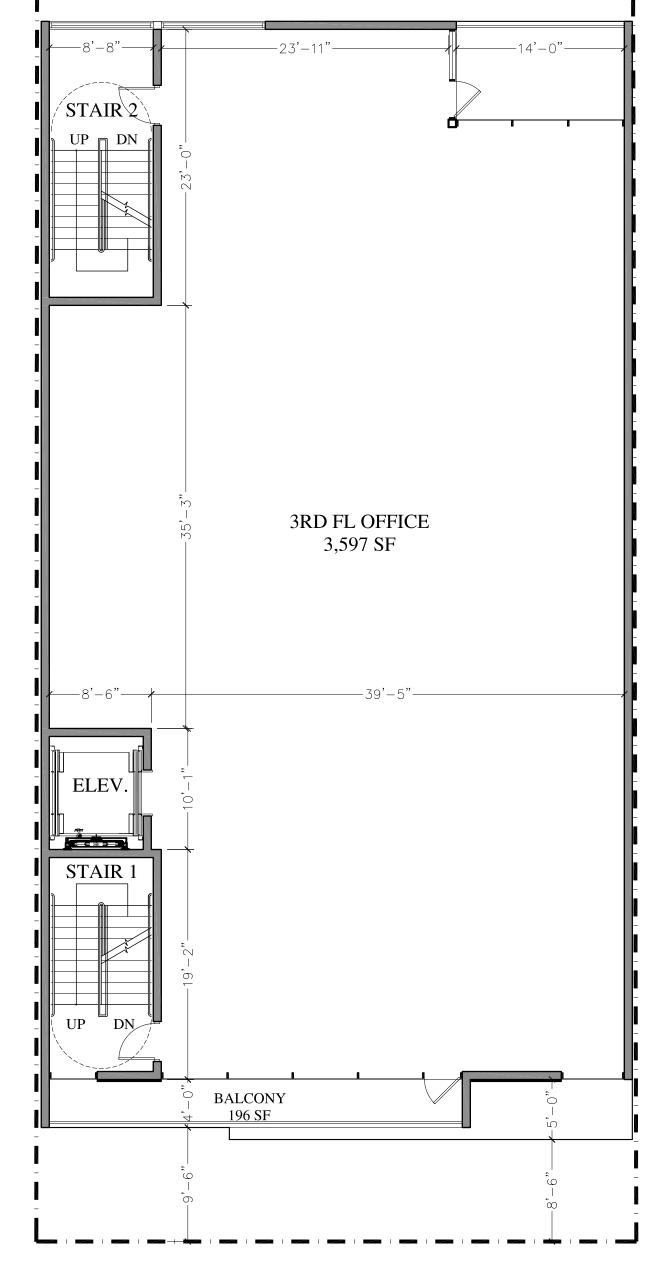
SHEET NUMBER:

A1.0

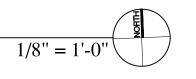








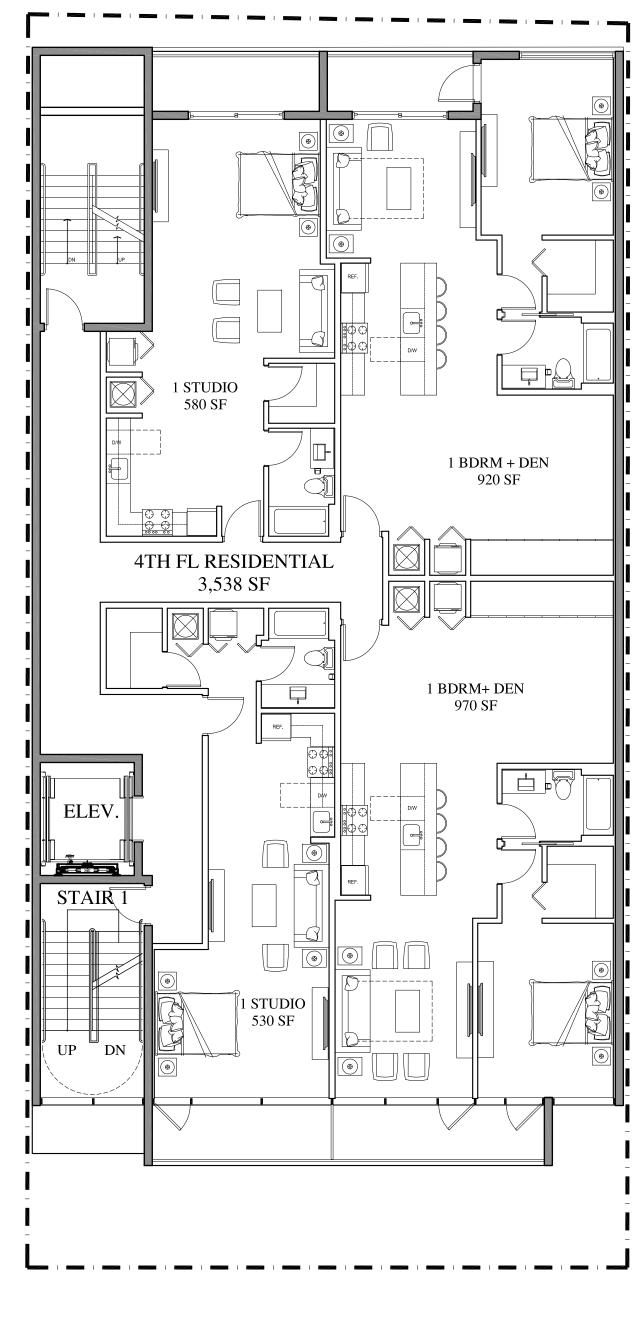
2ND FLOOR PLAN



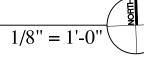
3RD FLOOR PLAN SCALE:

1/8" = 1'-0"

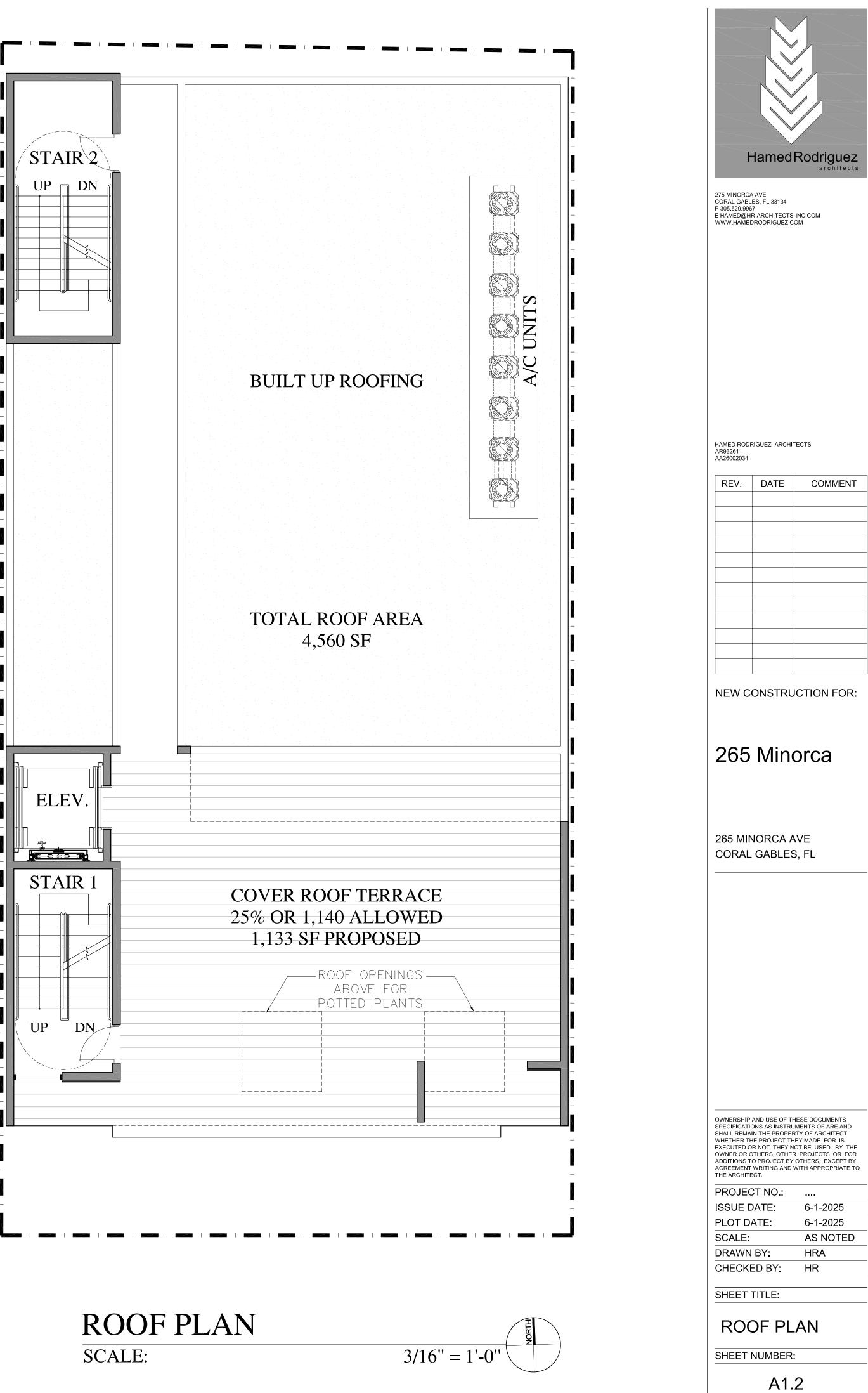


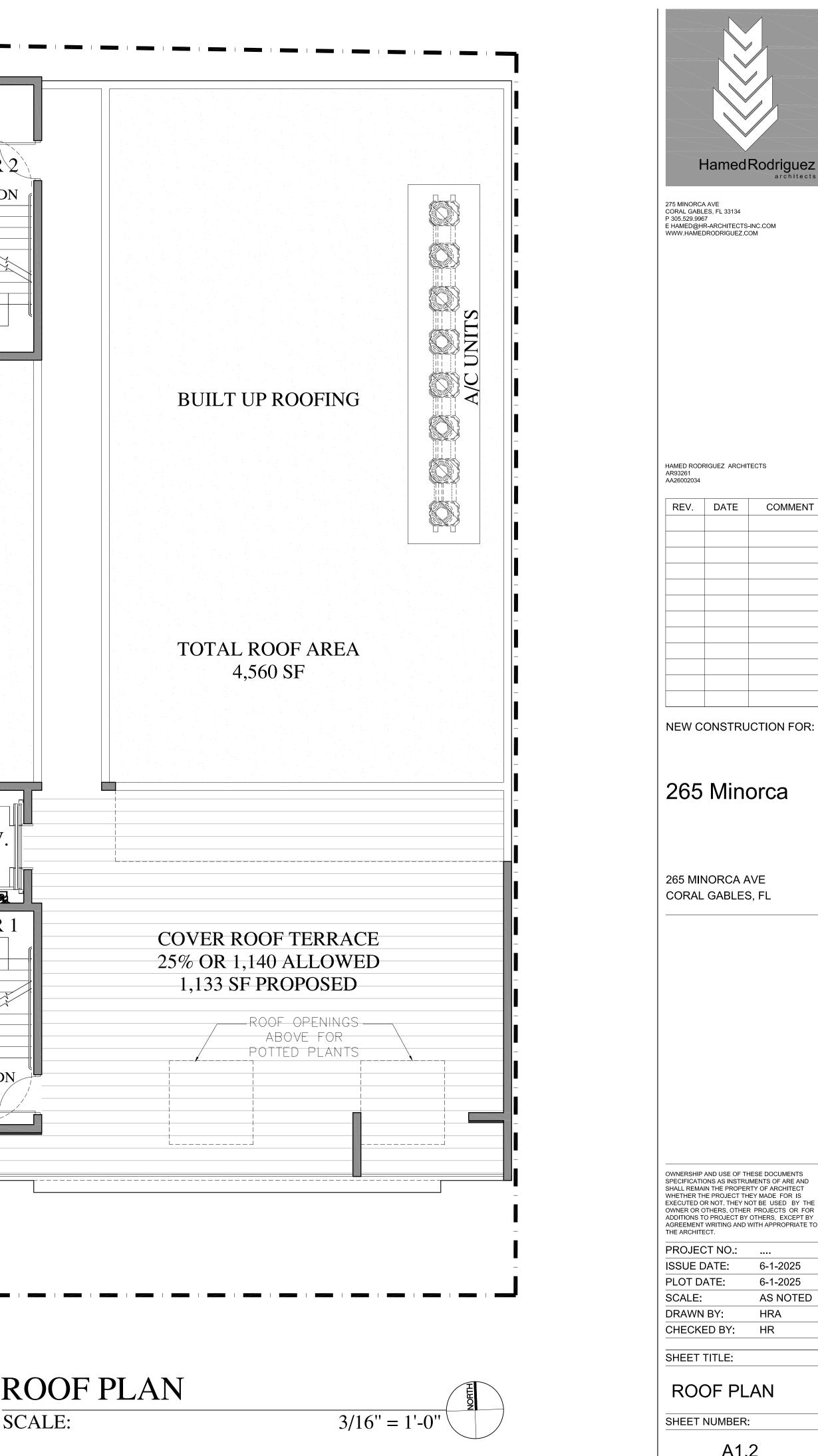


4TH FLOOR PLAN SCALE:



A1.1









3. GLASS RAIL



5. METAL SCREEN



IRON MOUNTAIN





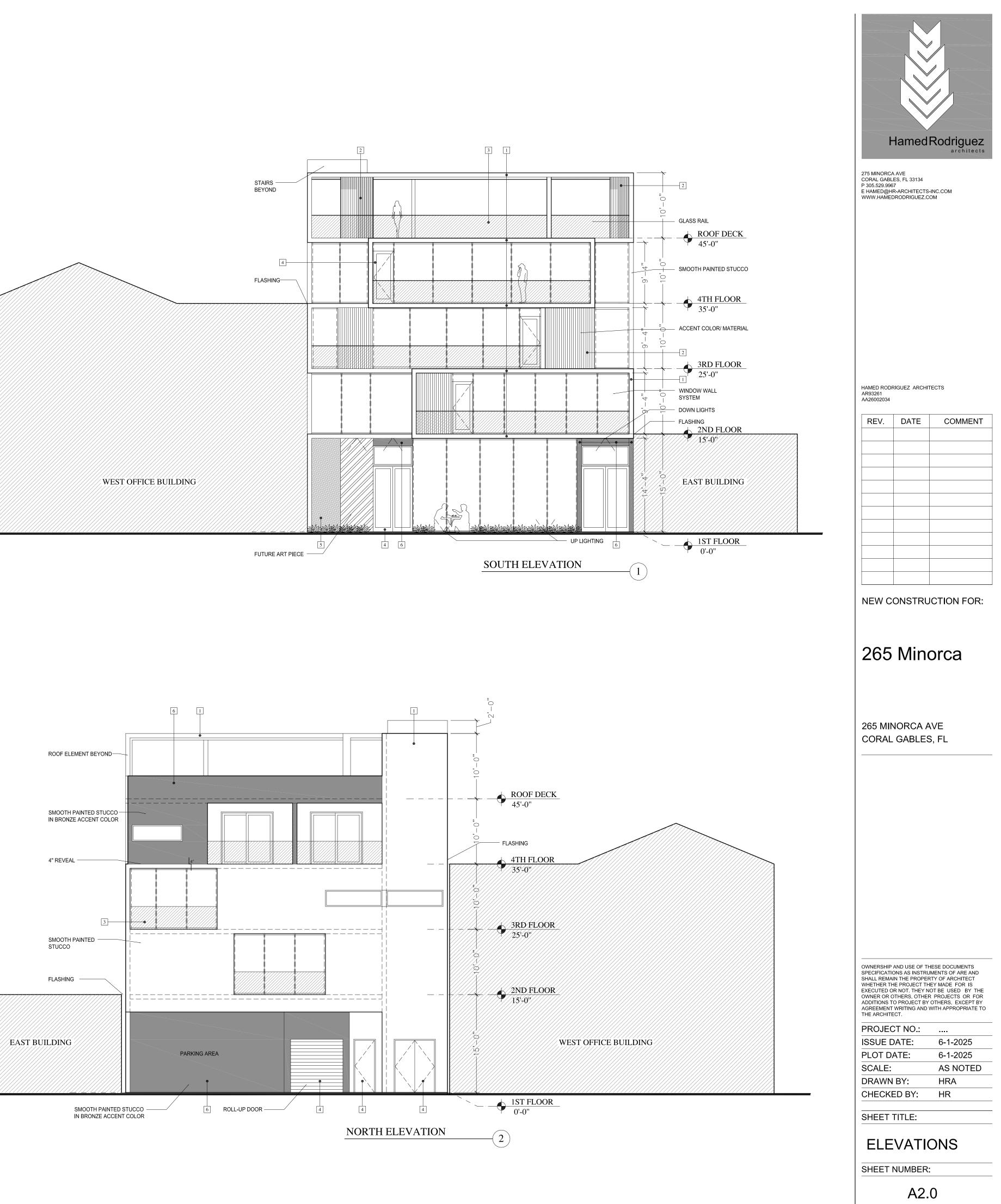


BENJAMIN MOORE-WHITE HERON

CADENCE ROBLE -2349 NATURE





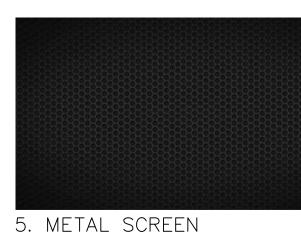


1. SMOOTH PAINTED STUCCO-BENJAMIN MOORE-WHITE HERON





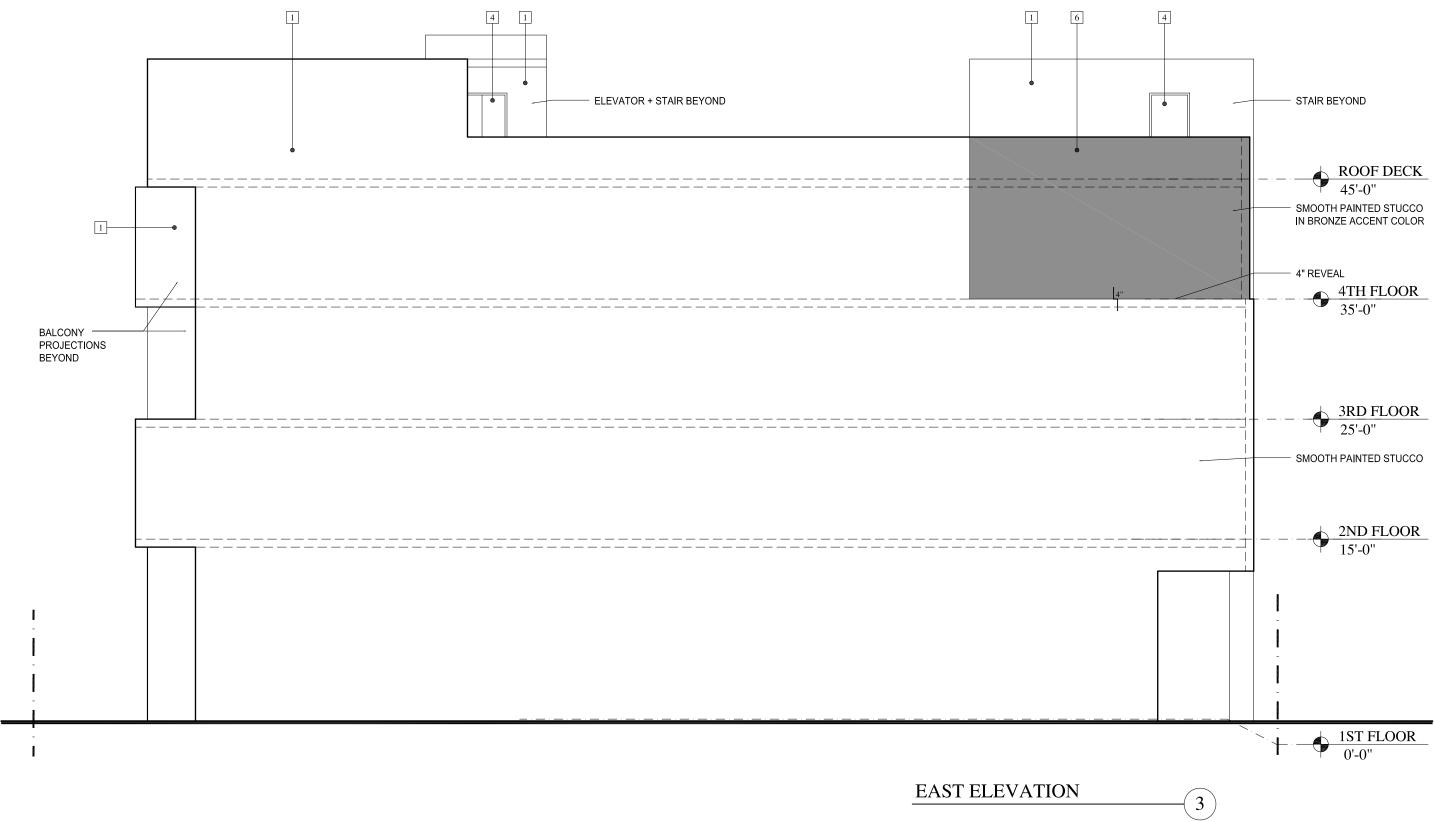


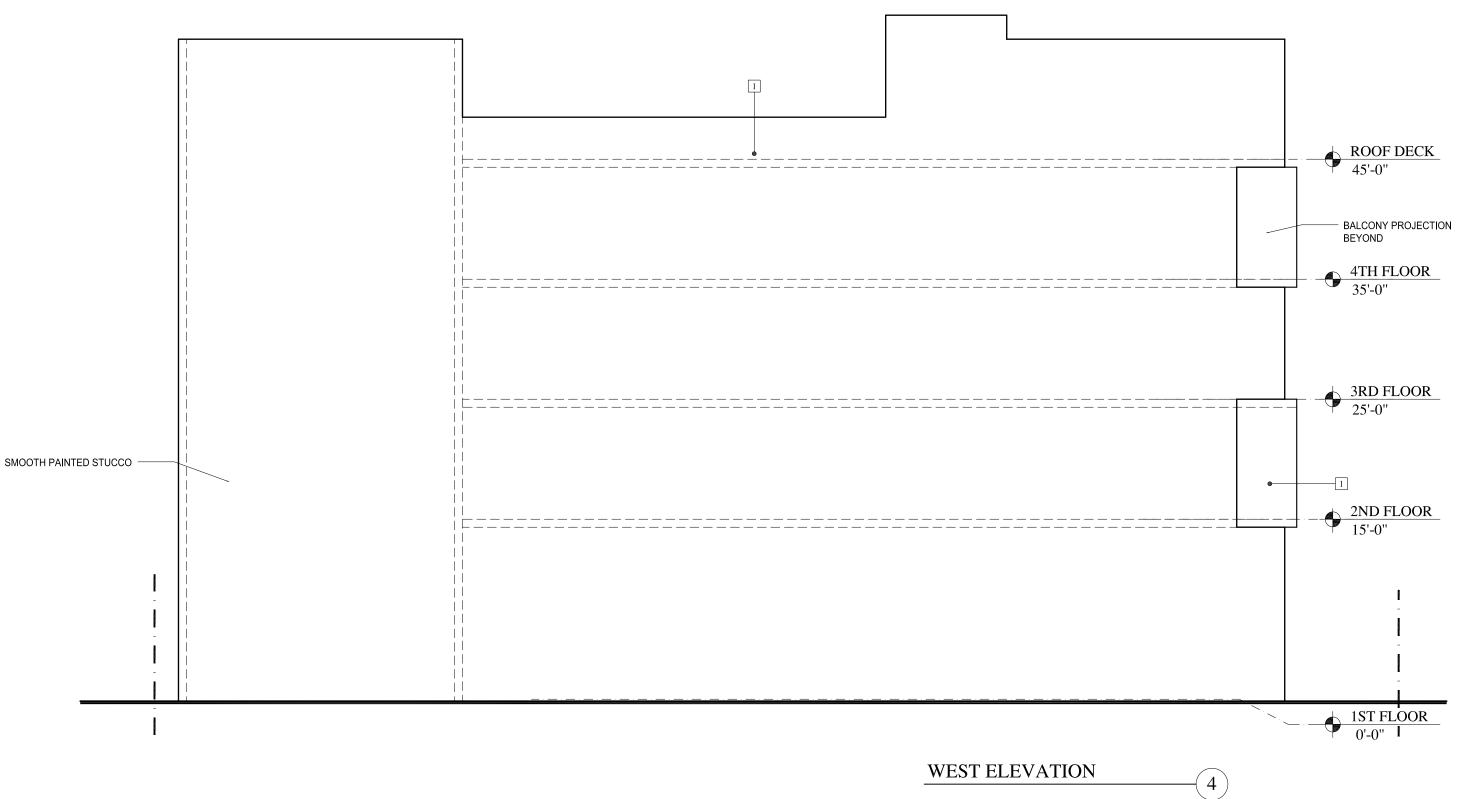




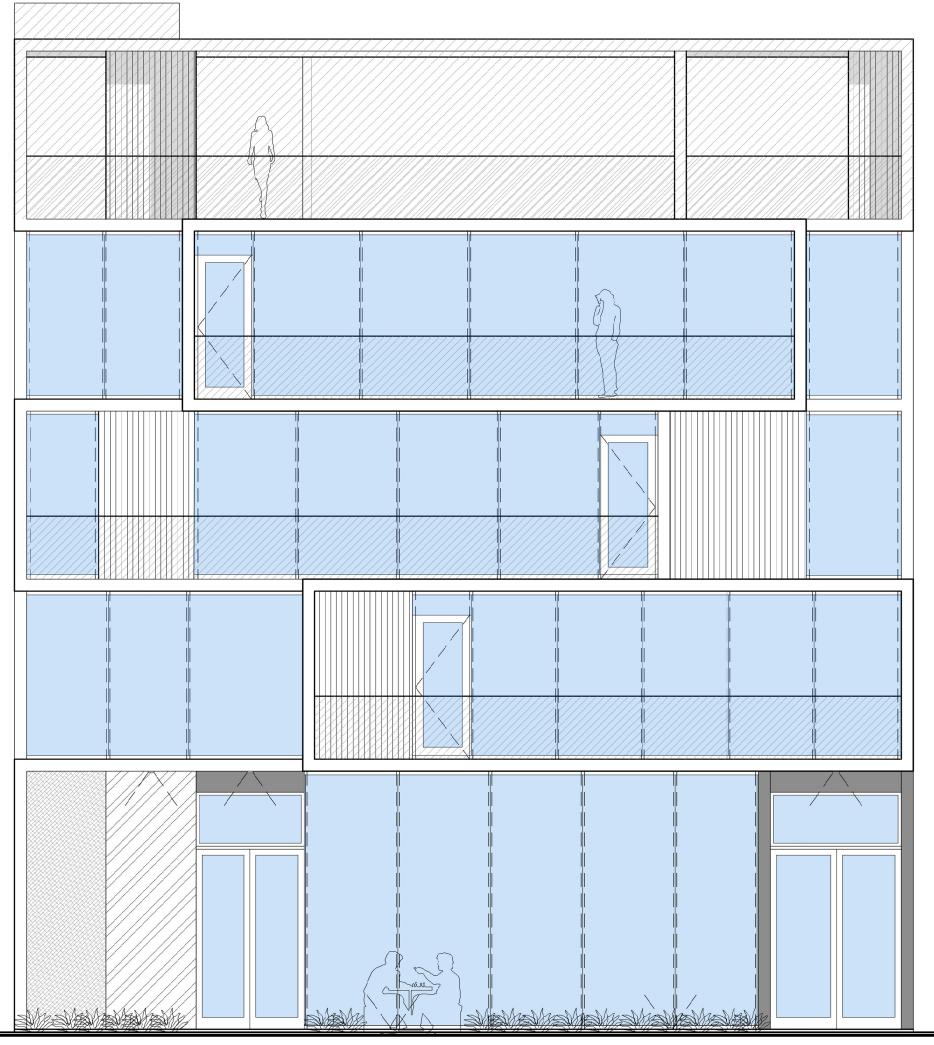
6. BENJAMIN MOORE-IRON MOUNTAIN











TOTAL ELEVATION : 2,254 SF TOTAL TRANSPARENCY : 1,544 SF OR 68.5%

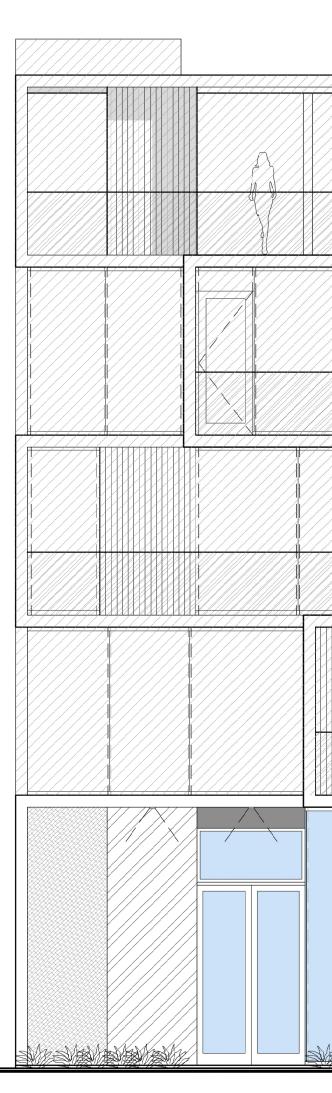
4TH FLOOR TRANSPARENCY : 411 SF

3RD FLOOR TRANSPARENCY : 302 SF

2ND FLOOR TRANSPARENCY : 368 SF

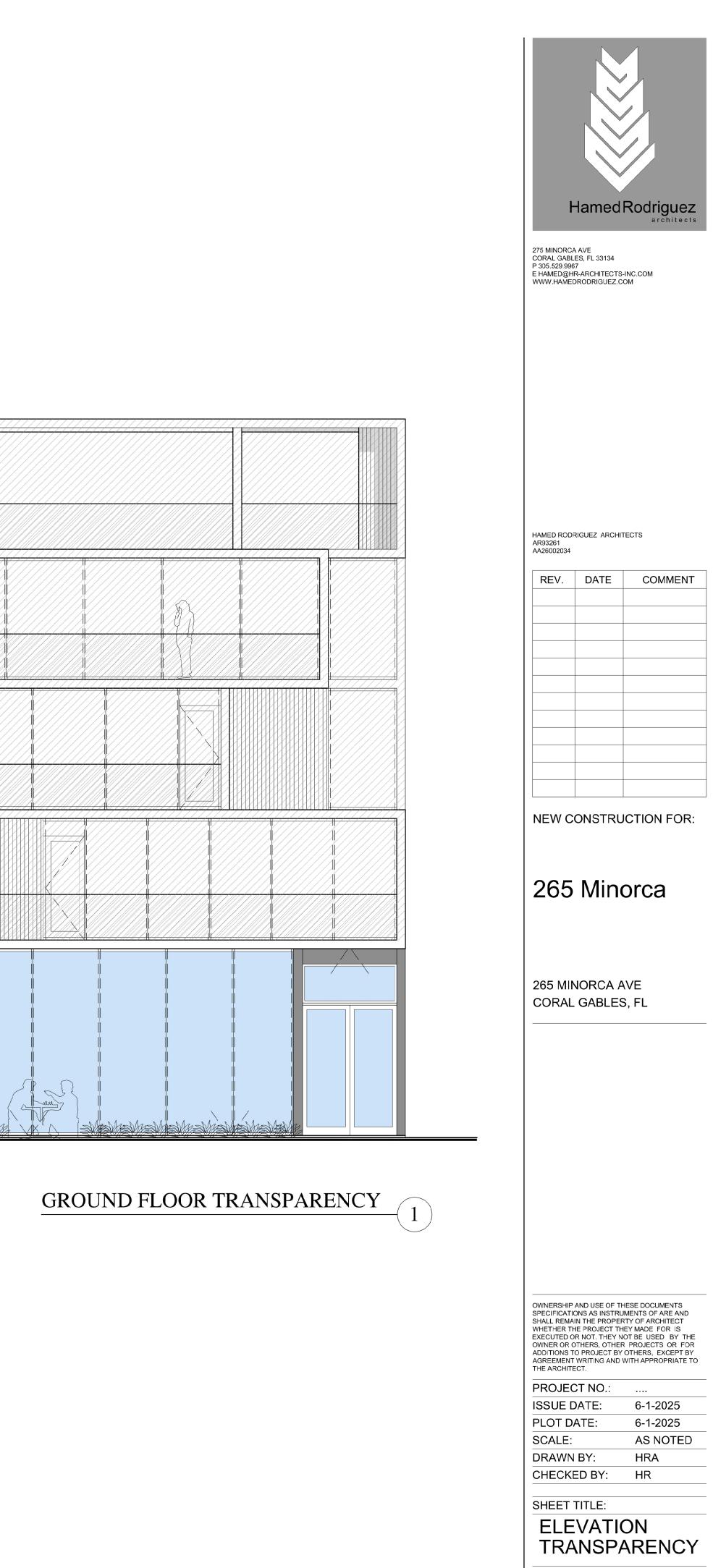
1ST FLOOR TRANSPARENCY : 463 SF

FRONT ELEVATION TRANSPARENCY 2



TOTAL GROUND FLOOR FRONTAGE : 749 SF

TOTAL GROUND FLOOR TRANSPARENCY : 463 SF OR 62%



SHEET NUMBER:

A2.2

June 6, 2025

Anna Pernas, Director Historical Resources & Cultural Arts City of Coral Gables 2327 Salzedo Street Coral Gables, FL 33134

RE: Art in Public Places Statement / Property Identified by Miami Dade County Folio No. 03-4108-006-1200) (the "Property")

Dear Ms. Pernas,

On behalf of TBG Minorca, LLC (the "**Applicant**"), please accept this as our Art in Public Places Statement regarding the requirements for the aforementioned Property. Pursuant to Section 9-103 of the Coral Gables Zoning Code, the Applicant will be requesting approval of a waiver to permit the acquisition and incorporation of artwork to be incorporated into the proposed development at the Property.

As always, should you have any questions or require additional information, please contact me at (305) 458-2730.

Sincerely,

TBG Minorca, LLC

Jose R Boschetti, Jr Manager

PREPARED BY AND AFTER RECORDING, RETURN TO:

Ricardo L. Fraga, Esq. Greenberg Traurig, P.A. 333 S.E. 2nd Avenue, 44th Floor Miami, Florida 33131

Folio Number: 03-4108-006-1200

CFN: 20240168019 BOOK 34118 PAGE 2523 DATE:03/04/2024 04:01:39 PM DEED DOC 4,800.00 SURTAX 3,600.00 JUAN FERNANDEZ-BARQUIN CLERK OF THE COURT & COMPTROLLER MIAMI-DADE COUNTY, FL

[Space Above This Line For Recording Data]

WARRANTY DEED

This Warranty Deed is made this 27th day of February 2024, between **URBIN CG RESI SPE LLC**, a Florida limited liability company, whose address is 299 Alhambra Circle, Coral Gables, Florida 33134 ("Grantor") and **TBG Minorca LLC**, a Florida limited liability company, whose address is 5701 Sunset Drive, Suite 128, South Miami, Florida 33143 ("Grantee").

WITNESSETH that said Grantor, for and in consideration of the sum of TEN and NO/100 (\$10.00) DOLLARS, and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Miami-Dade County, Florida (the "Property"), to wit:

Lots 39 and 40, Block 17, less the North 12 feet thereof, Coral Gables Section "K", according to the plat thereof, as recorded in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida.

SUBJECT TO THE FOLLOWING:

- 1) Taxes and assessments for the year 2024 and subsequent years, which are not yet due and payable.
- 2) Conditions, restrictions and limitations of record, if any, without hereby reimposing same of record.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

GRANTOR HEREBY WARRANTS that it is lawfully seized of the Property in fee simple, that it has good right and lawful authority to sell and convey the Property, that it hereby fully warrants title to said Property and will defend the same against the lawful claims of all persons whomsoever.

[signatures on next page]

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Print Name α_{0} Address: 150 /SW 67th Ter. Miam へ 31 87

Print Namé: Address: 1615 rske

URBIN CG RESI SPE LLC, a Florida limited liability company

By: Bernice C. Lee, as the court-appointed receiver of URBIN Coral Gables Partners, LLC, a Florida limited liability company, its sole member

Receive as By:

Name: Bernice C. Lee Title: Court Appointed Receiver

STATE OF FLORIDA)) ss. COUNTY OF MIAMI-DADE)

I HEREBY ACKNOWLEDGE that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgements, the foregoing instrument was sworn to and acknowledged [x] in my physical presence or [__] by online notarization, by Bernice C. Lee, as court-appointed receiver of URBIN Coral Gables Partners, LLC, a Florida limited liability company, the sole member of Urbin CG Resi SPE LLC, a Florida limited liability company, on behalf of said company, who is personally known to me.

WITNESS my hand official seal in the County and State last aforesaid this 27th day of February 2024.

Notary

Typed, printed or stamped name Notary Public My Commission Expires

FAROLA SAINT-REMY Notary Public - State of Florida Commission # HH 170153 My Comm. Expires Oct 18, 2025 Bonded through National Notary Assn.

CONTACT INFORMATION

PROPERTY OWNER:	TBG Minorca, LLC 5701 Sunset Dr, Suite 128, South Miami, FL 33143
APPLICANT:	TBG Minorca LLC c/o Jose R Boschetti, Jr 5701 Sunset Dr, Suite 128, South Miami, FL 33143
AGENT:	Jose R Boschetti, Jr 5701 Sunset Dr, Suite 128, South Miami, FL 33143 jota@theboschettigroup.com
ARCHITECT:	Hamed Rodriguez Architect Inc. 275 Minorca Avenue, Coral Gables, Florida 33134 hamed@hr-architects-inc.com