

# CITY OF CORAL GABLES: BOARD OF ARCHITECTS SET

LA PALMA REHABILITATION AND RESTORATION - GRAY SHELL  
PERMIT SUBMITTAL

112 ALHAMBRA CIRCLE  
CORAL GABLES, FL 33134  
**112 ALHAMBRA CIRCLE, LLC**



ARCHITECT:



**JSK ARCHITECTURAL GROUP**  
(AA 0003187)  
137 GIRALDA AVE, CORAL  
GABLES, FL 33134  
T: 305-448-1986  
JORGE S. KUPERMAN, AIA  
(AR 0016353)

CIVIL ENGINEER:

**TERRA CIVIL ENGINEERING**  
4011 W. FLAGLER STREET  
SUITE 404  
MIAMI, FL 33134  
T: 305-449-5010  
MARCO OSORIO, P.E., MBA

STRUCTURAL ENGINEER:

**FRANCISCO CRUELLO JR. P.E.,  
INC.**  
147 ALHAMBRA CIRCLE #220  
CORAL GABLES, FL 33314  
T: 305-567-0125  
FRANCISCO CRUELLO, P.E.  
(#40087)

MEP ENGINEER:

**ARPE ENGINEERING, INC.**  
2020 PONCE BLVD, SUITE 1002,  
CORAL GABLES, FL, 33134  
T: 305-444-9809  
F: 305-444-9827  
RAUL MERCADO, PRINCIPAL

CODE INFORMATION			
1. APPLICABLE CODES : (F.B.C.) FLORIDA BUILDING CODE - 2017 6TH EDITION AND ITS SUPPLEMENTS FLORIDA BUILDING CODE - 2017 EXISTING 6TH EDITION FLORIDA FIRE PREVENTION CODE 2017 6TH EDITION FLORIDA ACCESSIBILITY CODE - 2017 6TH EDITION NFPA LIFE SAFETY CODE - 2018 EDITION			
2. OCCUPANCY CLASSIFICATION : (F.B.C. 2017 SECTION 303.1, 309.1, 311.3) MULTIPLE OCCUPANCY (SEPARATED OCCUPANCY) (NFPA 6.1.14.4) (A-2) ASSEMBLY (RESTAURANT/BAR) (B) BUSINESS (OFFICE OCCUPANCY)			
3. THE PROJECT IS AN EXISTING BUILDING ALTERATION LEVEL 2. REFER TO SHEET S-1 FOR STRUCTURAL DESIGN CRITERIA NOTES.			
4. FOR LIFE SAFETY NOTES AND COMPLIANCE SEE LIFE SAFETY PLAN - SHEET LS-101-103			
6. FIRE EXTINGUISHER SPECIFICATION : PROVIDE ONE - ABC TYPE, "2-A" RATE FIRE EXTINGUISHER FOR EACH 2,500 SQ. FT. MAX. OR 75 FT. OF TRAVEL, TOP OF EXTINGUISHER NO TO EXCEED 5 FT. ABOVE FINISH FLOOR. 4 PROVIDED. (INSTALL PORTABLE F.E. IN ACCORDANCE WITH NFPA 10) MANUFACTURER : LARSENS OR EQUAL MANUFACTURER SERIES : MP-SERIES / MULTI PURPOSE DRY CHEMICAL (OR EQUAL) MODEL NO : MP5 (UL RATING 2A-10B-C) (OR EQUAL) BRACKET : PROVIDE STANDARD BRACKET OPTION (#1521);			
7. MINIMUM FLAME SPREAD & SMOKE DEVELOPMENT REQUIREMENTS (NFPA 101 TABLE 10.2.2):  NEW FINISHES TO COMPLY WITH (NFPA 101 TABLE 10.2.2 AND F.B.C. 2010 ED SECT. 803-804) "CLASS B" FOR (M) MERCANTILE INTERIOR WALL & CEILING FINISH FLAME SPREAD 28 - 75, SMOKE SPREAD 0 - 450 "CLASS F" INTERIOR FLOOR FINISH CRITICAL RADIANT FLUX, NOT LES THAN 0.45 W/cm <sup>2</sup> . ALL INTERIOR FINISHES SHALL COMPLY WITH THE FFPC 2010 CHAPTER 10, FBC 2010 ED. SECT. 803.1.1 AND TABLE 803.9.			
8. CONSTRUCTION TYPE: III-B			
9. NUMBER OF STORIES: 2 STORY			
10. OCCUPANT LOAD: SEE LIFE SAFETY PLANS			
11. APPLICABLE INDUSTRY STANDARDS			
11.1. TCNA - THE TILE COUNCIL OF NORTH AMERICA, INC. - LATEST EDITION/ 11.2. DOORS AND HARDWARE INSTITUTE STANDARDS 11.3. GYPSUM ASSOCIATION STANDARDS 11.4. MIAMI-DADE COUNTY BUILDING CODE COMPLIANCE OFFICE 11.5. MIAMI-DADE COUNTY PRODUCT CONTROL DIVISION (NOA - NOTICE OF ACCEPTANCE) 11.6. ASTM - AMERICAN SOCIETY FOR TESTING AND MATERIALS 11.7. ANSI - AMERICAN NATIONAL STANDARDS INSTITUTE 11.8. OSHA - OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION 11.9. AAMA - AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION 11.10. NBS - NATIONAL BUREAU OF STANDARDS 11.11. GANA - GLASS ASSOCIATION OF NORTH AMERICA 11.12. RMA - THE RUBBER MANUFACTURERS ASSOCIATION, INC. 11.13. SMACNA - ARCHITECTURAL SHEET METAL MANUAL 11.14. PCA - PORTLAND CEMENT ASSOCIATION 11.15. UL - UNDERWRITERS LABORATORIES 11.16. SSMA - STEEL STUD MANUFACTURERS ASSOCIATION 11.17. APA - THE ENGINEERED WOOD ASSOCIATION			
12. DURING CONSTRUCTION: COMPLY WITH FFPC 101:4.6.10 & NFPA 1 CHAPTER 16			
13. WASA NUMBER OF OCCUPANTS HAD BEEN CALCULATED BASED ON INTERIOR AREAS. FINAL NUMBER OF SEATS / OCCUPANTS INSIDE OR OUTSIDE SHALL BE CALCULATED AND SUBMITTED FOR APPROVALS AS A SEPARATE APPLICATION BY THE TENANT IMPROVEMENTS PLANS AT A LATER DATE.			
14. OCCUPANCIES ON THE 2ND FLOOR SHALL NOT BE RELATED TO OCCUPANCIES ON THE 1ST FLOOR.			
LEGAL DESCRIPTION			
LOTS 1 & 2, BLOCK 22 "REVISED PLAT OF CORAL GABLES SECTION L", ACCORDING TO THE PLOT THEREOF, AS RECORDED IN PLAT BOOK 8 OF PAGE 85, OF THE PUBLIC RECORDS FOR MIAMI-DADE COUNTY FLORIDA.			
FEMA ZONE CLASSIFICATION			
LOWEST FINISH FLOOR ELEVATION: ZONE: 'C' (COMMERCIAL DISTRICT) CATEGORY II: (BFE +1) = N.G.V.D. <small>(SOURCE: WWW.FEMA.GOV (ASCE 24-05), WWW.GISWEB.MIAMIDADE.GOV/ FLOODZONE)</small>			
FIXTURE CALCULATIONS			
MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES, FBC, 2017, TABLE 2902.1			
TOTAL NUMBER OF OCCUPANTS: TENANT 1-4 (147+171+80+42) = 440 OCCUPANTS ASSEMBLY - NUMBER OF OCCUPANTS / (2) = 440 / (2) = 220 MALE/220 FEMALE			
CALSSIFICATION	OCCUPANCY	WATER CLOSETS	LAVATORIES
ASSEMBLY	A-2	220 M. / 75 = 2,9	220 M. / 200 = 1,1
		220 F. / 75 = 2,9	220 F. / 200 = 1,1
PROVIDED		MALE = 5	MALE = 4
		FEMALE = 5	FEMALE = 4
TOTAL NUMBER OF OCCUPANTS: 83 OCCUPANTS BUSINESS - NUMBER OF OCCUPANTS / (2) = 83 / (2) = 41.5 MALE/41.5 FEMALE			
CALSSIFICATION	OCCUPANCY	WATER CLOSETS	LAVATORIES
BUSINESS	B	42 M. / 75 = .56	42 M. / 200 = .21
		42 F. / 75 = .56	42 F. / 200 = .21
PROVIDED		MALE = 5	MALE = 5
		FEMALE = 5	FEMALE = 5
NOTICE OF ACCEPTANCE			
ALUMINUM WINDOWS - NOA 17-0926.18 CGI SERIES 238 ALUMINUM FIXED WINDOW ROOFING MEMBRANE - NOA 18-01319.02 TREMCO INC. VULKEM 350NF BARREL ROOF TILE - NOA 18-0220.12 SANTAFE TILE CORP. ARTISAN BLEND BARREL CLAY ROOF TILE STOREFRONT DOORS - FL#25671 SLIMACT SERIES OUTSWING GLASS DOOR			

INDEX OF DRAWINGS		REV. 1 BLDG. DEPT. COM.	REV. 2 DERM. WASA CO.
ARCHITECTURE			
SHEET NO.	DESCRIPTION		
A-000	COVER SHEET		
A-001	INDEX AND CODE INFO	●	●
A-002	SURVEY		
A-003	SITE PLAN	●	
A-004	ABBREVIATIONS AND SYMBOLS		
A-005	GENERAL NOTES		
A-006	ADA REQUIREMENTS / STANDARDS		
LS-101	GROUND FLOOR LIFE SAFETY PLAN	●	
LS-102	SECOND FLOOR LIFE SAFETY PLAN	●	
LS-103	THIRD FLOOR LIFE SAFETY PLAN	●	
AD-101	GROUND FLOOR SELECTED DEMOLITION FLOOR PLAN		
AD-102	SECOND FLOOR SELECTED DEMOLITION FLOOR PLAN		
AD-103	THIRD FLOOR SELECTED DEMOLITION FLOOR PLAN		
A-101	PROPOSED GROUND FLOOR PLAN	●	
A-102	PROPOSED SECOND FLOOR PLAN	●	
A-102B	PROPOSED SECOND FLOOR FRAMING PLAN	●	
A-103	PROPOSED THIRD FLOOR & MAIN ROOF PLAN	●	
A-104	PROPOSED UPPER ROOF PLAN		
A-105	PROPOSED GROUND FLOOR RCP		
A-106	PROPOSED SECOND FLOOR RCP		
A-200	ELEVATION KEY NOTES		
A-201	PROPOSED WEST AND NORTH ELEVATIONS		
A-202	PROPOSED EAST AND SOUTH ELEVATIONS	●	
A-203	PROPOSED COURTYARD SOUTH ELEVATIONS		
A-204	PROPOSED COURTYARD WEST AND NORTH ELEVATIONS		
A-205	LOBBY SECTIONS	●	
A-206	LOBBY SECTIONS	●	
A-207	LOBBY SECTIONS	●	
A-300	ENLARGED FUTURE FLOOR PLANS		
A-301	ENLARGED LOBBY PLANS		
A-302	ENLARGED STAIR #3 PLANS & SECTIONS		
A-303	ENLARGED STAIR PLAN	●	
A-304	ENLARGED FUTURE RESTROOM PLANS & ELEVATIONS	●	
A-305	ENLARGED FUTURE RESTROOM PLANS & ELEVATIONS	●	
A-306	ENLARGED ELEVATOR PLANS & SECTIONS		
A-307	ELEVATOR DETAILS AND NOTES		
A-308	ENLARGED WINDOW ELEVATIONS		
A-309	WINDOW & EXTERIOR DOOR SCHEDULE		
A-310	WINDOW ENTRANCE SECTION AND DETAILS		
A-400	WALL TYPES		
A-401	DETAILS	●	
A-501	ISSUED CERTIFICATE OF APPROPRIATENESS		
A-502	ISSUED NOTICE OF ACCEPTANCE - BARREL ROOF TILE		
A-503	ISSUED NOTICE OF ACCEPTANCE - ALUMINUM WINDOWS		
A-504	ISSUED NOTICE OF ACCEPTANCE - ROOF MEMBRANE		

CIVIL	
C-100	PAVING GRADING AND DRAINAGE PLAN

STRUCTURE	
S-1	FOUNDATION AND GROUND FLOOR PLAN
S-2	FLOOR FRAMING PLAN
S-3	ROOF & FLOOR FRAMING PLAN
S-3A	ROOF MOUNTED EQUIPMENT PLAN
S-4	ROOF FRAMING PLANS
S-5	GENERAL NOTES
S-5A	TYPICAL DETAILS
S-5B	GENERAL STRUCTURAL NOTES
S-5C	STEEL JOIST NOTES
S-6	SECTIONS & DETAILS
S-7	SECTIONS & DETAILS
S-8	SECTIONS & DETAILS
S-9	SECTIONS & DETAILS
S-10	SECTIONS & DETAILS
S-11	SECTIONS & DETAILS
S-12	SECTIONS & DETAILS
S-13	SECTIONS & DETAILS
S-14	SECTIONS & DETAILS
S-15	SECTIONS & DETAILS
S-16	SECTIONS & DETAILS
S-17	SECTIONS & DETAILS
S-18	SECTIONS & DETAILS
S-19	SECTIONS & DETAILS
S-20	ELEVATIONS
S-21	SECTIONS & DETAILS
S-22	SECTIONS & DETAILS

MECHANICAL	
M-101	MECHANICAL GROUND FLOOR PLAN
M-102	MECHANICAL SECOND FLOOR PLAN
M-103	MECHANICAL THIRD FLOOR PLAN
M-104	MECHANICAL ROOF PLAN
M-201	MECHANICAL SCHEDULES
M-202	MECHANICAL DETAILS
M-203	MECHANICAL DETAILS

PLUMBING	
P-101	PLUMBING GROUND FLOOR PLAN
P-102	PLUMBING SECOND AND THIRD FLOOR PLAN
P-103	PLUMBING ROOF PLAN
P-201	PLUMBING SANITARY AND GAS ISOMETRICS
P-202	PLUMBING WATER ISOMETRICS
P-203	STORM DRAINAGE ISOMETRICS
P-301	PLUMBING CALCULATIONS
P-401	PLUMBING NOTES AND DETAILS

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E-101	ELECTRICAL GROUND FLOOR PLAN
E-102	ELECTRICAL SECOND FLOOR PLAN
E-103	ELECTRICAL ROOF PLAN
E-201	ELECTRICAL RISER DIAGRAM
E-202	ELECTRICAL NOTES AND LEGEND

FIRE ALARM	
FA-101	FIRE ALARM GROUND FLOOR PLAN
FA-102	FIRE ALARM SECOND & THIRD FLOOR PLAN
FA-200	FIRE ALARM NOTES AND DETAILS



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REHABILITATION AND  
RESTORATION**  
**112 ALHAMBRA CIRCLE,  
CORAL GABLES, FL 33134**

**PERMIT  
SUBMITTAL**

REVISIONS	DATE
△ BLDG. DEPT. COMMENTS	05/11/2020
△ DERM. & WASA COMMENTS	05/20/2020

PROJECT NUMBER  
**2019-008**

DATE  
02/06/2020

SHEET TITLE  
INDEX AND CODE INFO

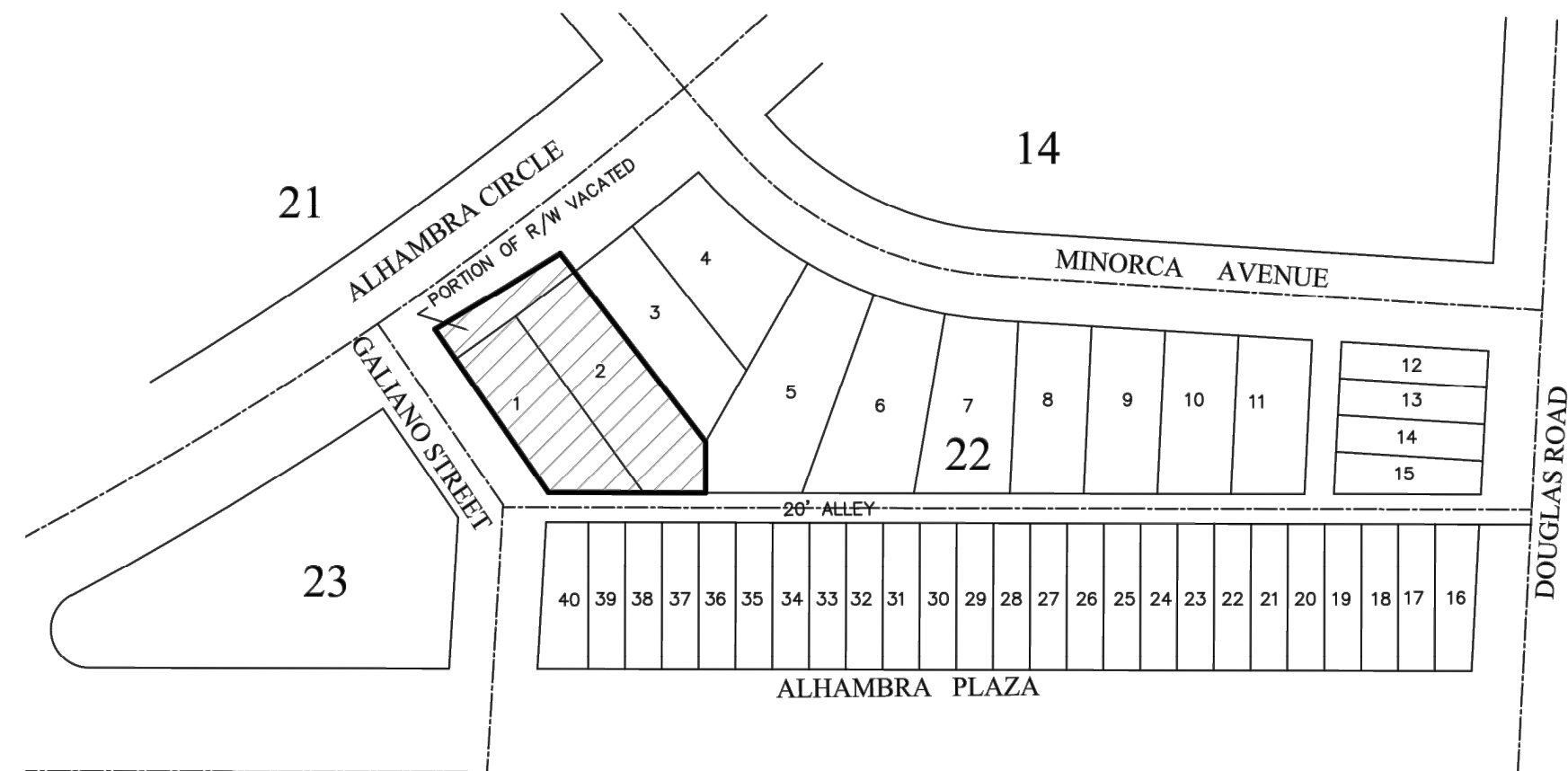
DRAWN BY  
L. R.

CHECKED BY  
J. S. K.

SHEET NUMBER  
**A-001**

# BOUNDARY SURVEY

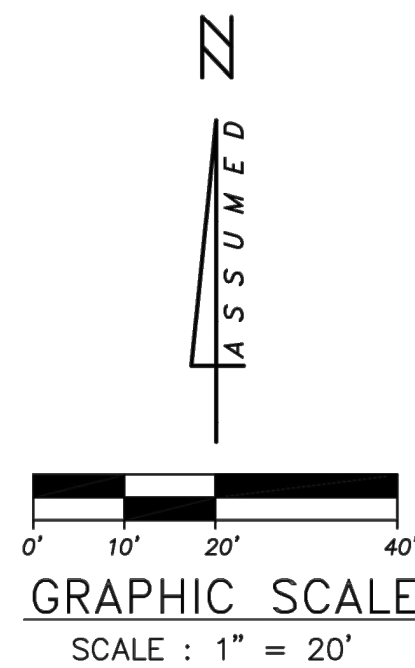
of  
112 ALHAMBRA CIRCLE, CORAL GABLES,  
MIAMI-DADE COUNTY, FLORIDA 33134  
for  
BURTONHERSH



LOCATION SKETCH  
NOT TO SCALE

## ABBREVIATIONS

A	Arc Length
A/C	Air Conditioner Pad
ASPH.	Asphalt
B.M.	Benchmark
C.B.S.	Concrete Block Structure
C.G.	Curb & Gutter
C/L	Center Line
C.L.F.	Chain Link Fence
CONC.	Concrete
C.S.	Concrete Slab
D.W.Y.	Driveway
E.T.P.	Electric Transformer Pad
F.F.E.	Finished Floor Elevation
F.I.P.	Found Iron Pipe
F.N.D.	Found Nail & Disc
F.R.	Found Rebar
I.D.	Identification
INV.	Inverts
L.F.E.	Lowest Floor Elevation
M/L	Monument Line
P.B.	Plat Book
P.C.P.	Permanent Control Point
P.D.	Plat
P/L	Property Line
P.O.B.	Point of Beginning
P.O.C.	Point of Commencement
P.R.M.	Permanent Reference Monument
R/W	Right-of-Way Line
SWK.	Sidewalk
T.B.M.	Temporary Benchmark
V.G.	Valley Gutter
CH	Chord Distance
CH.BR.	Chord Bearing
C	Calculated
M	Measured
D	Record Deed
Temp.	Temporary



## TREE LEGEND

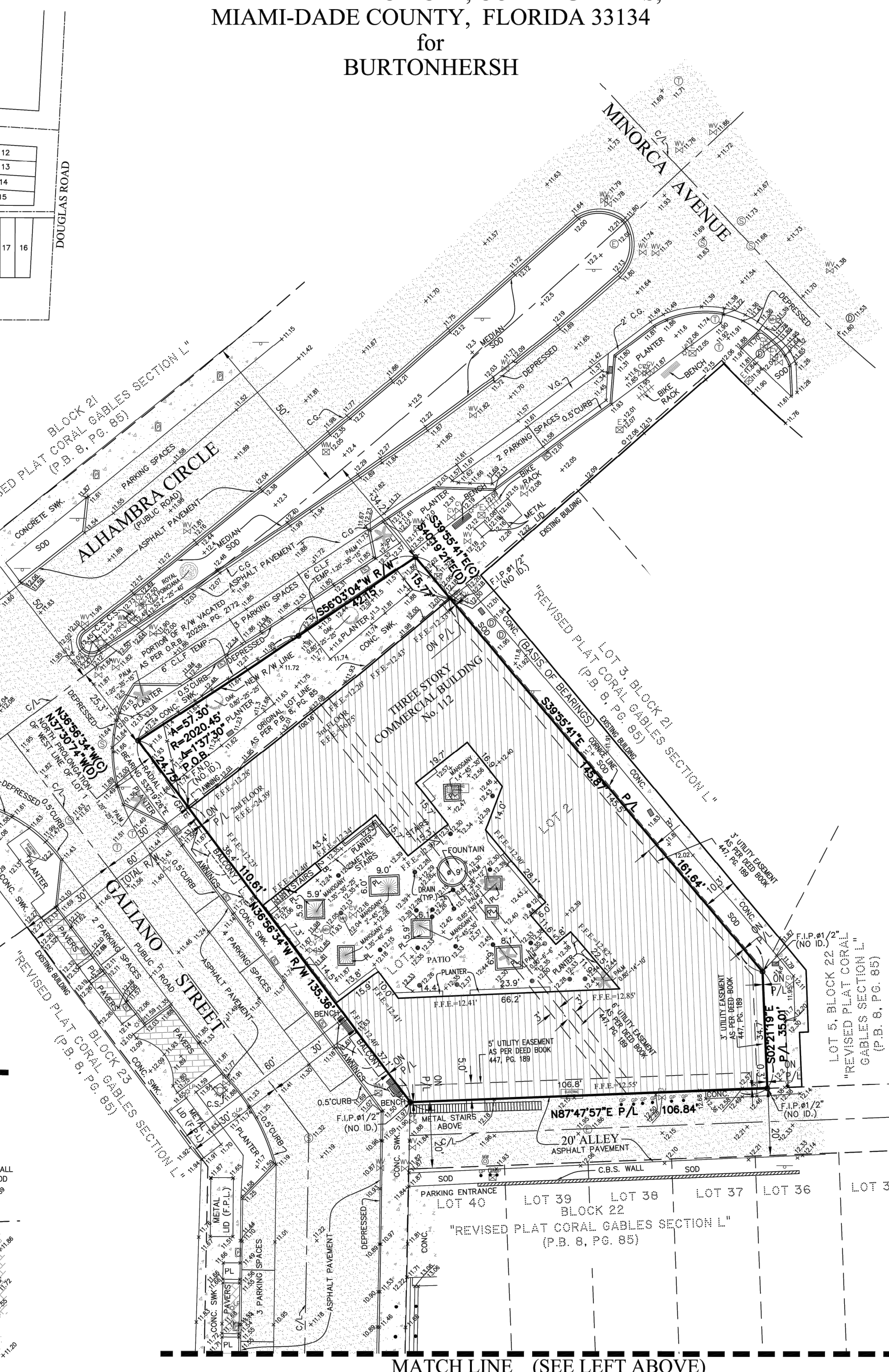
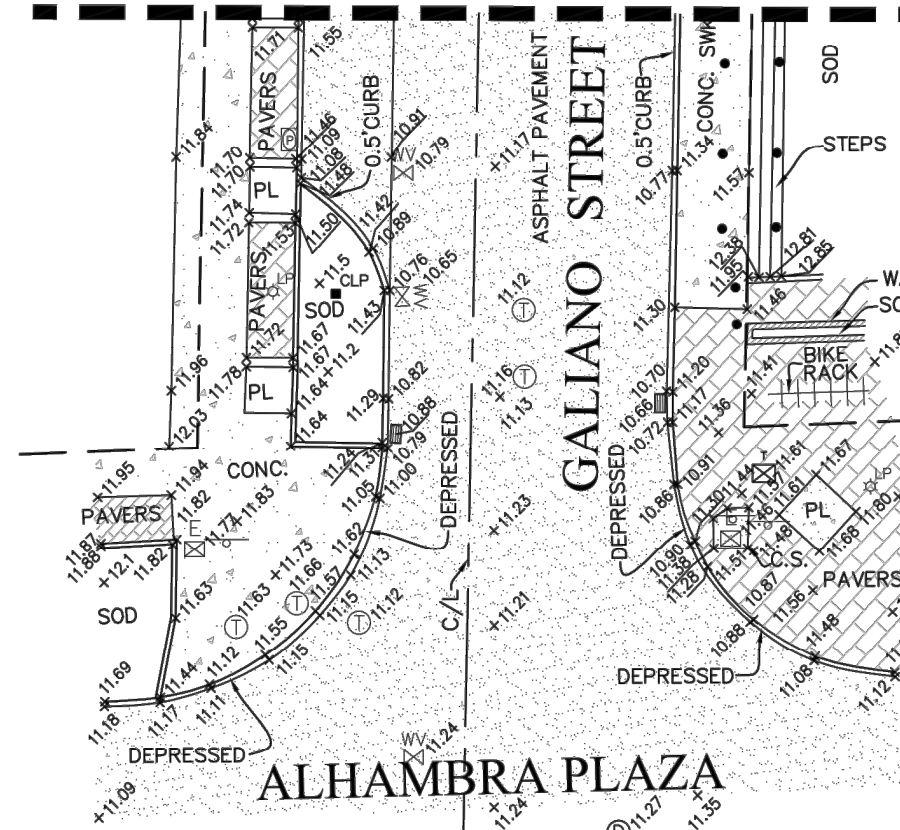
SYMBOL	COMMON NAME
	Tree (Species unknown)
	Palm Tree
	Mahogany
	Oak Tree
	Royal Poinciana

\* Tree types are determined to the best of our ability and should be confirmed by botanist or a trained specialist.

## LEGEND

	Concrete Light Pole
	Metal Light Pole
	Guy Wire
	Utility Power Pole
	Fire Hydrant
	Water Meter
	Electric Box
	Telephone Box
	Sewer Manhole
	Overhead Utility Lines
	Light Pole
	Gas Valve
	Water Valve
	Water Manhole
	Telephone Manhole
	Monitoring Well
	Parking Meter
	Chain Link Fence
	Unknown Manhole
	Sewer Valve
	Mail Box
	Spot Elevation
	Temporary Benchmark
	Diameter-Height-Spread
	Right-of-Way Lines
	Property Corner
	Traffic Sign
	Catch Basin
	Drainage Manhole
	Wood Fence
	Iron Fence
	C.B.S. Wall
	Clean Out
	Guard Pole
	Back Flow Preventer
	Irrigation Control Valve
	Drain

MATCH LINE (SEE RIGHT BELOW)



MATCH LINE (SEE LEFT ABOVE)

## SURVEYOR'S NOTES:

### 1. MAP OF BOUNDARY SURVEY:

Field Survey was completed on: October 15th, 2018.

### 2. LEGAL DESCRIPTION:

Lots 1 and 2, Block 22, "REVISED PLAT OF CORAL GABLES SECTION L", according to the Plat thereof, as recorded in Plat Book 8, at Page 85, of the Public Records of Miami-Dade County, Florida.

Together with:

That portion of vacated Right of Way of Alhambra Circle adjacent to Lot 1 and Lot 2, of Block 22, as shown on the REVISED PLAT OF CORAL GABLES SECTION L, according to the Plat thereof, as recorded in Plat Book 8, at Page 85, of the Public Records of Miami-Dade County, Florida, being more particularly described as follows:

Beginning at the Northwest corner of Lot 1, Block 22, of said REVISED PLAT OF CORAL GABLES SECTION L; thence N37°30'74\"/>

Containing 17,118 Square Feet or 0.39 Acres more or less by calculations.

### 3. SOURCES OF DATA:

#### AS TO VERTICAL CONTROL:

By scaled determination the subject property lies in Flood Zone X, as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120639, Map No. 12086C0294, Suffix L, Firm Index Date: 09-11-2009, Firm Panel Effective/Revised Date: 09-11-2009.

An accurate Zone determination should be made by the preparer of the map, the Federal Emergency Management Agency, or the Local Government Agency having jurisdiction over such matters prior to any judgments being made from the Zone as noted. The referenced Federal Emergency Management Agency Map states in the notes to user that "this map is for insurance purposes only". The vertical control element of this survey was derived from the National Geodetic Vertical Datum 1929 (N.G.V.D.1929).

#### Benchmarks used:

City of Coral Gables Benchmark No. 518 Elevation=11.16'  
Location:  
NW COR DOUGLAS RD / MADEIRA AVE= PKBW SET CTR SWK DOUGLAS ROW EXTENDED

City of Coral Gables Benchmark No. 519 Elevation=10.83'  
Location:  
NW COR ALHAMBRA CIRCLE / MAJORCA AVE= PKBW SET COR BSW.

#### AS TO HORIZONTAL CONTROL:

North Arrow and Bearings refer to an assumed value of S39°55'41\"/>

### 5. ACCURACY:

The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.

### 4. LIMITATIONS:

Since no other information other than what is cited in the Sources of Data was furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of Miami-Dade County, or the records of any other public and private entities as their jurisdictions may appear. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear in public records. No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon. This notice is required by the "Standards of Practice for Land Surveying in the State of Florida," pursuant to Rule 5J-17 of the Florida Administrative Code.

### CERTIFY TO:

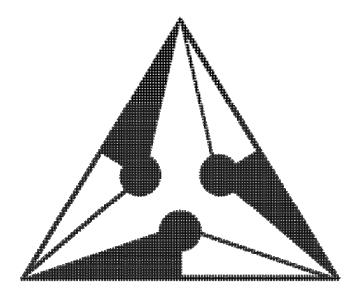
## SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: That the Boundary Survey of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction. Further, there are no above ground encroachments unless shown. This survey meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers, in Chapter 5J-17, Florida Administrative Code, pursuant to section 472.027 Florida Statutes. Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting the property. Location and identification of utilities adjacent to the property were not secured as such information was not requested. Ownership is subject to opinion of title.

**J. Bonfill & Associates, Inc.**  
Florida Certificate of Authorization Number LB 3398

By: Oria Jannet Suarez, P.S.M.  
Professional Surveyor and Mapper No. 6781  
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.



**J. Bonfill & Associates, Inc.**  
REGISTERED LAND SURVEYORS & MAPPERS  
Florida Certificate of Authorization LB3398  
7100 S.W. 99th Avenue Suite 104  
Miami, Florida 33173 (305) 598-8383

BOUNDARY SURVEY  
of  
112 ALHAMBRA CIRCLE, CORAL GABLES,  
MIAMI-DADE COUNTY, FLORIDA 33134  
for  
BURTONHERSH

REVISIONS	BY
ADD TREES ONLY (09-25-2019)	M.P.

Proj:	10-0070
Job:	18-0267
Date:	10-17-2018
Drawn:	G.P., J.S., C.B., M.R., J.B.
Checked:	J.S.
Scale:	AS SHOWN
Field Book:	ON FILE



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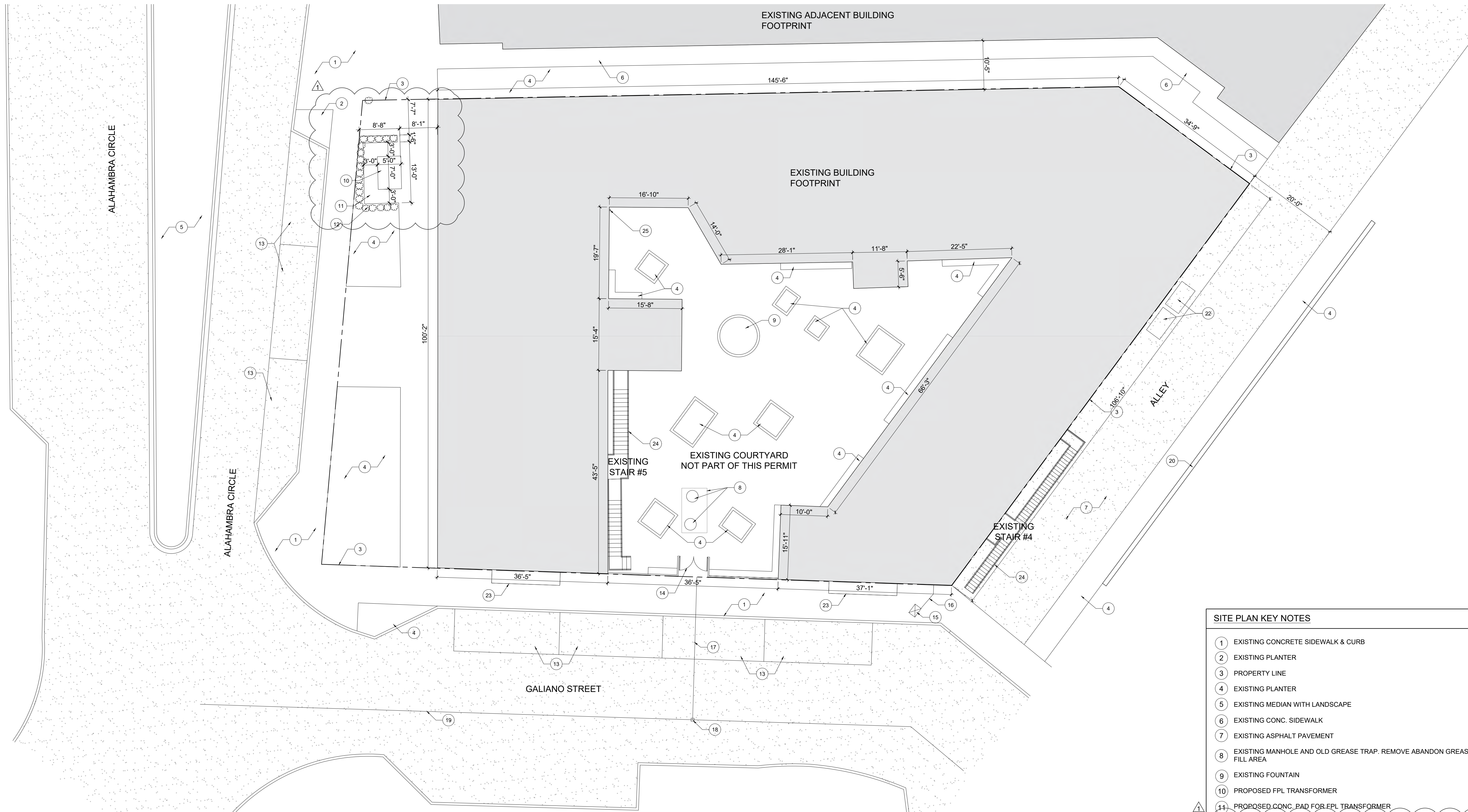


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 CORAL GABLES, FL 33134

**PERMIT  
 SUBMITTAL**

REVISIONS	DATE
△ BLDG. DEPT. COMMENTS	05/11/2020

PROJECT NUMBER	<b>2019-008</b>
DATE	02/06/2020
SHEET TITLE	SITE PLAN
DRAWN BY	L. R.
CHECKED BY	J. S. K.
SHEET NUMBER	<b>A-003</b>



LANDSCAPE NOTE: LANDSCAPE AND IRRIGATION PLANS WILL BE PROVIDED AS PART OF A SEPARATE PERMIT.

LANDSCAPE INFORMATION		
OPEN SPACE	REQUIRED	PROVIDED
SQUARE FEET OF REQUIRED OPEN SPACE LOT AREA = 14,000 SF X 10% = 1,400 SF MAX OF 75% OF COURTYARD SF ALLOWED IN COUNT (COURTYARD 3950 SF / 75 = 2,962 SF)	1,400 SF TOTAL	3,859 SF TOTAL
SHADE TREES	REQUIRED	PROVIDED
MIN. (28) LARGE SHADE TREES PER ACRE OF LOT AREA = .32 ACRES X 28 = 9	9 LG SHADE TREES	10 LG SHADE TREES
LARGE SHADE TREES MIN PLANTING HEIGHT 12' WITH 2" CALIPER MIN MATURE HEIGHT 25' WITH MIN 15' CROWN OR MED SHADE TREE MAY BE SUBSTITUTED AT 3:1 RATIO		
SHRUBS	REQUIRED	PROVIDED
MIN. (224) SHRUBS PER ACRE OF LOT AREA = .32 ACRES X 224 = 71	71 SHRUBS	80 SHRUBS
SHRUBS MIN PLANTING HEIGHT 18" WITH AN AVERAGE SPACING OF 24" MIN OF 30% OF SHRUBS SHALL BE NATIVE		

ZONING INFORMATION		
PROJECT ADDRESS:	112 ALHAMBRA CIRCLE CORAL GABLES, FL 33134	
ZONING DISTRICT:	C - COMMERCIAL DISTRICT (HISTORICAL BUILDING)	
LAND USE:	COMMERCIAL HIGH RISE INTENSITY	
PRESENT OCCUPANCY:	B- BUSINESS OFFICE OCCUPANCY	
PROPOSED OCCUPANCY:	RETAIL, (M) MERCANTILE	
LOT SIZE:	14,000 SF	
SITE SPECIFIC ZONING REGULATIONS A-64 SECTION L		
	REQUIRED	PROVIDED
FAR	1.00 MAX FAR	.82
FRONT SETBACK:	3'-0" MIN.	16'-0"
SIDE SETBACK:	0'-0"	0'-0"
REAR SETBACK:	0'-0"	0'-0"
MAX. BUILDING HEIGHT	150' OR 13 STORIES - MAX	35'-3" 3 STORIES

1 G-002 SITE PLAN SCALE: 3/32"=1'-0"

- SITE PLAN KEY NOTES**
- EXISTING CONCRETE SIDEWALK & CURB
  - EXISTING PLANTER
  - PROPERTY LINE
  - EXISTING PLANTER
  - EXISTING MEDIAN WITH LANDSCAPE
  - EXISTING CONC. SIDEWALK
  - EXISTING ASPHALT PAVEMENT
  - EXISTING MANHOLE AND OLD GREASE TRAP. REMOVE ABANDON GREASE TRAP AND FILL AREA
  - EXISTING FOUNTAIN
  - PROPOSED FPL TRANSFORMER
  - PROPOSED CONC. PAD FOR FPL TRANSFORMER
  - PROPOSED PODOCARPUS HEDGES TO SCREEN FPL TRANSFORMER
  - EXISTING PARKING SPACES
  - FUTURE ENTRANCE GATE
  - EXISTING WATER METER AND SERVICE LINE GC TO VERIFY SIZE AND LOCATION OF WATER SERVICE LINE
  - 3" CW INTO THE BUILDING SEE PLUMBING PLANS
  - 6" SEWER LINE FROM EXISTING BUILDING SEE PLUMBING PLANS
  - LATERAL TIE-IN TO EXISTING SEWER LINE SEE PLUMBING PLANS
  - EXISTING SEWER LINE
  - EXISTING CBS WALL
  - EXISTING 8" DRAIN
  - EXISTING DUMPSTER LOCATION TO REMAIN
  - EXISTING HISTORIC BALCONY TO REMAIN AND BE RESTORED AS PER H.P.B. C.O.A. (SP) 2019-015
  - EXISTING STAIRCASE TO BE RESTORED AS PER H.P.B. C.O.A. (SP) 2019-015
  - LOCATION OF FUTURE IRRIGATION CONTROLS



## 1. GENERAL DESCRIPTION OF SCOPE OF WORK:

THE WORK DESCRIBED HEREIN INVOLVES THE REHABILITATION AND RESTORATION OF THE LA PALMA LOCATED AT 112 ALHAMBRA CIRCLE, CORAL GABLES, MIAMI, FL, 33432. UP TO AND ACCORDANCE WITH A GRAY SHELL STRUCTURE. THE CONTRACTOR SHALL CORRELATE ALL WORK DESCRIBED ON THE DRAWINGS WITH THE ACTUAL CONDITIONS IN THE FIELD. CONTRACTORS SHALL NOTIFY THE PROJECT MANAGER IN WRITING OF ANY SITUATION WHICH ENDANGERS THE INTEGRITY OF THE BUILDING OR PREVENTS HIM/HER FROM SUCCESSFULLY ATTAINING THE DESIGN INTENT.

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INQUIRE, COORDINATE AND RESEARCH WITH THE BUILDING DEPARTMENT HAVING JURISDICTION ON THE PROJECT, THE NEED OF OBTAINING SEPARATE PERMITS BY TRADES, NEEDED TO COMPLETE THE DESCRIBED WORK.
- THE CONTRACTOR AGREES THAT HE, HIS MANAGEMENT TEAM (ESTIMATOR, PROJECT MANAGER, PROJECT ENGINEERS, SUPERINTENDENTS, AND SUBCONTRACTORS AND PRINCIPAL SUPERVISORY PERSONNEL) HAS VISITED THE SITE, EXAMINED THE SITE AND THE LOCATION OF THE PROPOSED WORK, AND EXISTING IMPROVEMENTS, AND CONDITIONS AND PHYSICAL CHARACTERISTICS OF THE JOB. THE CONTRACTOR(S) SHALL INCLUDE IN HIS BUDGET ALL COSTS ASSOCIATED WITH, AND PERTAINING TO, THE SATISFACTORY COMPLETION OF THE PROJECT AND THE COMPLETE INSTALLATION OF ALL ASSOCIATED SYSTEMS, INCLUDING THE REMOVAL AND RELOCATION OF ANY AND ALL OBJECTS OR OBSTRUCTIONS THAT MAY BE ENCOUNTERED IN THE COMPLETION OF THE WORK THAT MAY NOT HAVE BEEN PREVIOUSLY DOCUMENTED IN THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING THE REQUIREMENTS OF AND ADHERING TO ALL NOISE ORDINANCES OR OTHER ORDINANCES THAT MAY RESTRICT THE ACTIVITIES OF THE WORK ON THIS JOB.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF WORK. THE REQUESTING AND COORDINATION OF ALL INSPECTIONS AND APPROVAL OF ALL ASPECTS OF HIS WORK, AND OBTAINING ALL TEMPORARY AND FINAL CERTIFICATES OF OCCUPANCY.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF ALL APPLICABLE CODES AND STANDARDS RELEVANT TO THIS PROJECT ON SITE AT ALL TIMES, AND SHALL COMPLY WITH ALL REQUIREMENTS OF THE CURRENT FLORIDA BUILDING CODE, AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS, AND LAWS.
- THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND CURRENT SET OF PERMIT DRAWINGS ON-SITE AT ALL TIMES ALONG WITH ALL REVISIONS TO THE PERMIT INCLUDING PERMITTED SHOP DRAWINGS AND CALCULATIONS. SAID DRAWINGS ALONG WITH ALL INSPECTION LOGS, AND PERMITS SHOULD BE MAINTAINED IN AN EASILY ACCESSIBLE SPACE FOR THE OWNER, ARCHITECT, DESIGNERS, ENGINEERS, AND BUILDING OFFICIALS TO REVIEW.
- THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, PERMIT DOCUMENTS, DIMENSIONS, ELEVATIONS, JOB-SITE CONDITIONS, AND COORDINATE WITH FIELD DIMENSIONS, AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL MAKE NOTE OF ANY AND ALL DISCREPANCIES THAT PREVENT THE INSTALLATION OF ANY PART OF THE CONSTRUCTION TO ACHIEVE THE CHARACTER AND APPEARANCE DEFINED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL REPORT ANY AND ALL DISCREPANCIES REGARDLESS OF THEIR NATURE TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK, ALLOWING SUFFICIENT TIME FOR THE ARCHITECT AND ENGINEERS TO REASONABLY ASSESS THE CONDITION AND DETERMINE AN APPROPRIATE SOLUTION.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A CONSTRUCTION SCHEDULE FROM BEGINNING TO SUBSTANTIAL COMPLETION BEFORE STARTING WITH CONSTRUCTION. SUCH A SCHEDULE SHALL BE UPDATED WEEKLY AND COPIES FILED WITH THE OWNER AND ARCHITECT.
- ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE DRAWINGS. NO "CHANGE ORDERS" FOR MISSED ITEMS IN OTHER SECTIONS OF THE WORK WILL BE PERMITTED. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN A FIRST CLASS WORKMANSHIP LIKE MANNER.
- THE ARCHITECT AND OR ENGINEERS(S) SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL OR CHARGE OVER THE CONSTRUCTION MEANS, METHODS, SEQUENCES, OR PROCEDURES OR FOR THE SAFETY PRECAUTION PROGRAMS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGES OR INJURIES DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE AND LEGALLY DISCARD IN A TIMELY MANNER ALL CONSTRUCTION DEBRIS THAT WILL NOT BE REUSED OR RELOCATED ELSEWHERE IN THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS, EQUIPMENT, AND APPLIANCES THAT ARE TO BE USED. THE CONTRACTOR SHALL PROVIDE PROTECTION FROM VANDALISM, THEFT, WEATHER, DUST, NOISE, AND ANY OTHER SOURCE OF DAMAGE OR LOSS.
- THE CONTRACTOR SHALL PREPARE AND MAINTAIN A HURRICANE/WINDSTORM PREPAREDNESS PLAN. THE CONTRACTOR SHALL MAINTAIN SAID PLAN IN A LOCATION THAT IS READILY ACCESSIBLE FOR REVIEW BY THE OWNER AND OR ARCHITECT.
  - THE HURRICANE PLAN SHALL INCLUDE A LIST OF CONTACTS IN THE EVENT THAT A HURRICANE WATCH IS POSTED AND WILL ALSO ADDRESS WHAT MEASURES ARE TO BE TAKEN TO SECURE THE CONSTRUCTION SITE IN THE EVENT OF NOTIFICATION BY THE NATIONAL WEATHER SERVICE OF AN IMPENDING HURRICANE OR WINDSTORM THAT MAY THREATEN THE JOB.
  - THE HURRICANE PLAN SHALL ADDRESS HOW THE CONTRACTOR WILL MOBILIZE THE PROJECT FOLLOWING A WIND OR HURRICANE EVENT AND DOCUMENTATION OF DAMAGES AND HOW REPAIRS WILL BE HANDLED IN THE EVENT OF A LOSS.
- IN THE EVENT OF DAMAGES TO THE BUILDING WHICH REQUIRE ASSESSMENT FOR AN INSURANCE CLAIM, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER OF THE CIRCUMSTANCES SURROUNDING THE LOSS, DOCUMENT DAMAGES, DETERMINE AND PRICE REPAIRS, DETERMINE IMPACT TO THE PROJECT SCHEDULE, SUBMIT ALL INFORMATION TO THE OWNER WITHIN 72 HOURS OF A LOSS.
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AT THE TIME THE WORK IS PERFORMED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR THE CONTRACTOR'S FAILURE TO CORRECT CONFLICTING FIELD CONDITIONS AFTER THE WORK HAS BEEN COMPLETED.
- THE CONTRACTOR SHALL WORK AND RETAIN COOPERATION WITH THE OWNER AND TENANTS IN SCHEDULING THEIR WORK IN ORDER TO CAUSE THE LEAST INCONVENIENCE TO PERSONNEL AND PROPERTY.
- THE CONTRACTOR SHALL COORDINATE ALL REQUIRED TESTS. PAYMENT OF ALL TEST SHALL BE AS INDICATED IN THE AGREEMENT BETWEEN THE OWNER/CONTRACTOR AND/OR GENERAL CONDITIONS. IF NOT SPECIFICALLY DEFINED, THESE COSTS SHALL BE BORNE BY THE CONTRACTOR.
- THE ARCHITECT AND ENGINEERS WILL NOT PROVIDE TO THE CONTRACTOR OR HIS SUBCONTRACTORS ANY DISKS OR ELECTRONIC MEDIA PREVIOUSLY CURRENTLY USED IN THE PREPARATION OF THE CONSTRUCTION DRAWINGS. DO NOT REPRODUCE THE DRAWINGS FOR USE AS SHOP DRAWINGS. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL RESOLVE QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS WITH THE ARCHITECT/ENGINEER. DETAILS LABELED AS "TYPICAL DETAILS, OR TYP." ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED OR EXISTING AT THE SITE. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEVED IN AT EACH LOCATION.
- IF A THRESHOLD ENGINEER IS PRESENT ON SITE AND NOT THE ENGINEER OF RECORD, ALL QUESTIONS AND DIRECTIVE MUST BE ADDRESSED WITH THE ENGINEER OF RECORD.
- DO NOT CUT OR DRILL ANY STRUCTURAL MEMBER OTHER THAN DESCRIBED ON THE STRUCTURAL DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
- ANY TAMPERING SUCH AS PENETRATION, CORE DRILLING, SAW CUTTING OR GRINDING DEEPER THAN 1/2" THROUGH THE T/C CONCRETE FLOOR AND ROOF SHALL REQUIRE APPROPRIATE SCANNING BY A LABORATORY APPROVED BY MDAD. COPIES OF THE RESULTS MUST BE FILED WITH THE ARCHITECT OF RECORD. THE PURPOSE OF THE SCANNING OR X-RAY IS TO AVOID DAMAGES TO STRUCTURAL, MECHANICAL, ELECTRICAL OR PLUMBING.

24.1. CUT ALL NECESSARY OPENINGS FOR ANY REQUIRED PURPOSE AND REPAIR WHERE NECESSARY AFTER CUTTING. INSOFAR AS POSSIBLE, ALL PROTRUSIONS, MARKS, CRACKS OR OTHER EVIDENCE OF A DEFICIENT OR DAMAGED CONDITION SHALL BE ELIMINATED UNLESS SPECIFICALLY NOTED OTHERWISE. ANY PARTS WHICH ARE SPLIT, CRACKED, CHIPPED, SPALLED, BROKEN, MISSING OR OUT OF LINE OR ADJUSTMENT, MECHANICALLY OR STRUCTURALLY UNSAFE OR UNSOUND, BENT, TORN, OR OTHERWISE DEFICIENT OR INJURED IN ANY MANNER, SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER AND REMOVED, REPLACED, RESTORED, OR SATISFACTORILY REPAIRED AS DIRECTED BY THE ARCHITECT/ENGINEER.

## 25. CLEANING:

- PROVIDE CLEANING AS INDICATED IN THE CONTRACT FOR CONSTRUCTION BETWEEN THE OWNER/CONTRACTOR.
- THOROUGHLY CLEAN THE PREMISES TO MAKE READY FOR OPENING. CLEAN ALL SURFACES INTERIOR AND EXTERIOR, FREE OF ALL DIRT AND REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES INCLUDING: A) POLISHING ALL HARDWARE B) THOROUGHLY CLEANING ALL CABINETS INSIDE AND OUT; C) CLEANING SHELVES INSIDE AND OUT D) ALL MIRRORS, GLASS STOREFRONTS, AND TERRACES; WINDOWS AND METAL FRAMING TO BE CLEANED INSIDE AND OUT, WHERE POSSIBLE E) REMOVE ANY SPOTS FROM AND CLEAN ALL CARPETING F) CLEAN STORE FINISHES AND FLOORING THOROUGHLY INCLUDING BASES G) CLEAN OR TOUCHUP ALL PAINTED SURFACES WHICH ARE SOILED.
- IN GENERAL, CONTRACTOR IS TO DELIVER TO THE OWNER A CLEAN BUILDING PRIOR TO OPENING TO THE PUBLIC.

## 26. USE OF DRAWINGS:

- THESE DRAWINGS ARE BEING PREPARED FOR THE PURPOSE OF PERMITTING. THESE DRAWINGS ARE NOT TO BE USED FOR MAINTENANCE PURPOSES AS ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN ON THESE DRAWINGS DUE TO CHANGE ORDERS, ALTERATIONS BY OTHERS, FIELD CONDITIONS, ETC
- THESE DRAWINGS AND RELATED DOCUMENTS DETAIL WORK FOR THIS SPECIFIC PROJECT INDICATED BY NUMBER AND LOCATION. THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF JSK ARCHITECTURAL GROUP, AND MAY NOT BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT WRITTEN PERMISSION OF JSK ARCHITECTURAL GROUP.

## 27. WALL DIMENSIONS:

- AT EXTERIOR WALL DIMENSIONS ARE FROM FINISHED WALL. ALL EXTERIOR WALL DIMENSIONS ARE TO FACES OF BLOCK WALLS.

## 28. WALL SECTIONS:

- ALL STUDS ARE TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED. PLEASE REFER TO WALL SECTIONS AND WALL TYPES FOR DETAILED WALL CONSTRUCTION INFORMATION.

## 29. OWNER FURNISHED MATERIALS:

- FOR ANY MATERIAL FURNISHED BY THE OWNER WHICH ARE TO BE INSTALLED BY THE CONTRACTOR (F.O.I.C.) ITEMS: UNPACK AND VERIFY THE QUANTITY AND CONDITION; NOTIFY THE OWNER OF ANY DISCREPANCIES IN QUANTITY AND DAMAGES WITHIN TWELVE HOURS (12) OF RECEIVING SHIPMENT. FAILURE TO DO SO PLACES RESPONSIBILITY ON THE CONTRACTOR.
- ALL OWNER-FURNISHED MATERIAL, IF ANY, ARE TO BE FURNISHED TAILGATE DELIVERY ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE UNLOADING, EXAMINATION AND TRANSPORTATION OF OWNER FURNISHED MATERIALS FROM THE POINT OF OFF-LOADING TO THE JOB-SITE OR STORAGE AREA AS APPLICABLE. MATERIALS WILL BE DELIVERED TO THE CLOSEST AVAILABLE TRUCK DOCK OR ALTERNATE LOCATION AS DIRECTED BY THE OWNER.

## 30. SUBSTITUTIONS:

- SUBSTITUTION OF MATERIALS OR EQUIPMENT OTHER THAN SPECIFIED SHALL BE PERMITTED UPON WRITTEN AUTHORIZATION FROM THE ARCHITECT AND OWNER.
- THE CONTRACTOR SHALL BEAR THE BURDEN OF PROOF THAT SUCH SUBSTITUTION IS EQUAL TO SPECIFIED ITEM AND CAN BE OBTAINED IN A TIMELY MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBSTITUTE ITEMS WITH ALL ASSOCIATED/IMPACTED TRADES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN COSTS ASSOCIATED WITH A SUBSTITUTION.

## 31. PERMANENT FIRE EXTINGUISHERS:

- FIRE EXTINGUISHERS OF THE TYPE AND QUANTITY APPROVED BY THE LOCAL FIRE OFFICIAL AND THE OWNERS CASUALTY INSURER ARE TO BE PROVIDED PER NFPA 10 IN SURFACE MOUNTED OR RECESSED CABINETS DEPENDING ON LOCATIONS.
- THE CONTRACTOR SHALL PROVIDE SUFFICIENT ALLOWANCE TO INSTALL ALL REQUIRED FIRE EXTINGUISHERS.
- THE CONTRACTOR MAY NOT ALLOCATE ANY TEMPORARY CONSTRUCTION USE FIRE EXTINGUISHERS AS PERMANENT FIRE EXTINGUISHERS.

## 32. COATINGS:

- THE CONTRACTOR SHALL ENSURE THAT ALL STEEL IS PAINTED WITH ONE COAT OF PRIMER AND ONE COAT OF RUST INHIBITING PAINT PRIOR TO ENCLOSURE.
- ALL MATERIAL USED IN THE INTERIOR OF THE PROJECT MUST MEET THE FLAME SPREAD RATINGS PER NFPA 101 TABLE 10.2.2. CLASS "A" INTERIOR WALL & CEILING FINISH - FLAME SPREAD 0 - 25, SMOKE SPREAD 0 - 450. CLASS "I" INTERIOR FLOOR FINISH - CRITICAL RADIANT FLUX, NOT LES THAN 0.45 W/CM<sup>2</sup>. PROOF OF THESE FLAME RATINGS MUST BE INCLUDED AS A PART OF A FINAL INSPECTION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

## 33. FRAMING:

- GYPSUM WALLBOARD SYSTEMS SHALL BE INSTALLED IN ACCORDANCE W/ RECOMMENDATIONS OF:
  - ASTMC754 - INSTALLATION OF STEEL FRAMING MEMBERS TO RECEIVE SCREW ATTACHED GYPSUM WALLBOARD, BACKING BOARD OR WATER RESISTANT BACKING BOARD.
  - GA-216 - RECOMMENDED SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD.

## 34. COMPLETENESS OF WORK

- ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST.
- ALL WORK STARTED BY THE CONTRACTOR SHALL BE COMPLETED IN ITS ENTIRETY TO ITS FINAL COMPLETED STATE WHETHER COMPLETELY DEFINED IN THE DRAWINGS OR NOT.

## 35. AS BUILT DOCUMENTATION:

- THE GENERAL CONTRACTOR SHALL CREATE AN ONGOING RECORD SET OF DRAWINGS OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. HE/SHE SHALL NEATLY AND CORRECTLY ENTER

IN COLORED PENCIL, ANY DEVIATIONS ON THE DRAWINGS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. GENERAL CONTRACTOR SHALL SUBMIT TWO HARD COPIES AND TWO CAD COPIES ON CD FOR AS-BUILTS USING THE LATEST VERSION OF AUTOCAD. GENERAL CONTRACTOR SHALL ALSO SUBMIT TWO COPIES OF SHOP DRAWINGS AND MANUFACTURER WARRANTY FOR ALL MATERIALS USED IN THESE CONTRACT DRAWINGS ALONG WITH A ONE YEAR CONTRACTOR WARRANTY FOR MATERIAL AND LABOR FOR ALL WORK PERFORMED UNDER THIS CONTRACT. THE GENERAL CONTRACTOR AT THE COMPLETION OF THE PROJECT SHALL SUBMIT PUNCH LIST GENERATED BY THE GENERAL CONTRACTOR AND A/E OF RECORD AND REQUEST TO WALK THROUGH PREMISES AND TO SUBMIT THEIR PUNCH LIST, WHICH WILL BE ADDED TO THE PUNCH LIST GENERATED BY THE GENERAL CONTRACTOR AND A/E. THE DEFICIENCIES IN THE PUNCH LIST SHALL BE REPAIRED WITHIN A MONTH OF THE DATE OF THE INSPECTION.

## 36. FINISHED FLOORING:

- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACES FROM DAMAGE BY SUB-CONTRACTORS.
- THE CONTRACTOR SHALL EXAMINE THE FLOOR SLAB CONDITION TO DETERMINE TO WHAT EXTENT FLOOR PREPARATION, LEVELING, CHIP HAMMERING, ETC. WILL BE NECESSARY TO FURNISH A SMOOTH, LEVEL SUBSTRATE FOR THE PROPER INSTALLATION OF ALL FLOORING MATERIALS. THE COST OF SUCH WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UNEVEN SUBSTRATE WILL NOT BE ACCEPTED AS AN EXCUSE FOR POORLY INSTALLED FLOORING MATERIALS.
- ANTI-FRACTURE / CRACK ISOLATION / CRACK SUPPRESSION MEMBRANE SHALL BE USED IN CRACKS, CONTROL JOINT OR MOVEMENT JOINT LOCATIONS ON THE CONCRETE SURFACE PER "TILE COUNCIL OF NORTH AMERICA" (TCNA), LATEST EDITION, INSTALLATION GUIDELINES.

## 37. SHOP DRAWINGS:

- THE CONTRACTOR SHALL SUBMIT FOUR SETS OF STAMPED AND APPROVED SHOP DRAWINGS CALLED FOR ON THE CONTRACT DOCUMENTS AND/OR REQUIRED BY OWNER AND/OR BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO DELAY. DRAWINGS WILL NOT BE REVIEWED UNLESS APPROVED AND STAMPED BY SUBCONTRACTOR
- THE FOLLOWING IS A PARTIAL LIST OF SUBMITTALS REQUIRED:
  - METAL FABRICATIONS
  - DOORS AND HARDWARE
  - ALUMINUM STOREFRONT SYSTEMS
  - GLAZING ASSEMBLIES
  - WALL INSULATION
  - TILES, AND GROUT
  - VARNISH, SEALERS AND COATINGS
  - PAINTS
  - SEALANTS
  - SIGNAGE
  - PLUMBING FIXTURES AND DRAINS
  - EQUIPMENT AND CONTROLS
  - VIBRATION AND NOISE ISOLATION
  - GRILLES
  - LIGHTING FIXTURES
  - ELECTRICAL SWITCHES AND OUTLETS
  - ELECTRICAL PANELS

H.V.A.C.  
H.V.A.C.  
H.V.A.C.

## 38. PLENUM RETURN MATERIALS:

- ALL EXISTING EXPOSED MECHANICAL & PLUMBING PVC PIPES OR PIPES MADE OF COMBUSTIBLE MATERIAL IN PLENUM RETURN AREAS SHALL BE FIRE WAPPED OR ENCLOSED IN FIRE RATED GYPSUM ENCLOSURES SINCE THESE MAY BE HIDDEN CONDITIONS AT TIME OF BID. GENERAL CONTRACTOR SHALL SUBMIT AT TIME OF BID AN ALLOWANCE UNIT PRICE PER SF OR LF AS APPLICABLE TO COVER SUCH CONDITIONS.
- ALL NEW MECHANICAL, ELECTRICAL & PLUMBING PIPES AND/OR MATERIALS IN PLENUM RETURN AREAS SHALL BE CAST IRON, COPPER OR OF NON-COMBUSTIBLE MATERIAL PER CURRENT FIRE CODE. NO COMBUSTIBLE MATERIAL SHALL BE ALLOWED IN PLENUM RETURN AREAS. GENERAL CONTRACTOR TO COORDINATE WITH ALL SUB-CONTRACTORS AND ALL MEP DRAWINGS.

## 39. FINISHES:

- ALL FINISHES SHALL BE CLASS A FLAME SPREAD RATING. SUBMIT MANUFACTURER'S CERTIFICATE PROVING SUCH RATING.
- WITHIN THE PROJECT SITE AND AT ALL OTHER AFFECTED AREAS, CLEAN PATCH, AND RESTORE ALL FLOOR AND WALL SURFACES INDICATED TO REMAIN, TO A LIKE NEW CONDITION
- CARE SHALL BE USED TO SALVAGE AS MUCH OF THE EXISTING CONSTRUCTION AS POSSIBLE. REPLACE THAT WHICH IS DAMAGED OR IS NOT PRACTICALLY AND EFFICIENTLY SALVAGED.
- WITHIN THE LIMITS OF THE WORK, CONTRACTOR IS TO REPLACE ALL DAMAGED EXISTING FINISHES AND MATERIALS INDICATED TO MATCH EXISTING CONDITIONS, IF DURING THE COURSE OF CONSTRUCTION, THE GENERAL CONTRACTOR DAMAGES ANY ITEM, HE/SHE SHALL REPAIR OR REPLACE THE ITEM WITH SAME KIND AT NO COST TO THE OWNER.
- FILL, FLOAT AND/OR GRIND CONC. FLOOR SLAB AND/OR ORIGINAL FLOOR TILE PRIOR TO INSTALLATION OF NEW FLOOR FINISH, PROVIDING A LEVEL SUBSTRATE.
- ALL TILES SHOULD MEET OR EXCEED THE FOLLOWING REQUIREMENTS:

	TEST	INDUSTRY STANDARDS
ABRASIVE HARDNESS	ASTM C-501	>100
BOND STRENGTH	ASTM C-482	>50 PSI
BREAK STRENGTH	ASTM C-648	>250 LBS.
COEFFICIENT OF FRICTION (POLISHED - DRY)	ASTM C-1028	> .6 (> .8 SLOPED SURFACES)
COEFFICIENT OF FRICTION (POLISHED - WET)	ASTM C-1028	> .6 (> .8 SLOPED SURFACES)
WATER ABSORPTION	ASTM C-373	IMPERVIOUS
FACIAL DIMENSIONS RANGE	ASTM C-499	<1.5%
RANGE OF THICKNESS	ASTM C-499	<0.040
WARPAGE (ALONG EDGE)	ASTM C-485	<1.00%
WARPAGE (DIAGONAL)	ASTM C-485	<0.75%
WEDGING	ASTM C-502	<1.00%
FROST RESISTANCE	ASTM C-1026	RESISTANT
CHEMICAL RESISTANCE	ASTM C-650	UNAFFECTED
TOLERANCE RANGE IN COLOR DIFFERENCE	ASTM C-609	3.0 JUDDS

- HE WORK SHALL INCLUDE THE PROVISIONS OF ALL MATERIALS, CUTTING, EXTENSIONS, CONNECTIONS, PATCHING, PAINTING, REPAIRING, ADAPTING AND OTHER WORK INCIDENTAL THERETO, TOGETHER WITH SUCH TEMPORARY CONNECTIONS AS MAY BE REQUIRED. PROVIDE ALL NECESSARY SEALING OF PENETRATIONS LEFT FROM REMOVED EQUIPMENT OR PRODUCED BY THIS WORK, UNLESS OTHERWISE NOTED ALL WORK AND MATERIALS SHALL BE NEW AND PROVIDED BY THIS CONTRACTOR. THE WORK SHALL ALSO INCLUDE THE REMOVAL AND DISPOSAL OF MATERIALS FROM THE SITE ON A DAILY BASIC.

- ANY WORK NOT SHOWN ON THE DRAWINGS BUT CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN A PROPER MANNER SHALL BE PROVIDED BY CONTRACTOR WITHOUT ADDITIONAL CHARGE.

- WHERE PRESENT WORK IS DAMAGED IN THE EXECUTION OF THIS CONTRACT OR WHERE OPENINGS ARE LEFT DUE TO THE REMOVAL OF PIPES, EQUIPMENT OR APPARATUS, THE SAME SHALL BE REPAIRED OR

CLOSED UP TO CORRESPOND IN MATERIAL, QUALITY, SHAPE AND FINISH WITH THAT OF SIMILAR AND ADJOINING WORK AND FIRE RATING, UNLESS OTHERWISE CALLED FOR. WHERE DAMAGE IS NOT REPAIRABLE, NEW ITEMS OR EQUIPMENT SHALL BE PROVIDED AT CONTRACTOR'S EXPENSE.

- AS-BUILT CONDITIONS MAY NOT COINCIDE WITH THOSE INDICATED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION, BUT NOT LIMITED TO, ALL THE ITEMS LISTED FOR DEMOLITION IN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR DEMOLITION OF EXISTING WORK AS REQUIRED TO COMPLETE THE NEW WORK.

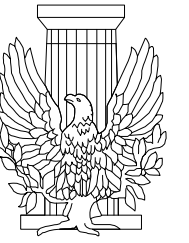
- GENERAL CONTRACTOR SHALL SUBMIT THE CERTIFICATE OF FINAL COMPLETION PRIOR TO FINAL PAYMENT BY THE OWNER.

- GENERAL CONTRACTOR SHALL SUBMIT A CERTIFICATE OF OCCUPANCY WHEN ISSUED.



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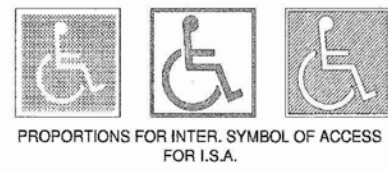
**LA PALMA  
REHABILITATION AND  
RESTORATION**  
**112 ALHAMBRA CIRCLE,  
CORAL GABLES, FL 33134**

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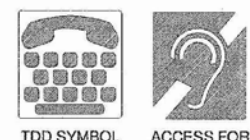
REVISIONS	DATE

PROJECT NUMBER  
**2019-008**  
DATE  
02/06/2020  
SHEET TITLE  
GENERAL NOTES  
DRAWN BY  
L. R.  
CHECKED BY  
J. S. K.

SHEET NUMBER  
**A-005**



PROPORTIONS FOR INTER-SYMBOL OF ACCESS FOR U.S.A.



TDD SYMBOL ACCESS FOR HEARINGLESS

INTERNATIONAL SYMBOL OF ACCESSIBILITY

LETTERS AND NUMBERS

- 1. LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 3/16" MINIMUM AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE (SEC. 703.3)
2. RAISED CHARACTERS OR SYMBOLS SHALL BE A MINIMUM OF 3/16" HIGH (SEC. 703.2.1)
3. PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE A MINIMUM OF 6" HEIGHT (SEC. 703.6)
4. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3.5 AND 1.1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1.5 AND 1:10 (SEC. 703.2.5)
5. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND (SEC. 703.5.1)
6. CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT IS MEASURED USING AN UPPER CASE O. LOWER CASE CHARACTERS ARE PERMITTED. FOR SIGNS SUSPENDED OR PROJECTED ABOVE THE FINISH FLOOR IN COMPLIANCE WITH SECTION 703.5.4, THE MINIMUM CHARACTER HEIGHT SHALL BE 3" (SEC. 703.5.5)
7. CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE REGULATIONS. DOTS SHALL BE 1/4" ON CENTERS IN EACH CELL WITH 3/8" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 3/16" ABOVE THE BACKGROUND. (SEC. 703.5.1)

SIGN LOCATIONS

- 8. ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
9. WHEN PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION 703.3. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT THE PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR (SEC. 703.4.2)
10. ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.
11. BUILDINGS REMODELED TO PROVIDE ACCESSIBLE SANITARY FACILITIES FOR PUBLIC USE SHALL HAVE INFORMATION POSTED IN THE LOBBY AS PART OF THE BUILDING DIRECTORY.

INTERNATIONAL SYMBOL OF ACCESSIBILITY

- 12. STANDARD USED TO IDENTIFY ACCESSIBLE FACILITIES.
13. WHITE FIGURE ON BLUE BACKGROUND, COLOR # 15090 ON FEDERAL STANDARD # 595A.
14. WHEN ENFORCING AGENCY DETERMINES, IF APPROPRIATE, SPECIAL DESIGNS AND COLORS MAY BE APPROVED.

BRAILLE

- 15. USE CONTRASTED GRADE 2 BRAILLE. DOTS TO BE 0.1 INCH ON CENTER IN EACH CELL.
16. 0.2 INCH SPACE BETWEEN CELLS.
17. DOTS RAISED MINIMUM 0.025 INCH ABOVE BACKGROUND.
18. SEE 4IT-4 FOR MORE INFO.

NOTE:

THESE DRAWINGS ARE REPRESENTATIVE IN NATURE AND INSTALLATION DETAILS.

- BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF CONSTRUCTION DOCUMENTS AND TO INCLUDE IN HIS COMPLETE WORKING SYSTEM.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON PLANS.

- CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

- CONTRACTOR SHALL VERIFY ANY AND ALL PREVAILING CODES WITH RESPECT TO HEIGHT FOR TOILET FIXTURES DIFFERENT THAN SHOWN ON DRAWINGS. NOTIFY THE ARCHITECT OR OWNER.

- ALL TOILET ROOMS FLOOR AND WALLS TO BE TILE, AS PER F.B.C.2017
GRAB BARS SHALL BE SUFFICIENT STRENGTH TOGETHER W/ ANCHORAGE TO SUSTAIN A DEAD WEIGHT OF 300 LBS. FOR (5) MIN. AT ANY POINT.

- STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES SHALL BE DOUBLE OR NOT LESS THAN 20 GA. AND A HORIZONTAL STUD SHALL BE SECURELY FASTENED TO NO LESS THAN TWO STUDS FOR THE ATTACHMENT OF EACH WALL HUNG PLUMBING FIXTURE. (AS 8" EXT. GRADE PLYWOOD BACKING SECURED TO AT LEAST TWO STUDS COULD BE USE AS ALTERNATE.)

VISUAL ALARMS. VISUAL ALARM SIGNAL APPLIANCES SHALL BE INTEGRATED INTO THE BUILDING OR FACILITY ALARM SYSTEM. IF SINGLE STATION AUDIBLE ALARMS ARE PROVIDED THEN SINGLE STATION VISUAL ALARM SIGNALS SHALL BE PROVIDED. VISUAL ALARM SIGNALS SHALL HAVE THE FOLLOWING MINIMUM PHOTOMETRIC AND LOCATION FEATURES:

- 1. THE LAMP SHALL BE A XENON STROBE TYPE OR EQUIVALENT.
2. THE COLOR SHALL BE CLEAR OR NOMINAL WHITE (I.E. UNFILTERED OR CLEAR FILTERED WHITE LIGHT).
3. THE MAXIMUM PULSE DURATION SHALL BE TWO-TENTHS OF ONE SECOND (0.2 SEC) WITH A MAXIMUM DUTY CYCLE OF 40 PERCENT. THE PULSE DURATION IS DEFINED AS THE TIME INTERVAL BETWEEN INITIAL AND FINAL POINTS OF 10 PERCENT OF MAXIMUM SIGNAL.
4. THE INTENSITY SHALL BE MINIMUM OF 75 CANDELA.
5. THE FLASH RATE SHALL BE A MINIMUM OF 1 HZ AND A MAXIMUM OF 3 HZ.
6. THE APPLIANCE SHALL BE REPLACED 80 INCHES (2030 MM) ABOVE THE HIGHEST FLOOR LEVEL WITHIN THE SPACE OR 8 IN (152 MM) BELOW THE CEILING, WHICHEVER IS LOWER.
7. IN GENERAL, NO PLACE IS ANY ROOM OR SPACE REQUIRED TO HAVE A VISUAL SIGNAL APPLIANCE SHALL BE MORE THAN 150 FEET (45.7 M) FROM THE SIGNAL (IN THE HORIZONTAL PLANE). IN LARGE ROOMS AND SPACES EXCEEDING 100 FEET (30M) ACROSS, WITHOUT OBSTRUCTIONS 6 FEET (2M) ABOVE THE FINISH FLOOR, SUCH AS AUDITORIUMS, DEVICES MAY BE PLACED AROUND THE PERIMETER, SPACED A MAXIMUM 100 FEET (30 M) APART, IN LIEU OF SUSPENDING APPLIANCES FROM THE CEILING.
8. NO PLACE IN COMMON CORRIDORS OR HALLWAYS ON WHICH VISUAL ALARM SIGNALING APPLIANCES ARE REQUIRED SHALL BE MORE THAN 50 FEET (15M) FROM THE SIGNAL.

- AUXILIARY ALARMS. UNITS AND SLEEPING ACCOMMODATIONS SHALL HAVE A VISUAL ALARM CONNECTED TO THE BUILDING EMERGENCY ALARM SYSTEM OR SHALL HAVE A STANDARD 110-VOLT ELECTRICAL RECEPTACLE INTO WHICH SUCH AN ALARM CAN BE CONNECTED AND A MEANS BY WHICH A SIGNAL FROM THE BUILDING EMERGENCY ALARM SYSTEM CAN TRIGGER SUCH AN AUXILIARY ALARM. WHEN VISUAL ALARMS ARE IN PLACE THE SIGNAL SHALL BE VISIBLE IN ALL AREAS OF THE UNIT OR ROOM. INSTRUCTIONS FOR USE OF THE AUXILIARY ALARM OR RECEPTACLE SHALL BE PROVIDED.
EQUIVALENT FACILITATION. FOR PURPOSE OF THIS SECTION, EQUIVALENT FACILITATION SHALL INCLUDE THE INSTALLATION OF ELECTRICAL OUTLETS (INCLUDING OUTLETS CONNECTED TO A FACILITY'S CENTRAL ALARM SYSTEM) AND TELEPHONE WIRING IN SLEEPING ROOMS AND SUITES TO ENABLE PERSON WITH HEARING IMPAIRMENTS TO UTILIZE PORTABLE VISUAL ALARMS AND COMMUNICATION DEVICES PROVIDED BY THE OPERATOR OF THE FACILITY.
NOTIFICATION DEVICES. VISUAL NOTIFICATION DEVICES SHALL BE PROVIDED WITH AUXILIARY ALARMS AND SHALL ALSO BE PROVIDED IN UNITS, SLEEPING ROOM AND SUITES TO ALERT ROOM OCCUPANTS OF INCOMING TELEPHONE CALLS AND DOOR KNOCK OR BELL. NOTIFICATIONS DEVICES SHALL NOT BE CONNECTED TO AUXILIARY VISUAL ALARM SIGNAL APPLIANCES. PERMANENTLY INSTALLED TELEPHONES SHALL HAVE VOLUME CONTROLS COMPLYING HEARING AID COMPATIBLE AND VOLUME CONTROL TELEPHONES REQUIRED.

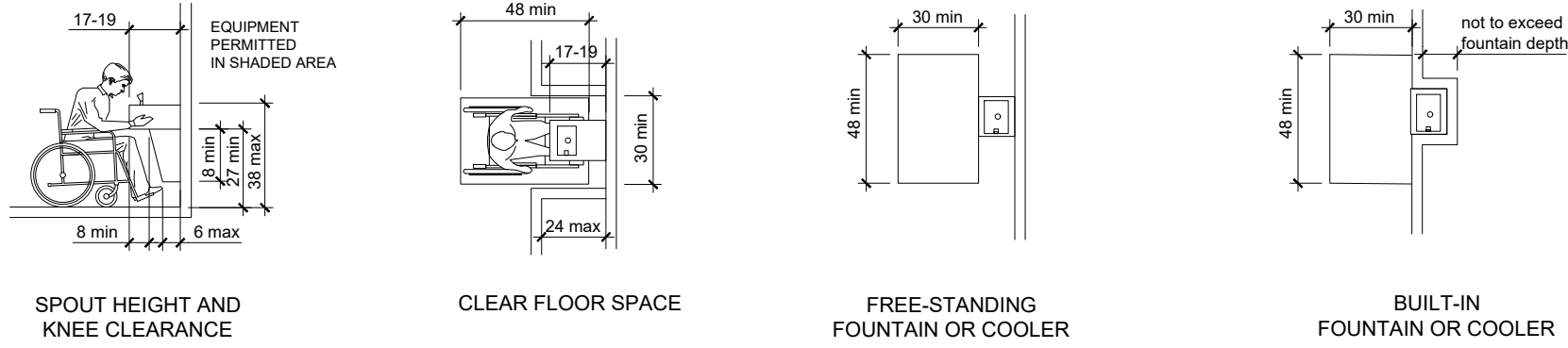
- 1. TELEPHONES SHALL BE HEARING AIR COMPATIBLE.
2. VOLUME CONTROLS CAPABLE OF A MINIMUM OF 12DBA AND A MAXIMUM OF 18 DBA ABOVE NORMAL.
3. IF AN AUTOMATIC "RESET" IS PROVIDED THEN 18 DBA MAY BE EXCEEDED.
ACCESSIBLE ELECTRICAL OUTLET WITHIN 4FT (1220 MM) OF A TELEPHONE CONNECTION SHALL BE PROVIDED TO FACILITATE THE USE OF A TEXT TELEPHONE.

- ASSUMPTIONS:
1. ACCESSIBLE WATER CLOSET IS 30 INCHES AND IS FLOOR MOUNTED.
2. FLUSH CONTROL SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET AS PER F.B.C.2017- ACCESSIBILITY CHAPTER 604.6
3. ACCESSIBILITY TO TOILET STALL DOOR IS IN COMPLIANCE WITH FACBC AND ADA GUIDELINES.
4. TOILET ACCESSORIES TO BE PROVIDED
5. ALL UNIT TO HAVE PORTABLE FLOOR RAMPS AT SLING GLASS DOOR SILL
6. TOILET STALL DOOR WIDTH TO BE A MINIMUM OF 32 IN.
7. TOILET STALL DOOR SWINGS OUT AND IS SELF-CLOSING FOR ACCESSIBLE CONTROLS. OUTLETS MOUNTED OVER BASE CABINETS AND PULL CHAIN IS MADE OF A 30"x48" CLEAR FLOOR SPACE ADJOINING A 36" WIDE ACCESSIBLE ROUTE. REACH OVER A CABINET, THE UPPER LIMIT IS 46" WITH NO OBSTRUCTION CONTROLS MAY BE MOUNTED IN A RANGE FROM 15" TO 48" ABOVE THE FLOOR.
8. THE STRUCTURAL STRENGTH OF GRAB BARS TUB AND SHOWER SEATS FASTENERS AND MOUNTING DEVICES SHALL COMPLY WITH FBC 2016 & ADA GUIDELINES.

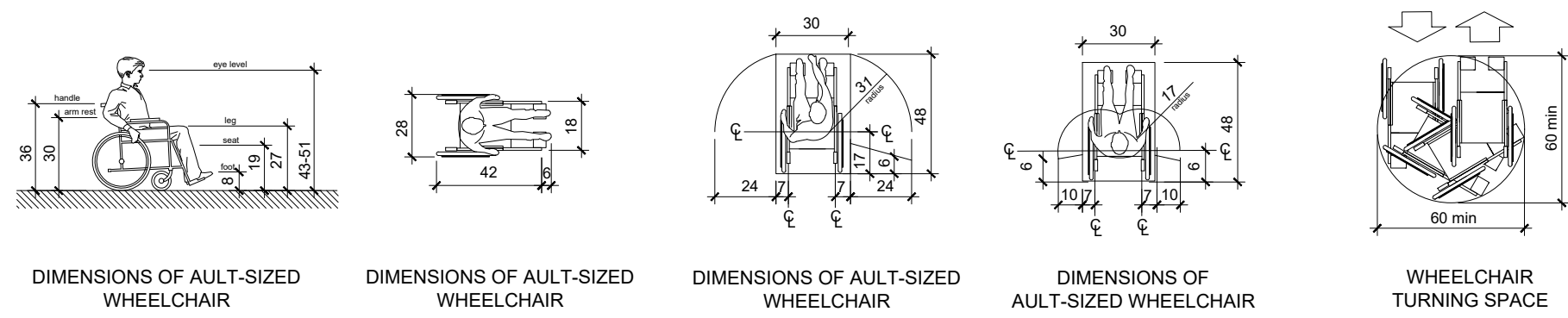
- NOTES:
9. ALL WALL BLOCKING TO BE AS SHOWN WITH EITHER WOOD OR SHEET METAL.
10. ALL HANDICAPPED UNITS TO HAVE WALL BLOCKING AND HANDRAILS PER A.D.A. REQUIREMENTS.
11. ALL HEARING IMPAIRED UNITS TO HAVE WALL BLOCKING AS SHOWN FOR FUTURE HANDRAIL REQUIREMENTS. (PER FAIR HOUSING REQUIREMENTS).
12. FURNITURE SHOWN AND FINISHES LISTED FOR MINIMUM CODE COMPLIANCE ONLY. SEE INTERIOR DESIGN DRAWINGS FOR ACTUAL FURNITURE AND FINISHES TO BE USED.
13. FULLY ACCESSIBLE UNITS LAYOUTS AND HEARING IMPAIRED UNIT LAYOUTS SUPERSEDE ALL OTHER LAYOUTS SHOWN WITHIN THIS REVISION SET.
14. ALL FULLY ACCESSIBLE UNITS TO HAVE "OPEN FRAME BEDS"

- TOILET ACCESSIBILITY NOTES:
1. DOORS TO THE H.C. TOILET ROOMS SHALL BE 30" WIDE.
2. PROVIDE DOOR HARDWARE - PRIVACY TYPE LOCKSET WITH LEVER TYPE ACCESSIBILITY APPROVED HARDWARE. DOORS SHALL BE EQUIPPED WITH ACCESSIBILITY APPROVED CLOSER AS PER SECTION (404.2.7) OF THE FLORIDA BUILDING CODE, ACCESSIBILITY 2017 ED.
3. GRAB BARS (STAINLESS STEEL) SHALL HAVE A 1 1/2" MIN. AND 2 INCH MAX. O.D. AND SET 1 1/2" AWAY FROM THE WALL AND 33" 36" ABOVE THE FINISHED FLOOR. SIDE GRAB BAR SHALL BE 42" LONG. GRAB BAR BEHIND TOILET SHALL BE 36" LONG. AS PER SECTION (609.4) AND FIGURE (609.3) OF THE FLORIDA BUILDING DEPARTMENT, ACCESSIBILITY 2017 ED.

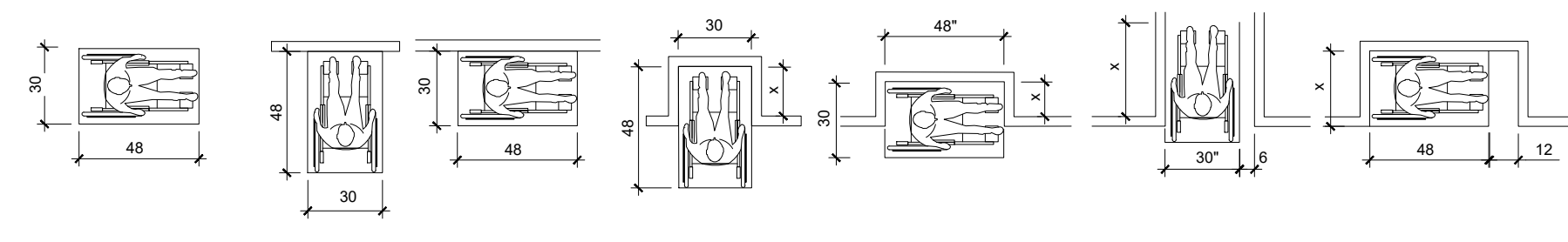
- 4. LAVATORY SHALL BE MOUNTED FOR ACCESSIBILITY TO INDIVIDUALS IN WHEELCHAIRS WITH TOP OF RIM AT 14" MAX. AND 29" CLEAR KNEE SPACE MIN. ABOVE FINISHED FLOOR. AS PER SECTION (306.1) WITH CLEAR FLOOR SPACE OF 30"x48" AS PER SECTION (305.3) FIGURE 305.3 OF THE FLORIDA BUILDING CODE, ACCESSIBILITY 2017 ED.
5. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED TO PROTECT AGAINST CONTACT AS PER SECTION (606.5) OF THE FLORIDA BUILDING CODE, ACCESSIBILITY 2017 ED.
6. WATER CLOSET (WC) SHALL BE INSTALLED WITH THE CENTERLINE OF WC AT 18" FROM FINISHED SIDE WALL AND SHALL BE ACCESSIBLE TO INDIVIDUALS IN WHEELCHAIRS WITH TOP OF SEAT BETWEEN 17" AND 19" A.F.F. AND SEAT SHALL HAVE OPEN FRONT. AS PER SECTION (604.2) AND FIGURE (604.2) OF THE FLORIDA BUILDING DEPARTMENT, ACCESSIBILITY 2017 ED. TOILETS SHALL HAVE THE LEVER TO THE OPEN SIDE.



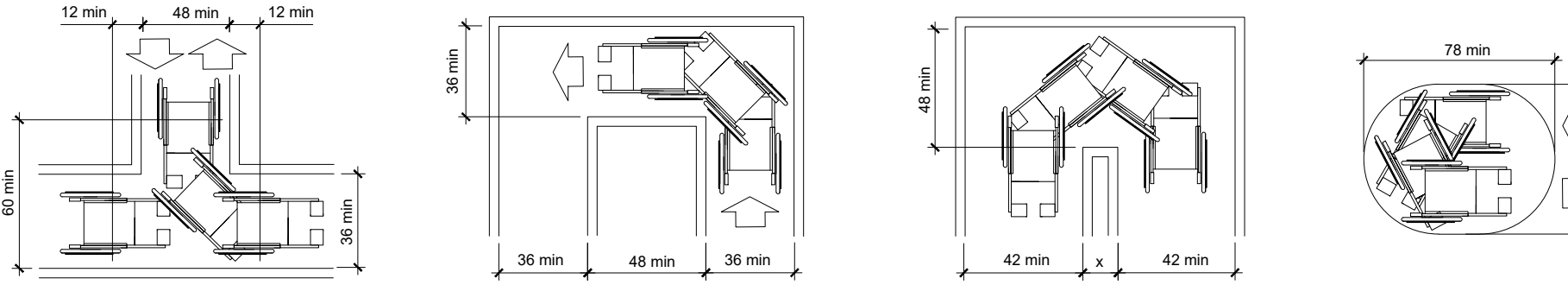
SPOUT HEIGHT AND KNEE CLEARANCE, CLEAR FLOOR SPACE, FREE-STANDING FOUNTAIN OR COOLER, BUILT-IN FOUNTAIN OR COOLER



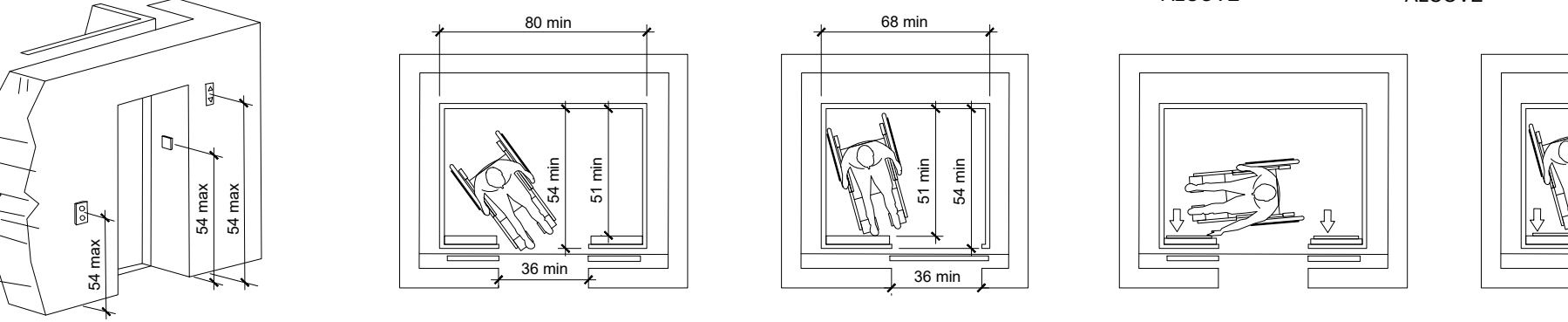
DIMENSIONS OF ADULT-SIZED WHEELCHAIR, DIMENSIONS OF ADULT-SIZED WHEELCHAIR, DIMENSIONS OF ADULT-SIZED WHEELCHAIR, DIMENSIONS OF ADULT-SIZED WHEELCHAIR, WHEELCHAIR TURNING SPACE



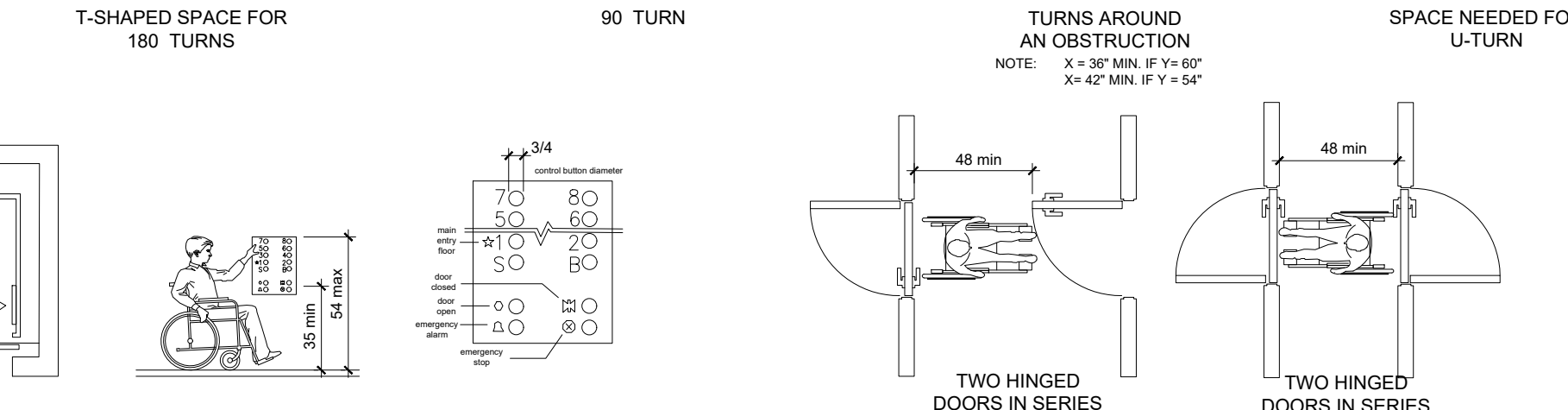
CLEAR FLOOR SPACE, FORWARD APPROACH, PARALLEL APPROACH, CLEAR FLOOR SPACE IN ALCOVE, CLEAR FLOOR SPACE IN ALCOVE, ADDITIONAL MANEUVERING CLEARANCE FOR ALCOVE, ADDITIONAL MANEUVERING CLEARANCE FOR ALCOVE



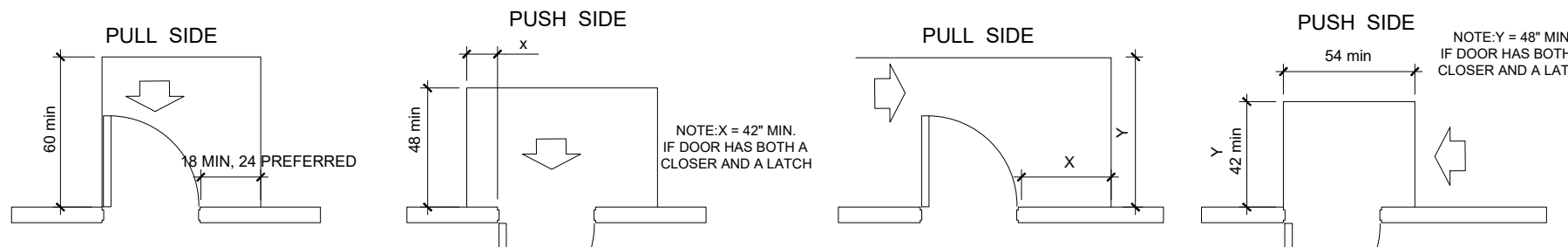
T-SHAPED SPACE FOR 180 TURNS, 90 TURN, TURNS AROUND AN OBSTRUCTION, SPACE NEEDED FOR U-TURN



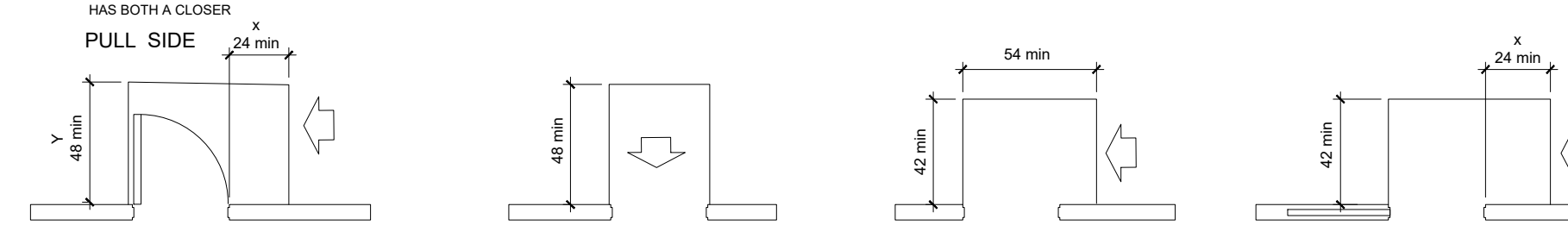
HOISTWAY AND ELEVATOR ENTRANCES, MINIMUM DIMENSIONS FOR ELEVATOR CAR, MINIMUM DIMENSIONS FOR ELEVATOR CAR, ALTERNATE LOCATIONS OF PANEL WITH CENTER OPENING CAR, ALTERNATE LOCATIONS OF PANEL WITH SIDE-OPENING CAR



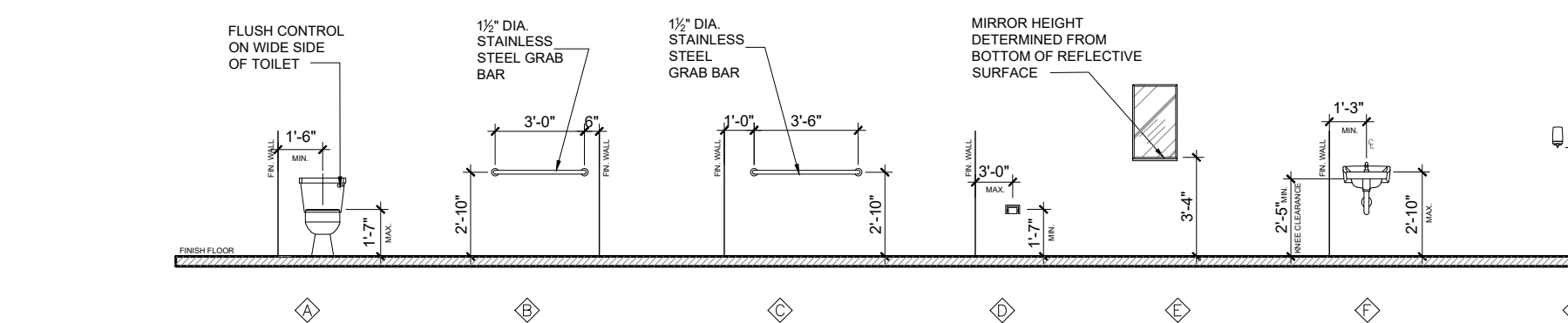
CAR CONTROL HEIGHT, PANEL DETAIL, TWO HINGED DOORS IN SERIES, STANDARD STALL (END OF ROW)



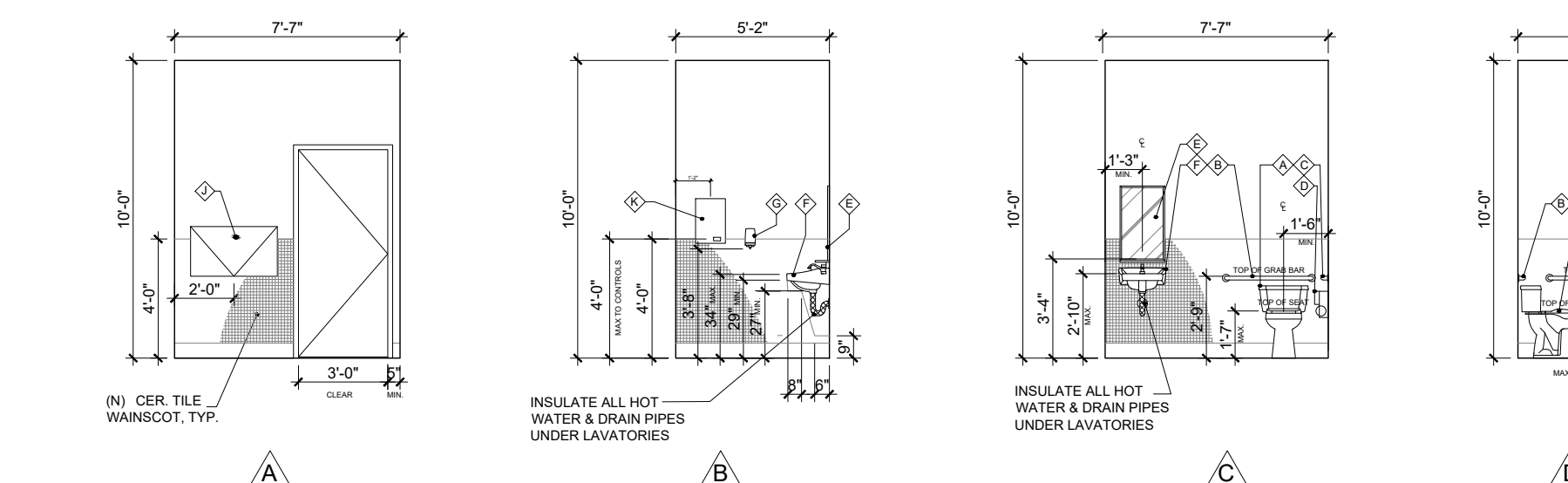
FRONT APPROACH-SWINGING DOOR, FRONT APPROACH-SWINGING DOR, HINGE SIDE APPROACH SWINGING DOOR, SIDE APPROACH SWINGING DOOR, LATCH SIDE APPROACH SWINGING DOOR



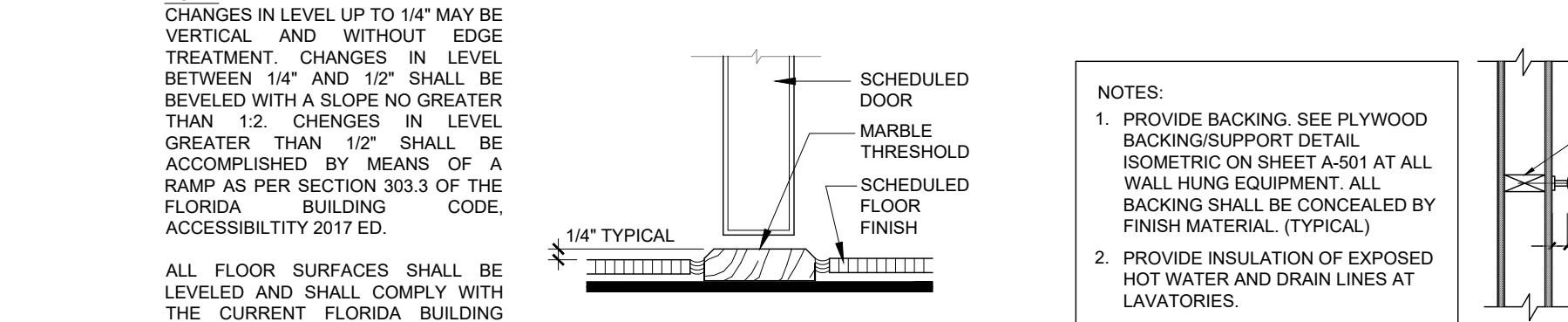
FRONT APPROACH SLIDING OR FOLDING DOORS, SLIDE SIDE APPROACH SLIDING OR FOLDING DOORS, LATCH SIDE APPROACH SLIDING OR FOLDING DOORS



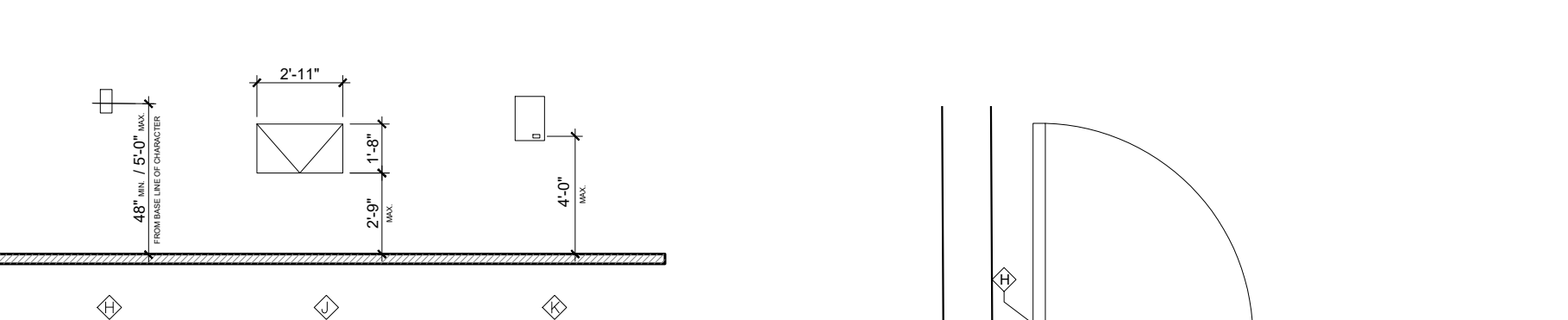
TOILET (F.B.C. 604.2), REAR TOILET GRAB BAR (F.B.C. 604.5.2), SIDE TOILET GRAB BAR (F.B.C. 604.5.1), TOILET PAPER DISPENSER (F.B.C. 604.7 AND 604.9.6), MIRROR (F.B.C. 603.3), LAVATORY (F.B.C. 604.8.1.6), SOAP DISPENSER (F.B.C. 604.7), H.C. BRAIL SIGNAGE (F.B.C. 703.5 AND 703.4.2), BABY CHANGING STATION (F.B.C. 703.5), PAPER TOWEL DISPENSER (F.B.C. 604.7)



TOILET ACCESSIBILITY NOTES: 1. DOORS TO THE H.C. TOILET ROOMS SHALL BE 30" WIDE. 2. PROVIDE DOOR HARDWARE - PRIVACY TYPE LOCKSET WITH LEVER TYPE ACCESSIBILITY APPROVED HARDWARE. DOORS SHALL BE EQUIPPED WITH ACCESSIBILITY APPROVED CLOSER AS PER SECTION (404.2.7) OF THE FLORIDA BUILDING CODE, ACCESSIBILITY 2017 ED. 3. GRAB BARS (STAINLESS STEEL) SHALL HAVE A 1 1/2" MIN. AND 2 INCH MAX. O.D. AND SET 1 1/2" AWAY FROM THE WALL AND 33" 36" ABOVE THE FINISHED FLOOR. SIDE GRAB BAR SHALL BE 42" LONG. GRAB BAR BEHIND TOILET SHALL BE 36" LONG. AS PER SECTION (609.4) AND FIGURE (609.3) OF THE FLORIDA BUILDING DEPARTMENT, ACCESSIBILITY 2017 ED.



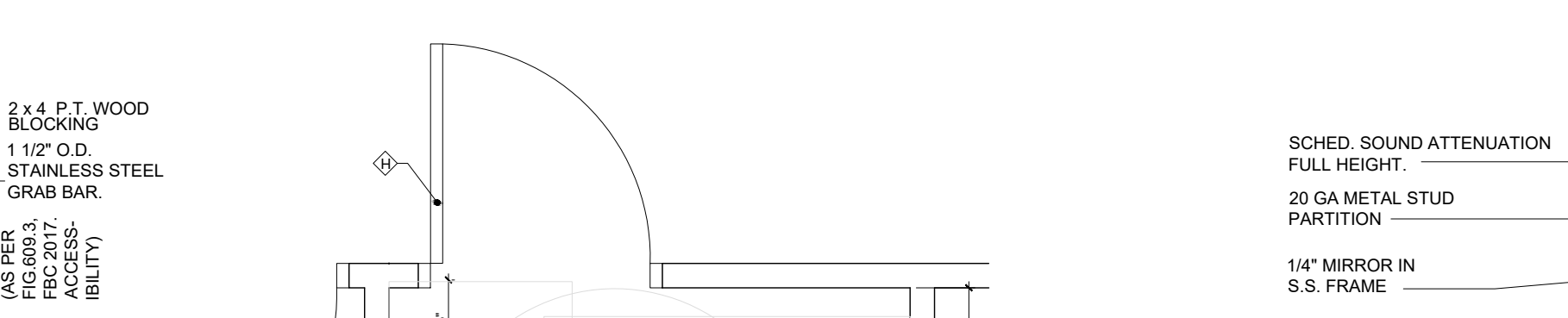
THRESHOLD DETAIL, GRAB BAR DETAIL



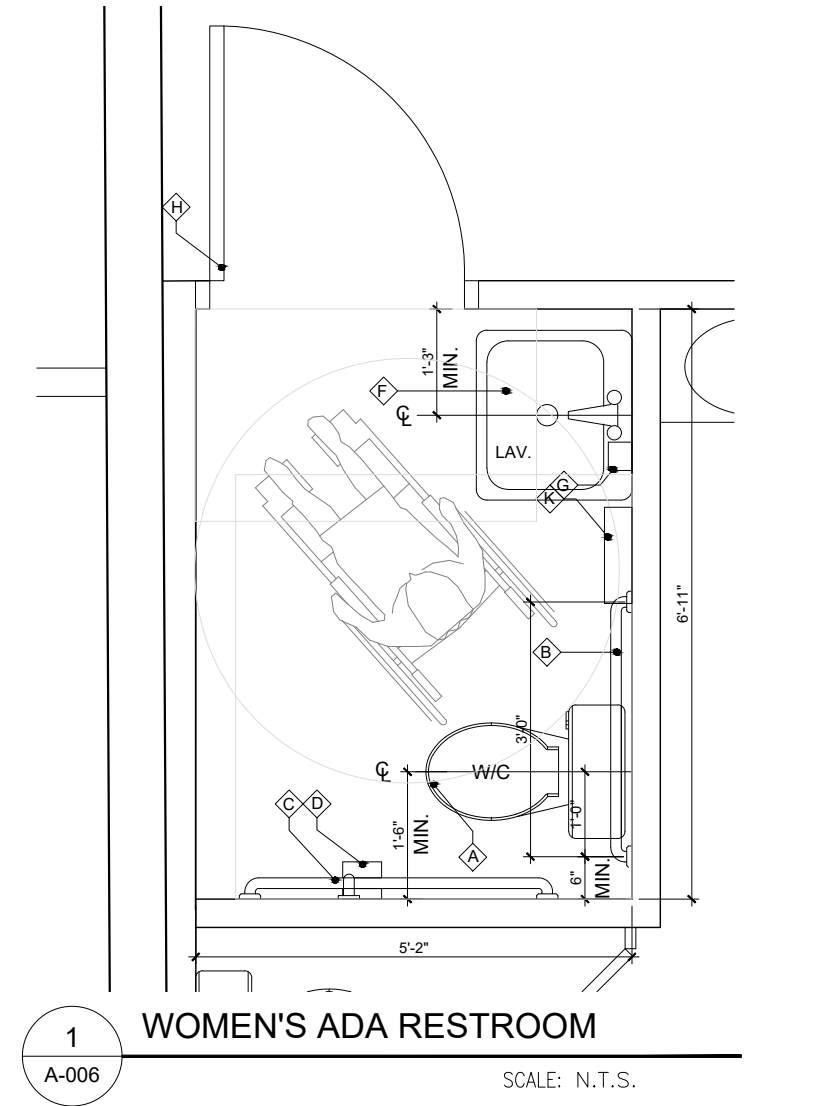
FRONT APPROACH SLIDING OR FOLDING DOORS, SLIDE SIDE APPROACH SLIDING OR FOLDING DOORS, LATCH SIDE APPROACH SLIDING OR FOLDING DOORS



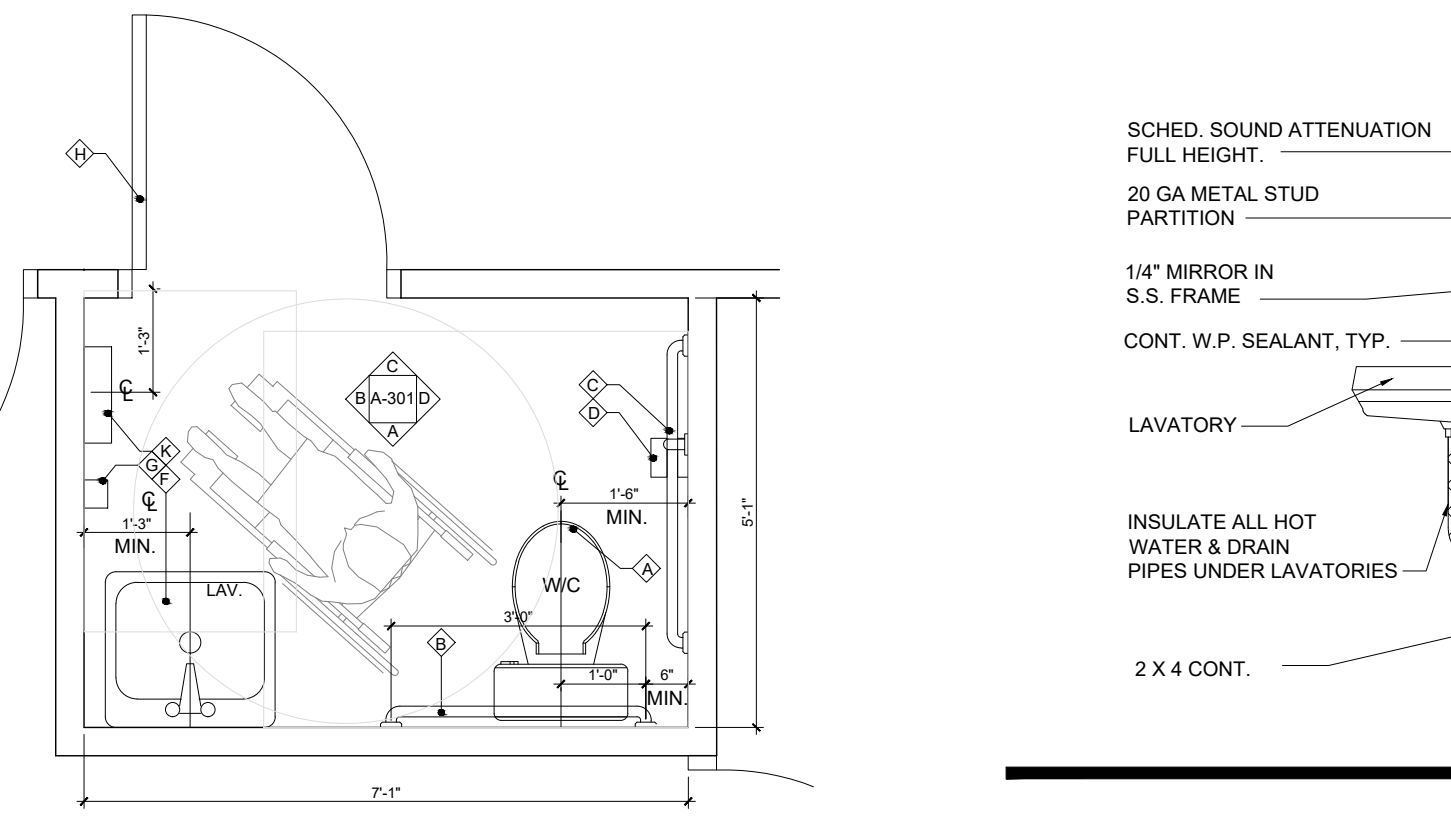
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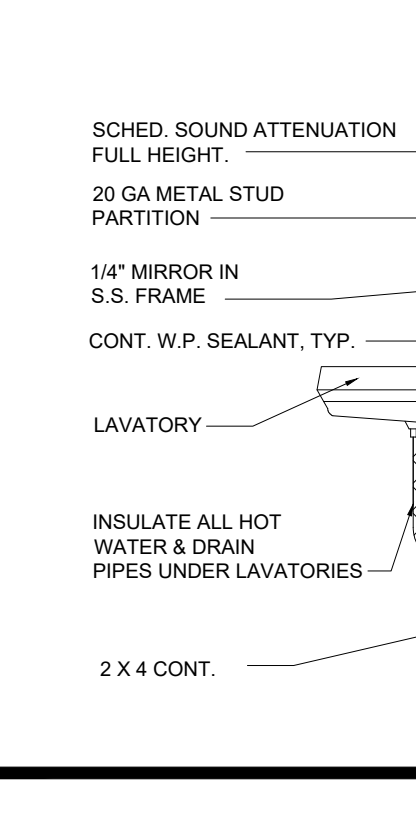
THRESHOLD DETAIL, GRAB BAR DETAIL



1 WOMEN'S ADA RESTROOM SCALE: N.T.S.



2 MEN'S ADA RESTROOM SCALE: N.T.S.

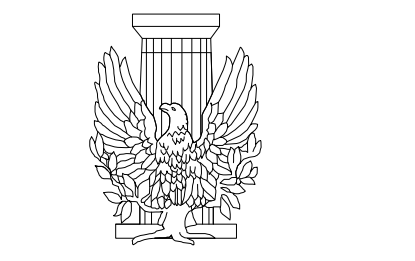


3 LAVATORY DETAL SCALE: N.T.S.



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Table with columns for REVISIONS, DATE, PROJECT NUMBER (2019-008), DATE (02/06/2020), SHEET TITLE (ADA REQUIREMENTS / STANDARDS), DRAWN BY (L. R.), CHECKED BY (J. S. K.), SHEET NUMBER (A-006).



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REVISIONS	DATE
▲ BLDG. DEPT. COMMENTS	05/11/2020
▲ DERM & WASA COMMENTS	05/20/2020

PROJECT NUMBER  
**2019-008**

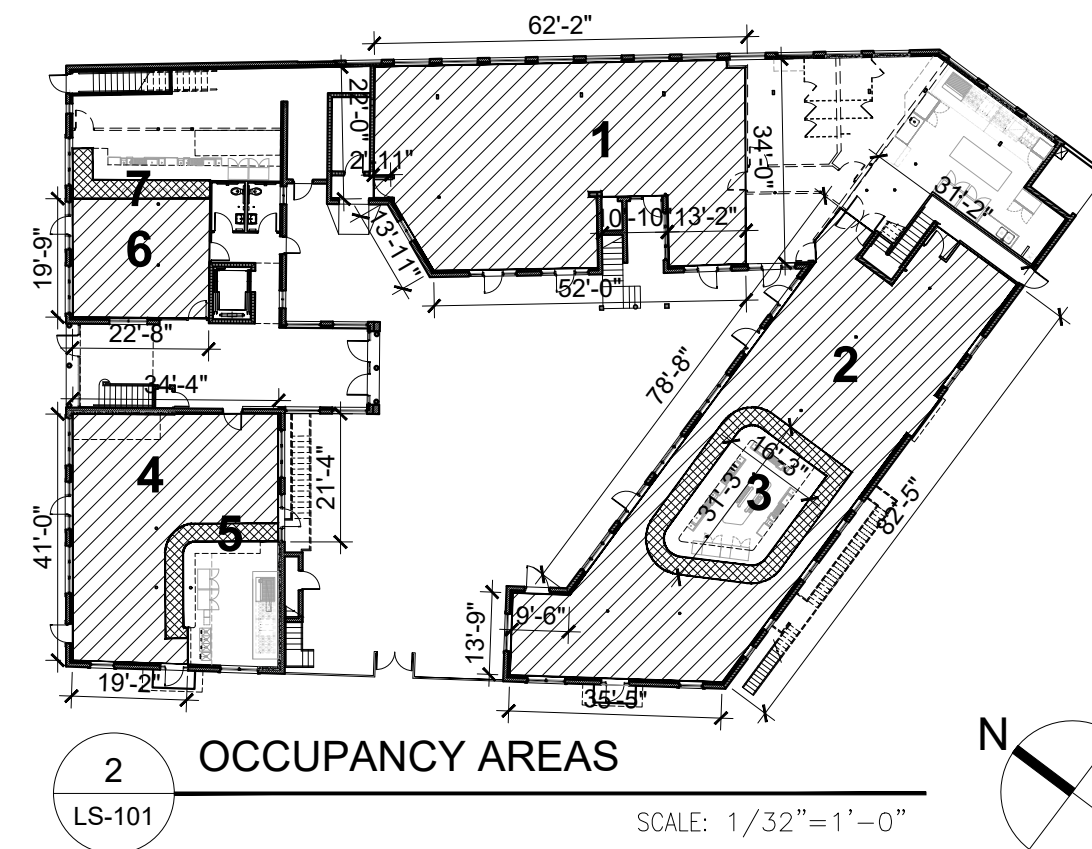
DATE  
02/06/2020

SHEET TITLE

DRAWN BY  
L. R.  
CHECKED BY  
J. S. K.

SHEET NUMBER

**LS-101**



**LIFE SAFETY LEGEND**

- COMMON PATH OF TRAVEL
- TRAVEL DISTANCE
- ⬇ EMERGENCY LIGHT FIXTURE WITH BATTERY BACK-UP
- ⊗ NEW EXIT SIGN
- ⊠ FIRE ALARM HORN/STROBE
- ⊡ FIRE ALARM PULL STATION
- ⊞ FEC FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER
- ▬ 2HR FIRE BARRIER

**LIFE SAFETY NOTES**

- EXISTING - 3 STORY BUILDING
- THIS SPACE IS A GROUP A-2 ASSEMBLY OCCUPANCY.
- THE SCOPE OF WORK IS LIMITED TO THE SHELL IMPROVEMENTS WITH NO OCCUPANCY UNDER THIS PERMIT. THE EXISTING OCCUPANCY OF USE ARE BUSINESS AND ASSEMBLY. THEREFORE THERE IS NO CHANGE OF USE UNDER THIS PERMIT. THE FUTURE TENANT WILL PROVIDE PROPOSED OCCUPANCY OF USE UNDER A SEPARATE PERMITS.

TRAVEL DISTANCE (FBC)	ALLOWED:	PROVIDED:
A-2 ASSEMBLY	200' MAX	1. 68'-2" 2. 121'-1" 3. 116'-5" 4. 102'-7"

COMMON PATH OF TRAVEL (FBC)	ALLOWED:	PROVIDED:
A-2 ASSEMBLY	75' MAX	1. N/A 2. 12'-10" 3. 45'-8" 4. 12'-1"

- PROVIDE MIN. 1- ABC TYPE, "2-A" RATED FIRE EXTINGUISHER FOR EACH 2,500 SQ. FT., MAX. 75 FT. OF TRAVEL. TOP OF EXTINGUISHER NOT TO EXCEED 5 FT. ABOVE FINISH FLOOR.  
PROVIDED:  
(1) FUTURE RESTAURANT TENANT 1 (2) FUTURE RESTAURANT TENANT 2  
(1) FUTURE TENANT 3 (1) FUTURE TENANT 4  
FIRE EXTINGUISHER CABINET BY LARSEN RECESSED, SEE SHEET A-401.

- EXIT SEPARATION AND DOOR WIDTH:**  
OCCUPANCY TYPE: ASSEMBLY AS PER FBC 2017, CHAPTER 3: ASSEMBLY GROUP A-2

DOOR WIDTH:	MIN. ALLOWED	PROVIDED
FUTURE RESTAURANT TENANT 1	42"	68"
FUTURE RESTAURANT TENANT 2	45"	68"
FUTURE FOOD AND BEVERAGE TENANT 3	32"	34"
FUTURE FOOD AND BEVERAGE TENANT 4	32"	34"

EXIT SEPARATION:	MIN. ALLOWED	PROVIDED
FUTURE RESTAURANT TENANT 1 (70' / 3)	23'-5"	45'-8"
FUTURE RESTAURANT TENANT 2 (120' / 3)	40'-0"	85'-11"
FUTURE TENANT 3 (53' / 3)	N/A	N/A
FUTURE TENANT 4 (64' / 3)	N/A	N/A

- OCCUPANCY LOAD TYPE AND CALCULATION:**  
OCCUPANCY TYPE: ASSEMBLY AS PER FBC 2017, CHAPTER 3: ASSEMBLY GROUP A-2

**OCCUPANT LOAD FACTOR AS PER FBC 2017**  
(CHAPTER 10, MEANS OF EGRESS, TABLE 1004.1.2) PER NFPA 101 2015  
THE FOLLOWING FACTORS ARE BEING USED AS THEY RELATE TO AREAS,

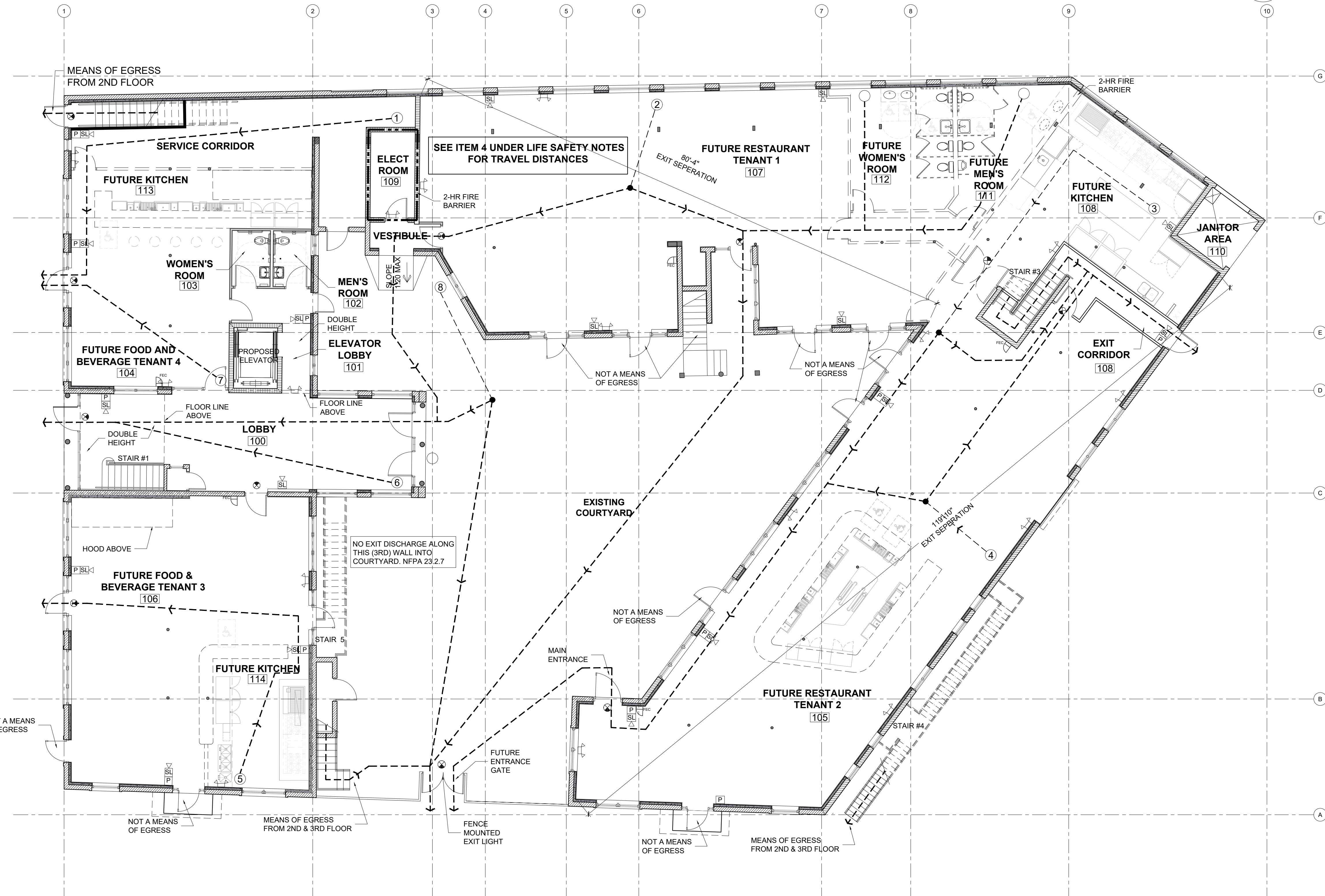
CONCENTRATED USE, WITHOUT FIXED SEATING, 7 SF / PERSON  
LESS CONCENTRATED USE, WITHOUT FIXED SEATING, 15 SF / PERSON  
REFER TO OCCUPANCY AREAS 2/LS-101 FOR AREA IDENTIFICATION AND DIMENSIONS.

PROPOSED AREA:	SQUARE FOOTAGE	OCCUPANT LOAD
TENANT 1		
1. FUTURE RESTAURANT	1,893 SF / 15 (NET)	126
2. FUTURE RESTAURANT	2,032 SF / 15 (NET)	135
3. BAR AREA	257 SF / 7 (NET)	36
TENANT 3		
4. FUTURE FOOD AND BEVERAGE TENANT	1003 SF / 15 (NET)	66
5. BAR AREA	101 / 7 (NET)	14
TENANT 4		
6. FUTURE FOOD AND BEVERAGE TENANT	452 SF / 15 (NET)	30
7. BAR AREA	88 / 7 (NET)	12

WASA SQUARE FOOTAGE CALCULATIONS:	SQUARE FOOTAGE
TENANT AREAS	5,826 SF
COMMON AREAS (CORRIDORS & STAIRS, ETC)	3,194 SF
TOTAL SQUARE FOOTAGE	9,020 SF

**NOTES:**

- LAYOUT DEPICTED IS BASED ON A POTENTIAL USER AND ASSUMED OCCUPANCY. IT IS INTENDED TO DESCRIBE SCOPE OF WORK IN LINE WITH A GRAY SHELL. UPON IDENTIFYING TENANTS AND THE APPROPRIATE OCCUPANCY, A SEPARATE SET OF DRAWINGS IS TO BE SUBMITTED REFLECTING THE APPLICABLE REQUIREMENTS ACCORDING TO SUCH OCCUPANCY. LAYOUT SHOWN IS MEANT TO AID IN PREPARATION OF CORRESPONDING STUB-UPS FOR M.E.P. AND FOR THOSE FUTURE OCCUPANCIES.
- FOR FLOOR PLAN LEGEND AND SYMBOLS SEE SHEET A-004.
- WASA NUMBER OF OCCUPANTS HAD BEEN CALCULATED BASED ON INTERIOR AREAS. FINAL NUMBER OF SEATS / OCCUPANTS INSIDE OR OUTSIDE SHALL BE CALCULATED AND SUBMITTED FOR APPROVALS AS A SEPARATE APPLICATION BY THE TENANT IMPROVEMENTS PLANS AT A LATER DATE.
- OCCUPANCIES ON THE 2ND FLOOR SHALL NOT BE RELATED TO OCCUPANCIES ON THE 1ST FLOOR.



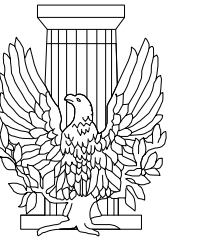
1 GROUND FLOOR LIFE SAFETY PLAN  
LS-101  
SCALE: 1/8"=1'-0"





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 112 ALHAMBRA CIRCLE,  
 CORAL GABLES, FL 33134

**PERMIT  
 SUBMITTAL**

REVISIONS	DATE
1. BLDG. DEPT. COMMENTS	05/11/2020

PROJECT NUMBER  
**2019-008**

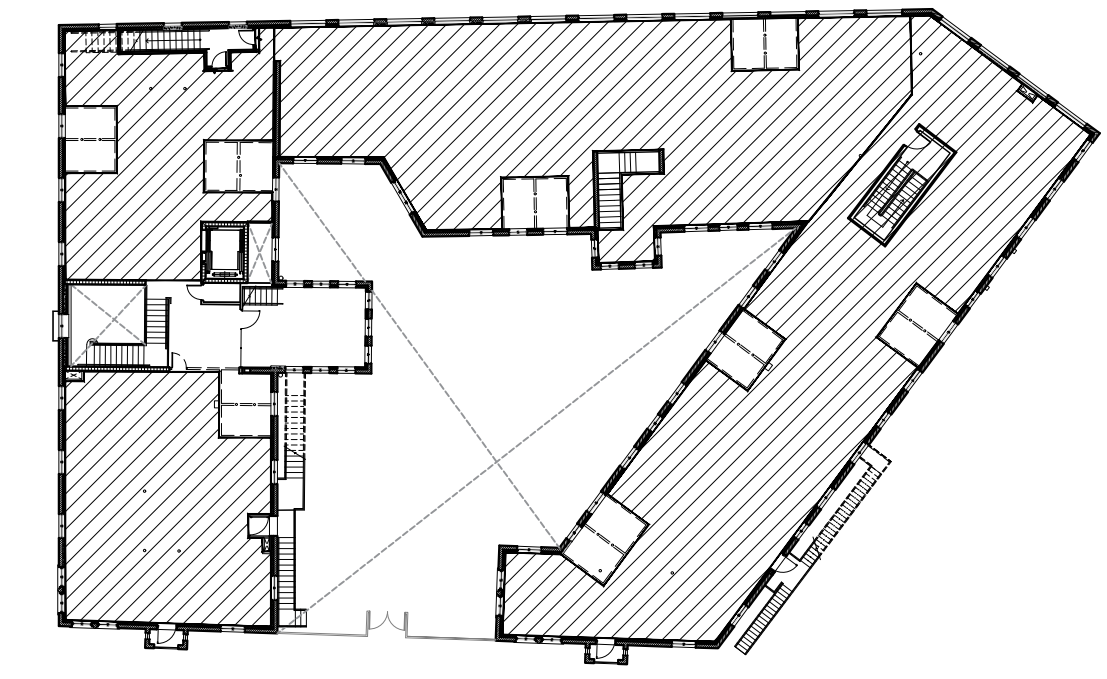
DATE  
 02/06/2020

SHEET TITLE  
 SECOND FLOOR LIFE SAFETY PLAN

DRAWN BY  
 L. R.

CHECKED BY  
 J. S. K.

SHEET NUMBER  
**LS-102**



**2 OCCUPANCY AREAS**  
 LS-101 SCALE: 1/32"=1'-0"

**LIFE SAFETY LEGEND**

- COMMON PATH OF TRAVEL
- TRAVEL DISTANCE
- ⬆ EMERGENCY LIGHT FIXTURE WITH BATTERY BACK-UP
- ⊕ NEW EXIT SIGN
- SL FIRE ALARM HORN/STROBE
- P FIRE ALARM PULL STATION
- FEC FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER
- 2HR FIRE BARRIER

**LIFE SAFETY NOTES**

- EXISTING - 3 STORY BUILDING
- THIS SPACE IS A GROUP B BUSINESS/OFFICE OCCUPANCY.
- THE SCOPE OF WORK IS LIMITED TO THE SHELL IMPROVEMENTS WITH NO OCCUPANCY UNDER THIS PERMIT. THE EXISTING OCCUPANCY OF USE ARE BUSINESS AND ASSEMBLY. THEREFORE THERE IS NO CHANGE OF USE UNDER THIS PERMIT. THE FUTURE TENANT WILL PROVIDE PROPOSED OCCUPANCY OF USE UNDER A SEPARATE PERMITS.

TRAVEL DISTANCE (FBC)	ALLOWED:	PROVIDED:
B: BUSINESS	200' MAX	1. 111'-8" 2. 119'-2" 3. 78'-11"

COMMON PATH OF TRAVEL (FBC)	ALLOWED:	PROVIDED:
B: BUSINESS	75' MAX	1. 21'-1" 2. 22'-9" 3. 20'-10"

- PROVIDE MIN. 1 - ABC TYPE, "2-A" RATED FIRE EXTINGUISHER FOR EACH 2,500 SQ. FT., MAX. 75 FT. OF TRAVEL. TOP OF EXTINGUISHER NOT TO EXCEED 5 FT. ABOVE FINISH FLOOR.  
 9,856 GSF/2,500 = 4 REQUIRED  
 4 PROVIDED  
 FIRE EXTINGUISHER CABINET BY LARSEN RECESSED, SEE SHEET A-401.
- EXIT SEPARATION AND DOOR WIDTH:**

DOOR WIDTH:	MIN. ALLOWED	PROVIDED
FUTURE OFFICE SPACES	32"	104"

EXIT SEPARATION:	MIN. ALLOWED	PROVIDED
FUTURE OFFICES PACES	73.5'	74'-6"

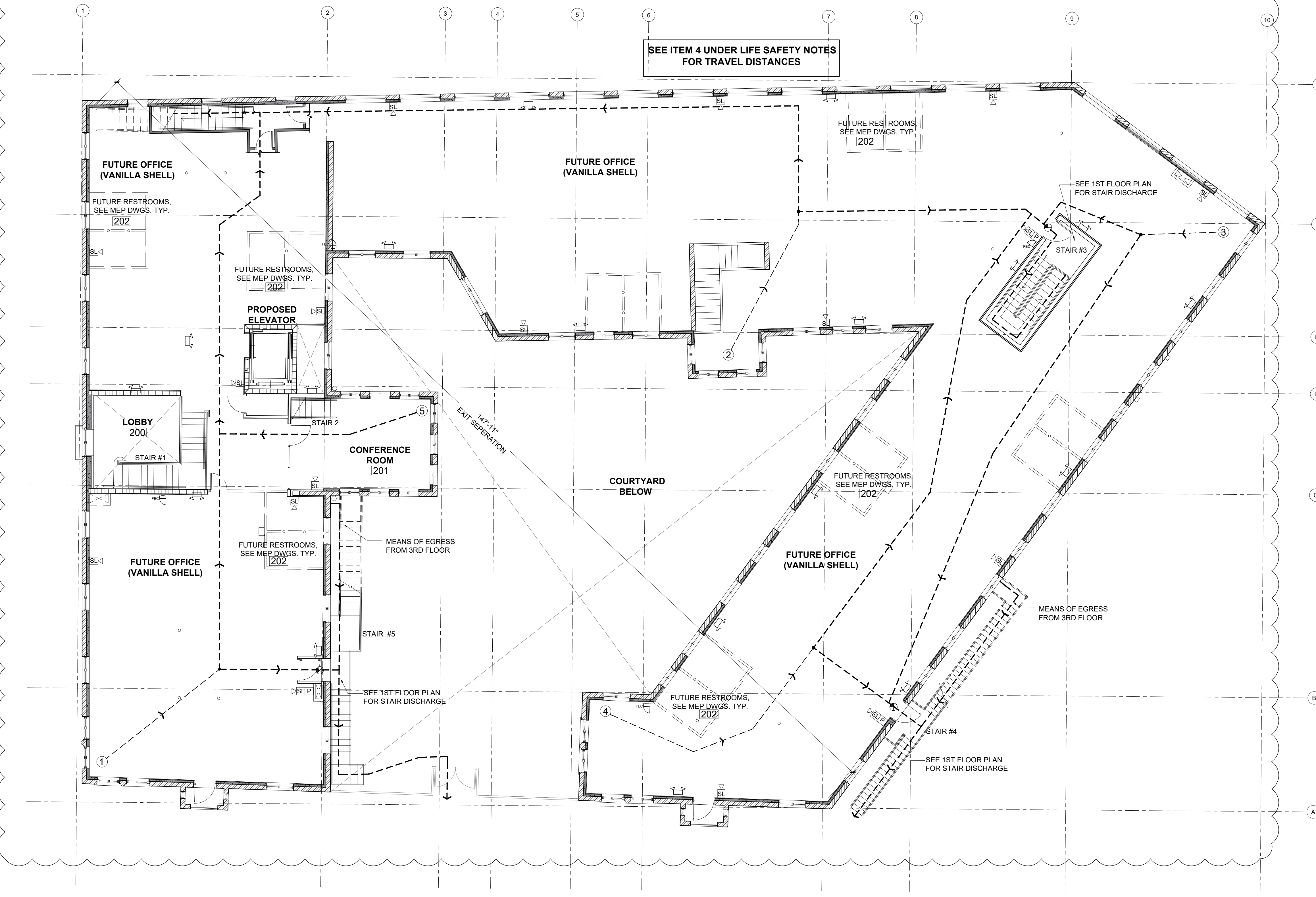
- OCCUPANCY LOAD TYPE AND CALCULATION:**

**OCCUPANT LOAD FACTOR AS PER FBC 2017**  
 (CHAPTER 10, MEANS OF EGRESS, TABLE 1004.1.2) PER NFPA 101 2015  
 THE FOLLOWING FACTORS ARE BEING USED AS THEY RELATE TO AREAS.

PROPOSED AREA:	SQUARE FOOTAGE	OCCUPANT LOAD
FUTURE OFFICE (VANILLA SHELL)	8,431 SF / 100 (GROSS)	85 OCCUPANTS

NOTE: FUTURE OFFICE (VANILLA SHELL) MAY BE SEPARATED INTO MORE THAN ONE TENANT UNDER SEPARATE PERMIT.

- FOR FLOOR PLAN LEGEND AND SYMBOLS SEE SHEET A-004.

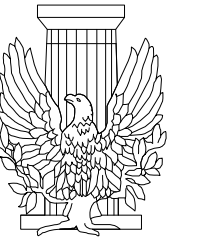


**1 SECOND FLOOR LIFE SAFETY PLAN**  
 LS-102 SCALE: 1/8"=1'-0"



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REVISIONS	DATE
▲ BLDG. DEPT. COMMENTS	05/11/2020
▲ DERM & WASA COMMENTS	05/20/2020

PROJECT NUMBER  
**2019-008**

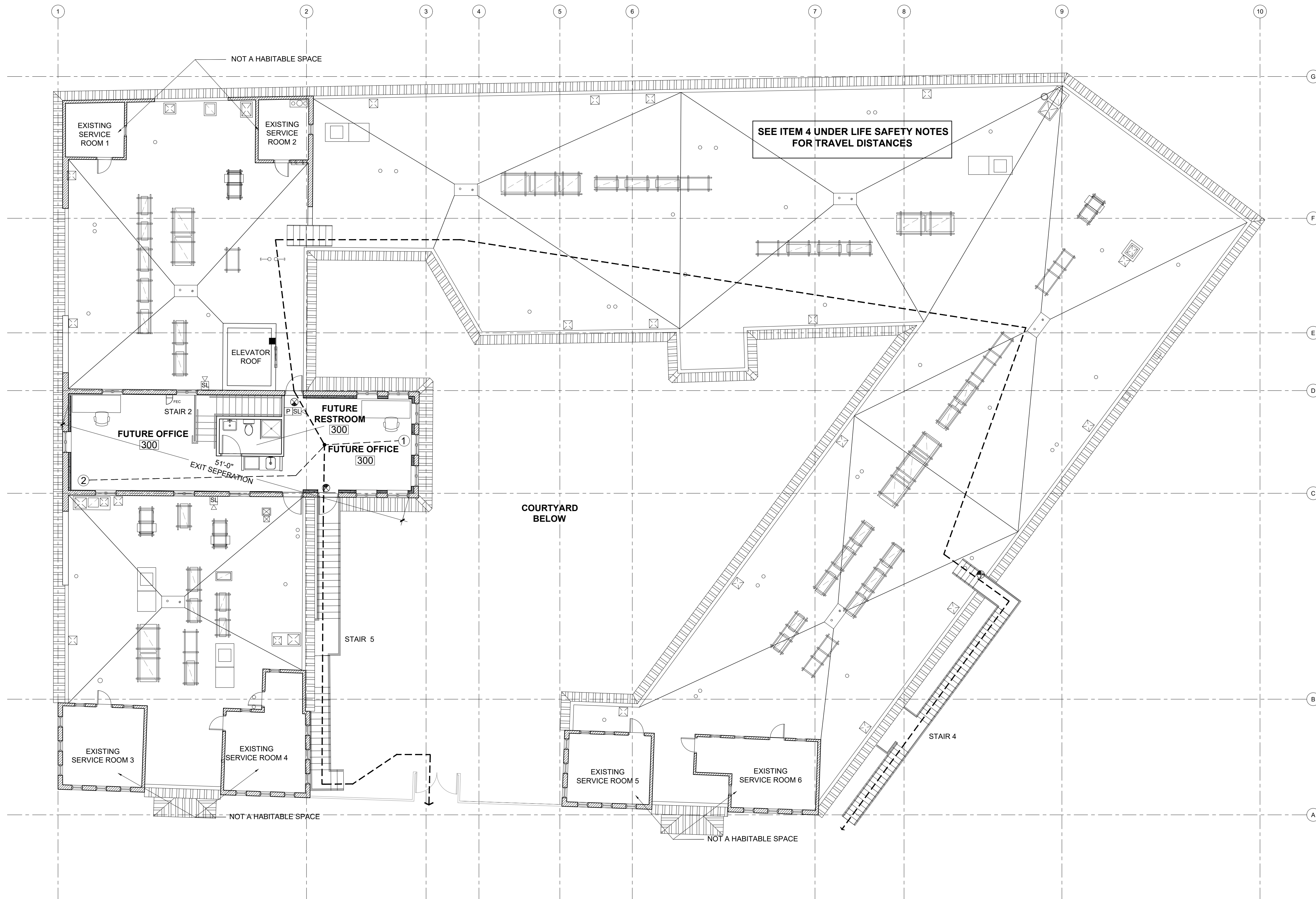
DATE  
 02/06/2020

SHEET TITLE  
 THIRD FLOOR LIFE SAFETY PLAN

DRAWN BY  
 L. R.

CHECKED BY  
 J. S. K.

SHEET NUMBER  
**LS-103**



**LIFE SAFETY LEGEND**

- COMMON PATH OF TRAVEL
- TRAVEL DISTANCE
- ⬇ EMERGENCY LIGHT FIXTURE WITH BATTERY BACK-UP
- ⊗ NEW EXIT SIGN
- ⊙ FIRE ALARM HORN/STROBE
- ⊙ FIRE ALARM PULL STATION
- ⊙ FEC FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER
- ▬ 2HR FIRE BARRIER

**LIFE SAFETY NOTES**

- EXISTING - 3 STORY BUILDING
- THIS SPACE IS A GROUP B BUSINESS/OFFICE OCCUPANCY.
- THE SCOPE OF WORK IS LIMITED TO THE SHELL IMPROVEMENTS WITH NO OCCUPANCY UNDER THIS PERMIT. THE EXISTING OCCUPANCY OF USE ARE BUSINESS AND ASSEMBLY. THEREFORE THERE IS NO CHANGE OF USE UNDER THIS PERMIT. THE FUTURE TENANT WILL PROVIDE PROPOSED OCCUPANCY OF USE UNDER A SEPARATE PERMITS.
- |                             | ALLOWED: | PROVIDED:                  |
|-----------------------------|----------|----------------------------|
| TRAVEL DISTANCE (FBC)       |          |                            |
| B: BUSINESS                 | 200' MAX | 1. 198'-10"<br>2. 198'-10" |
| COMMON PATH OF TRAVEL (FBC) |          |                            |
| B: BUSINESS                 | 75' MAX  | 1. 35'-10"<br>2. 10'-8"    |
- PROVIDE 1 - ABC TYPE, "2-A" RATED FIRE EXTINGUISHER FOR EACH 2,500 SQ. FT., MAX. 75 FT. OF TRAVEL. TOP OF EXTINGUISHER NOT TO EXCEED 5 FT. ABOVE FINISH FLOOR.  
 580 GSF/2,500 = 1 REQUIRED  
 1 PROVIDED  
 FIRE EXTINGUISHER CABINET BY LARSEN RECESSED, SEE SHEET A-401.
- EXIT SEPERATION AND DOOR WIDTH:**

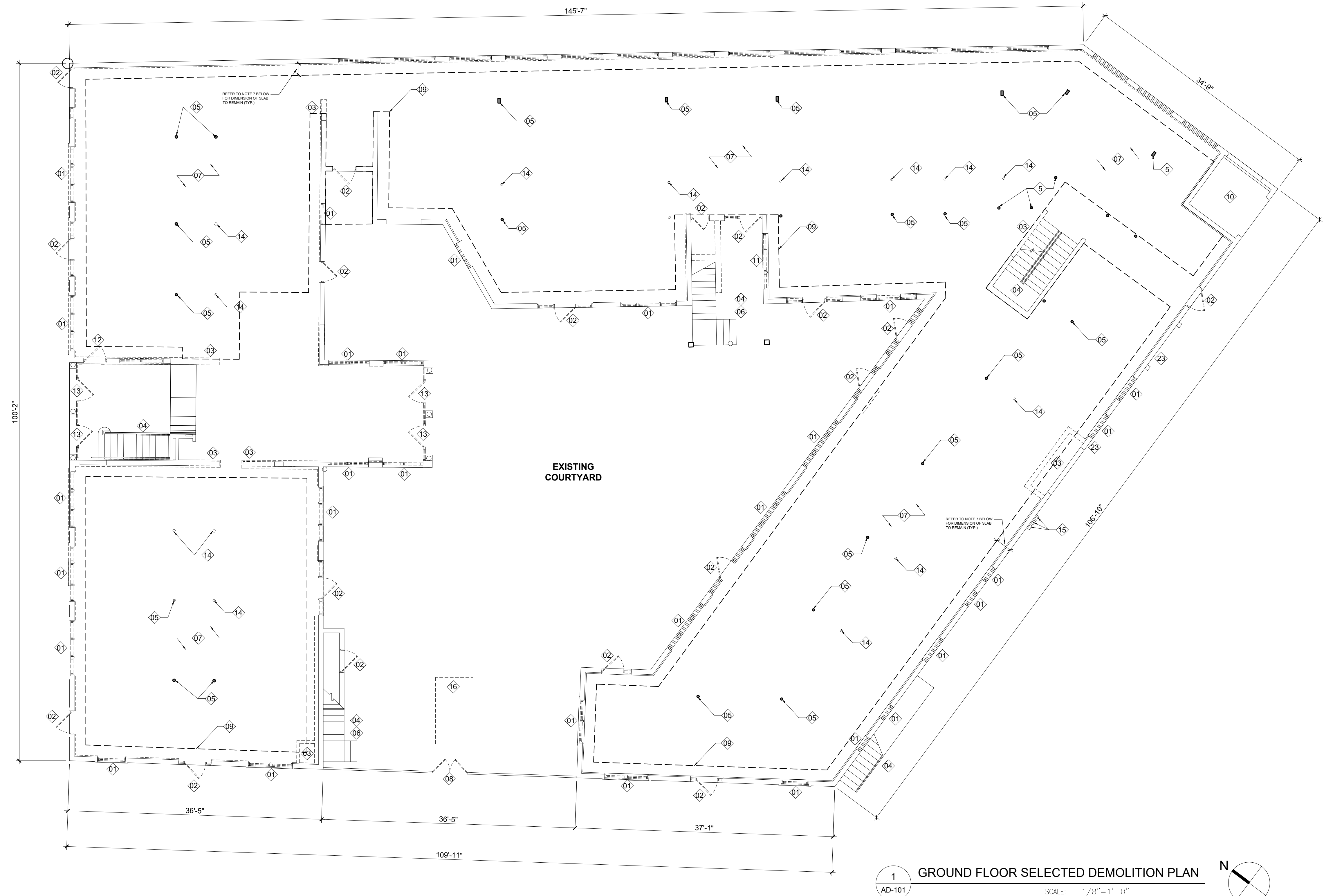
	MIN. ALLOWED	PROVIDED
DOOR WIDTH	32"	72"
FUTURE OFFICE SPACE		
EXIT SEPERATION:		
FUTURE OFFICES PACE	25'	13'
- OCCUPANCY LOAD TYPE AND CALCULATION:**

**OCCUPANT LOAD FACTOR AS PER FBC 2017**  
 (CHAPTER 10, MEANS OF EGRESS, TABLE 1004.1.2) PER NFPA 101 2015  
 THE FOLLOWING FACTORS ARE BEING USED AS THEY RELATE TO AREAS,

PROPOSED AREA:	SQUARE FOOTAGE	OCCUPANT LOAD
FUTURE OFFICE SPACES	580 SF / 100 (GROSS)	6 OCCUPANTS

**NOTES:**

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- FOR FLOOR PLAN LEGEND AND SYMBOLS SEE SHEET A-004.



1 GROUND FLOOR SELECTED DEMOLITION PLAN  
AD-101 SCALE: 1/8"=1'-0"

DEMOLITION KEY NOTES		GENERAL DEMOLITION NOTES																
<p>01 EXISTING WINDOW TO BE REMOVED AND REPLACED WITH IMPACT WINDOW. TYP. SEE SHEET A-309 FOR OPENING SCHEDULE</p> <p>02 EXISTING DOOR TO BE REMOVED AND REPLACED WITH IMPACT-RATED IN-KIND DOOR. TYP. NEW DOOR TO COMPLY WITH CALCULATED WIND PRESSURES AND H.P.B. C.O.A. (SP) 2019-015. SEE SHEET A-309 FOR EXTERIOR DOOR SCHEDULE</p> <p>03 EXISTING PORTION OF WALL TO BE REMOVED</p> <p>04 EXISTING STAIRS TO BE RESTORED. HANDRAILS TO BE REMOVED AND NEW ONES INSTALLED TO COMPLY WITH F.B.C. SEE DETAILS ON SHEET A-401.</p> <p>05 EXISTING COLUMNS TO REMAIN, SEE STRUCTURAL DRAWINGS</p> <p>06 STAIRCASE TO BE SEALED OFF FROM USE.</p> <p>GC TO COMPLETELY REMOVE EXISTING CONC. SLAB BY SAW-CUTTING PORTIONS NO LARGER THAN 4'X4' AND DISPOSE OF THEM ACCORDINGLY. EXTREME CARE IS TO BE TAKEN NOT TO DISTURB NEWLY POURED FOUNDATION ALONG NEW STRUCT. WALL COORDINATE PORTIONS AND DIMENSIONS OF EXISTING CONC. SLAB WITH STRUCT. DWGS.</p> <p>08 EXISTING GATE TO BE ALTERED TO MEET FIRE REQUIREMENT. ORIGINAL DESIGN TO BE PRESERVED.</p> <p>09 NEW FOUNDATION LINE</p> <p>10 REMOVE EXISTING MOP SINK AND FLOOR DRAIN.</p> <p>11 EXISTING WINDOW TO BE REMOVED</p>	<p>12 EXISTING DOOR TO BE REMOVED</p> <p>13 EXISTING DOORS, FRAMES AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW IMPACT FRAMELESS WINDOWS/DOOR. SEE SCHEDULE SHEET A-309.</p> <p>14 EXISTING COLUMN TO BE REMOVED, SEE STRUCTURAL DRAWINGS</p> <p>15 EXISTING ELECTRICAL METERS TO BE REMOVED.</p> <p>16 AREA OF OLD GREASE TRAP. REMOVE ABANDONED GREASE TRAP AND FILL AREA.</p> <p>17 EXISTING COLUMN TO BE REMOVED FOLLOWING THE REPLACEMENT OF THE ROOF, SEE STRUCTURAL DRAWINGS</p> <p>18 EXISTING STAIRS TO BE REMOVED</p> <p>19 EXISTING ROOF EQUIPMENT TO BE REMOVED</p> <p>20 EXISTING ROOF TO BE REMOVED AND REPLACED WITH WATERPROOFING MEMBRANE OVER NEW INSULATED TAPERED CONCRETE, SEE STRUCTURAL DRAWINGS.</p> <p>21 EXISTING SCUPPERS TO REMAIN</p> <p>22 EXISTING SKYLIGHT TO BE REMOVED</p> <p>23 REMOVE EXISTING LOUVERS AND INFILL OPENING. SEE ELEVATION SHEET A-202 FOR LOCATION. SEE DETAIL 11 ON SHEET A-401 FOR INFILL DETAIL.</p>	<p>1. COORDINATE EXTENT OF CONCRETE SLAB DEMOLITION WITH STRUCTURAL DRAWINGS SHEET S-1.</p> <p>2. FOR DEMOLITION LEGEND SEE SHEET A-004.</p> <p>3. PROVIDE AND MAINTAIN ALL SHORING, BRACING, ETC. AS MAY BE REQUIRED TO SUPPORT EXISTING WORK DURING REMOVAL.</p> <p>4. REMOVE ALL DOOR, HARDWARE, FIXTURES, CABINETRY AND APPLIANCES WHERE INDICATED. PATCH FLOORS AND WALLS AS NECESSARY.</p> <p>5. DEMOLISH ALL SUSPENDED CEILINGS AND SOFFITS, AND FASCIAS INCLUDING BUT NOT LIMITED TO, GYPSUM WALL BOARD, ACOUSTICAL TILE, METAL OR WOOD FRAMING, FLOOR FINISH AND TILE (UNLESS OTHERWISE NOTED).</p> <p>6. REMOVE PLUMBING FIXTURES, BRANCH PIPING, RUNOUTS TO RISERS, ETC. U.O.N. EXISTING PLUMBING RISERS TO REMAIN THROUGHOUT.</p> <p>7. ALL SANITARY PIPING ENCOUNTERED DURING DEMOLITION THAT WILL NOT BE USED SHALL BE CAPPED WITH A CODE-COMPLIANT CAPPING MATERIAL.</p> <p>8. REMOVE ELECTRIC BRANCH WIRING, LIGHTING FIXTURES, ETC. TO EXISTING PANELS. EXISTING ELECTRIC PANELS AND RISERS TO REMAIN, U.O.N.</p> <p>9. ALL ELECTRICAL LINES ENCOUNTERED DURING DEMOLITION SHALL BE ABANDONED UP TO POINT OF INITIAL CONNECTION UNLESS SPECIFICALLY DETERMINED BY THE CONTRACTOR TO BE REUSED.</p> <p>10. ALL LIGHT FIXTURES NOT BEING USED SHALL BE DISPOSED OF AND RECYCLED, U.O.N., VIA A CERTIFIED FIRM. CONTRACTOR SHALL PROVIDE PROOF THEREOF.</p>	<p>11. REMOVE ALL LOW VOLTAGE CABLES AND ELECTRICAL WIRES, J-BOXES, HOOKUPS, ETC. THAT ARE NOT BEING USED OR WILL NOT BE USABLE IN THE FUTURE. REMOVE ALL CABLES ALL THE WAY TO THE ELECTRICAL PANELS AND MAKE CIRCUIT BREAKERS FREE.</p> <p>12. CONTRACTOR SHALL PERFORM ALL PRACTICAL CARE TO PROVIDE DUST AND NOISE CONTROL PROTECTION. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.</p> <p>13. CONTRACTOR SHALL PROVIDE ALL FLOOR AND WALL PROTECTIONS AND ALL NECESSARY BARRICADES AND SAFETY BARRIERS AS REQUIRED BY WORK.</p> <p>14. UPON COMPLETION OF DEMOLITION, THE ENTIRE AREA SHALL BE CLEANED OF ALL DEBRIS AND PREPARED FOR NEW CONSTRUCTION.</p> <p>15. STRUCTURAL REPAIRS AND ALTERATIONS TO REINFORCE THE BUILDING UNDER PERMIT # BL-18-11-2786</p>															
		<p>BUILDING IS CURRENTLY VACANT.</p> <p>BUILDING SHALL NOT BE OCCUPIED DURING CONSTRUCTION AS PER NFPA 1 CHAPTER 10 SECTION 10.3.3.</p> <p>BUILDINGS OR PORTIONS OF BUILDINGS EXCEPT FOR ROUTINE MAINTENANCE OR REPAIR SHALL NOT BE OCCUPIED DURING CONSTRUCTION, REPAIR, OR ALTERATION WITHOUT APPROVAL OF THE AHJ IF REQUIRED MEANS OF EGRESS ARE IMPAIRED OR REQUIRED FIRE PROTECTION SYSTEMS ARE OUT OF SERVICE.</p>																
<p>REVISIONS</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>		NO.	DATE	DESCRIPTION													<p>PROJECT NUMBER <b>2019-008</b></p> <p>DATE 02/06/2020</p> <p>SHEET TITLE GROUND FLOOR SELECTED DEMOLITION PLAN</p> <p>DRAWN BY L. R.</p> <p>CHECKED BY J. S. K.</p> <p>SHEET NUMBER <b>AD-101</b></p>	
NO.	DATE	DESCRIPTION																

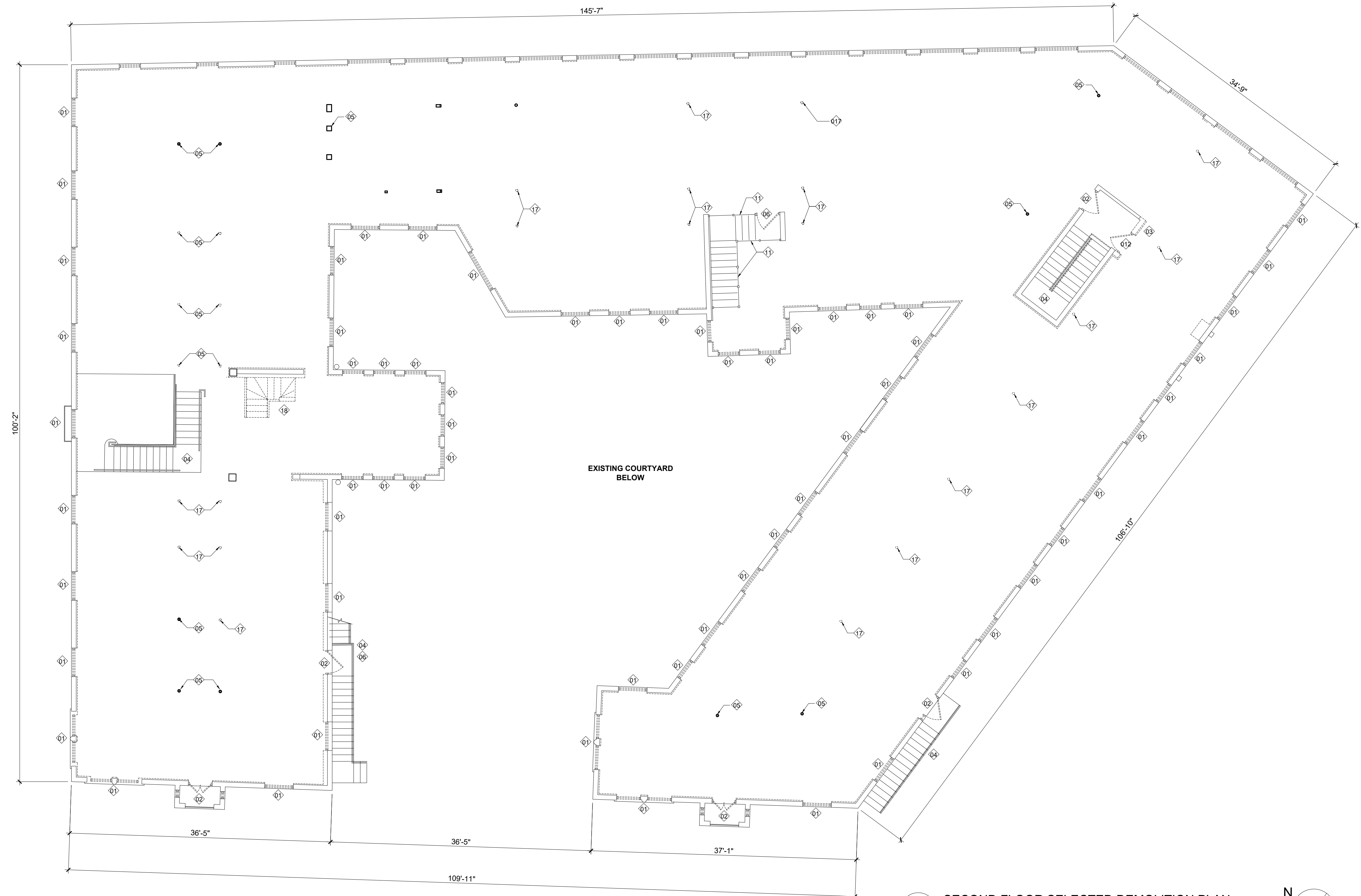


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 SUBMITTAL**



1 SECOND FLOOR SELECTED DEMOLITION PLAN  
 AD-102 SCALE: 1/8"=1'-0"

DEMOLITION KEY NOTES		GENERAL DEMOLITION NOTES	
<ul style="list-style-type: none"> <li>① EXISTING WINDOW TO BE REMOVED AND REPLACED WITH IMPACT WINDOW. TYP. SEE SHEET A-309 FOR OPENING SCHEDULE</li> <li>② EXISTING DOOR TO BE REMOVED AND REPLACED WITH IMPACT-RATED IN-KIND DOOR. TYP. NEW DOOR TO COMPLY WITH CALCULATED WIND PRESSURES AND H.P.B. C.O.A. (SP) 2019-015. SEE SHEET A-309 FOR EXTERIOR DOOR SCHEDULE</li> <li>③ EXISTING PORTION OF WALL TO BE REMOVED</li> <li>④ EXISTING STAIRS TO BE RESTORED. HANDRAILS TO BE REMOVED AND NEW ONES INSTALLED TO COMPLY WITH F.B.C. SEE DETAILS ON SHEET A-401.</li> <li>⑤ EXISTING COLUMNS TO REMAIN. SEE STRUCTURAL DRAWINGS</li> <li>⑥ STAIRCASE TO BE SEALED OFF FROM USE.</li> <li>GC TO COMPLETELY REMOVE EXISTING CONC. SLAB BY SAW-CUTTING PORTIONS NO LARGER THAN 4'X4' AND DISPOSE OF THEM ACCORDINGLY. EXTREME CARE IS TO BE TAKEN NOT TO DISTURB NEWLY POURED FOUNDATION ALONG NEW STRUCT. WALL COORDINATE PORTIONS AND DIMENSIONS OF EXISTING CONC. SLAB WITH STRUCT. DWGS.</li> <li>⑦ EXISTING GATE TO BE ALTERED TO MEET FIRE REQUIREMENT. ORIGINAL DESIGN TO BE PRESERVED.</li> <li>⑧ NEW FOUNDATION LINE</li> <li>⑨ REMOVE EXISTING MOP SINK AND FLOOR DRAIN.</li> <li>⑩ EXISTING WINDOW TO BE REMOVED</li> </ul>	<ul style="list-style-type: none"> <li>⑪ EXISTING DOOR TO BE REMOVED</li> <li>⑫ EXISTING DOORS, FRAMES AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW IMPACT FRAMELESS WINDOWS/DOOR. SEE SCHEDULE SHEET A-309.</li> <li>⑬ EXISTING COLUMN TO BE REMOVED, SEE STRUCTURAL DRAWINGS</li> <li>⑭ EXISTING ELECTRICAL METERS TO BE REMOVED.</li> <li>⑮ AREA OF OLD GREASE TRAP. REMOVE ABANDONED GREASE TRAP AND FILL AREA.</li> <li>⑯ EXISTING COLUMN TO BE REMOVED FOLLOWING THE REPLACEMENT OF THE ROOF. SEE STRUCTURAL DRAWINGS</li> <li>⑰ EXISTING STAIRS TO BE REMOVED</li> <li>⑱ EXISTING ROOF EQUIPMENT TO BE REMOVED</li> <li>⑲ EXISTING ROOF TO BE REMOVED AND REPLACED WITH WATERPROOFING MEMBRANE OVER NEW INSULATED TAPERED CONCRETE. SEE STRUCTURAL DRAWINGS.</li> <li>⑳ EXISTING SCUPPERS TO REMAIN</li> <li>㉑ EXISTING SKYLIGHT TO BE REMOVED</li> <li>㉒ REMOVE EXISTING LOUVERS AND INFILL OPENING. SEE ELEVATION SHEET A-202 FOR LOCATION. SEE DETAIL 11 ON SHEET A-401 FOR INFILL DETAIL.</li> </ul>	<ol style="list-style-type: none"> <li>1. COORDINATE EXTENT OF CONCRETE SLAB DEMOLITION WITH STRUCTURAL DRAWINGS SHEET S-1.</li> <li>2. FOR DEMOLITION LEGEND SEE SHEET A-004.</li> <li>3. PROVIDE AND MAINTAIN ALL SHORING, BRACING, ETC. AS MAY BE REQUIRED TO SUPPORT EXISTING WORK DURING REMOVAL.</li> <li>4. REMOVE ALL DOOR, HARDWARE, FIXTURES, CABINETRY AND APPLIANCES WHERE INDICATED. PATCH FLOORS AND WALLS AS NECESSARY.</li> <li>5. DEMOLISH ALL SUSPENDED CEILINGS AND SOFFITS, AND FASCIAS INCLUDING BUT NOT LIMITED TO, GYPSUM WALL BOARD, ACOUSTICAL TILE, METAL OR WOOD FRAMING, FLOOR FINISH AND TILE (UNLESS OTHERWISE NOTED).</li> <li>6. REMOVE PLUMBING FIXTURES, BRANCH PIPING, RUNOUTS TO RISERS, ETC. U.O.N. EXISTING PLUMBING RISERS TO REMAIN THROUGHOUT.</li> <li>7. ALL SANITARY PIPING ENCOUNTERED DURING DEMOLITION THAT WILL NOT BE USED SHALL BE CAPPED WITH A CODE-COMPLIANT CAPPING MATERIAL.</li> <li>8. REMOVE ELECTRIC BRANCH WIRING, LIGHTING FIXTURES, ETC. TO EXISTING PANELS. EXISTING ELECTRIC PANELS AND RISERS TO REMAIN, U.O.N.</li> <li>9. ALL ELECTRICAL LINES ENCOUNTERED DURING DEMOLITION SHALL BE ABANDONED UP TO POINT OF INITIAL CONNECTION UNLESS SPECIFICALLY DETERMINED BY THE CONTRACTOR TO BE REUSED.</li> <li>10. ALL LIGHT FIXTURES NOT BEING USED SHALL BE DISPOSED OF AND RECYCLED, U.O.N., VIA A CERTIFIED FIRM. CONTRACTOR SHALL PROVIDE PROOF THEREOF.</li> </ol>	<ol style="list-style-type: none"> <li>11. REMOVE ALL LOW VOLTAGE CABLES AND ELECTRICAL WIRES, J-BOXES, HOOKUPS, ETC. THAT ARE NOT BEING USED OR WILL NOT BE USABLE IN THE FUTURE. REMOVE ALL CABLES ALL THE WAY TO THE ELECTRICAL PANELS AND MAKE CIRCUIT BREAKERS FREE.</li> <li>12. CONTRACTOR SHALL PERFORM ALL PRACTICAL CARE TO PROVIDE DUST AND NOISE CONTROL PROTECTION. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.</li> <li>13. CONTRACTOR SHALL PROVIDE ALL FLOOR AND WALL PROTECTIONS AND ALL NECESSARY BARRICADES AND SAFETY BARRIERS AS REQUIRED BY WORK.</li> <li>14. UPON COMPLETION OF DEMOLITION, THE ENTIRE AREA SHALL BE CLEANED OF ALL DEBRIS AND PREPARED FOR NEW CONSTRUCTION.</li> <li>15. STRUCTURAL REPAIRS AND ALTERATIONS TO REINFORCE THE BUILDING UNDER PERMIT # BL-18-11-2786</li> </ol>
		<p>BUILDING IS CURRENTLY VACANT.</p> <p>BUILDING SHALL NOT BE OCCUPIED DURING CONSTRUCTION AS PER NFPA 1 CHAPTER 10 SECTION 10.3.3:</p> <p>BUILDINGS OR PORTIONS OF BUILDINGS EXCEPT FOR ROUTINE MAINTENANCE OR REPAIR SHALL NOT BE OCCUPIED DURING CONSTRUCTION, REPAIR, OR ALTERATION WITHOUT APPROVAL OF THE AHJ IF REQUIRED MEANS OF EGRESS ARE IMPAIRED OR REQUIRED FIRE PROTECTION SYSTEMS ARE OUT OF SERVICE.</p>	



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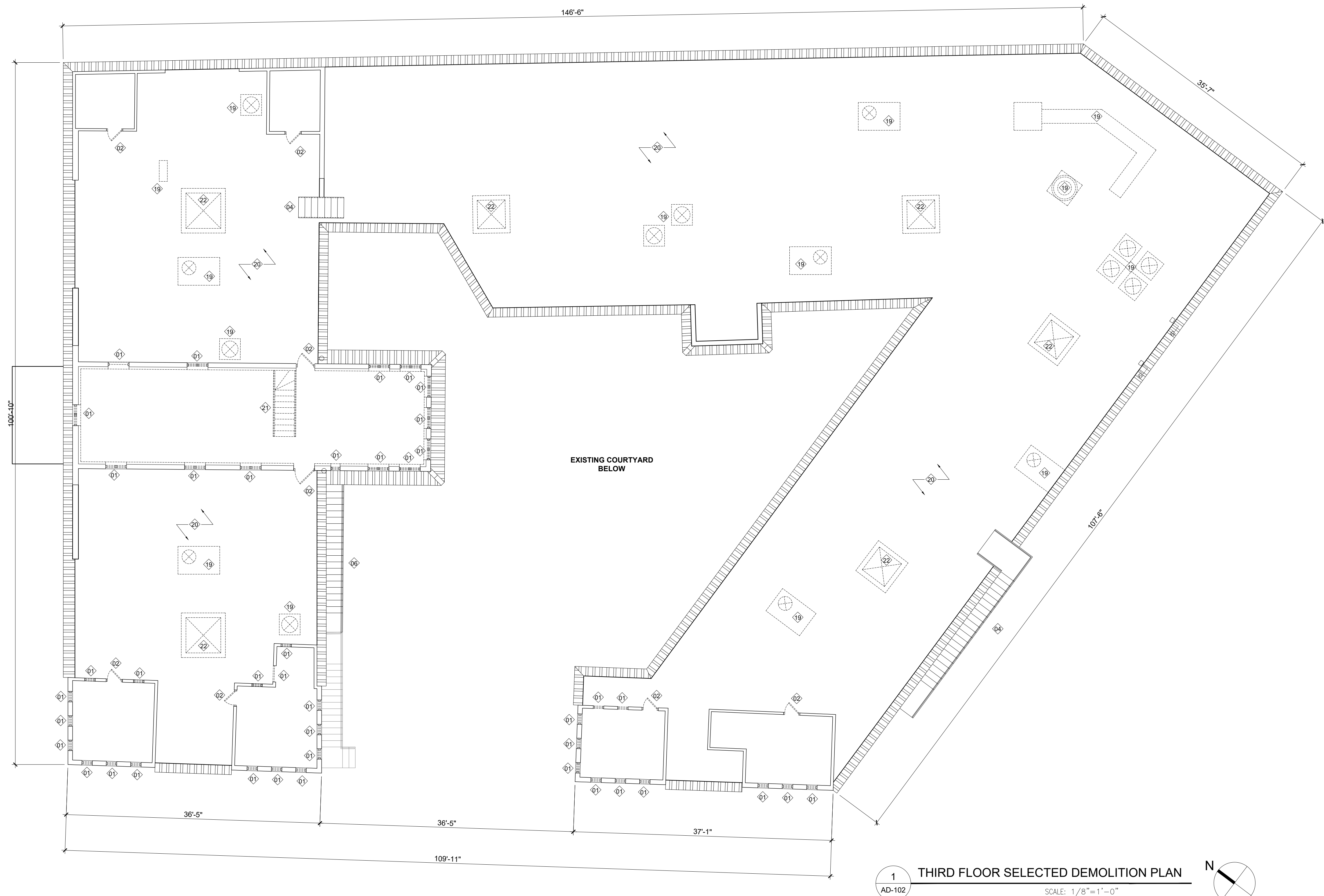


**LA PALMA  
 REHABILITATION AND  
 RESTORATION**  
 112 ALHAMBRA CIRCLE,  
 CORAL GABLES, FL 33134

**PERMIT  
 SUBMITTAL**

REVISIONS	DATE

PROJECT NUMBER <b>2019-008</b>
DATE 02/06/2020
SHEET TITLE SECOND FLOOR SELECTED DEMOLITION PLAN
DRAWN BY L. R.
CHECKED BY J. S. K.
SHEET NUMBER <b>AD-102</b>



1 THIRD FLOOR SELECTED DEMOLITION PLAN  
AD-102 SCALE: 1/8"=1'-0"

DEMOLITION KEY NOTES		GENERAL DEMOLITION NOTES	
<ul style="list-style-type: none"> <li>1. EXISTING WINDOW TO BE REMOVED AND REPLACED WITH IMPACT WINDOW. TYP. SEE SHEET A-309 FOR OPENING SCHEDULE.</li> <li>2. EXISTING DOOR TO BE REMOVED AND REPLACED WITH IMPACT-RATED IN-KIND DOOR. TYP. NEW DOOR TO COMPLY WITH CALCULATED WIND PRESSURES AND H.P.B. C.O.A. (SP) 2019-015. SEE SHEET A-309 FOR EXTERIOR DOOR SCHEDULE.</li> <li>3. EXISTING PORTION OF WALL TO BE REMOVED.</li> <li>4. EXISTING STAIRS TO BE RESTORED. HANDRAILS TO BE REMOVED AND NEW ONES INSTALLED TO COMPLY WITH F.B.C. SEE DETAILS ON SHEET A-401.</li> <li>5. EXISTING COLUMNS TO REMAIN, SEE STRUCTURAL DRAWINGS.</li> <li>6. STAIRCASE TO BE SEALED OFF FROM USE. GC TO COMPLETELY REMOVE EXISTING CONC. SLAB BY SAW-CUTTING PORTIONS NO LARGER THAN 4'X4' AND DISPOSE OF THEM ACCORDINGLY. EXTREME CARE IS TO BE TAKEN NOT TO DISTURB NEWLY POURED FOUNDATION ALONG NEW STRUCT. WALL COORDINATE PORTIONS AND DIMENSIONS OF EXISTING CONC. SLAB WITH STRUCT. DWGS.</li> <li>7. EXISTING GATE TO BE ALTERED TO MEET FIRE REQUIREMENT. ORIGINAL DESIGN TO BE PRESERVED.</li> <li>8. NEW FOUNDATION LINE.</li> <li>9. REMOVE EXISTING MOP SINK AND FLOOR DRAIN.</li> <li>10. EXISTING WINDOW TO BE REMOVED.</li> </ul>	<ul style="list-style-type: none"> <li>11. EXISTING DOOR TO BE REMOVED.</li> <li>12. EXISTING DOORS, FRAMES AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW IMPACT FRAMELESS WINDOWS/DOOR. SEE SCHEDULE SHEET A-309.</li> <li>13. EXISTING COLUMN TO BE REMOVED, SEE STRUCTURAL DRAWINGS.</li> <li>14. EXISTING ELECTRICAL METERS TO BE REMOVED.</li> <li>15. AREA OF OLD GREASE TRAP. REMOVE ABANDONED GREASE TRAP AND FILL AREA.</li> <li>16. EXISTING COLUMN TO BE REMOVED FOLLOWING THE REPLACEMENT OF THE ROOF, SEE STRUCTURAL DRAWINGS.</li> <li>17. EXISTING STAIRS TO BE REMOVED.</li> <li>18. EXISTING ROOF EQUIPMENT TO BE REMOVED.</li> <li>19. EXISTING ROOF TO BE REMOVED AND REPLACED WITH WATERPROOFING MEMBRANE OVER NEW INSULATED TAPERED CONCRETE, SEE STRUCTURAL DRAWINGS.</li> <li>20. EXISTING SCUPPERS TO REMAIN.</li> <li>21. EXISTING SKYLIGHT TO BE REMOVED.</li> <li>22. REMOVE EXISTING LOUVERS AND INFILL OPENING. SEE ELEVATION SHEET A-202 FOR LOCATION. SEE DETAIL 11 ON SHEET A-401 FOR INFILL DETAIL.</li> </ul>	<ol style="list-style-type: none"> <li>1. COORDINATE EXTENT OF CONCRETE SLAB DEMOLITION WITH STRUCTURAL DRAWINGS SHEET S-1.</li> <li>2. FOR DEMOLITION LEGEND SEE SHEET A-004.</li> <li>3. PROVIDE AND MAINTAIN ALL SHORING, BRACING, ETC. AS MAY BE REQUIRED TO SUPPORT EXISTING WORK DURING REMOVAL.</li> <li>4. REMOVE ALL DOOR, HARDWARE, FIXTURES, CABINETS AND APPLIANCES WHERE INDICATED. PATCH FLOORS AND WALLS AS NECESSARY.</li> <li>5. DEMOLISH ALL SUSPENDED CEILINGS AND SOFFITS, AND FASCIAS INCLUDING BUT NOT LIMITED TO, GYPSUM WALL BOARD, ACOUSTICAL TILE, METAL OR WOOD FRAMING, FLOOR FINISH AND TILE (UNLESS OTHERWISE NOTED).</li> <li>6. REMOVE PLUMBING FIXTURES, BRANCH PIPING, RUNOUTS TO RISERS, ETC. U.O.N. EXISTING PLUMBING RISERS TO REMAIN THROUGHOUT.</li> <li>7. ALL SANITARY PIPING ENCOUNTERED DURING DEMOLITION THAT WILL NOT BE USED SHALL BE CAPPED WITH A CODE-COMPLIANT CAPPING MATERIAL.</li> <li>8. REMOVE ELECTRIC BRANCH WIRING, LIGHTING FIXTURES, ETC. TO EXISTING PANELS. EXISTING ELECTRIC PANELS AND RISERS TO REMAIN, U.O.N.</li> <li>9. ALL ELECTRICAL LINES ENCOUNTERED DURING DEMOLITION SHALL BE ABANDONED UP TO POINT OF INITIAL CONNECTION UNLESS SPECIFICALLY DETERMINED BY THE CONTRACTOR TO BE REUSED.</li> <li>10. ALL LIGHT FIXTURES NOT BEING USED SHALL BE DISPOSED OF AND RECYCLED, U.O.N., VIA A CERTIFIED FIRM. CONTRACTOR SHALL PROVIDE PROOF THEREOF.</li> </ol>	<ol style="list-style-type: none"> <li>11. REMOVE ALL LOW VOLTAGE CABLES AND ELECTRICAL WIRES, J-BOXES, HOOKUPS, ETC. THAT ARE NOT BEING USED OR WILL NOT BE USABLE IN THE FUTURE. REMOVE ALL CABLES ALL THE WAY TO THE ELECTRICAL PANELS AND MAKE CIRCUIT BREAKERS FREE.</li> <li>12. CONTRACTOR SHALL PERFORM ALL PRACTICAL CARE TO PROVIDE DUST AND NOISE CONTROL PROTECTION. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.</li> <li>13. CONTRACTOR SHALL PROVIDE ALL FLOOR AND WALL PROTECTIONS AND ALL NECESSARY BARRICADES AND SAFETY BARRIERS AS REQUIRED BY WORK.</li> <li>14. UPON COMPLETION OF DEMOLITION, THE ENTIRE AREA SHALL BE CLEANED OF ALL DEBRIS AND PREPARED FOR NEW CONSTRUCTION.</li> <li>15. STRUCTURAL REPAIRS AND ALTERATIONS TO REINFORCE THE BUILDING UNDER PERMIT # BL-18-11-2786.</li> </ol>
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 SUBMITTAL**

REVISIONS	DATE

PROJECT NUMBER <b>2019-008</b>
DATE 02/06/2020
SHEET TITLE SECOND FLOOR SELECTED DEMOLITION PLAN
DRAWN BY L. R.
CHECKED BY J. S. K.
SHEET NUMBER <b>AD-103</b>

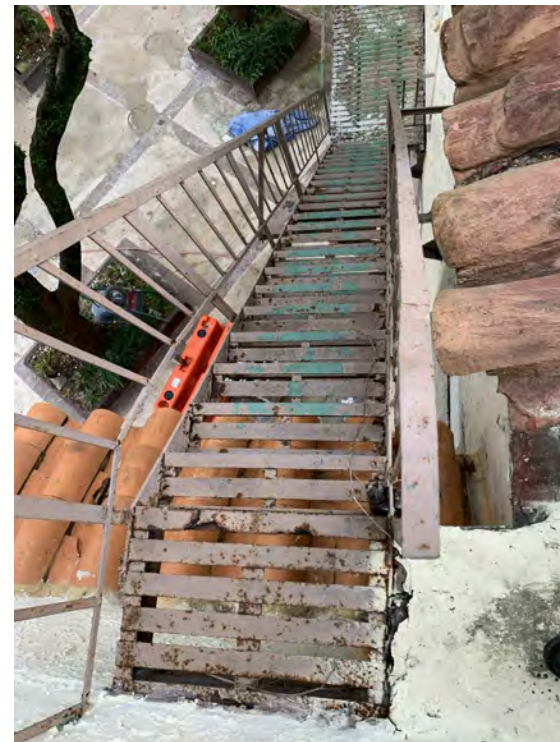


PHOTO 1 - EXISTING STAIR #5

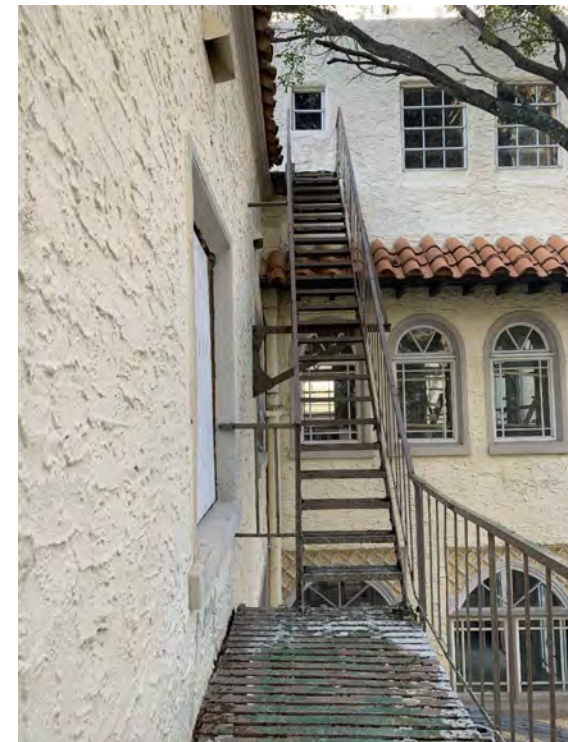


PHOTO 2 - EXISTING STAIR #5



PHOTO 3 - EXISTING STAIR #5



PHOTO 4 - EXISTING STAIR #5



PHOTO 5 - EXISTING STAIR #5

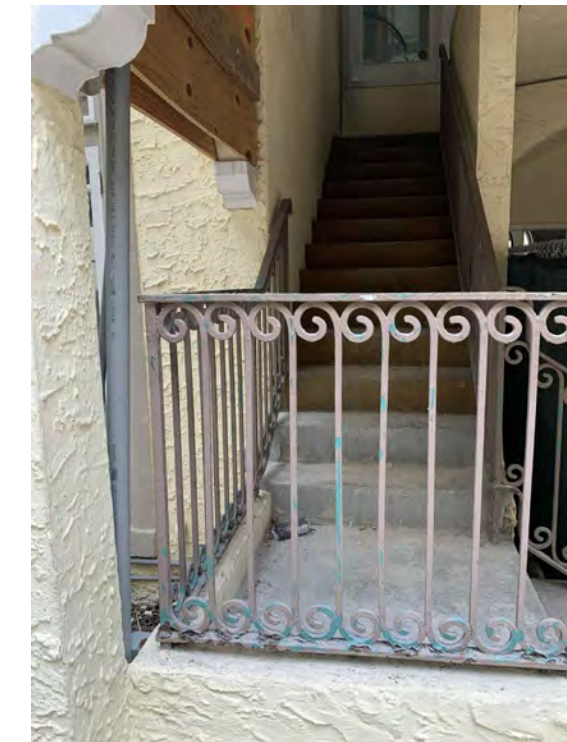


PHOTO 6 - EXISTING STAIR



PHOTO 7 - EXISTING STAIR

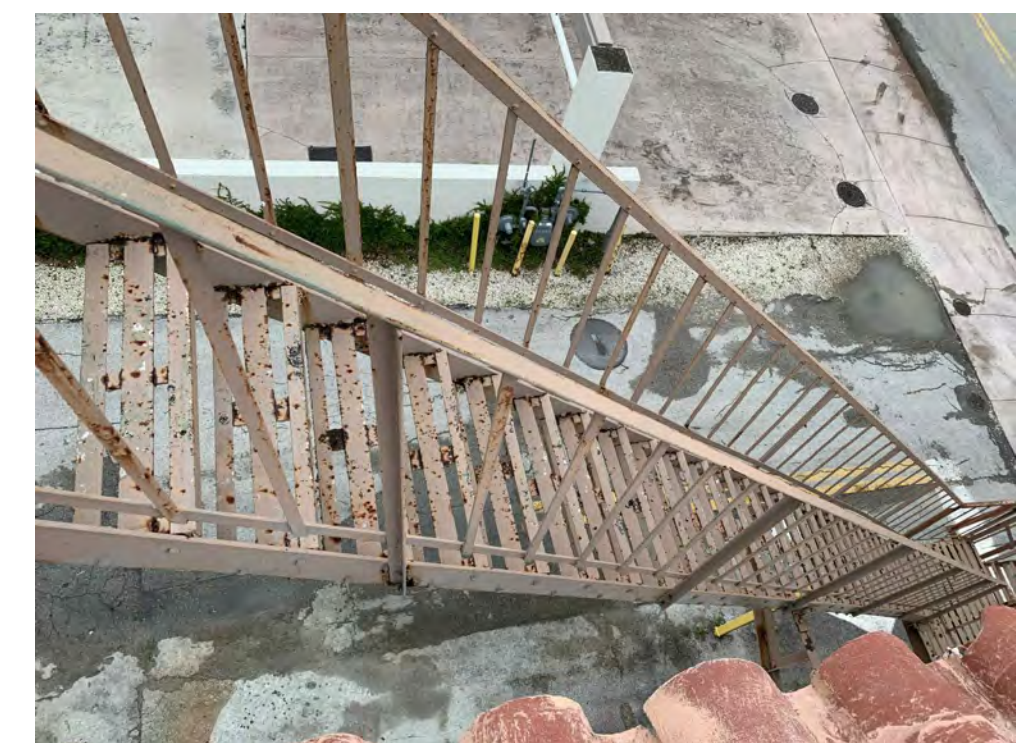
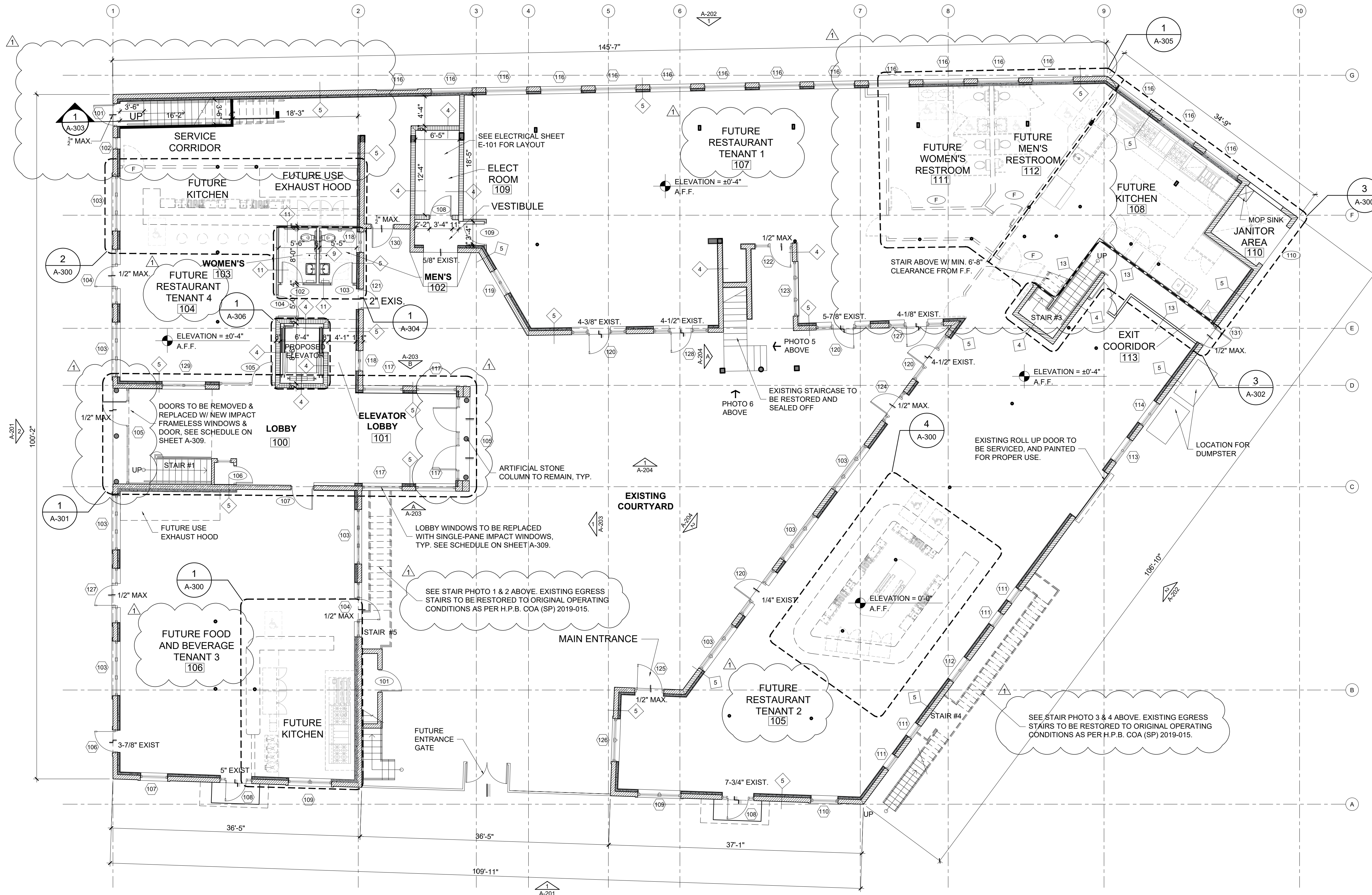


PHOTO 8 - EXISTING STAIR #4



PHOTO 9 - EXISTING STAIR #4



1 A-101 PROPOSED GROUND FLOOR PLAN SCALE: 1/8"=1'-0" N

- NOTES:**
1. SEE WINDOW AND DOOR SCHEDULE SHEET A-309
  2. ALL DESIGNATED MEANS OF EGRESS AS PER LS-101 SHALL HAVE A MAX DIFFERENCE OF ELEVATION OF 1/2"
  3. EXISTING COURTYARD SHALL BE GRADED AND DESIGNED UNDER A SEPARATE PERMIT
  4. FOR FLOOR PLAN LEGEND AND SYMBOLS SEE SHEET A-004.



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REVISIONS	DATE
1. BLDG. DEPT. COMMENTS	05/11/2020

PROJECT NUMBER  
**2019-008**

DATE  
02/06/2020

SHEET TITLE  
PROPOSED GROUND FLOOR PLAN

DRAWN BY  
L. R.

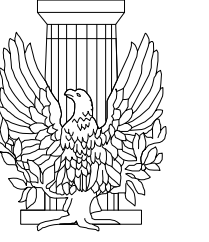
CHECKED BY  
J. S. K.

SHEET NUMBER  
**A-101**



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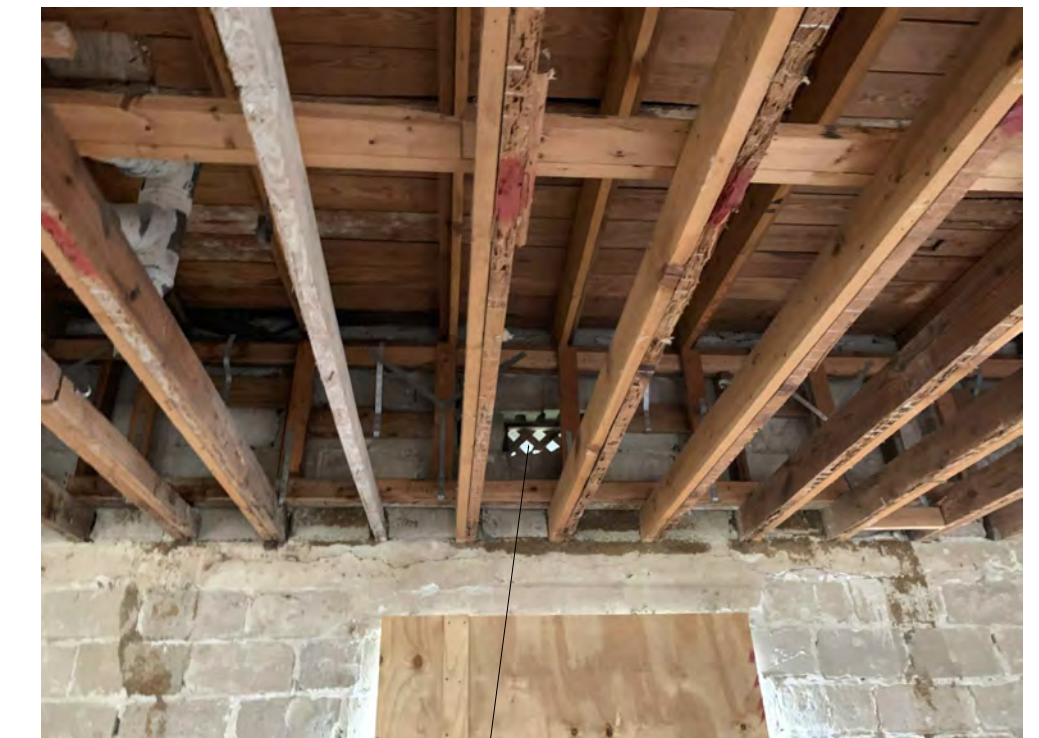
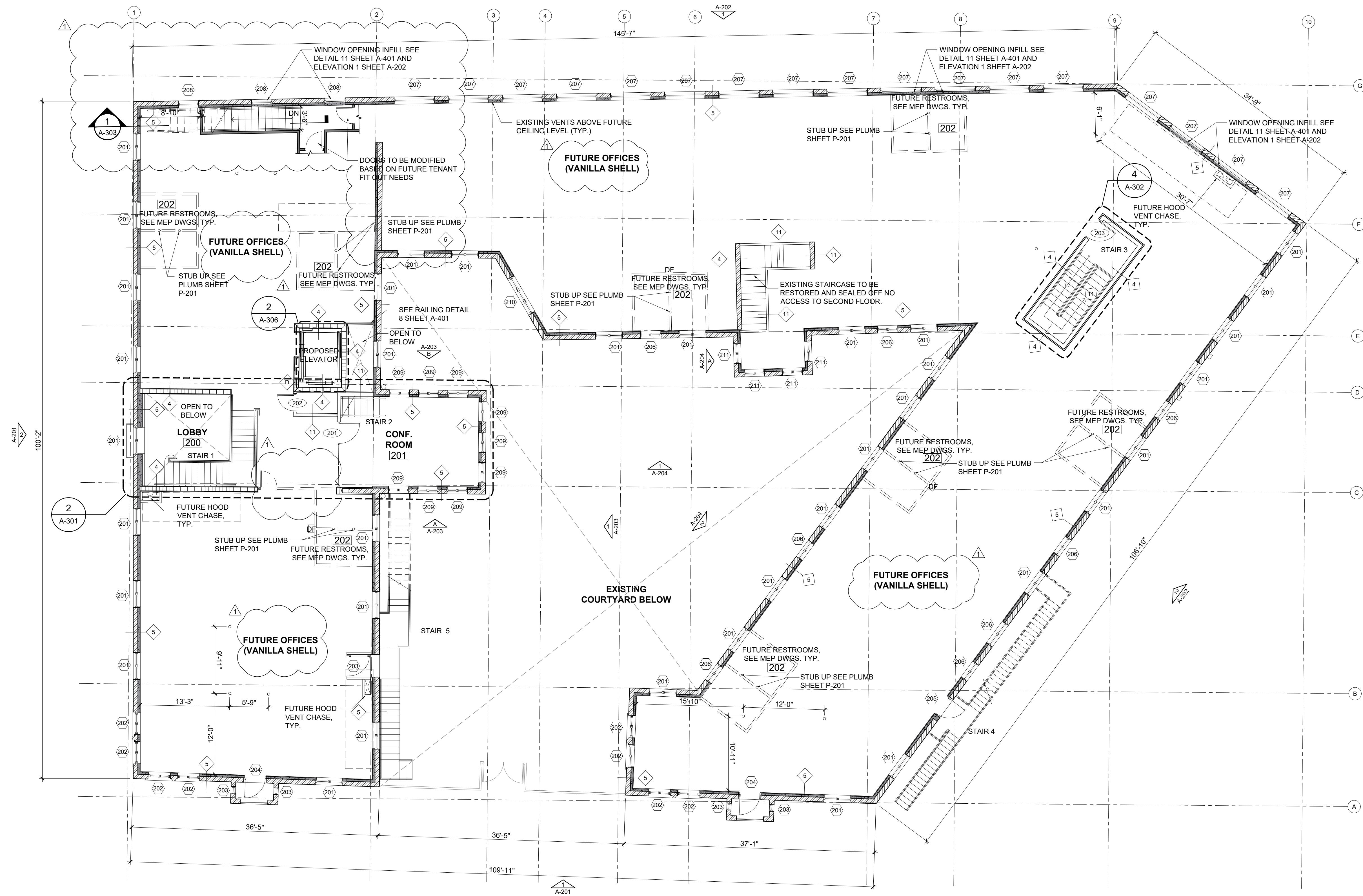
DATE  
 02/06/2020

SHEET TITLE  
 PROPOSED SECOND FLOOR PLAN

DRAWN BY  
 L. R.

CHECKED BY  
 J. S. K.

SHEET NUMBER  
**A-102**



ALL EXISTING VENT PENETRATIONS TO REMAIN AS ACTIVE PENETRATIONS. NOT TO BE COVERED WITH NEW CONC. BLOCK WALL TYP. SEE MECHANICAL PLANS



- NOTES:**
- SEE WINDOW AND DOOR SCHEDULE SHEET A-309
  - LAYOUT OF THIS SECOND FLOOR IS DEPICTED AS A VANILLA SHELL FOR FUTURE "B" BUSINESS OCCUPANCY. TENANT FIT OUT AND IMPROVEMENTS TO BE SUBMITTED UNDER A SEPARATE BUILDING PERMIT.
  - FOR FLOOR PLAN LEGEND AND SYMBOLS SEE SHEET A-004.
  - THESE DRAWINGS ARE MEANT FOR A VANILLA SHELL ONLY. ALL BATHROOMS CALLED FOR AS "FUTURE BATHROOMS" ARE FOR TENANT USE. AS SUCH FULL FCC. INCLUDING ADA COMPLIANCE SHALL BE REFLECTED IN FUTURE TENANT IMPROVEMENT DRAWINGS UNDER SEPARATE BUILDING PERMIT APPLICATIONS

**1** PROPOSED SECOND FLOOR PLAN  
 A-102 SCALE: 1/8"=1'-0"



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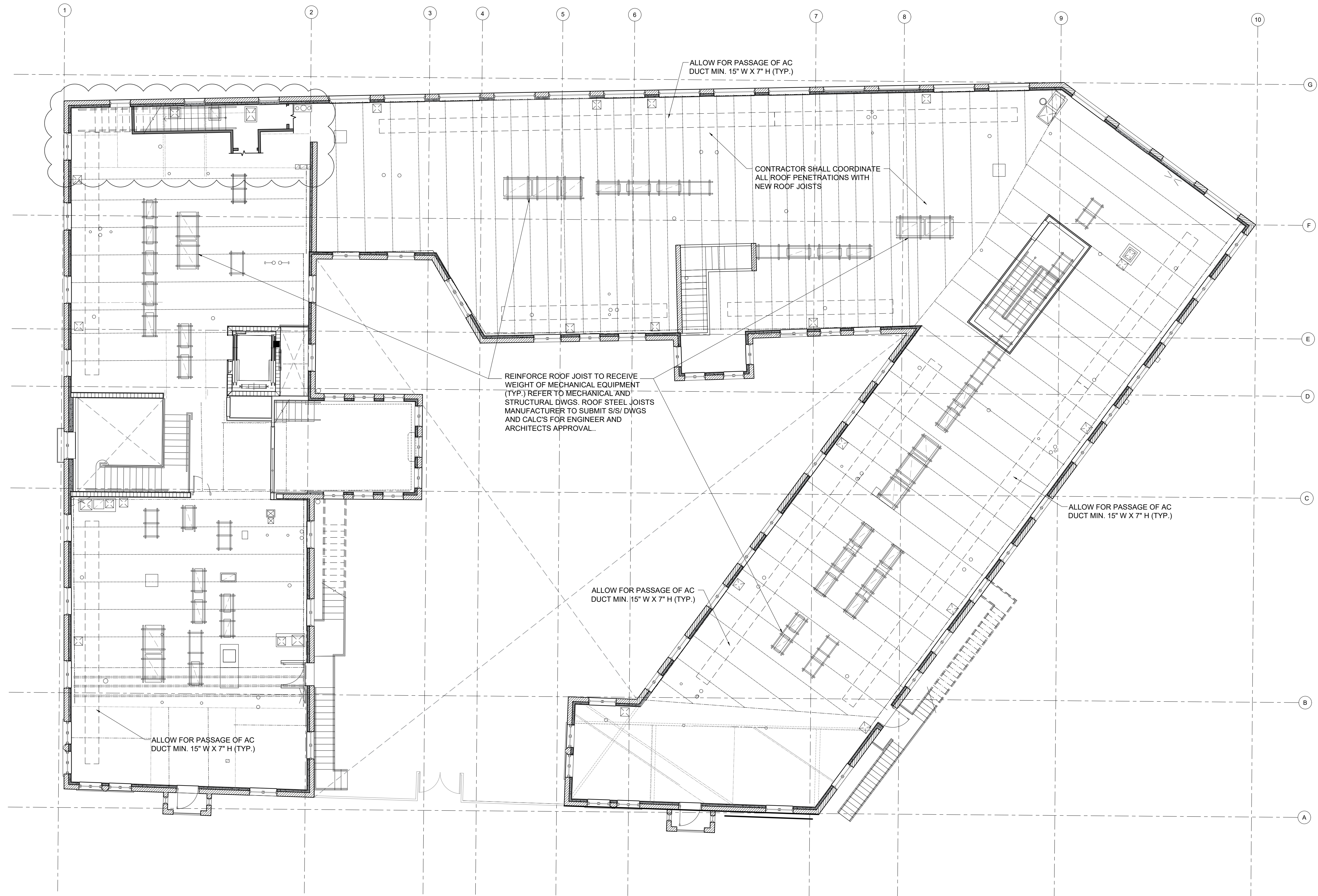
DATE  
 02/06/2020

SHEET TITLE  
 SECOND FLOOR ROOF FRAMING PLAN

DRAWN BY  
 L. R.

CHECKED BY  
 J. S. K.

SHEET NUMBER  
**A-102B**



1 SECOND FLOOR ROOF FRAMING PLAN  
 A-102B SCALE: 1/8"=1'-0" N



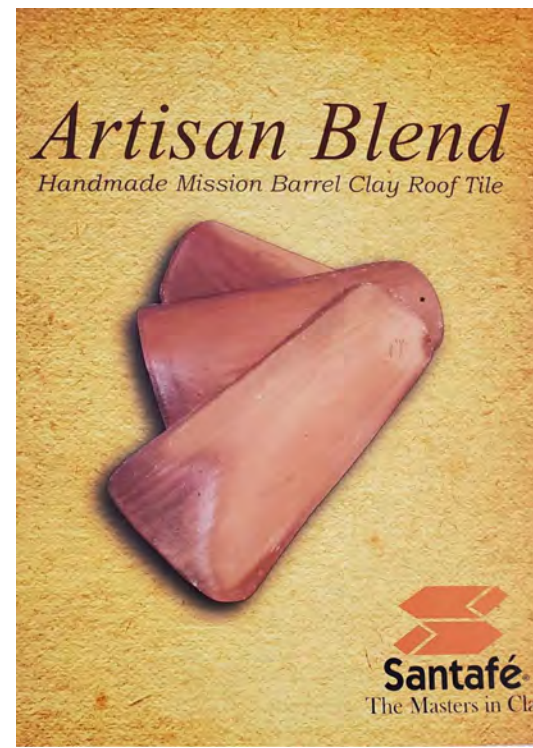


PHOTO 1 - ARTISAN BLEND CLAY ROOF TILES



PHOTO 2 - ARTISAN BLEND CLAY ROOF TILES



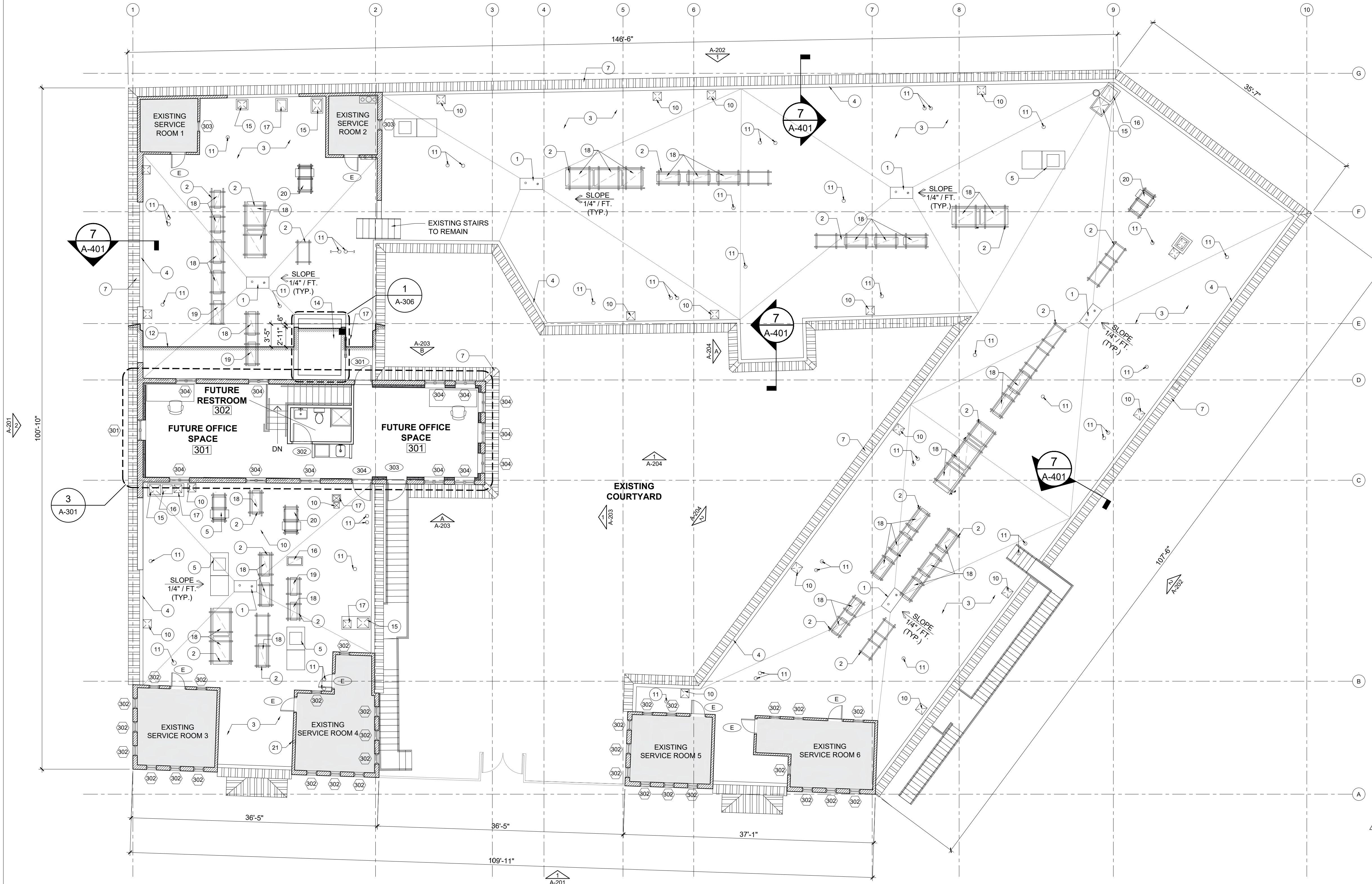
PHOTO 3 - EXISTING BARREL TILE ON COPING



PHOTO 4 - EXISTING ROOF CONDITION



PHOTO 5 - EXISTING BARREL TILE ON COPING



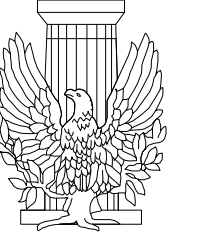
1 PROPOSED THIRD FLOOR PLAN - MAIN ROOF PLAN  
SCALE: 1/8"=1'-0"

- ROOF PLAN KEY NOTES**
- 6" ROOF DRAIN AND OVERFLOW DRAIN COMBO, (TYP.) ZURN Z-164 OR EQUAL. SEE DETAIL 4 ON SHEET A-401.
  - CONDENSER UNIT STANDS FOR FUTURE CONDENSING UNITS. SEE MECHANICAL SHEET M-202 AND STRUCTURAL SHEET S-3.
  - NEW ROOF DECK ON MAIN ROOF - VULKEM 350-351 WATER-PROOFING MEMBRANE OVER INSULATED TAPERED CONC (SEE NOA SHEET A-502) AND STRUCTURAL DWGS.
  - NEW CONC. REINFORCEMENT. SEE STRUCTURAL DRAWINGS AND DETAIL 7 ON SHEET A-401.
  - FUTURE CURB MOUNTED KITCHEN HOOD MAKE UP AIR SUPPLY FAN. SEE DETAIL 6 ON SHEET A-401 AND STRUCTURAL DWGS FOR ROOF REINFORCEMENTS.
  - EXHAUST DUCT FOR FUTURE TOILET EXHAUST FAN.
  - EXISTING ROOF TILE COPING ON PARAPET.
  - EXISTING TOWER ROOF TILE TO BE REPLACED WITH SANTAFE CLAY BARREL TILE (TYP.) SEE NOA SHEET A-502
  - EXISTING TOWER FLAT ROOF TO REMAIN RE-ROOFING ONLY.
  - GOOSENECK FOR FUTURE RESTAURANT LINES. TYP. REFER TO MECHANICAL & STRUCTURAL PLANS FOR LOCATION AND DETAILS OF PIPE SUPPORTS.
  - OUTSIDE AIR DUCT FOR FUTURE AIR HANDLING UNIT. PROVIDE CORROSION RESISTANT SCREEN.
  - ELEVATION OF NEW ELEVATOR SHAFT TO BE KEPT LOWER THAN EXISTING PERIMETER PARAPET.
  - MAIN ROOF DECK BELOW.
  - ELEVATOR ROOF. SEE SHEET A-306 FOR ELEVATOR DTLS.
  - HOOD MAKE UP AIR CAPPED DUCT.
  - HOOD EXHAUST CAPPED DUCT.
  - EXHAUST ROOF OPENING.
  - FUTURE CONDENSER
  - NEW CONDENSER UNIT
  - NEW STAND FOR FUTURE KITCHEN EXHAUST FAN UNIT AT ROOF. TIE DOWN SHALL BE MIAMI-DADE APPROVED. TO BE MINIMUM 10' AWAY FROM WALL OR 42" PARAPET SHALL BE USED. WIND LOAD CALCULATION / NOA BY STRUCTURAL ENGINEER. SEE STRUCTURAL PLANS
  - GAS WATER HEATER VENT DUCT. SEE MECHANICAL PLANS.
- NOTES:**
- INSULATED OUTSIDE AIR DUCT OR FUTURE AHU FROM BELOW
  - IF MECHANICAL EQUIPMENT IS VISIBLE FROM THE SIDEWALK SCREENINGS SHALL BE INSTALLED.
  - VENT TO ROOF REFER TO PLUMBING PLANS. FOR FLOOR PLAN LEGEND AND SYMBOLS SEE SHEET A-004.
  - SEE WINDOW AND DOOR SCHEDULE SHEET A-309



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REVISIONS	DATE
1 BLDG. DEPT. COMMENTS	05/11/2020

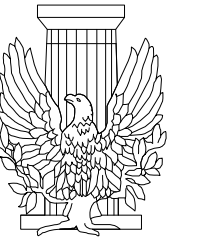
PROJECT NUMBER  
**2019-008**  
DATE  
02/06/2020  
SHEET TITLE  
PROPOSED THIRD FLOOR PLAN  
DRAWN BY  
L. R.  
CHECKED BY  
J. S. K.  
SHEET NUMBER

**A-103**



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PROJECT NUMBER  
**2019-008**

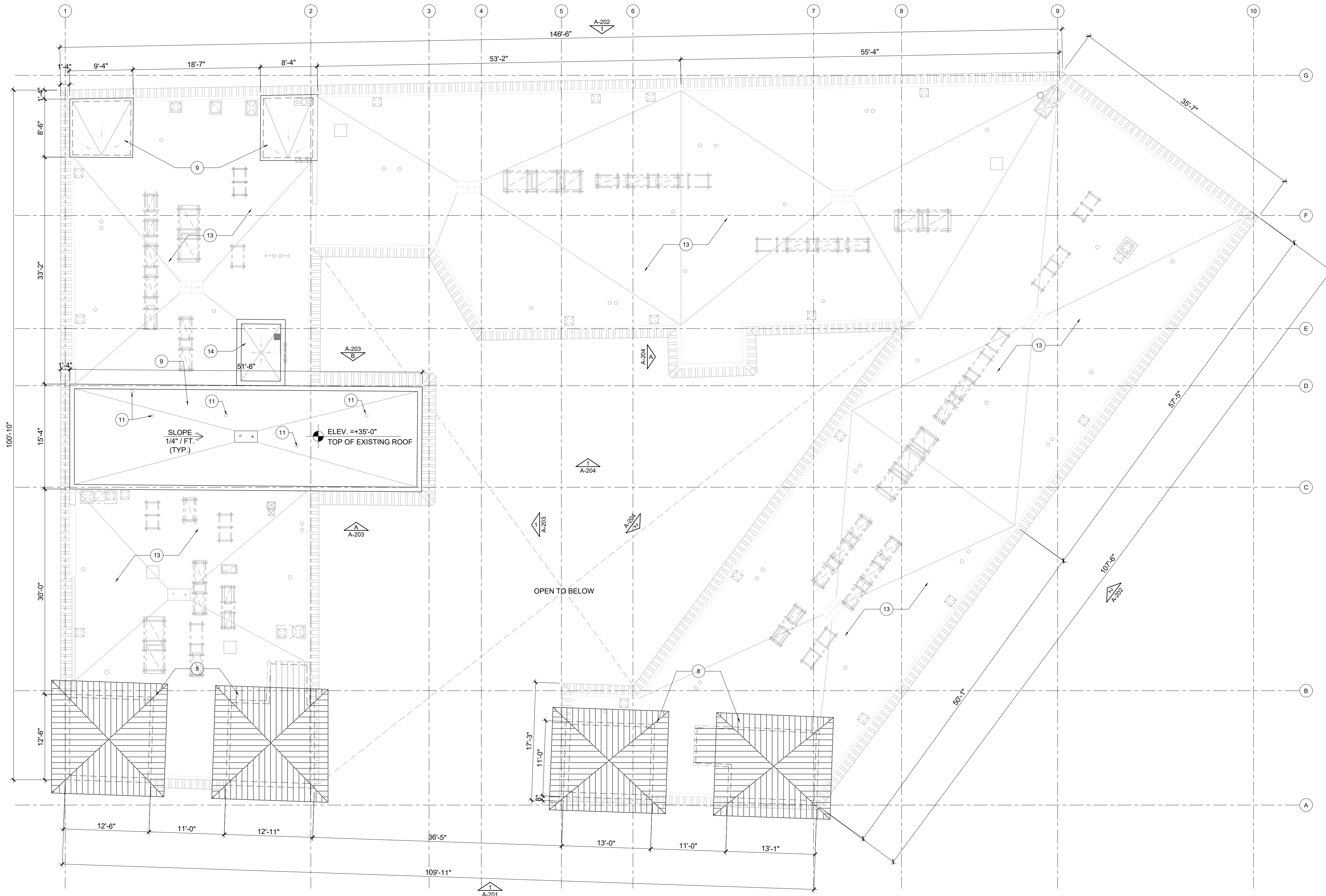
DATE  
 02/06/2020

SHEET TITLE  
 PROPOSED UPPER ROOF PLAN

DRAWN BY  
 L. R.

CHECKED BY  
 J. S. K.

SHEET NUMBER  
**A-104**



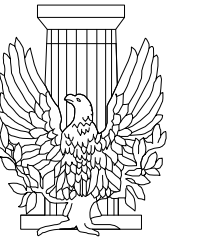
- ROOF PLAN KEY NOTES**
- 1 6" ROOF DRAIN AND OVERFLOW DRAIN COMBO, (TYP.) ZURN Z-164 OR EQUAL. SEE DETAIL 4 ON SHEET A-401.
  - 2 CONDENSER UNIT STANDS FOR FUTURE CONDENSING UN ITS. SEE MECHANICAL SHEET M-202 AND STRUCTURAL SHEET S-3
  - 3 NEW ROOF DECK ON MAIN ROOF - VULKEM 350-351 WATER-PROOFING MEMBRANE OVER INSULATED TAPERED CONC (SEE NOA SHEET A-502) AND STRUCTURAL DWGS.
  - 4 NEW CONC. REINFORCEMENT. SEE STRUCTURAL DRAWINGS AND DETAIL 7 ON SHEET A-401.
  - 5 FUTURE CURB MOUNTED KITCHEN HOOD MAKE UP AIR SUPPLY FAN. SEE DETAIL 5 ON SHEET A-401 AND STRUCTURAL DWGS FOR ROOF REINFORCEMENTS.
  - 6 EXHAUST DUCT FOR FUTURE TOILET EXHAUST FAN.
  - 7 EXISTING ROOF TILE COPING ON PARAPET.
  - 8 EXISTING TOWER ROOF TILE TO BE REPLACED WITH SANTAFE CLAY BARREL TILE (TYP.) SEE NOA SHEET A-502
  - 9 EXISTING TOWER FLAT ROOF TO REMAIN RE-ROOFING ONLY.
  - 10 GOOSENECK FOR FUTURE RESTAURANT LINES TYP. REFER TO MECHANICAL & STRUCTURAL PLANS FOR LOCATION AND DETAILS OF PIPE SUPPORTS.
  - 11 OUTSIDE AIR DUCT FOR FUTURE AIR HANDLING UNIT. PROVIDE CORROSION RESISTANT SCREEN.
  - 12 ELEVATION OF NEW ELEVATOR SHAFT TO BE KEPT LOWER THAN EXISTING PERIMETER PARAPET.
  - 13 MAIN ROOF DECK BELOW.
  - 14 ELEVATOR ROOF. SEE SHEET A-306 FOR ELEVATOR DTLS.
  - 15 HOOD MAKE UP AIR CAPPED DUCT.
  - 16 HOOD EXHAUST CAPPED DUCT.
  - 17 EXHAUST ROOF OPENING.
  - 18 FUTURE CONDENSER
  - 19 NEW CONDENSER UNIT
  - 20 NEW STAND FOR FUTURE KITCHEN EXHAUST FAN UNIT AT ROOF. TIE DOWN SHALL BE MIAMI-DADE APPROVED. TO BE MINIMUM 10' AWAY FROM WALL OR 42" PARAPET SHALL BE USED. WIND LOAD CALCULATION / NOA BY STRUCTURAL ENGINEER. SEE STRUCTURAL PLANS
  - 21 GAS WATER HEATER VENT DUCT. SEE MECHANICAL PLANS.
  - 22 INSULATED OUTSIDE AIR DUCT OR FUTURE AHU FROM BELOW CAPPED
  - 23 VENT TO ROOF REFER TO PLUMBING PLANS.

**1 PROPOSED TOWERS ROOF PLAN**  
 SCALE: 1/8"=1'-0"  
 N



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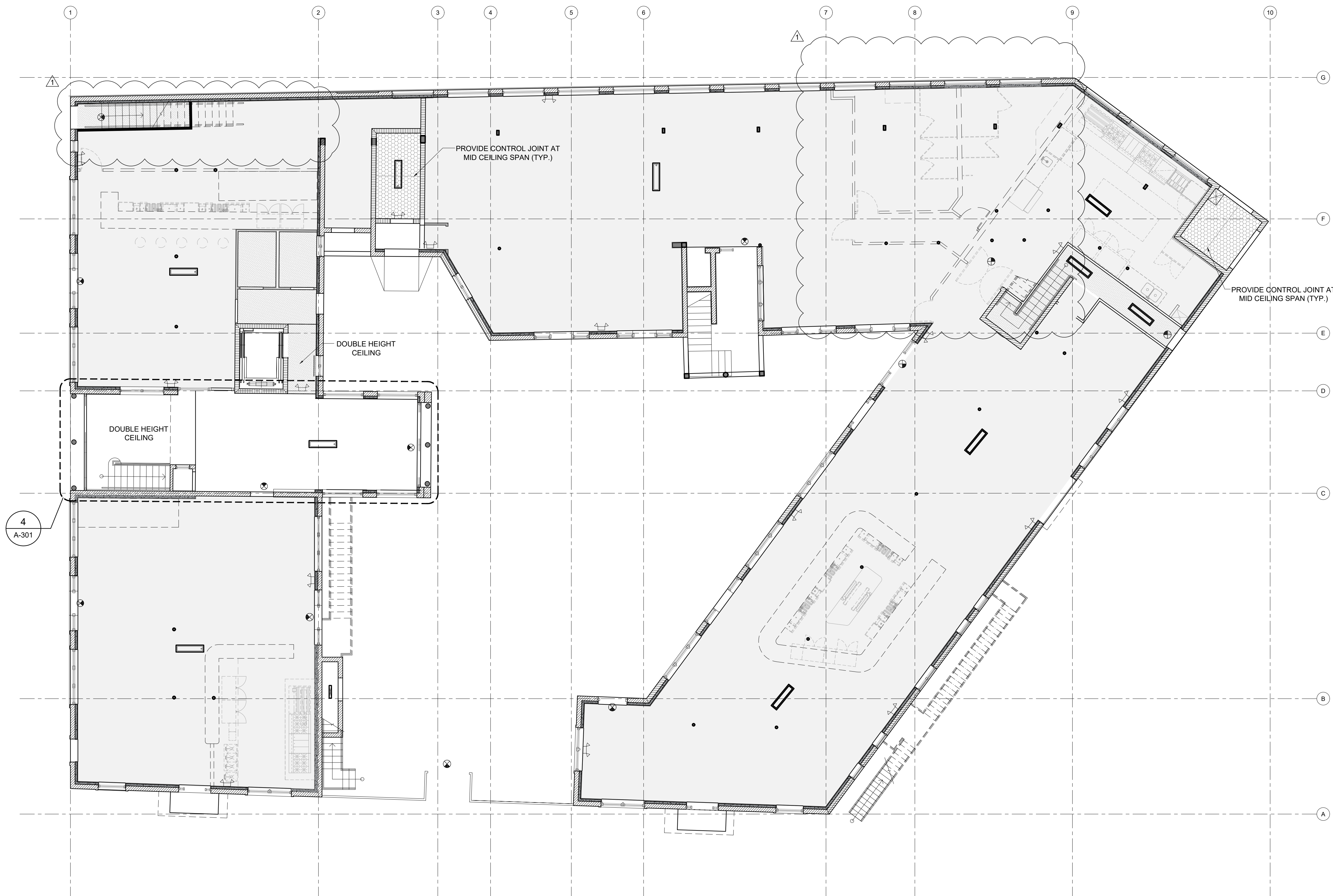


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REVISIONS	DATE
1 BLDG. DEPT. COMMENTS	05/11/2020

PROJECT NUMBER	<b>2019-008</b>
DATE	02/06/2020
SHEET TITLE	PROPOSED GROUND FLOOR RCP
DRAWN BY	L. R.
CHECKED BY	J. S. K.
SHEET NUMBER	<b>A-105</b>



**CEILING PLAN LEGEND:**

- NEW EXIT SIGNAGE. 90 MIN. BATTERY BACK-UP.
- NEW EMERGENCY LIGHT. 90MIN. BATTERY BACK-UP
- 5/8" GYP. BOARD CEILING, TAPPED, FINISHED AND PAINTED. REFER TO FINISH SCHEDULE FOR DETAILS
- PAINTED STUCCO CEMENT SMOOTH FINISH
- EXPOSED WOOD STRUCTURE TO BE FINISHED BY TENANT UNDER SEPARATE PERMIT.
- 1 X 4 FLUORESCENT LIGHT FIXTURE SURFACE MOUNTED. SEE LIGHTING FIXTURE SCHEDULE.

**CEILING PLAN NOTES:**

1. FOR 3RD FLOOR REELECTED CEILING PLAN SEE SHEET A-300 ENLARGED LOBBY PLANS.
2. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND FIXTURE LEGEND AND SPECIFICATIONS
3. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR FURTHER INFORMATION INCLUDING LOCATIONS FOR EMERGENCY LIGHTING AND EXIT SIGNAGE.
4. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL FIXTURES AND EMERGENCY LIGHTING TO MEET STATE AND LOCAL CODES.
5. ALL LIGHTING FIXTURES AND LAMPS IN FIXTURE SCHEDULE SHALL BE SUPPLIED BY THE ELECTRICAL CONTRACTOR (EXCEPT AS NOTED) AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
6. ALL OTHER ELECTRICAL MATERIALS INCLUDING SWITCHES, RECEPTACLES, ETC. SHALL BE SUPPLIED & INSTALLED BY THE ELECTRICAL CONTRACTOR.
7. LIGHTING FIXTURES AND CUT SHEETS SHALL BE CONSIDERED PART OF THE PLANS FOR BIDDING AND CONSTRUCTION PURPOSES.
8. LIGHTING FIXTURE SUPPLIER SHALL FURNISH (4) COPIES OF THE LIGHTING FIXTURE CATALOG CUTS AND RECEIVE APPROVAL BY ELECTRICAL ENGINEER AND OWNERS PRIOR TO SUPPLYING FIXTURES. (3) APPROVED COPIES TO BE SUPPLIED TO THE CONTRACTOR FOR HIS USE.
9. MANUFACTURER AND CATALOG NUMBER LISTED ESTABLISHES THE MINIMUM LEVEL OF QUALITY ACCEPTABLE. ANY PROPOSED SUBSTITUTION MUST MEET OR EXCEED THIS LEVEL OF QUALITY, AS DETERMINED BY OWNERS AND MUST BE SUBMITTED TO PROJECT MANAGER FOR PRIOR APPROVAL. SUBMITTALS MUST BE MADE VIA A BIDDING GENERAL CONTRACTOR WITH COMPLETE SPECIFICATION INFORMATION.
10. SEE STRUCTURAL DRAWINGS FOR CONNECTIONS, DETAILS AND ANCHORING SPECIFICATIONS.
11. PROVIDE ENGINEERING SHOP DRAWINGS FOR REVIEW AND APPROVAL PER CODE.



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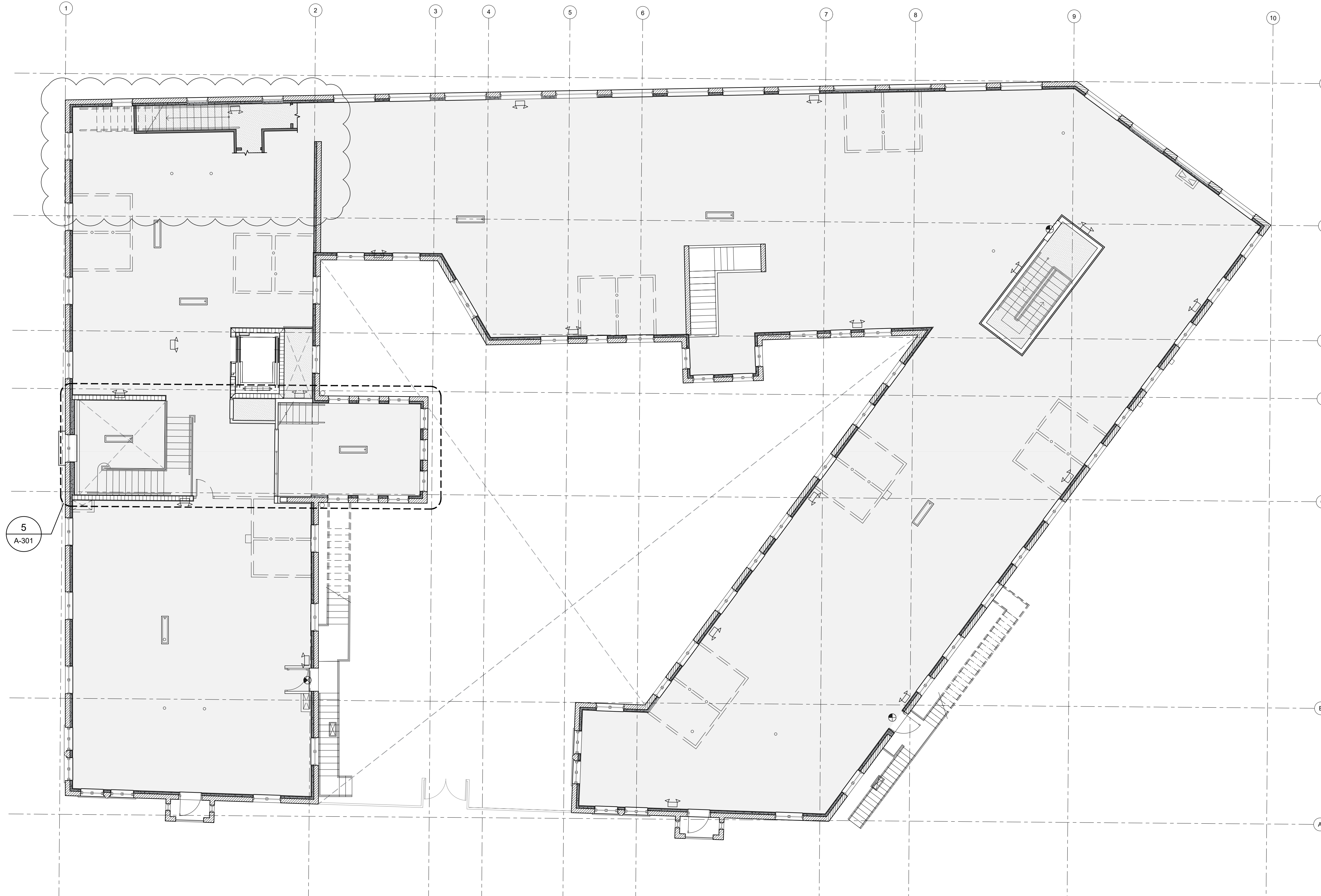
DATE  
 02/06/2020

SHEET TITLE  
 PROPOSED SECOND FLOOR RCP


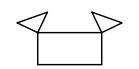
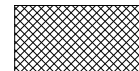

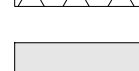

DRAWN BY  
 L. R.

CHECKED BY  
 J. S. K.

SHEET NUMBER  
**A-106**



**CEILING PLAN LEGEND:**

-  NEW EXIT SIGNAGE. 90 MIN. BATTERY BACK-UP.
-  NEW EMERGENCY LIGHT. 90MIN. BATTERY BACK-UP
-  5/8" GYP. BOARD CEILING, TAPPED, FINISHED AND PAINTED. REFER TO FINISH SCHEDULE FOR DETAILS
-  PAINTED STUCCO CEMENT SMOOTH FINISH
-  EXPOSED WOOD STRUCTURE TO BE FINISHED BY TENANT UNDER SEPARATE PERMIT.
-  1 X 4 FLUORESCENT LIGHT FIXTURE SURFACE MOUNTED. SEE LIGHTING FIXTURE SCHEDULE.

**CEILING PLAN NOTES:**

1. FOR 3RD FLOOR REELECTED CEILING PLAN SEE SHEET A-300 ENLARGED LOBBY PLANS.
2. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND FIXTURE LEGEND AND SPECIFICATIONS
3. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR FURTHER INFORMATION INCLUDING LOCATIONS FOR EMERGENCY LIGHTING AND EXIT SIGNAGE.
4. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL FIXTURES AND EMERGENCY LIGHTING TO MEET STATE AND LOCAL CODES.
5. ALL LIGHTING FIXTURES AND LAMPS IN FIXTURE SCHEDULE SHALL BE SUPPLIED BY THE ELECTRICAL CONTRACTOR (EXCEPT AS NOTED) AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
6. ALL OTHER ELECTRICAL MATERIALS INCLUDING SWITCHES, RECEPTACLES, ETC. SHALL BE SUPPLIED & INSTALLED BY THE ELECTRICAL CONTRACTOR.
7. LIGHTING FIXTURES AND CUT SHEETS SHALL BE CONSIDERED PART OF THE PLANS FOR BIDDING AND CONSTRUCTION PURPOSES.
8. LIGHTING FIXTURE SUPPLIER SHALL FURNISH (4) COPIES OF THE LIGHTING FIXTURE CATALOG CUTS AND RECEIVE APPROVAL BY ELECTRICAL ENGINEER AND OWNERS PRIOR TO SUPPLYING FIXTURES. (3) APPROVED COPIES TO BE SUPPLIED TO THE CONTRACTOR FOR HIS USE.
9. MANUFACTURER AND CATALOG NUMBER LISTED ESTABLISHES THE MINIMUM LEVEL OF QUALITY ACCEPTABLE. ANY PROPOSED SUBSTITUTION MUST MEET OR EXCEED THIS LEVEL OF QUALITY, AS DETERMINED BY OWNERS AND MUST BE SUBMITTED TO PROJECT MANAGER FOR PRIOR APPROVAL. SUBMITTALS MUST BE MADE VIA A BIDDING GENERAL CONTRACTOR WITH COMPLETE SPECIFICATION INFORMATION.
10. SEE STRUCTURAL DRAWINGS FOR CONNECTIONS, DETAILS AND ANCHORING SPECIFICATIONS.
11. PROVIDE ENGINEERING SHOP DRAWINGS FOR REVIEW AND APPROVAL PER CODE.

**1** PROPOSED SECOND FLOOR RCP  
 A-106 SCALE: 1/8"=1'-0" 

NOTES FOR THE RESTORATION OF STAIRS AND METALS.

1. STAIRCASE AND EXPOSED MISCELLANEOUS METALS SHALL BE RESTORED BY MEANS OF REPAIRS CONSISTENT WITH PRESERVING THEIR CURRENT SHAPE AND FORM.
2. STEEL CONTRACTOR SHALL PREPARE SHOP DRAWINGS, SIGNED AND SEALED BY A STATE OF FLORIDA PROFESSIONAL ENGINEER FOR ARCHITECT'S APPROVAL DEPICTING ALL STAIRCASE LAY OUT AND CALCULATION FOR STRUCTURAL SAFETY IN LINE WITH APPLICABLE SECTIONS OF FBC.
3. ALL STEEL SHALL BE BROUGHT TO A SAFE AND AESTHETICALLY PLEASING CONDITION AFTER CLEANING.
4. ALL FAILED METAL WILL BE CUT OUT AND REPAIRED WITH CONTINUOUS WELDED SIMILAR STEEL PRIOR TO DUSTLESS SANDBLASTING OF ENTIRE SURFACES.
5. ALL DEPRESSIONS FROM RUSTED SURFACE WILL BE FILLED AND SANDED TO MATCH ADJACENT SURFACES.
6. ALL SURFACES WILL HAVE 2 COATS OF APPROVED METAL PRIMER FOLLOWED IMMEDIATELY WITH 2 COATS OF APPROVED FINISH COAT.
7. MATERIAL AND SPECIFICATIONS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
8. A MOCKUP RESTORATION SHALL BE PREPARED WITHIN AN UNCONSCIOUS LOCATION FOR APPROVAL BEFORE ADVANCING WITH THE ENTIRE STAIRCASE RESTORATION
9. STAIRWAYS WILL BE BLOCKED OFF FROM FURTHER USE, COVERED WITH 6MIL PLASTIC AS TO PROTECT FROM OTHER TRADES WORKING ADJACENT AREAS.

SPECIFIC DIRECTIVES AND PROCESSES FOR THE RESTORATION OF MATERIALS AND FINISHES

STUCCO

REMOVE DIRT, CONTAMINANTS AND FLAKING PORTIONS OF STUCCO USING A WIRE BRUSH AND A SCRAPER. SURFACE IS TO BE SANDED TO CREATE A SMOOTH TRANSITION BETWEEN SANDED AND ADJACENT AREA. CRACKS TO BE THOROUGHLY INSPECTED FOR ADDITIONAL WATER DAMAGE. CREATE "LOCKED" JOINT BETWEEN NEW AND OLD MATERIALS WITH A HAMMER AND A SMALL CHISEL, BEING CAREFUL NOT TO DAMAGE THE SURFACE BELOW THE STUCCO. THOROUGHLY CLEAN AND WET THE AREA TO RECEIVE NEW STUCCO.

EXISTING STUCCO TYPE IS TO BE IDENTIFIED AND MATCHED AS CLOSELY AS POSSIBLE. NEW STUCCO TO DUPLICATE THE OLD IN STRENGTH, COMPOSITION AND TEXTURE. NEW STUCCO TO CONSIST OF THREE COATS. TWO LOWER "SCRATCH" COATS AND ONE FINISHING COAT. NOT TO OVERLAP EXISTING STUCCO. APPLY BONDING AGENT TO BASE TO ENSURE PROPER BOND. TEXTURE IS TO MATCH THAT OF THE SURROUNDING HISTORIC STUCCO.

WOOD

BRACKETS SUPPORTING ARCHES FACING GALIANO AND CYPRESS WOOD DECORATIVE BRACKETS SUPPORTING WINDOWS SILLS SHALL BE STRIPPED OF PAINT USING SAND BLASTING PROCEDURES. EXISTING DAMAGE TO BE REPAIRED USING WOOD FILLER. CONTRACTOR TO SUBMIT DATA SUBMITTAL FOR ALL WOOD RESTORATIVE MOLDING LOCATED ON HEADER OF BRACKETS TO BE REPLICATED TO MATCH ORIGINAL FINK DESIGN.

DOWNSPOUT

EXISTING DOWNSPOUTS TO BE REPLACED. NEW DOWNSPOUTS TO FOLLOW THE STYLE AND LINES OF THE BUILDING AND BE PAINTED TO MATCH THE TRIM OR BODY COLOR OF THE STRUCTURE.

METALS

CLEAN WROUGHT IRON HANDRAILS AND GUARDRAILS TO REMOVE CORROSION. REMOVE PAINT BULBUP AND CORROSION WITH WIRE BRUSH. LOW-PRESSURE ABRASIVE METHODS CAN BE USED IF WIRE BRUSH METHOD DOES NOT WORK IF PROTECTION IS PROVIDED FOR THE ADJACENT SURFACES. WROUGHT IRON TO RECEIVE COAT OF PAINT TO PREVENT FURTHER CORROSION.

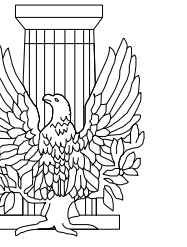
RESTORATION KEY NOTES - RESTORATION NOTES AS PER OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.

- 1 CRACKED STUCCO TO BE REPAIRED: MEDIUM WIDE CRACKS (3/64" TO 3/32"); PATCH AND REPAINT, PAYING CAREFUL ATTENTION TO THE CHARACTERISTICS OF THE TEXTURED STUCCO.
- 2 DAMAGED STUCCO TO BE REPAIRED: CAREFULLY REMOVE STUCCO DOWN TO THE CONCRETE BLOCK OR CORE SURFACE AND REPAIR. AREA TO BE RE-STUCCOED MUST BE A MINIMUM OF 36" X 36" AS TO AVOID THE PERCEPTION OF A PATCH.
- 3 EXISTING CAST MEDALLION TO BE REMOVED AND REPLACED AS SHOWN ON PROPOSED ELEVATION.
- 4 NON-ORIGINAL IRON GUARDRAIL TO BE REPLACED. ALL PICKETS, POSTS AND RAILS TO BE STRAIGHT AND STURDY. SEE SHEET A-401 FOR NEW GUARDRAIL DETAIL.
- 5 EXISTING AWNINGS TO BE REMOVED.
- 6 PORTION OF EXISTING STAIRCASE TO BE RESTORED AS NOTED ON RESTORATION GUIDELINES AND ACCESS SEALED OFF.
- 7 PORTION OF EXISTING GUARDRAIL TO BE RESTORED AS NOTED ON RESTORATION GUIDELINES.
- 8 EXISTING WINDOW CEMENT SILL, MOLDING, AND COLUMN TO BE RESTORED.
- 9 EXISTING DECORATIVE PRECAST CEMENT TO BE RESTORED.
- 10 CYPRESS BRACKETS ADDED TO EXISTING SILLS TO MATCH HISTORIC PHOTOS. SEE DTL 1 ON SHEET A-308.
- 11 EXISTING RAINWATER LEADERS TO BE RESTORED.
- 12 EXISTING ATTIC VENT HOOD TO BE REMOVED OPENING RESTORED WITH WOOD LATTICE TO MATCH HISTORIC PHOTOS.
- 13 EXISTING CLAY ROOF TILE TO BE REPLACED. SEE NOA SHEET A-502 FOR NEW TILES.
- 14 EXISTING NEON SIGNAGE TO BE RESTORED.
- 15 EXISTING LIGHTING FIXTURE TO BE RESTORED.
- 16 EXISTING SEALED OPENING TO BE REOPENED. SEE SHEET A-309 FOR SCHEDULE.
- 17 EXISTING COLUMNS TO BE RESTORED.
- 18 EXISTING EGRESS STAIRS TO BE RESTORED TO ORIGINAL OPERATING CONDITIONS AS PER H.P.B. COA (SP) 2019-015. SEE NOTES FOR RESTORATION OF STAIRS AND METALS SHEET A-200
- 19 EXISTING ROOF TILE TO REMAIN UNLESS SPECIFIED OTHERWISE.
- 20 EXISTING CORNICE TO BE RESTORED.
- 21 EXISTING OVERFLOW SCUPPERS TO REMAIN.
- 22 ENTRANCE GATE NOT PART OF THIS PERMIT.
- 23 EXISTING ROLL UP DOOR TO BE RESTORED, SERVICED, AND PAINTED FOR REUSE.
- 24 SHADED WINDOWS - RECESSED OPENING TO BE INFILLED FROM THE INSIDE. SEE INFILL DETAIL 11 ON SHEET A-401.
- 25 EXISTING LOUVER TO BE REMOVED AND INFILLED. SEE DETAIL 11 ON SHEET A-401.
- 26 EXISTING HISTORIC BALCONY TO REMAIN AND BE RESTORED AS PER H.P.B. C.O.A. (SP) 2019-015



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REVISIONS	DATE

PROJECT NUMBER

**2019-008**

DATE  
02/06/2020

SHEET TITLE  
ELEVATION KEY NOTES

DRAWN BY  
L. R.

CHECKED BY  
J. S. K.

SHEET NUMBER  
**A-200**



1 PROPOSED WEST ELEVATION  
 A-201 SCALE: 1/4"=1'-0"



2 PROPOSED NORTH ELEVATION  
 A-201 SCALE: 1/4"=1'-0"



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DATE  
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SHEET TITLE  
 WEST AND EAST ELEVATION

DRAWN BY  
 L. R.

CHECKED BY  
 J. S. K.

SHEET NUMBER  
**A-201**



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1. BLDG. DEPT. COMMENTS	05/11/2020

PROJECT NUMBER  
**2019-008**

DATE  
 02/06/2020

SHEET TITLE  
 EAST ELEVATION  
 SCOPE OF WORK

DRAWN BY  
 L. R.

CHECKED BY  
 J. S. K.

SHEET NUMBER  
**A-202**

**CODE ANALYSIS FOR MAXIMUM AREA OF EXTERIOR WALL OPENING**

PER FLORIDA BUILDING CODE 6TH EDITION, 2017, TABLE 705.8, MAXIMUM AREA OF EXTERIOR WALL OPENING BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION.  
 BUILDING SEPARATION = 10'-3"  
 DEGREE OF OPENING PROTECTION = UNPROTECTED, NONSPRINKLERED (UP, NS)  
 ALLOWABLE OPENING AREA = 15%

**CALCULATIONS OF OPENINGS TO REMAIN**

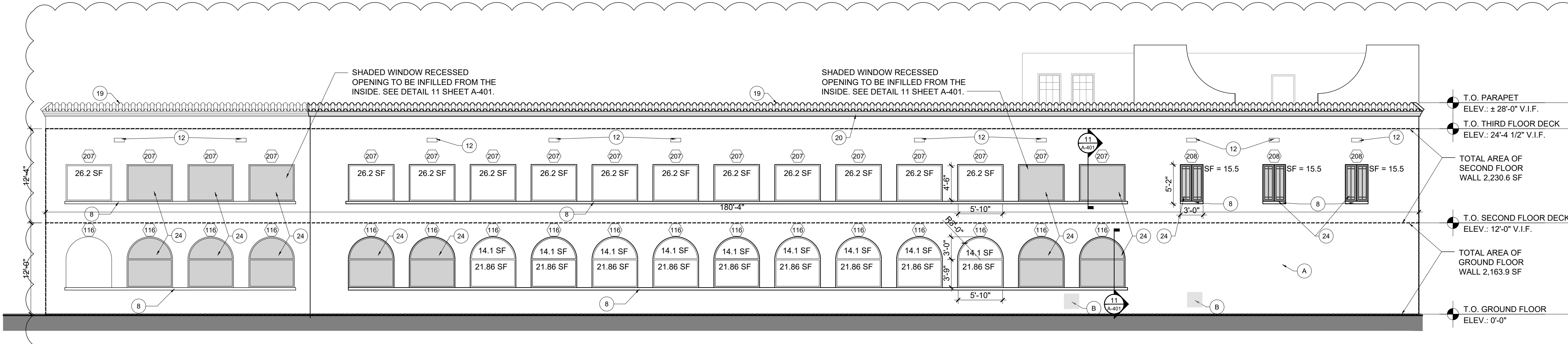
WINDOW #116 - (PI x RADIUS SQUARED DIVIDED BY 2)  
 $(3.142 \times 9' / 2 = 14.1 \text{ SF}) (3'-9" \times 5'-10" = 21.86 \text{ SF}) 14.1 \div 21.86 = 35.96 \text{ SF}$

TOTAL GROUND FL OPENINGS (35.96 X 9 OPENINGS) = 323.64 SF

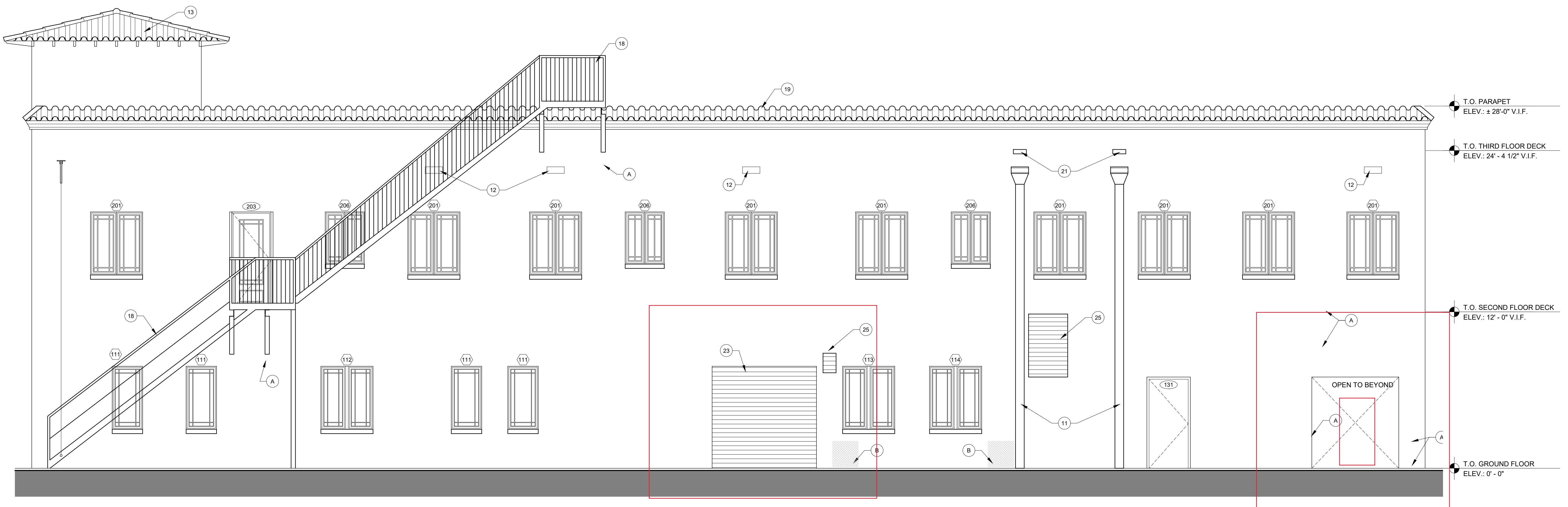
WINDOW # 207 - (4'-6" X 5'-10") = 26.2 SF X 12 OPENINGS = 314.4 SF  
 TOTAL SECOND FL OPENINGS (314.4) = 314.4 SF

**GROUND FLOOR WALL AREA CALCULATION**  
 TOTAL AREA OF GROUND FLOOR WALL (180'-4" X 12'-0") = 2,163.9 SF.  
 ALLOWABLE OPENING AREA (2,163.9 X 15%) = 324.6 SF.  
 ACTUAL OPENING AREA = 323.64 SF (AFTER WINDOWS UNFILLED)

**SECOND FLOOR WALL AREA CALCULATION**  
 TOTAL AREA OF SECOND FLOOR WALL (180'-4" X 12'-4") = 2,230.6 SF.  
 ALLOWABLE OPENING AREA = 334.6 SF (AFTER WINDOWS UNFILLED)  
 ACTUAL OPENING AREA = 323.64 SF



1 PROPOSED EAST ELEVATION  
 SCALE: 1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"



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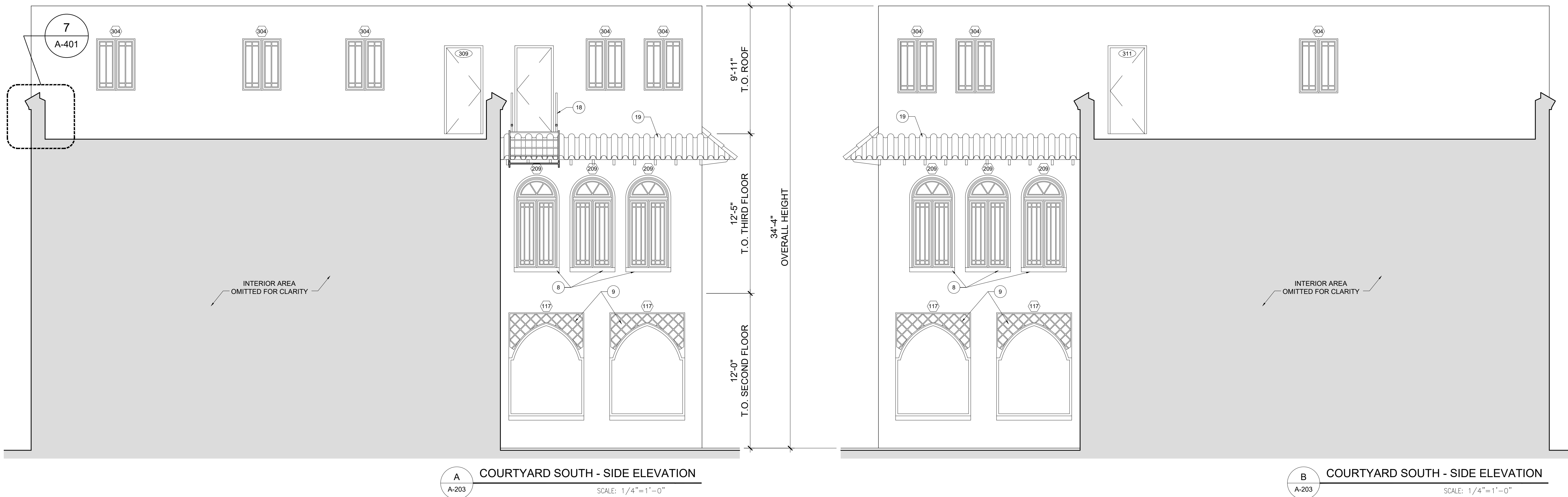
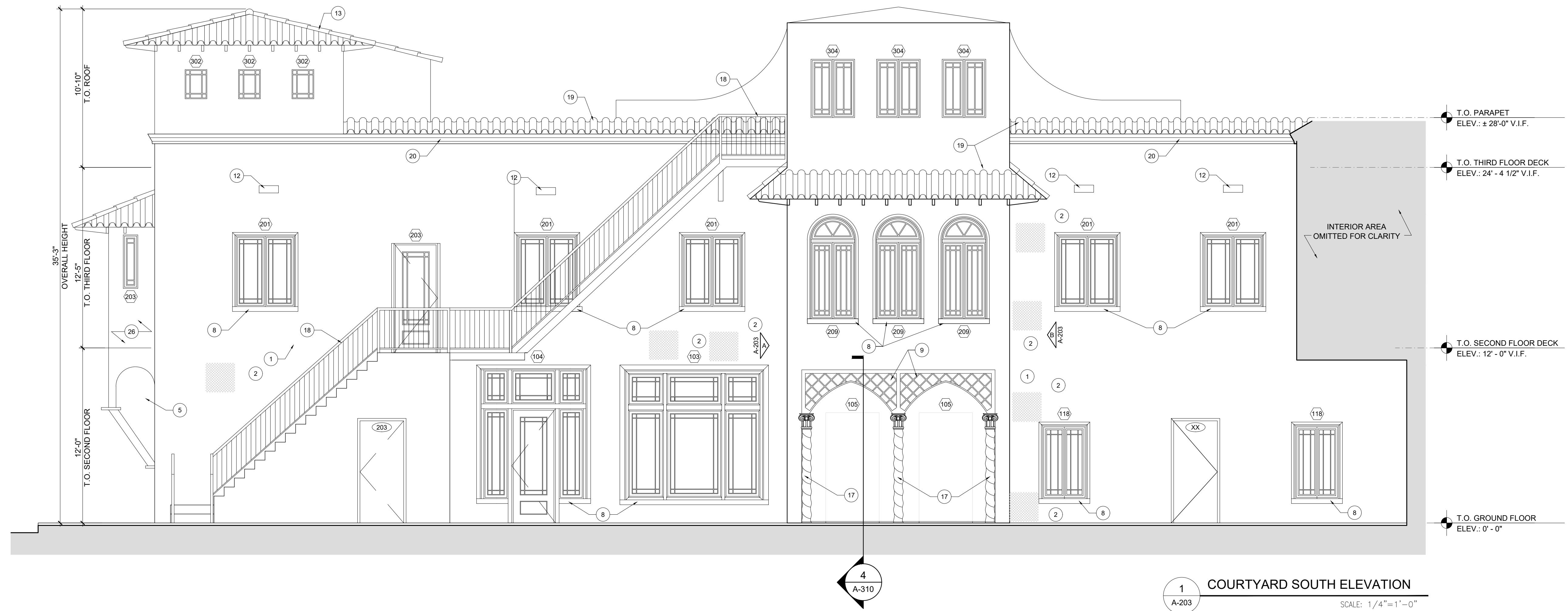
SHEET TITLE  
 PROPOSED COURTYARD  
 SOUTH ELEVATIONS

DRAWN BY  
 L. R.

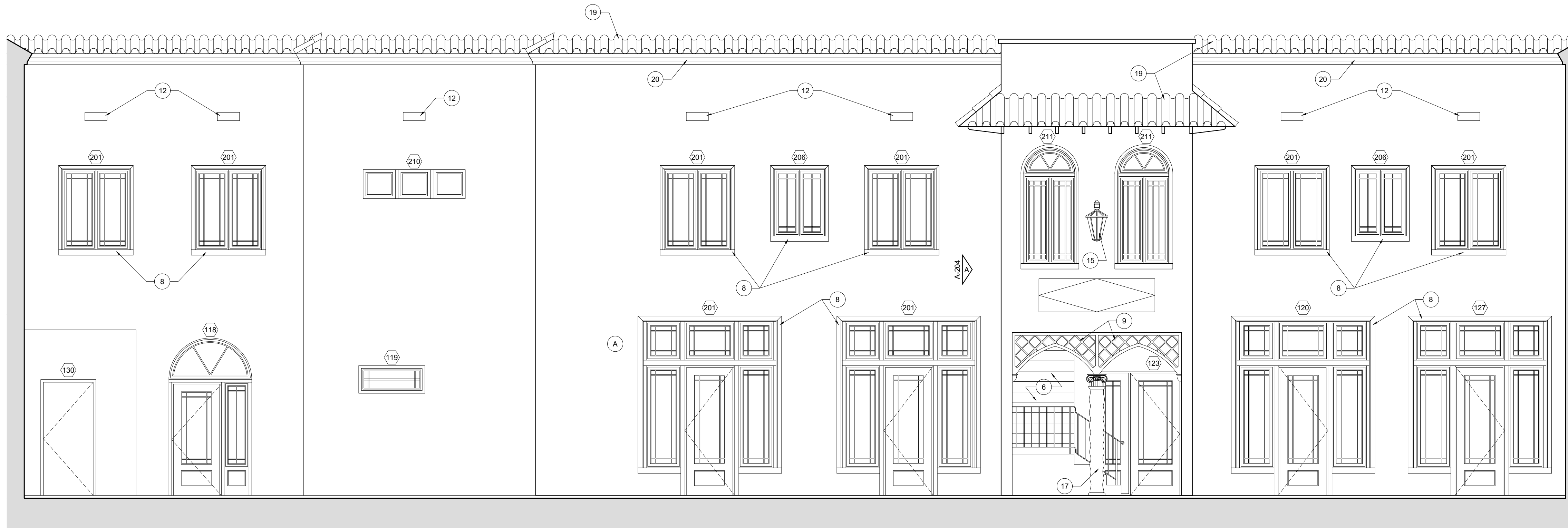
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SHEET NUMBER

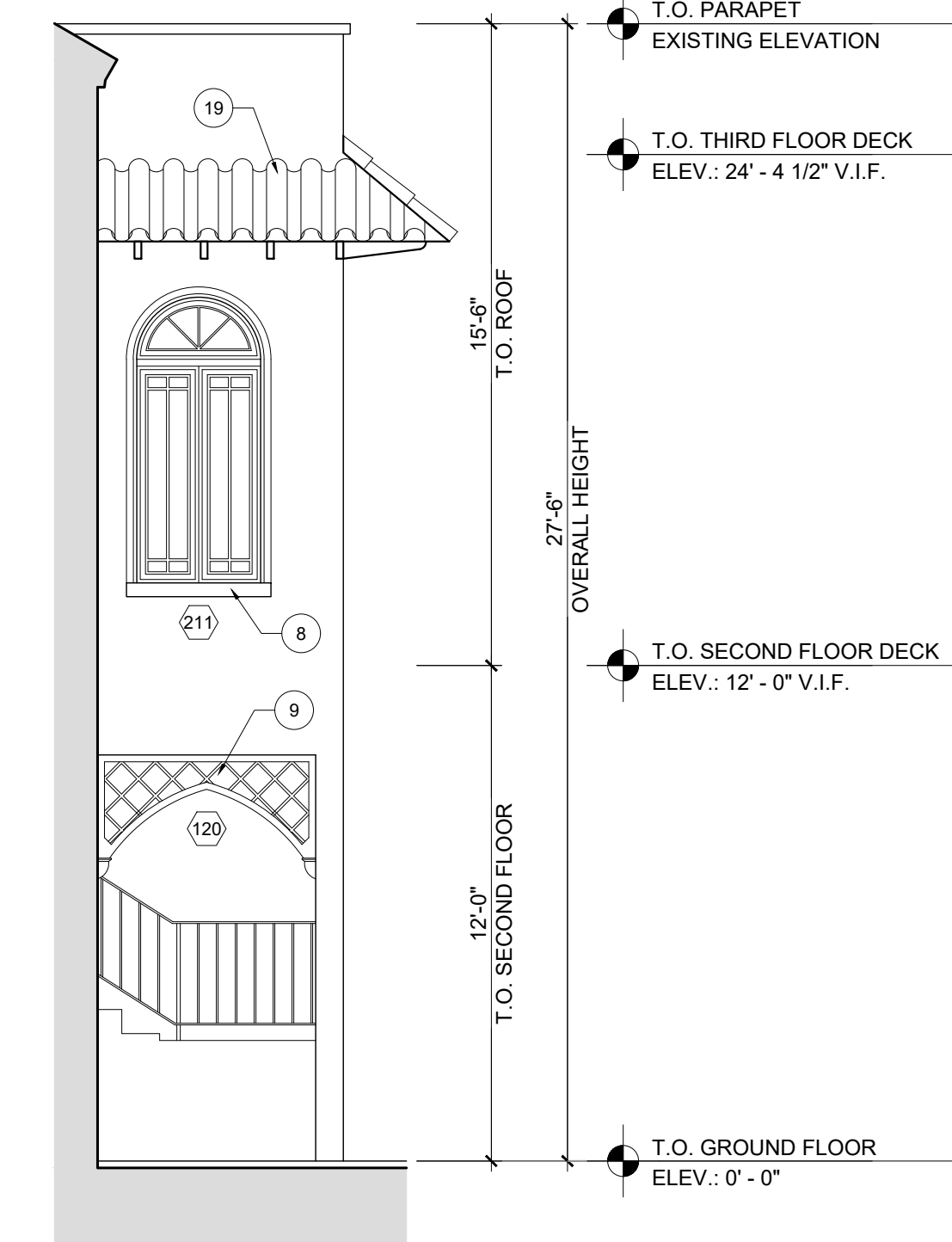
**A-203**



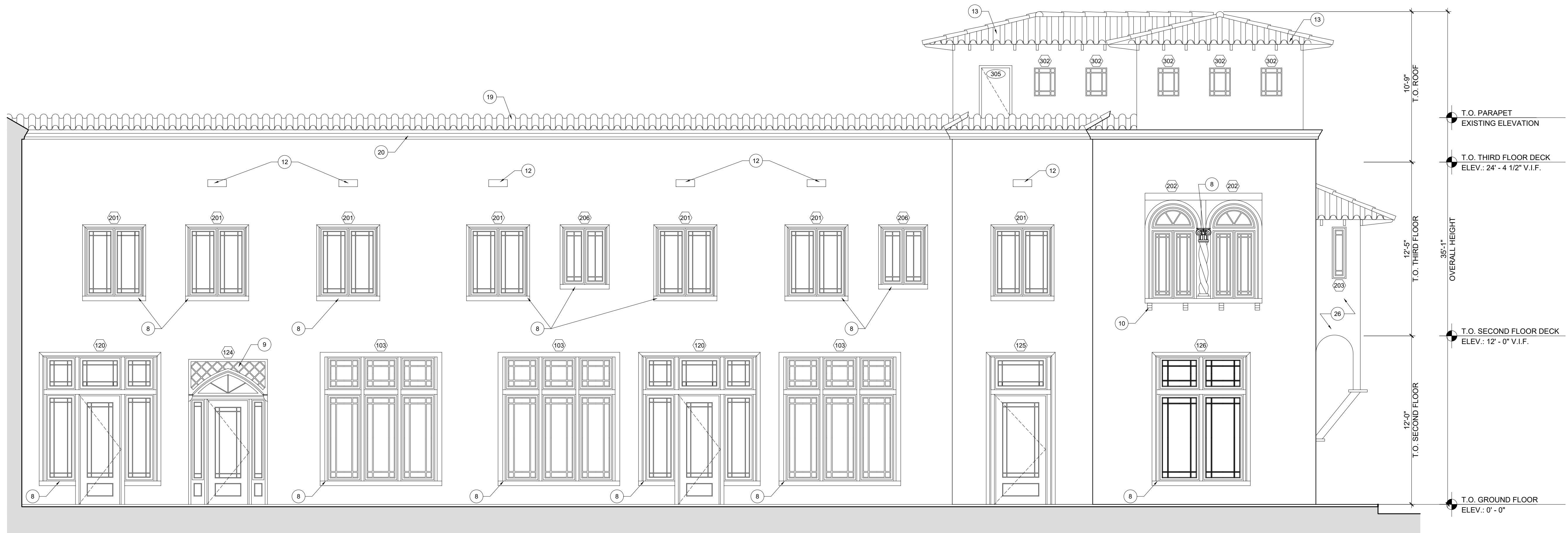




1 PROPOSED COURTYARD WEST ELEVATION  
 A-204 SCALE: 1/4"=1'-0"



A COURTYARD WEST - SIDE ELEVATION  
 A-204 SCALE: 1/4"=1'-0"



2 PROPOSED COURTYARD NORTH ELEVATION  
 A-204 SCALE: 1/4"=1'-0"



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SHEET TITLE  
 PROPOSED COURTYARD WEST  
 AND NORTH ELEVATIONS

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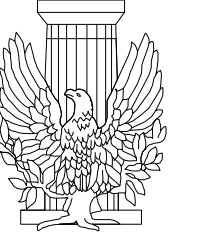
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**2019-008**

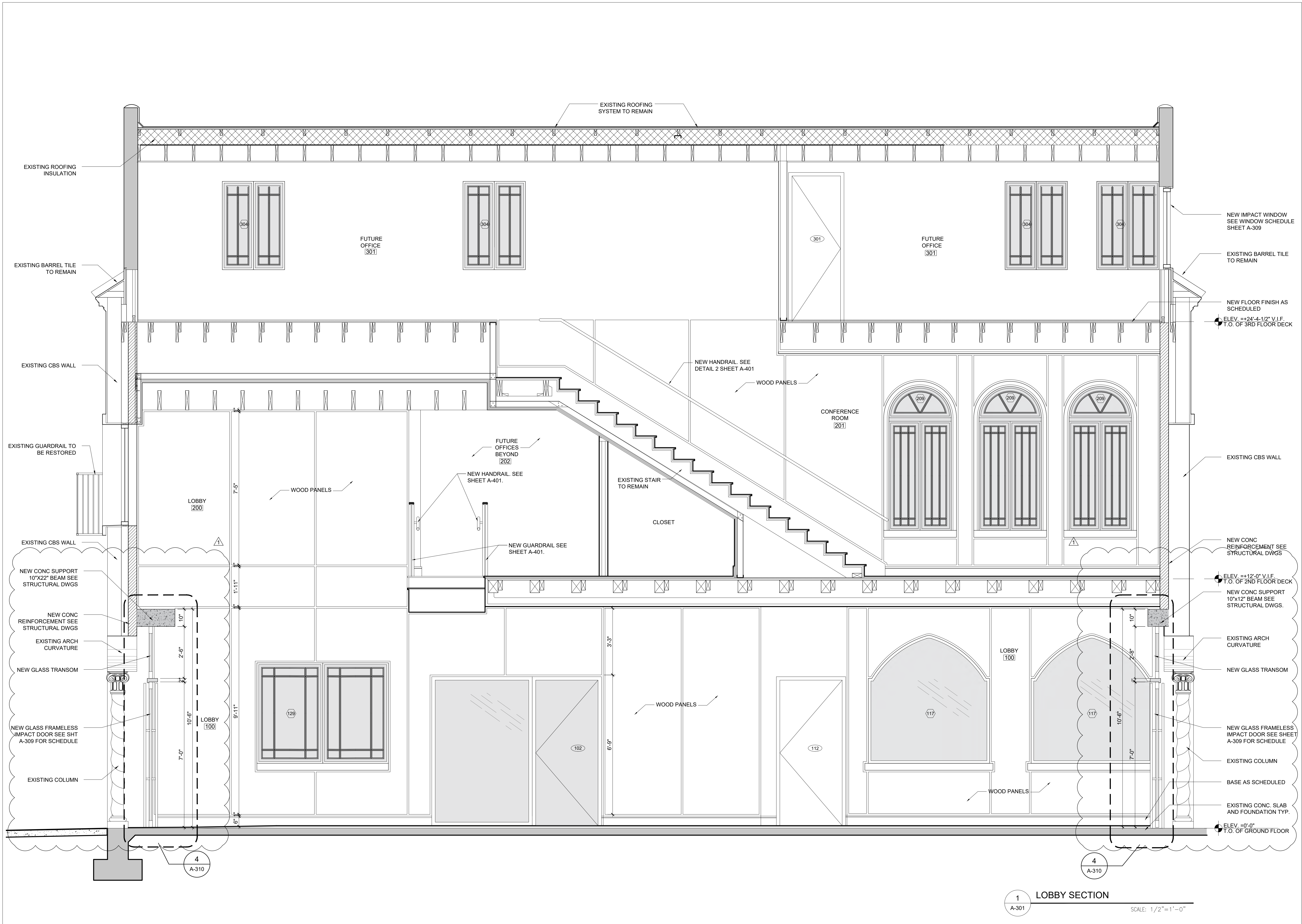
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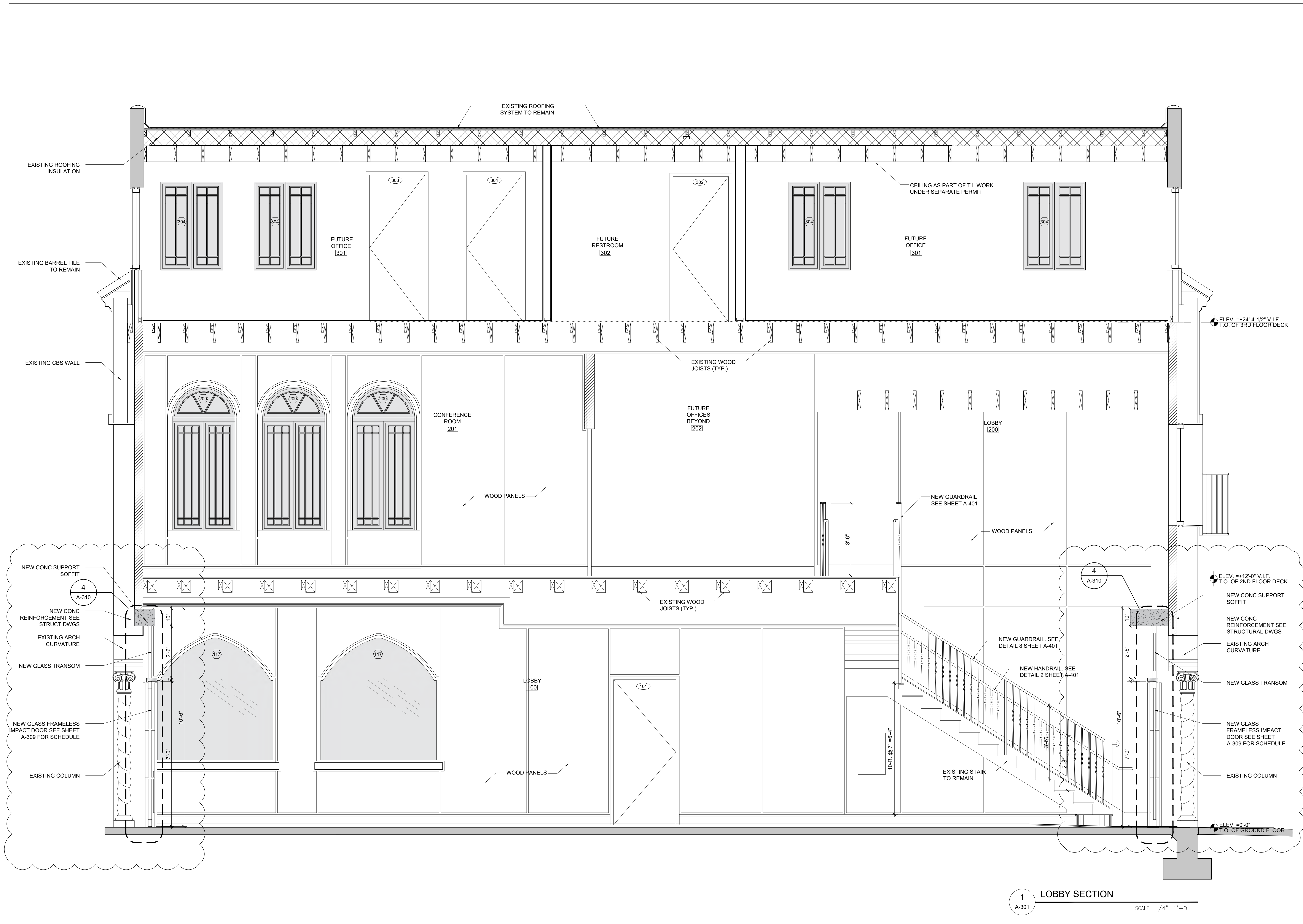
SHEET TITLE  
 ENLARGED STAIR PLANS

DRAWN BY  
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SHEET NUMBER  
**A-205**





1 LOBBY SECTION  
A-301 SCALE: 1/4" = 1'-0"



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SHEET TITLE  
ENLARGED STAIR PLANS

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**A-206**



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SHEET TITLE  
 ENLARGED STAIR PLANS & FINISH SCHEDULE

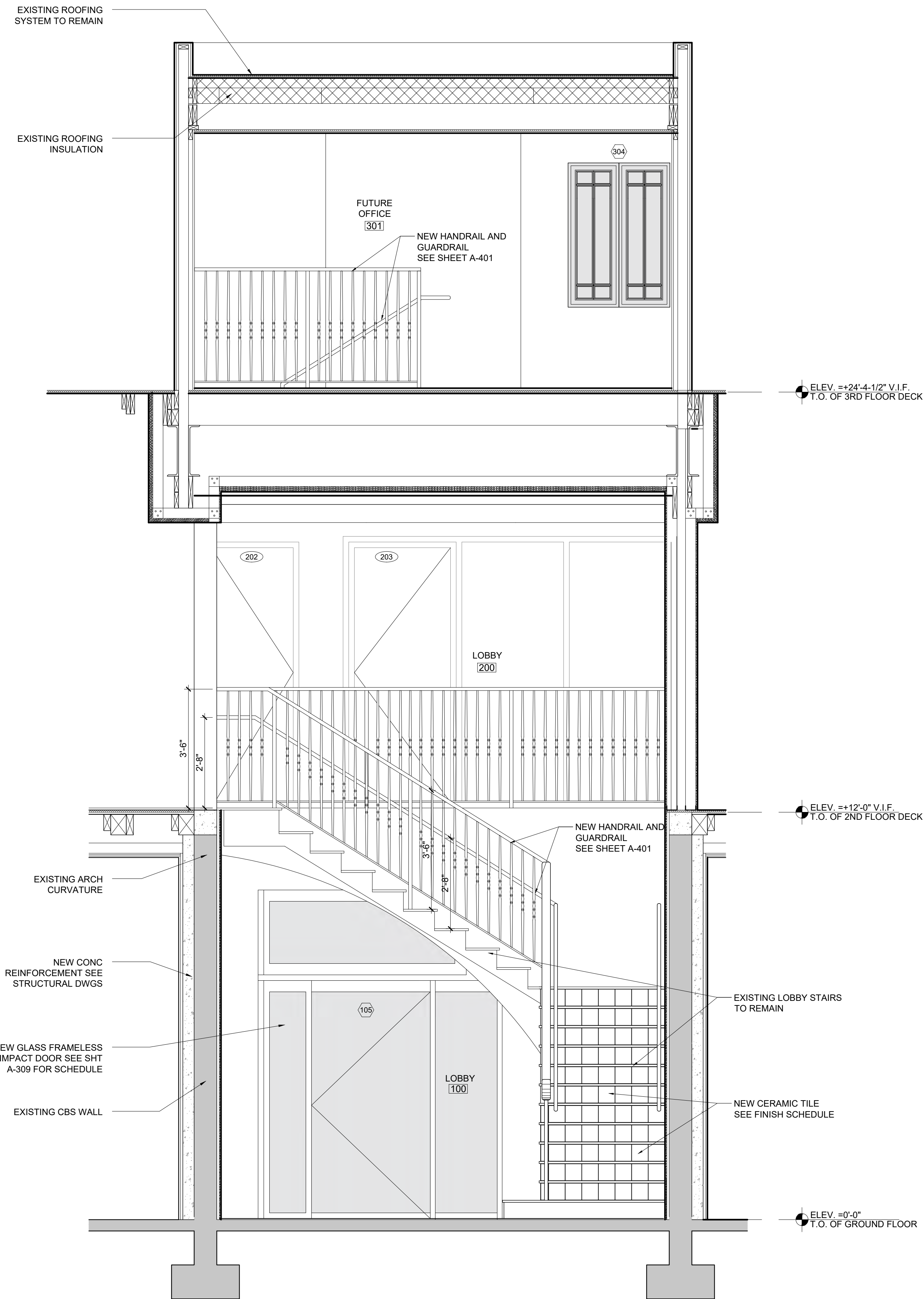
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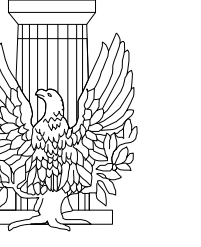
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**A-207**

ROOM #	ROOM NAME	FLOORING	THRESHOLD	WALLS				CEILING	REMARKS	
				NORTH	EAST	WEST	SOUTH			
100	GROUND FLOOR LOBBY	MARBLE	MARBLE	GLASS	WOOD PANEL	WOOD PANEL	GLASS / WOOD PANEL	MARBLE	PAINTED DRYWALL	
101	GROUND FLOOR ELEVATOR LOBBY CORRIDOR	MARBLE	MARBLE	PAINTED DRYWALL	N/A	PAINTED DRYWALL	PAINTED DRYWALL	MARBLE	PAINTED DRYWALL	
102	GROUND FLOOR MEN'S ROOM	MARBLE	MARBLE	TILE	TILE	TILE	TILE	MARBLE	PAINTED DRYWALL	PROVIDE NON ABSORBENT PORCELAIN OR MARBLE FINISH TO BE SELECTED BY OWNER
103	GROUND FLOOR WOMEN'S ROOM	MARBLE	MARBLE	TILE	TILE	TILE	TILE	MARBLE	PAINTED DRYWALL	PROVIDE NON ABSORBENT PORCELAIN OR MARBLE FINISH TO BE SELECTED BY OWNER
104	GROUND FLOOR FUTURE BAR TENANT	EXPOSED STRUCTURE	N/A	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	N/A	EXPOSED CMU/FRAMING	
105	GROUND FLOOR FUTURE BAR TENANT	EXPOSED STRUCTURE	N/A	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	N/A	EXPOSED CMU/FRAMING	
106	GROUND FLOOR FUTURE FOOD AND BEVERAGE TENANT	EXPOSED STRUCTURE	N/A	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	N/A	EXPOSED CMU/FRAMING	
107	GROUND FLOOR FUTURE RESTAURANT TENANT	EXPOSED STRUCTURE	N/A	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	N/A	EXPOSED CMU/FRAMING	
108	GROUND FLOOR FUTURE KITCHEN	EXPOSED STRUCTURE	N/A	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	N/A	EXPOSED CMU/FRAMING	
109	GROUND FLOOR ELECTRICAL ROOM	SEALED CONC.	ALUMINUM	PAINTED CMU / CONC.	PAINTED CMU / CONC.	PAINTED CMU / CONC.	PAINTED PLYWOOD	N/A	EXPOSED CEILING	
110	GROUND FLOOR JANITOR AREA	SEALED CONC.	N/A	PAINTED CMU / STUCCO	PAINTED CMU / STUCCO	PAINTED CMU / STUCCO	PAINTED CMU / STUCCO	N/A		
111	GROUND FLOOR FUTURE MEN'S ROOM	EXPOSED STRUCTURE	N/A	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	N/A	EXPOSED CMU/FRAMING	
112	GROUND FLOOR FUTURE WOMEN'S ROOM	EXPOSED STRUCTURE	N/A	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	N/A	EXPOSED CMU/FRAMING	
113	GROUND FLOOR STAIR 3 AND EXIT CORRIDOR	SEALED CONC.	ALUMINUM	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED 1X4 BASE	PAINTED DRYWALL	
200	SECOND FLOOR LOBBY	MARBLE	MARBLE	WOOD PANEL	WOOD PANEL	WOOD PANEL	WOOD PANEL	MARBLE	PAINTED DRYWALL	WOOD PANELS SHALL BE CLASS 'A' FLAME SPREAD PER FBC TABLE 803.11.
201	SECOND FLOOR CONFERENCE ROOM	MARBLE	MARBLE	WOOD PANEL	WOOD PANEL	WOOD PANEL	WOOD PANEL	MARBLE	PAINTED DRYWALL	WOOD PANELS SHALL BE CLASS 'A' FLAME SPREAD PER FBC TABLE 803.11.
202	SECOND FLOOR FUTURE RESTROOMS	EXPOSED STRUCTURE	N/A	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	N/A	EXPOSED CMU/FRAMING	
203	SECOND FLOOR FUTURE OFFICES	EXPOSED STRUCTURE	N/A	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	N/A	EXPOSED CMU/FRAMING	
300	THIRD FLOOR FUTURE OFFICE SPACE	EXPOSED STRUCTURE	N/A	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	N/A	EXPOSED CMU/FRAMING	
301	THIRD FLOOR RESTROOM	EXPOSED STRUCTURE	N/A	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	EXPOSED CMU/FRAMING	N/A	EXPOSED CMU/FRAMING	

FINISH LEGEND	
FLOORING	NOTE: PREPARE EXISTING FLOOR SURFACE TO RECEIVE NEW FINISHES.
MARBLE	- 1/2" MIN. THICK
SEALED CONCRETE	- PRODUCT TO BE SELECTED BY OWNER
WALLS:	
PAINT-1:	COLOR TO BE SELECTED BY OWNER / TENANT
WOOD PANELS:	
CEILINGS:	
PAINT-1:	COLOR TO BE SELECTED BY OWNER / TENANT
BASE, DOORS, DOOR FRAMES, CASINGS, MOLDING, TRIM & WINDOW MULLIONS:	
TRIM:	1 X 4 PINE WOOD BASE
PAINT-4:	COLOR TO BE SELECTED BY OWNER / TENANT



1 LOBBY SECTION  
 A-207 SCALE: 1/4" = 1'-0"



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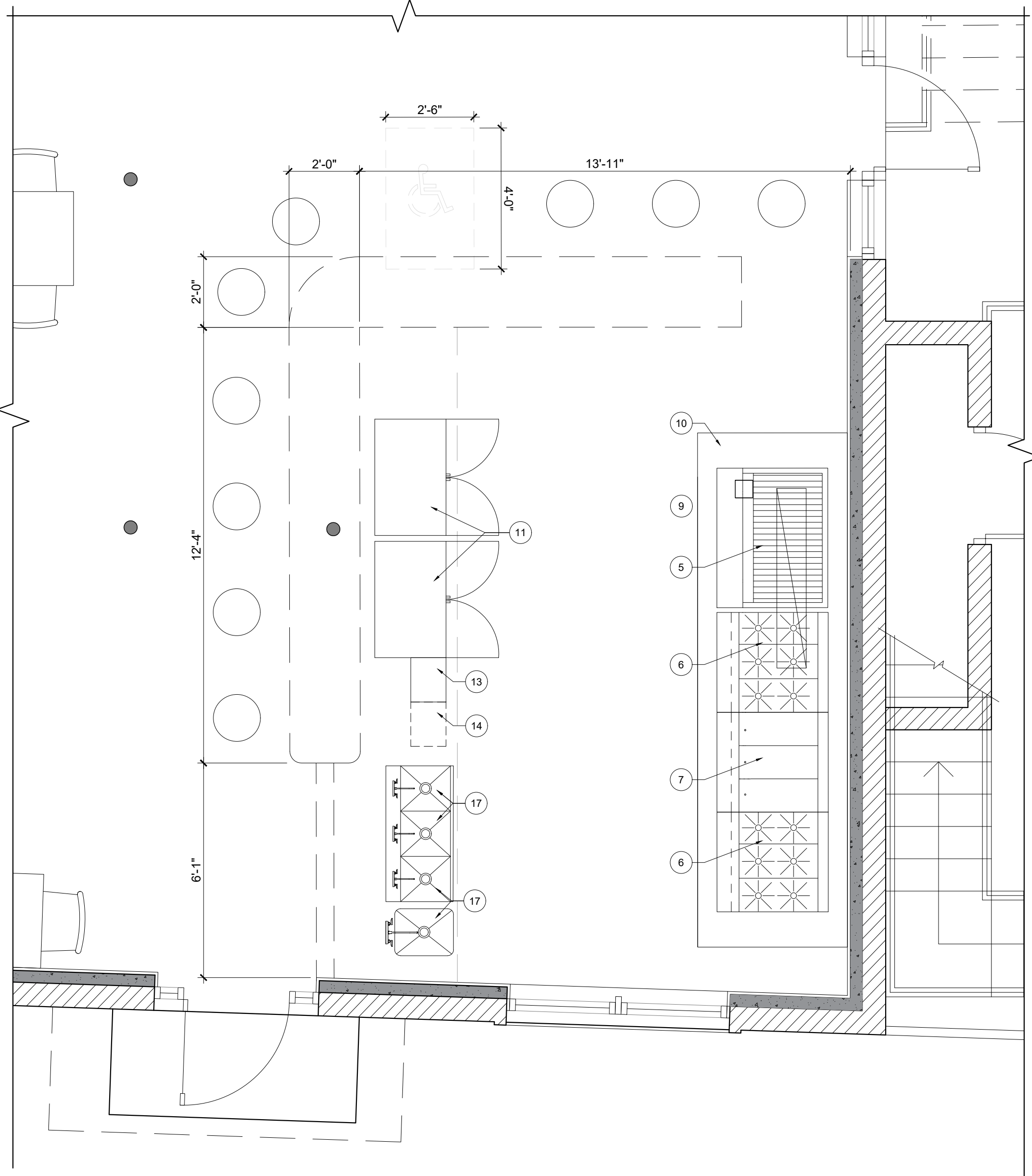
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 02/06/2020

SHEET TITLE  
 ENLARGED FLOOR PLANS

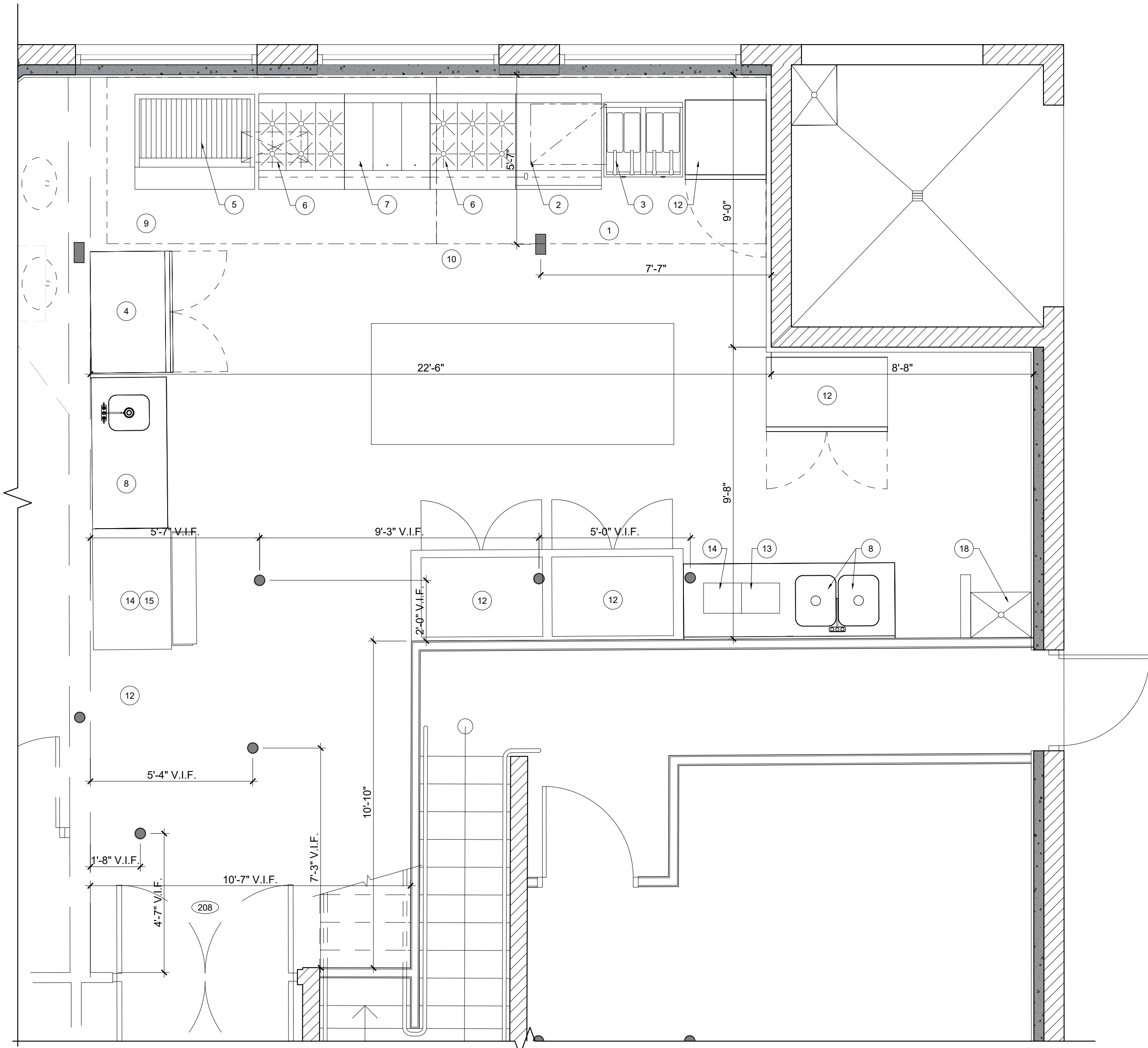
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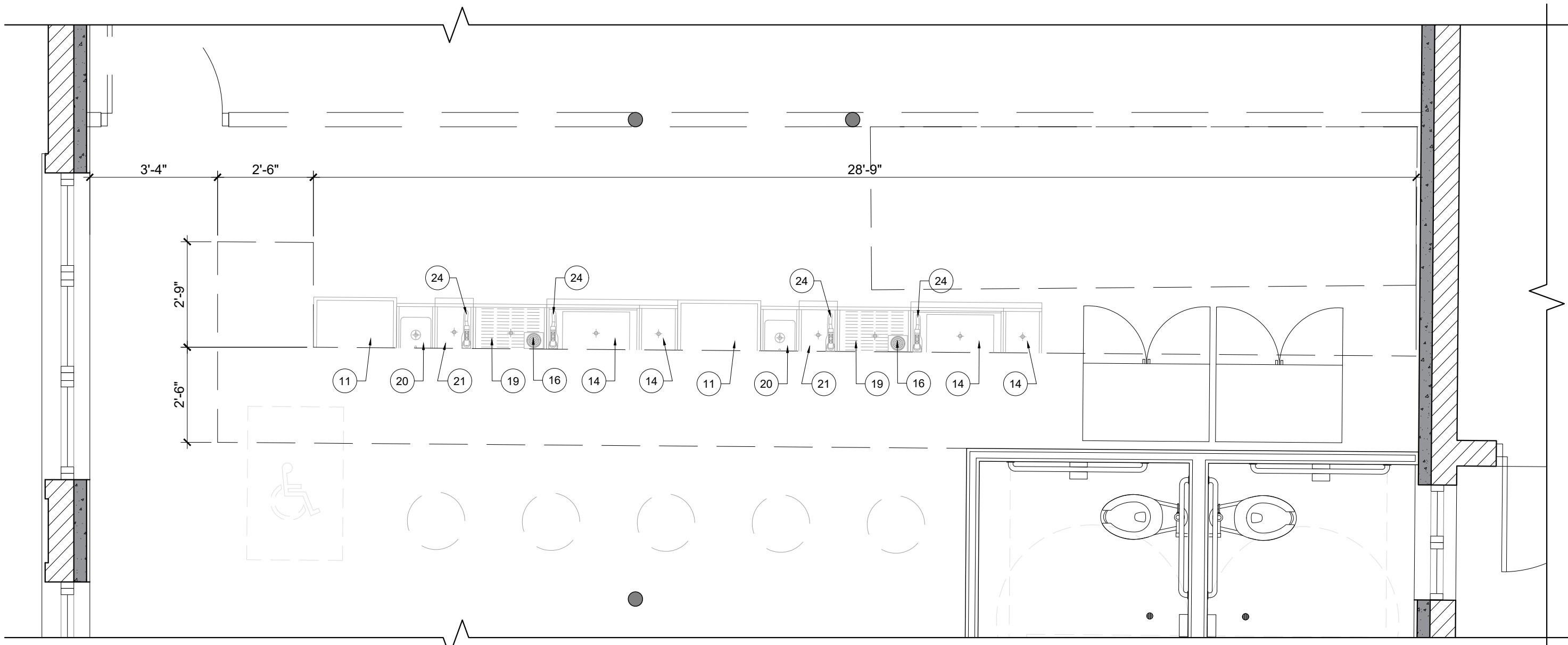
SHEET NUMBER  
**A-300**



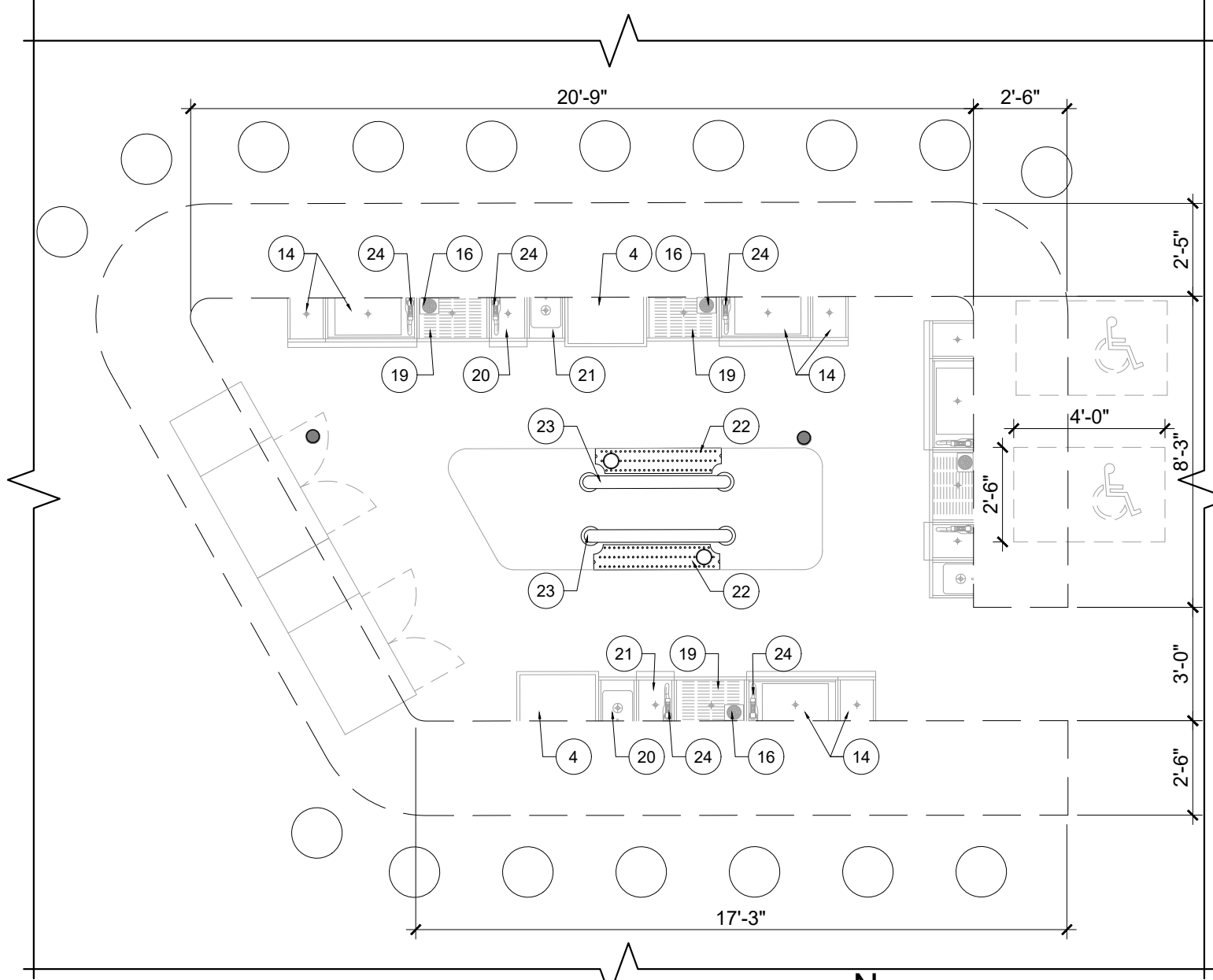
**1 FUTURE FOOD AND BEVERAGE AREA**  
 A-300 SCALE: 3/8"=1'-0" N



**3 FUTURE KITCHEN AREA**  
 A-300 SCALE: 3/8"=1'-0" N



**2 FUTURE BAR AREA 1**  
 A-300 SCALE: 3/8"=1'-0" N



**4 FUTURE BAR AREA 2**  
 A-300 SCALE: 1/4"=1'-0" N

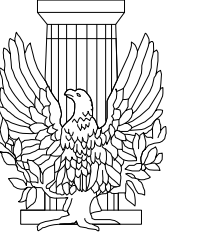
**NOTE:**  
 1. LAYOUT IS DEVELOPED FOR BASIC STUB UP FOR FUTURE ELECTRICAL AND PLUMBING. SEPARATE PERMITS SHALL BE OBTAINED BY TENANTS.  
 2. SEE SHEET A-006 FOR ADA CODE INFORMATION AND DIMENSIONS

FOOD AND BEVERAGE EQUIPMENT SCHEDULE			
ITEM #	EQUIPMENT NAME	ITEM #	EQUIPMENT NAME
1	FUTURE ELECTRIC CONVECTION OVEN	13	FUTURE DISHWASHER
2	FUTURE FLAT TOP FREEZER	14	FUTURE ICE BIN
3	FUTURE DEEP FRYER	15	FUTURE ICE MAKER
4	FUTURE REFRIGERATED BASE	16	DRINK RAIL DRAINER
5	FUTURE HEAVY DUTY GRIDDLE	17	FUTURE 3 COMPARTMENT SINK
6	FUTURE HEAVY DUTY BURNER	18	FUTURE MOP SINK
7	FUTURE HEAVY DUTY HOT TOP	19	DRAIN BOARD
8	FUTURE SINK W/ SS WORK SURFACE	20	UNDER COUNTER REFRIGERATOR
9	FUTURE INFRARED SALAMANDER	21	HAND SINK
10	FUTURE EXHAUST HOOD SYSTEM	22	BAR SINK
11	FUTURE FLAT TOP REFRIGERATOR	23	DRIP PAN W/ GLASS RINSER
12	FUTURE UNDER-BAR REFRIGERATOR	24	DRAFT BEER TOWER



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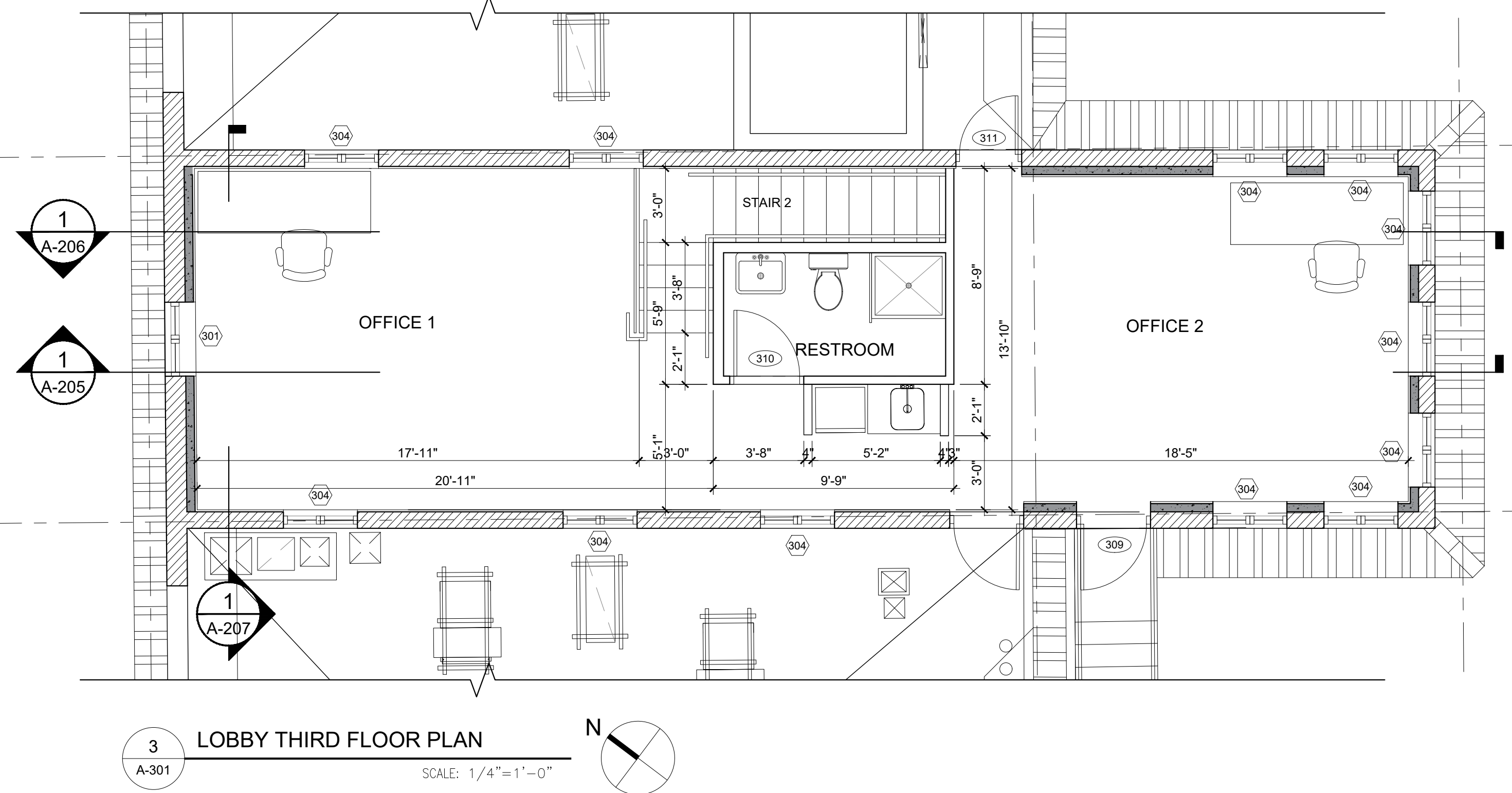
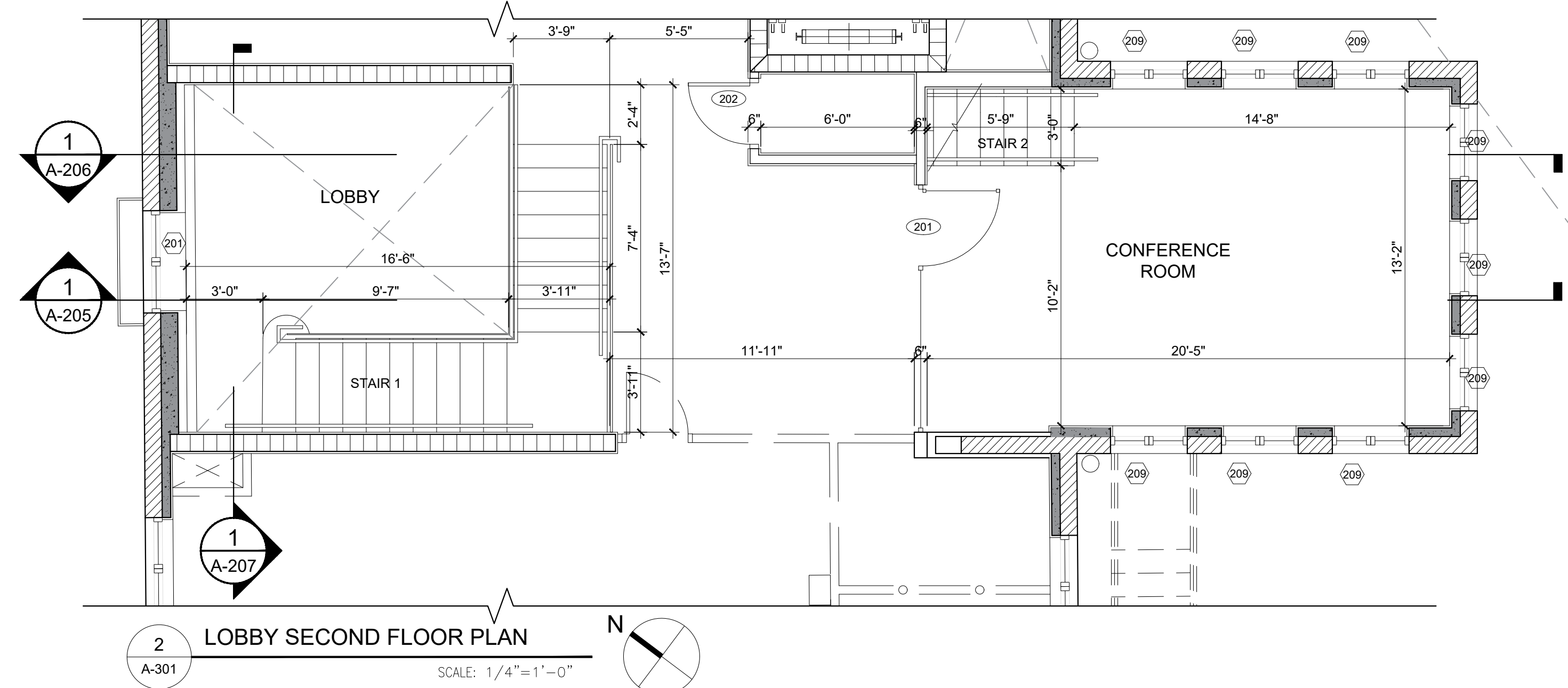
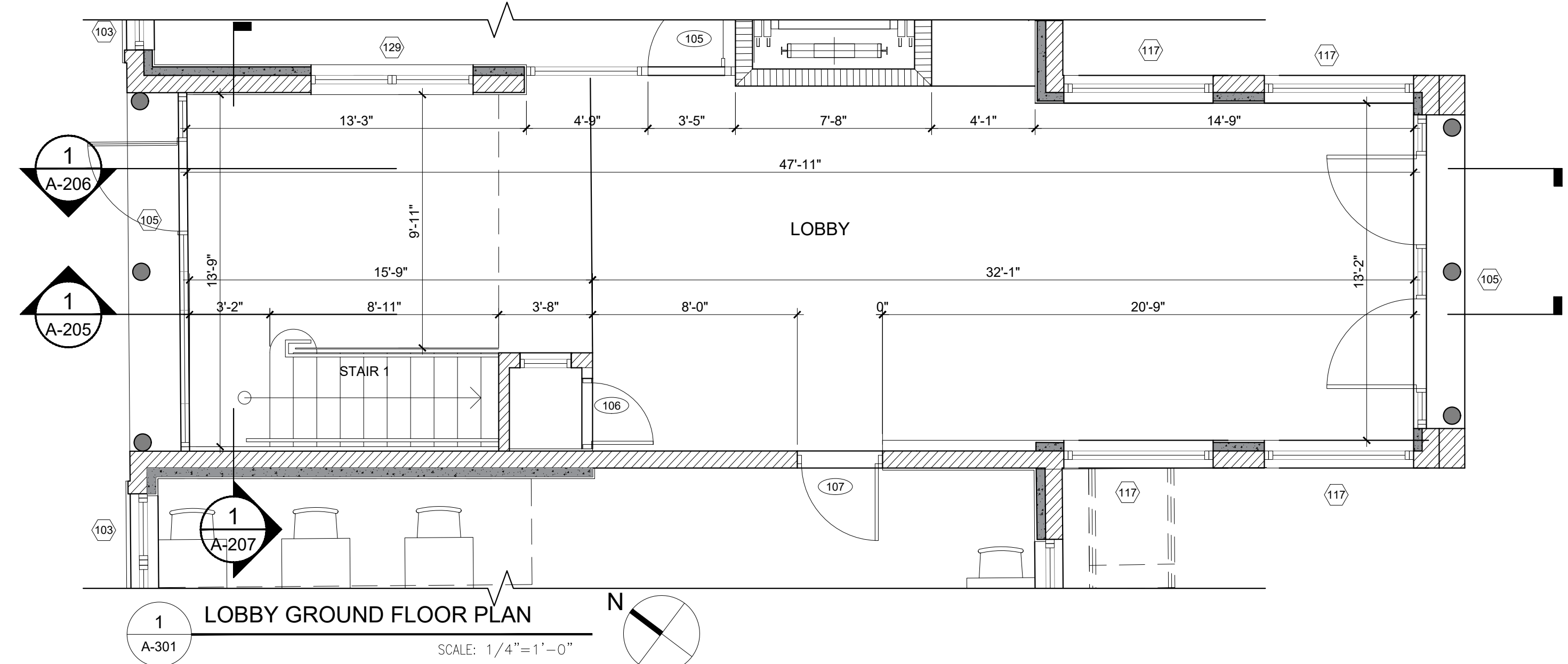
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SHEET TITLE  
 ENLARGED LOBBY PLANS

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SHEET NUMBER  
**A-301**





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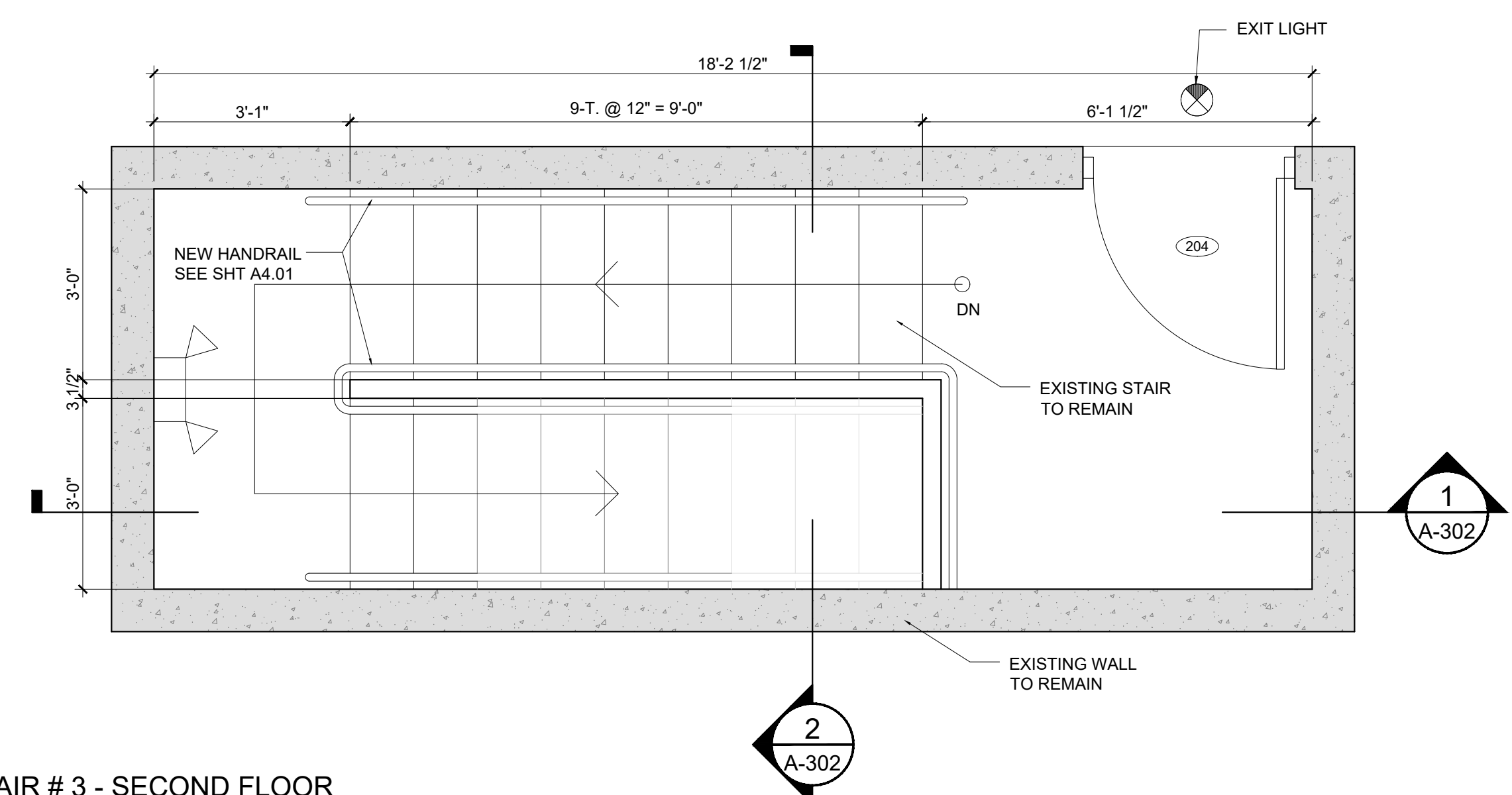
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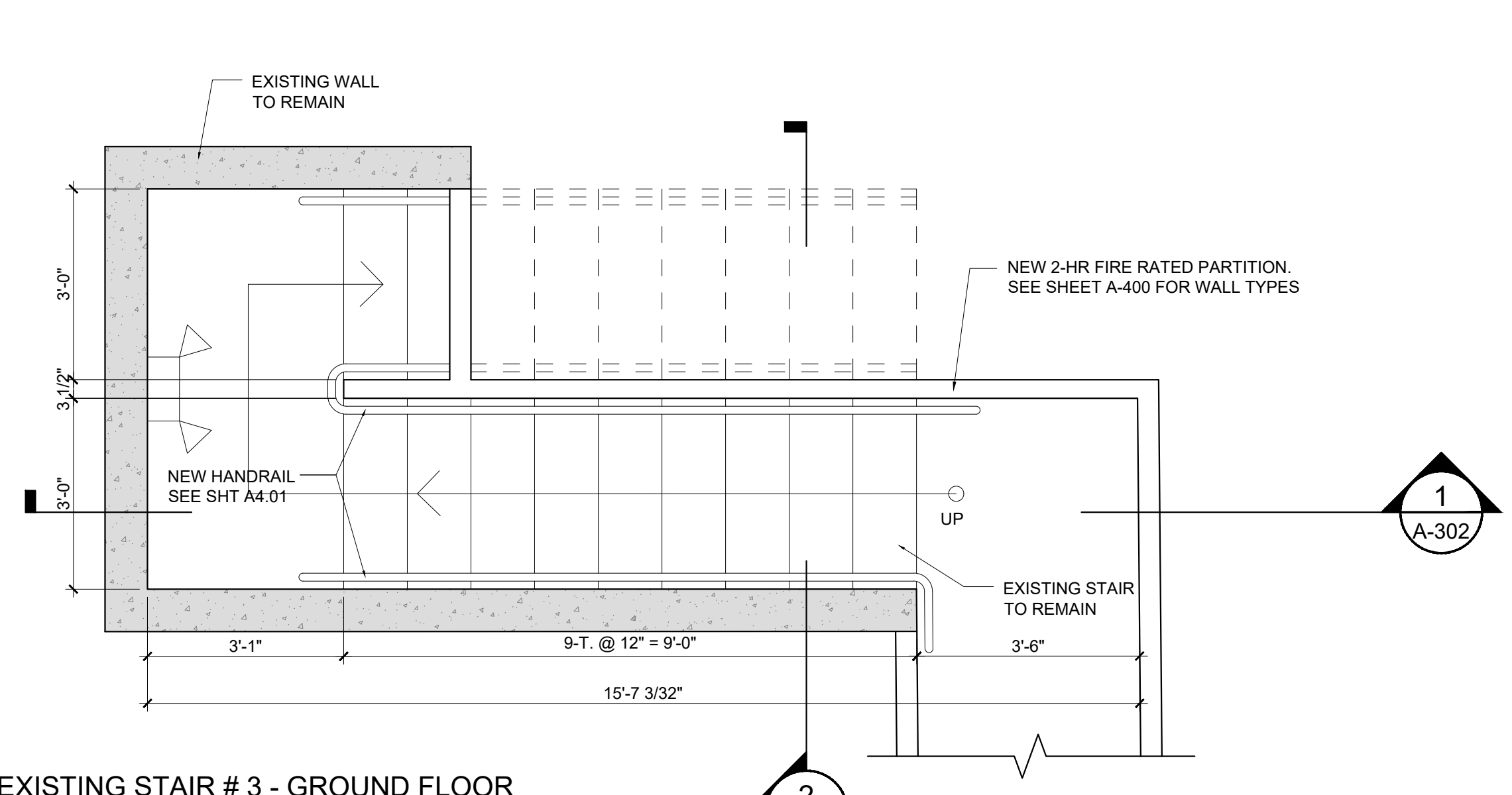
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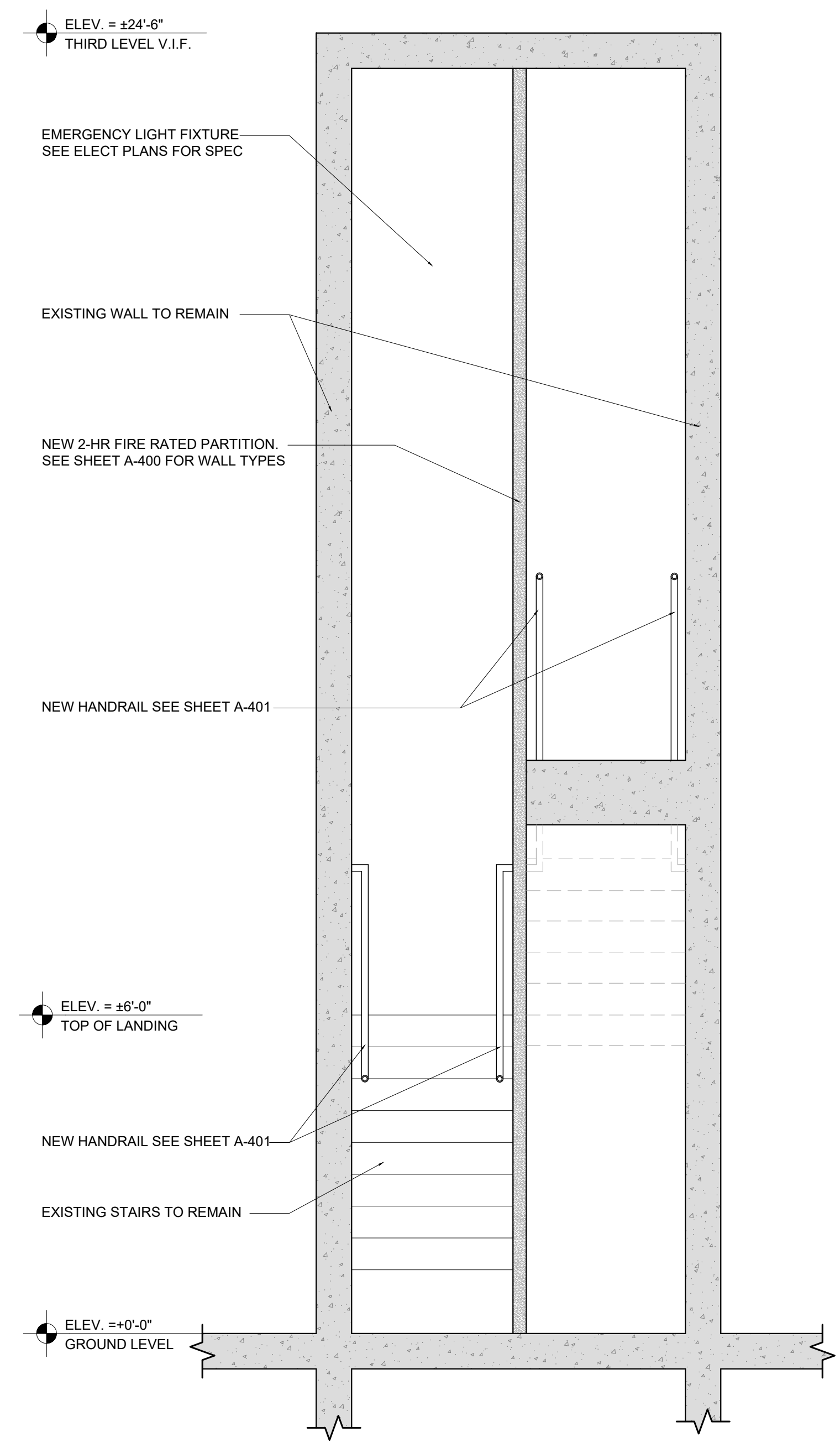
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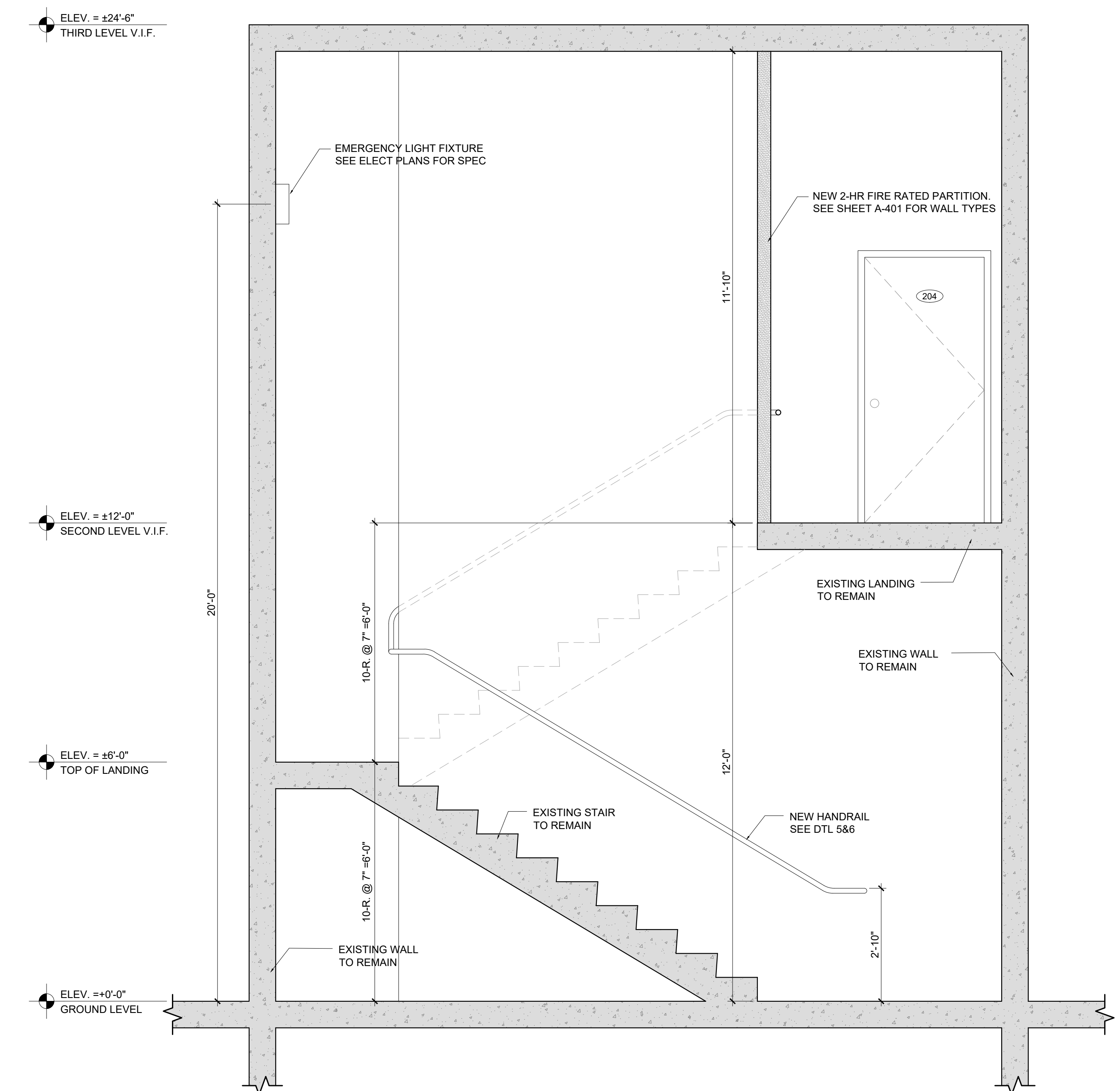
**4**  
 A-302  
**EXISTING STAIR # 3 - SECOND FLOOR**  
 SCALE: 1/2"=1'-0"



**3**  
 A-302  
**EXISTING STAIR # 3 - GROUND FLOOR**  
 SCALE: 1/2"=1'-0"



**2**  
 A-302  
**EXISTING STAIR # 3 - SECTION**  
 SCALE: 1/2"=1'-0"



**1**  
 A-302  
**EXISTING STAIR # 3 - SECTION**  
 SCALE: 1/2"=1'-0"



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REVISIONS	DATE
△ BLDG. DEPT. COMMENTS	05/11/2020

PROJECT NUMBER  
**2019-008**

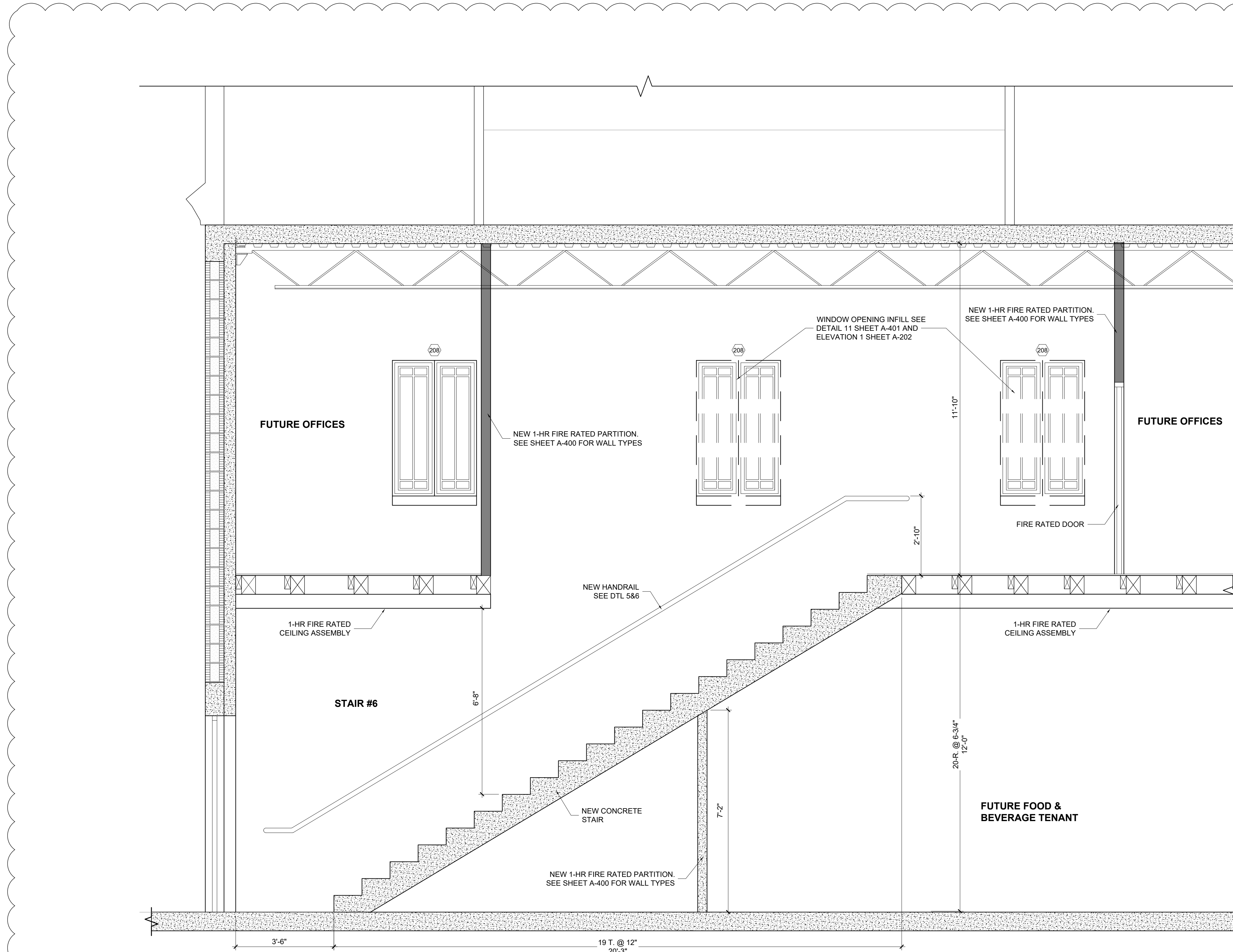
DATE  
 02/06/2020

SHEET TITLE  
 ENLARGED STAIR PLAN

DRAWN BY  
 L. R.

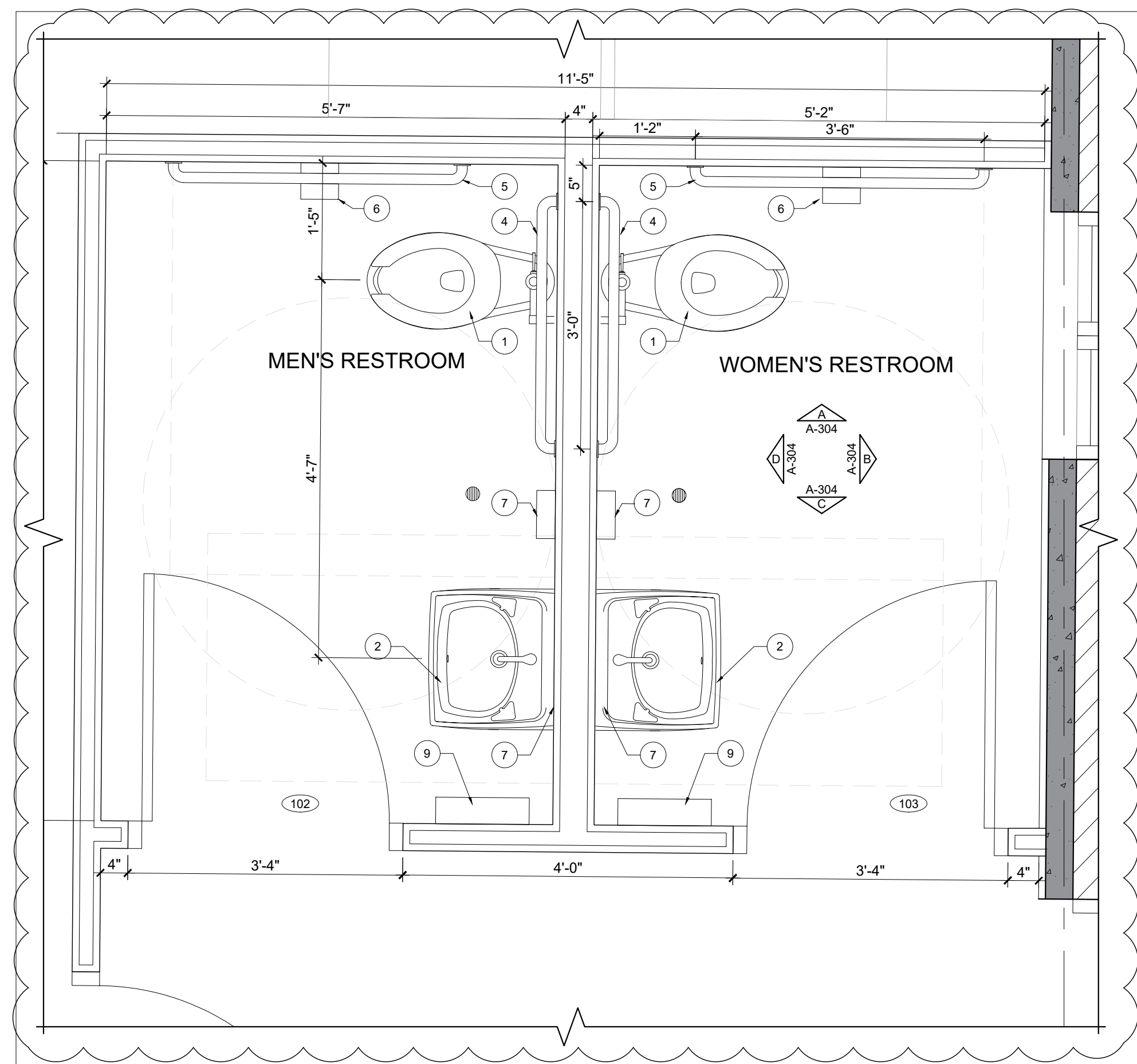
CHECKED BY  
 J. S. K.

SHEET NUMBER  
**A-303**



**1** NEW STAIR # 6 - SECTION  
 A-303 SCALE: 1/2" = 1'-0"

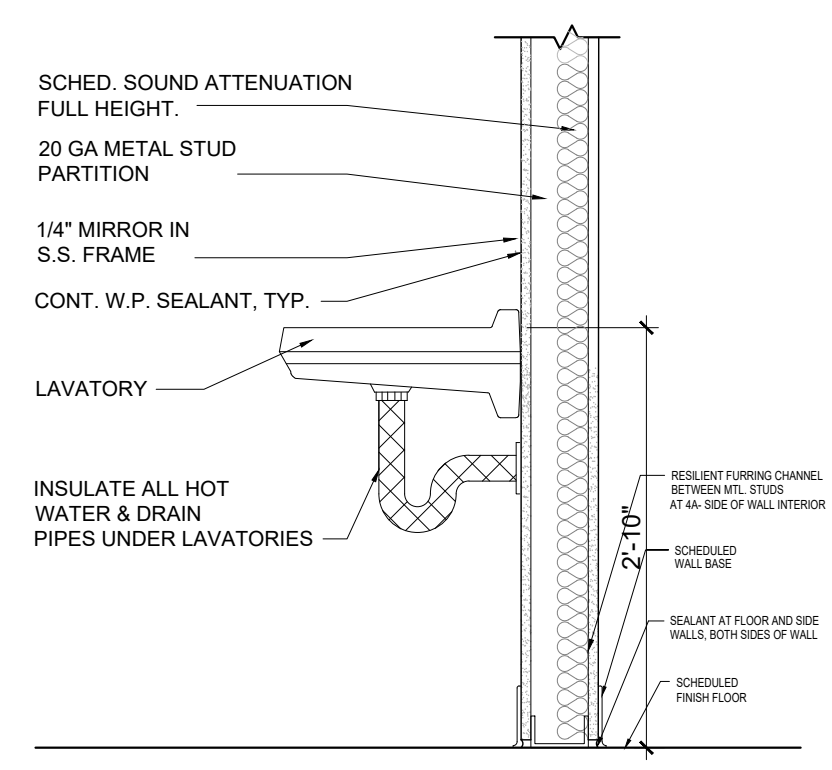




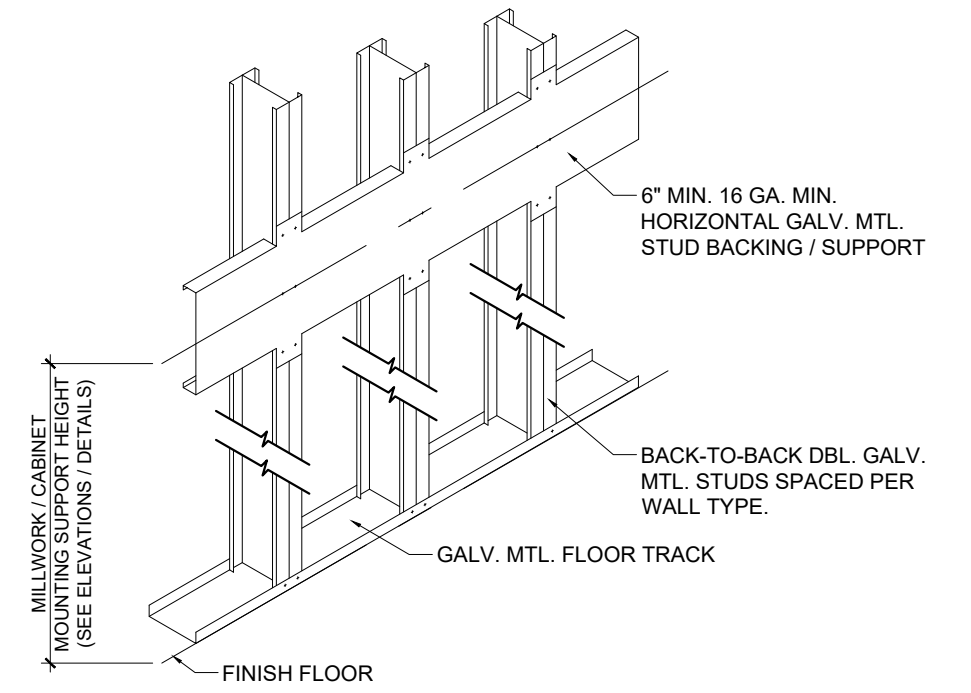
1 ADA RESTROOM PLAN  
A-304 SCALE: 3/4" = 1'-0"

**TOILET ACCESSIBILITY NOTES:**

- DOORS TO THE H.C. TOILET ROOMS SHALL BE 3'0" WIDE.
- PROVIDE DOOR HARDWARE - PRIVACY TYPE LOCKSET WITH LEVER TYPE ACCESSIBILITY APPROVED HARDWARE. DOORS SHALL BE EQUIPPED WITH ACCESSIBILITY APPROVED CLOSER AS PER SECTION (404.2.7) OF THE FLORIDA BUILDING CODE, ACCESSIBILITY 2017 ED.
- GRAB BARS (STAINLESS STEEL): SHALL HAVE A 1 1/4" MIN. AND 2 INCH MAX. O.D. AND SET 2 1/2" AWAY FROM THE WALL AND 34"-36" ABOVE THE FINISHED FLOOR. SIDE GRAB BAR SHALL BE 42" LONG. GRAB BAR BEHIND TOILET SHALL BE 36" LONG, AS PER SECTION (609.4) AND FIGURE (609.3) OF THE FLORIDA BUILDING DEPARTMENT, ACCESSIBILITY 2017 ED.
- LAVATORY SHALL BE MOUNTED FOR ACCESSIBILITY TO INDIVIDUALS IN WHEELCHAIRS WITH TOP OF RIM AT 14" MAX. AND 29" CLEAR KNEE SPACE MIN. ABOVE FINISHED FLOOR, AS PER SECTION (306.1) WITH CLEAR FLOOR SPACE OF 30"x48" AS PER SECTION (305.3) \*FIGURE 305.3 OF THE FLORIDA BUILDING CODE, ACCESSIBILITY 2017 ED. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED TO PROTECT AGAINST CONTACT AS PER SECTION (606.5) OF THE FLORIDA BUILDING CODE, ACCESSIBILITY 2017 ED.
- WATER CLOSET (WC) SHALL BE INSTALLED WITH THE CENTER LINE OF WC AT 18" FROM FINISHED SIDE WALL AND SHALL BE ACCESSIBLE TO INDIVIDUALS IN WHEELCHAIRS WITH TOP OF SEAT BETWEEN 17" AND 19" A.F.F. AND SEAT SHALL HAVE OPEN FRONT, AS PER SECTION (604.2) AND FIGURE (604.2) OF THE FLORIDA BUILDING DEPARTMENT, ACCESSIBILITY 2017 ED. TOILETS SHALL HAVE THE LEVER TO THE OPEN SIDE.



2 LAVATORY DETAIL  
A-304 SCALE: 3/4" = 1'-0"



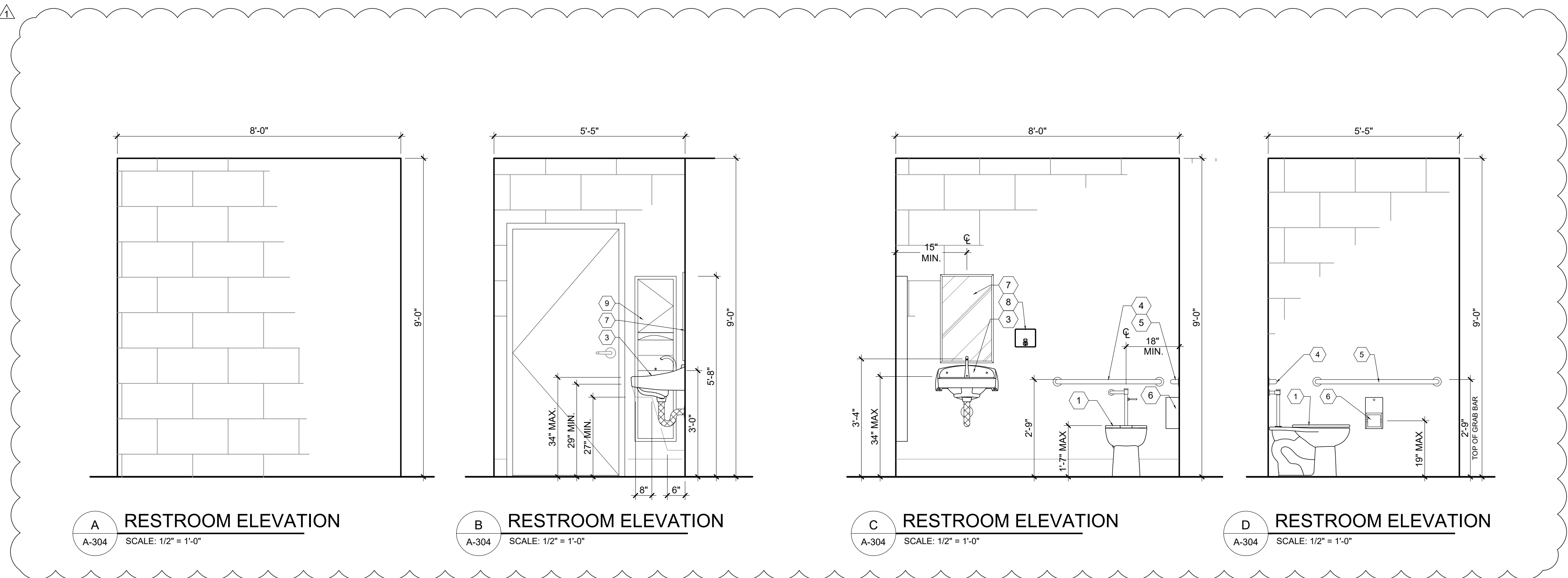
3 TYPICAL DETAIL REINFORCEMENT  
A-304 SCALE: 3/4" = 1'-0"

**PROPOSED PLUMBING FIXTURE & RESTROOM ACCESSORIES SCHEDULE**

ITEM #	DESCRIPTION	MANUFACTURER	MODEL #
1	FLOOR MOUNTED TOILET	XX	
2	NOT USED		
3	LAVATORY	XX	
4	GRAB BAR 36"	BOBRICK	B-6806 X 36
5	GRAB BAR 42"	BOBRICK	B-6806 X 42
6	TOILET PAPER DISPENSER	BOBRICK	B-2888
7	MIRROR	BOBRICK	B-290-1830
8	SOAP DISPENSER	BOBRICK	B-4112
9	PAPER TOWEL DISPENSER/TRASH	BOBRICK	B-3944

ADA NOTE: HEIGHTS AND CLEARANCES OF ALL TOILET FIXTURES, ACCESSORIES AND HARDWARE SHALL COMPLY WITH THE FLORIDA BUILDING CODE, ACCESSIBILITY ED. 2017.

- NOTE:**
- PROVIDE BACKING. SEE PLYWOOD BACKING/SUPPORT DETAIL ISOMETRIC 3/A-304 AT ALL WALL HUNG EQUIPMENT. ALL BACKING SHALL BE CONCEALED BY FINISH MATERIAL. (TYPICAL)
  - PROVIDE INSULATION OF EXPOSED HOT WATER AND DRAIN LINES AT LAVATORIES.
  - CHANGES IN LEVEL UP TO 1/4" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP AS PER SECTION 303.3 OF THE FLORIDA BUILDING CODE, ACCESSIBILITY 2017 ED.
  - ALL FLOOR SURFACES SHALL BE LEVELED AND SHALL COMPLY WITH THE CURRENT FLORIDA BUILDING CODE 2017 ED-ACCESSIBILITY SECTION 302.1 FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
  - SEE SHEET A-006 FOR ADA CODE INFORMATION AND DIMENSIONS.



A RESTROOM ELEVATION  
A-304 SCALE: 1/2" = 1'-0"

B RESTROOM ELEVATION  
A-304 SCALE: 1/2" = 1'-0"

C RESTROOM ELEVATION  
A-304 SCALE: 1/2" = 1'-0"

D RESTROOM ELEVATION  
A-304 SCALE: 1/2" = 1'-0"

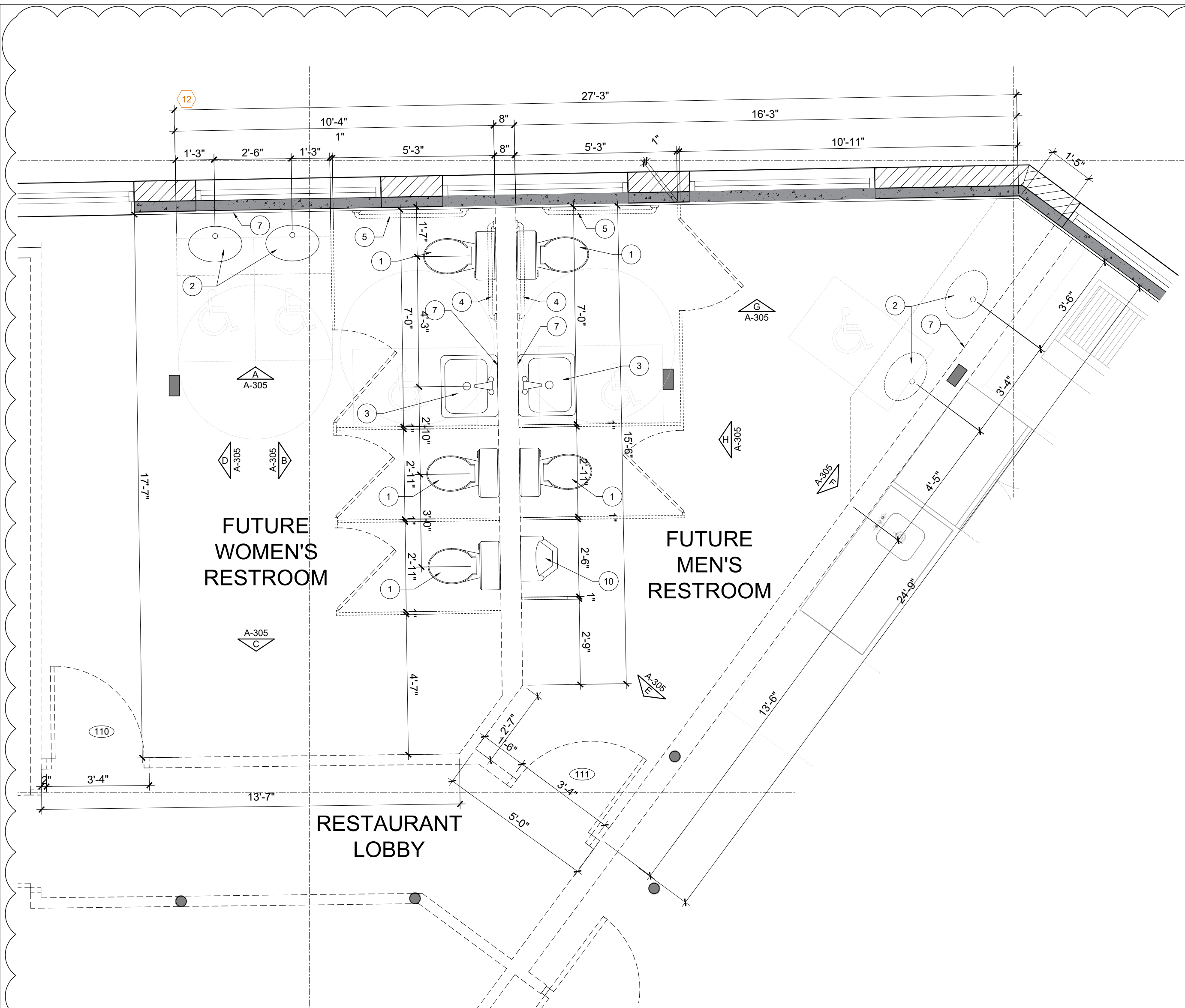


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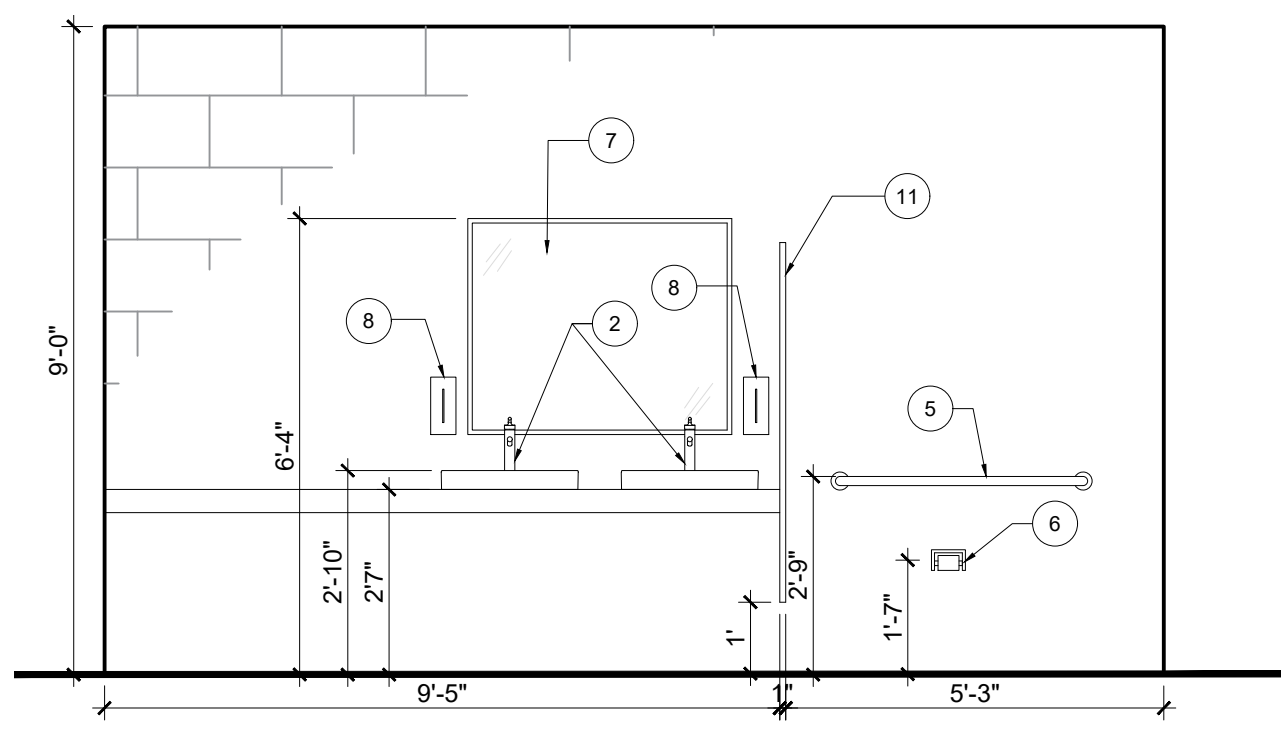
PROJECT NUMBER  
**2019-008**  
 DATE  
 02/06/2020  
 SHEET TITLE  
 ENLARGED FLOOR PLAN ADA  
 DRAWN BY  
 L. R.  
 CHECKED BY  
 J. S. K.  
 SHEET NUMBER



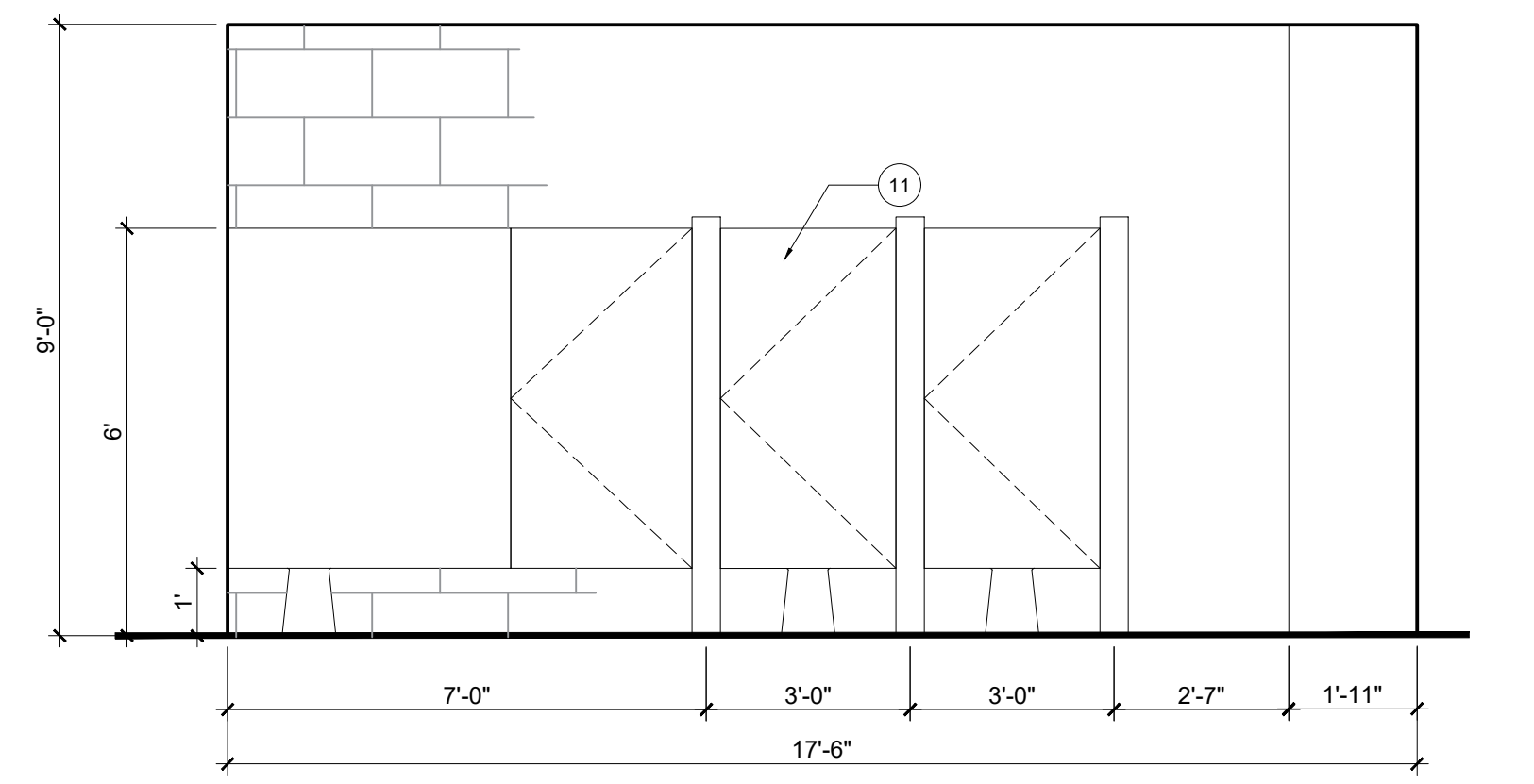
**1 ENLARGED FLOOR PLAN - RESTROOMS**  
SCALE: 3/8" = 1'-0"

**NOTE:**  
1. LAYOUT IS DEVELOPED FOR BASIC STUB UP FOR FUTURE ELECTRICAL AND PLUMBING. SEPARATE PERMITS SHALL BE OBTAINED BY TENANTS.  
2. SEE SHEET A-006 FOR ADA INFORMATION AND DIMENSIONS.

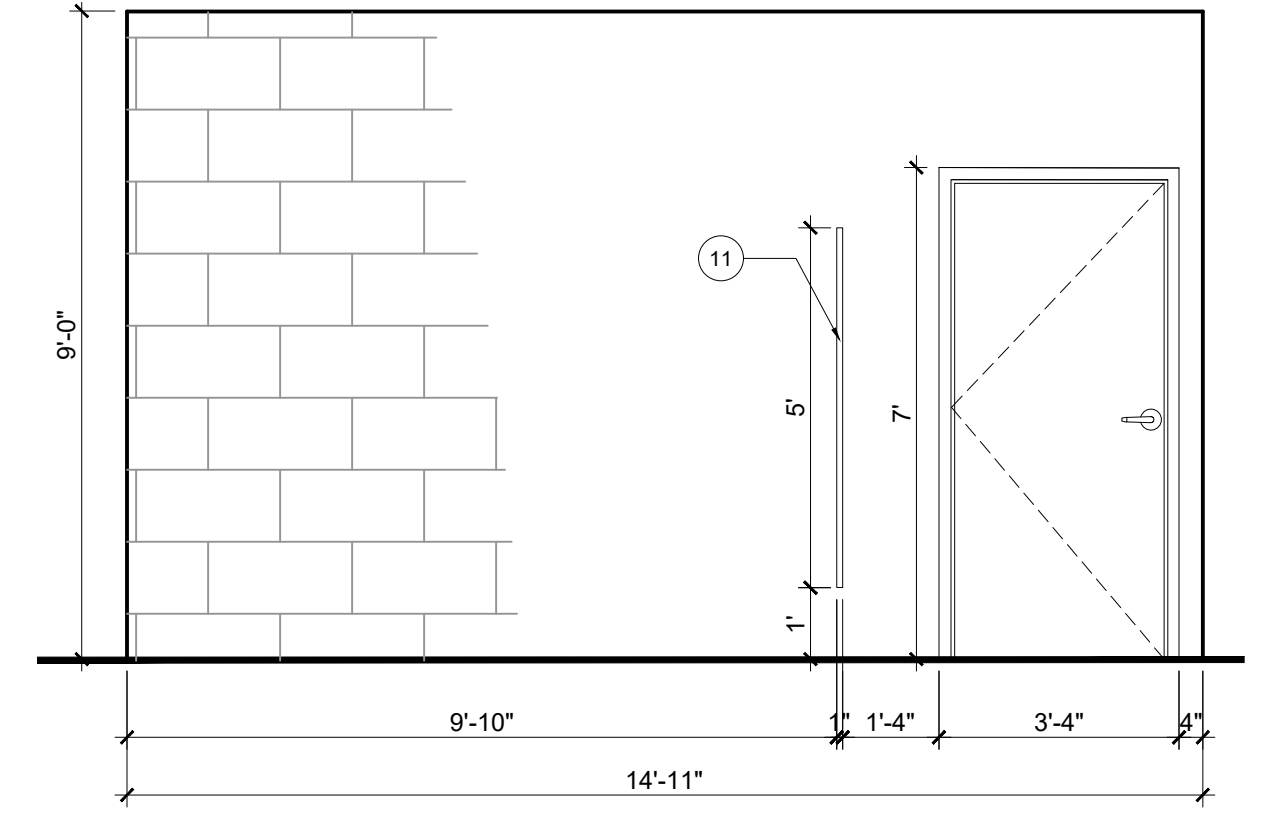
FUTURE PLUMBING FIXTURE & RESTROOM ACCESSORIES SCHEDULE	
ITEM #	
1	FUTURE FLOOR MOUNTED TOILET
2	FUTURE ADA MOUNTED SINK
3	FUTURE LAVATORY
4	FUTURE GRAB BAR 36"
5	FUTURE GRAB BAR 42"
6	FUTURE TOILET PAPER DISPENSER
7	FUTURE MIRROR
8	FUTURE SOAP DISPENSER
9	FUTURE PAPER TOWEL DISPENSER/TRASH
10	FUTURE URINAL
11	FUTURE TOILET PARTITION



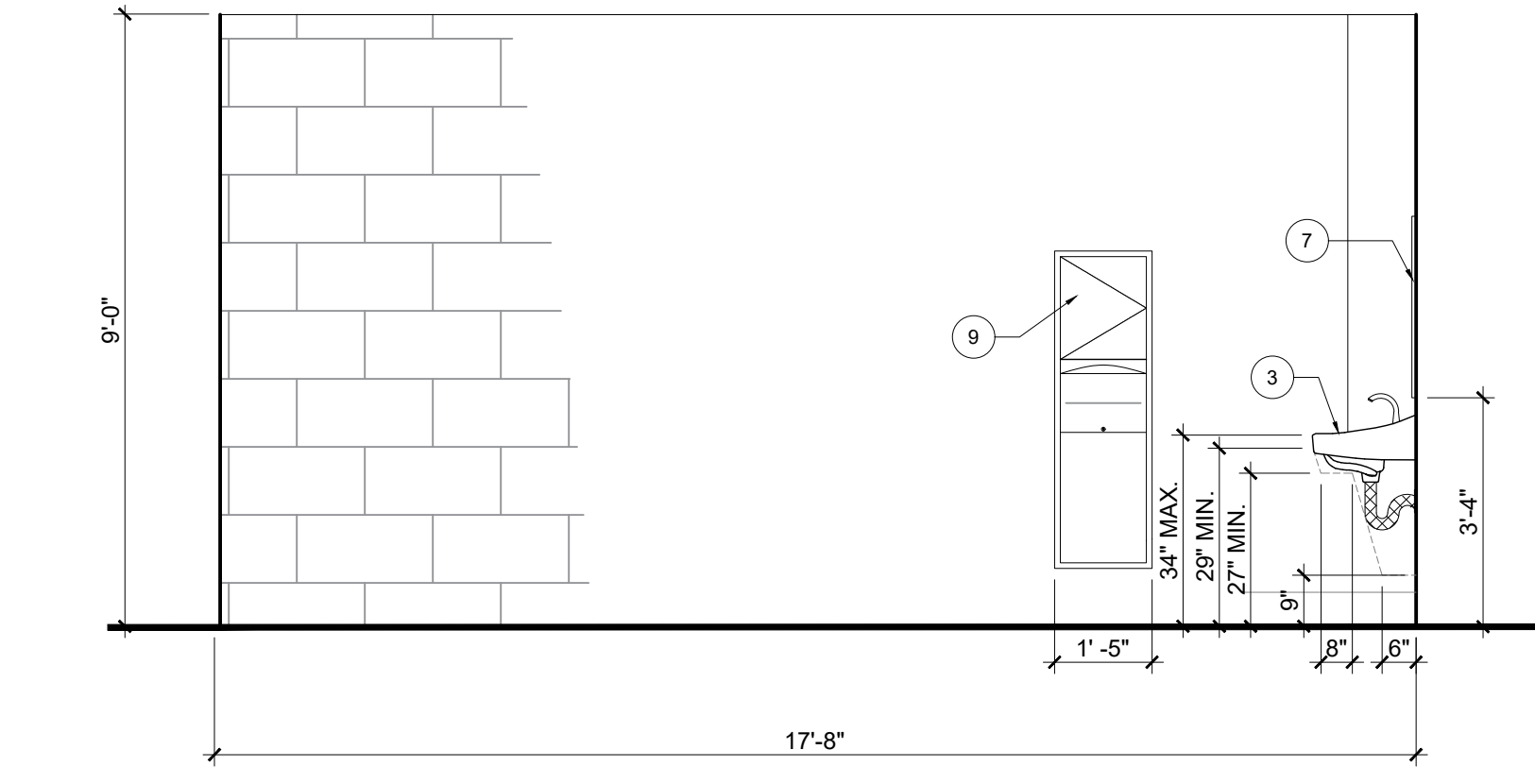
**A WOMEN'S RESTROOM ELEVATION**  
SCALE: 3/8" = 1'-0"



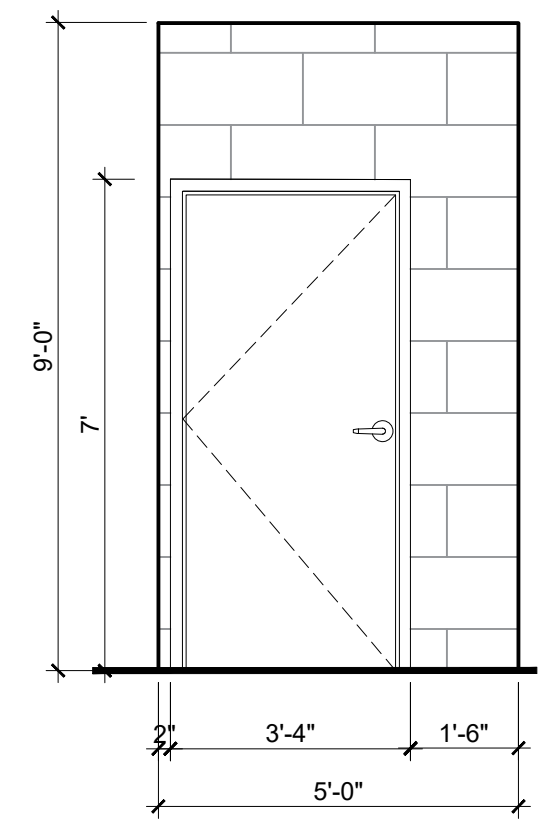
**B WOMEN'S RESTROOM ELEVATION**  
SCALE: 3/8" = 1'-0"



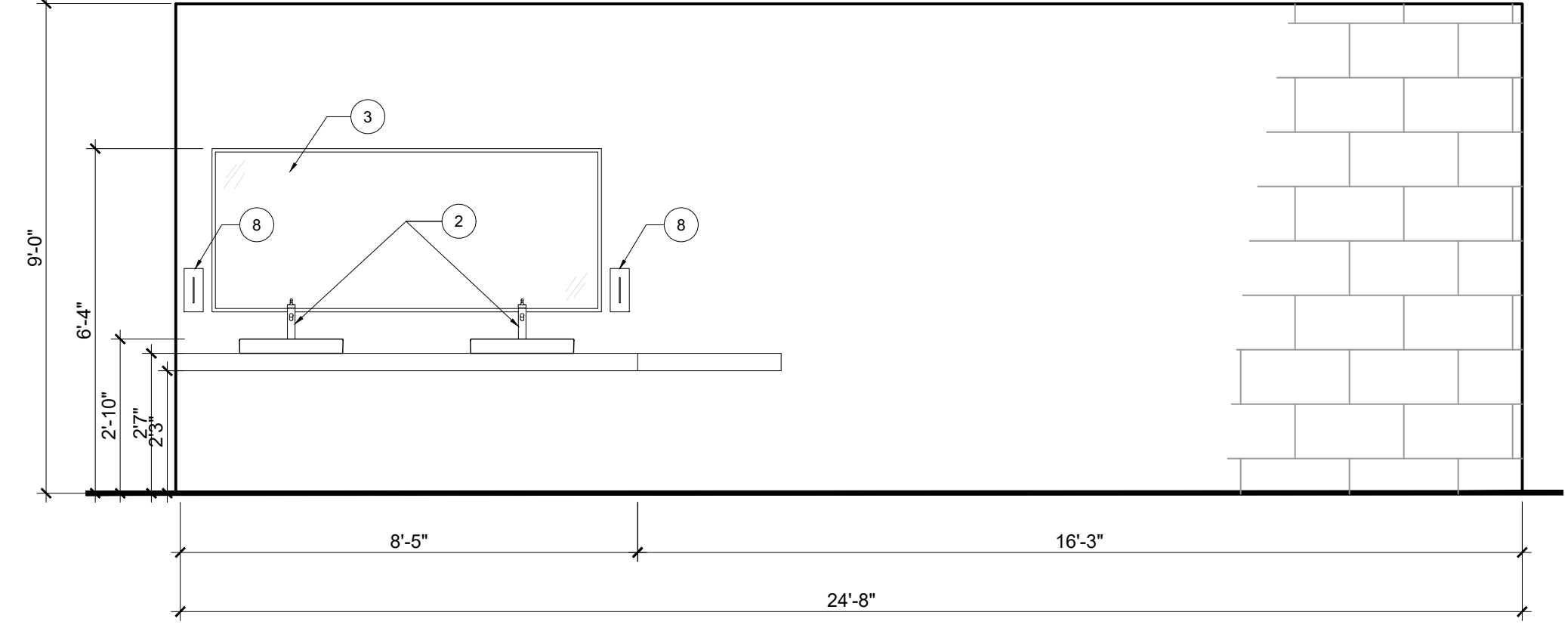
**C WOMEN'S RESTROOM ELEVATION**  
SCALE: 3/8" = 1'-0"



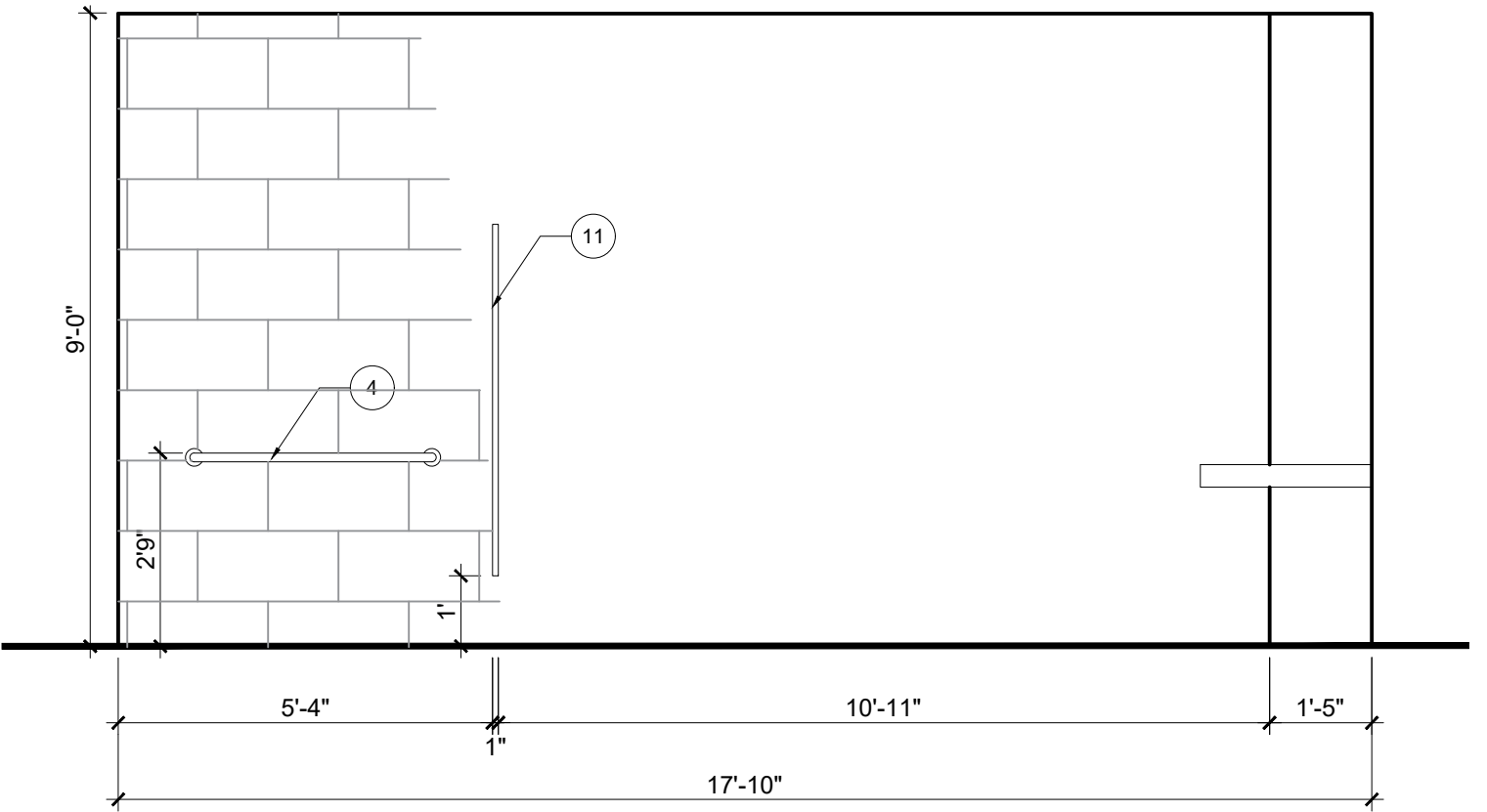
**D WOMEN'S RESTROOM ELEVATION**  
SCALE: 3/8" = 1'-0"



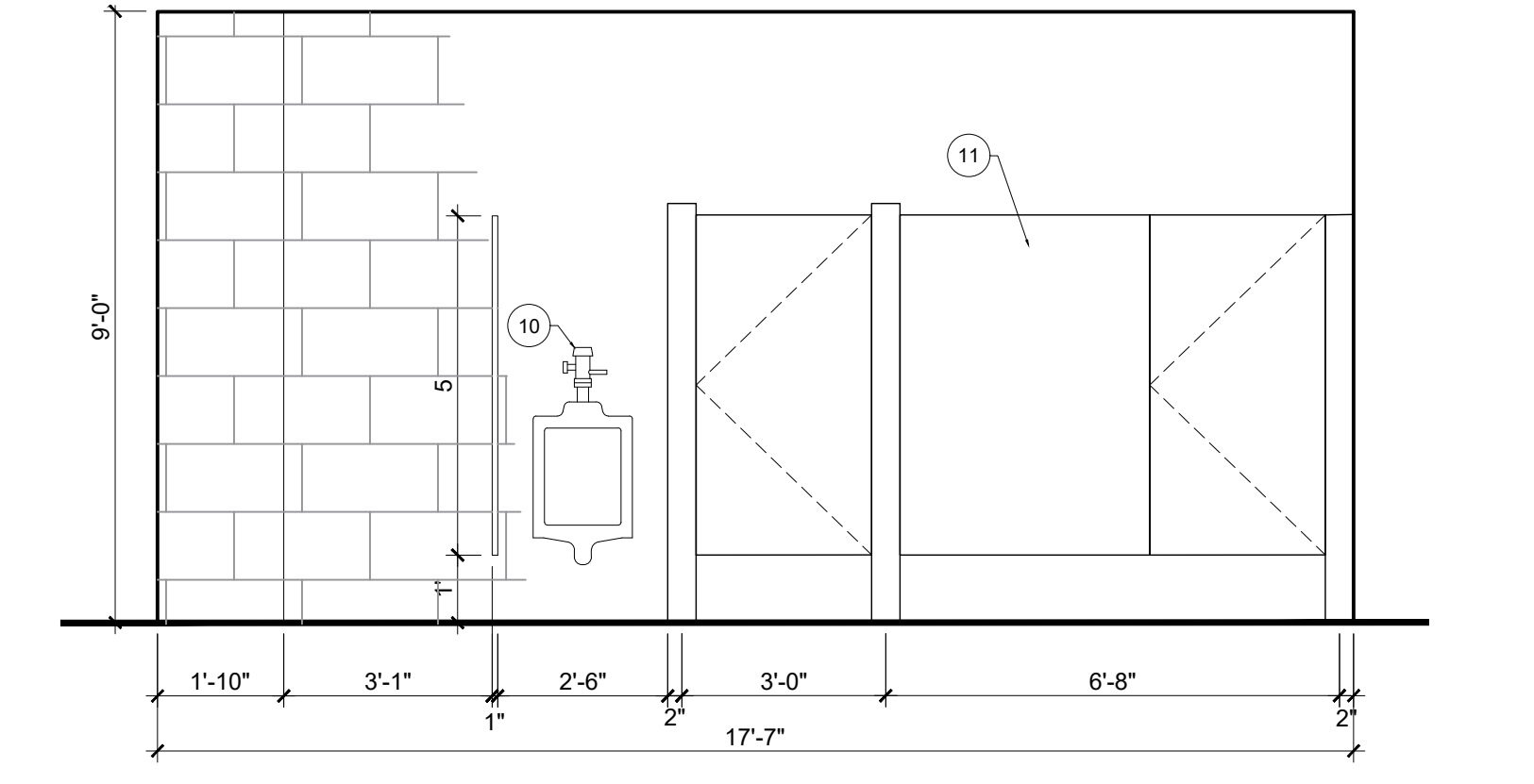
**E MEN'S RESTROOM ELEVATION**  
SCALE: 3/8" = 1'-0"



**F MEN'S RESTROOM ELEVATION**  
SCALE: 3/8" = 1'-0"



**G MEN'S RESTROOM ELEVATION**  
SCALE: 3/8" = 1'-0"



**H MEN'S RESTROOM ELEVATION**  
SCALE: 3/8" = 1'-0"



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PROJECT NUMBER  
**2019-008**  
DATE  
02/06/2020  
SHEET TITLE  
ENLARGED RESTROOM  
PLANS AND ELEVATIONS  
DRAWN BY  
L. R.  
CHECKED BY  
J. S. K.  
SHEET NUMBER  
**A-305**



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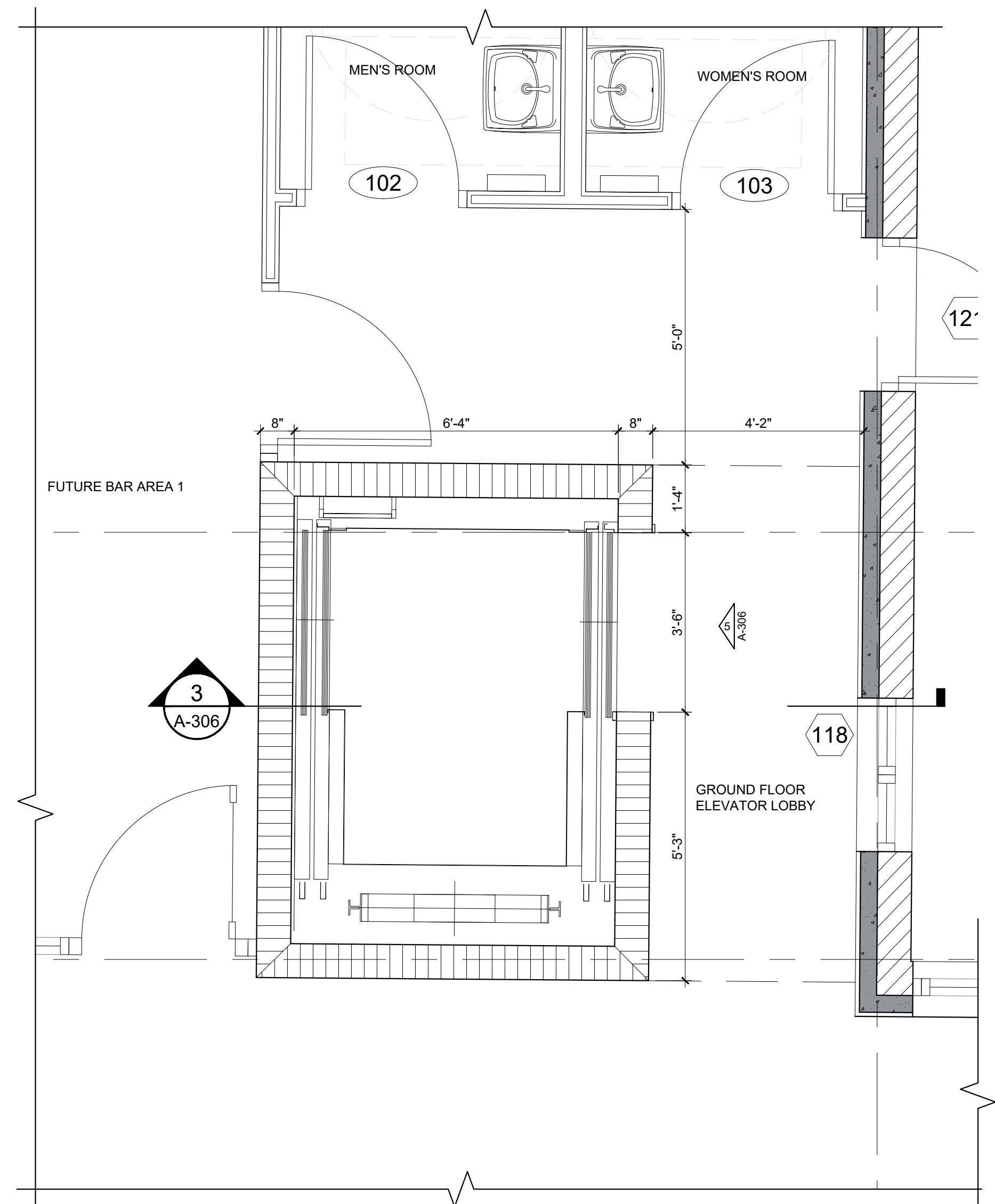
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 ENLARGED ELEVATOR SECTION

DRAWN BY  
 L. R.

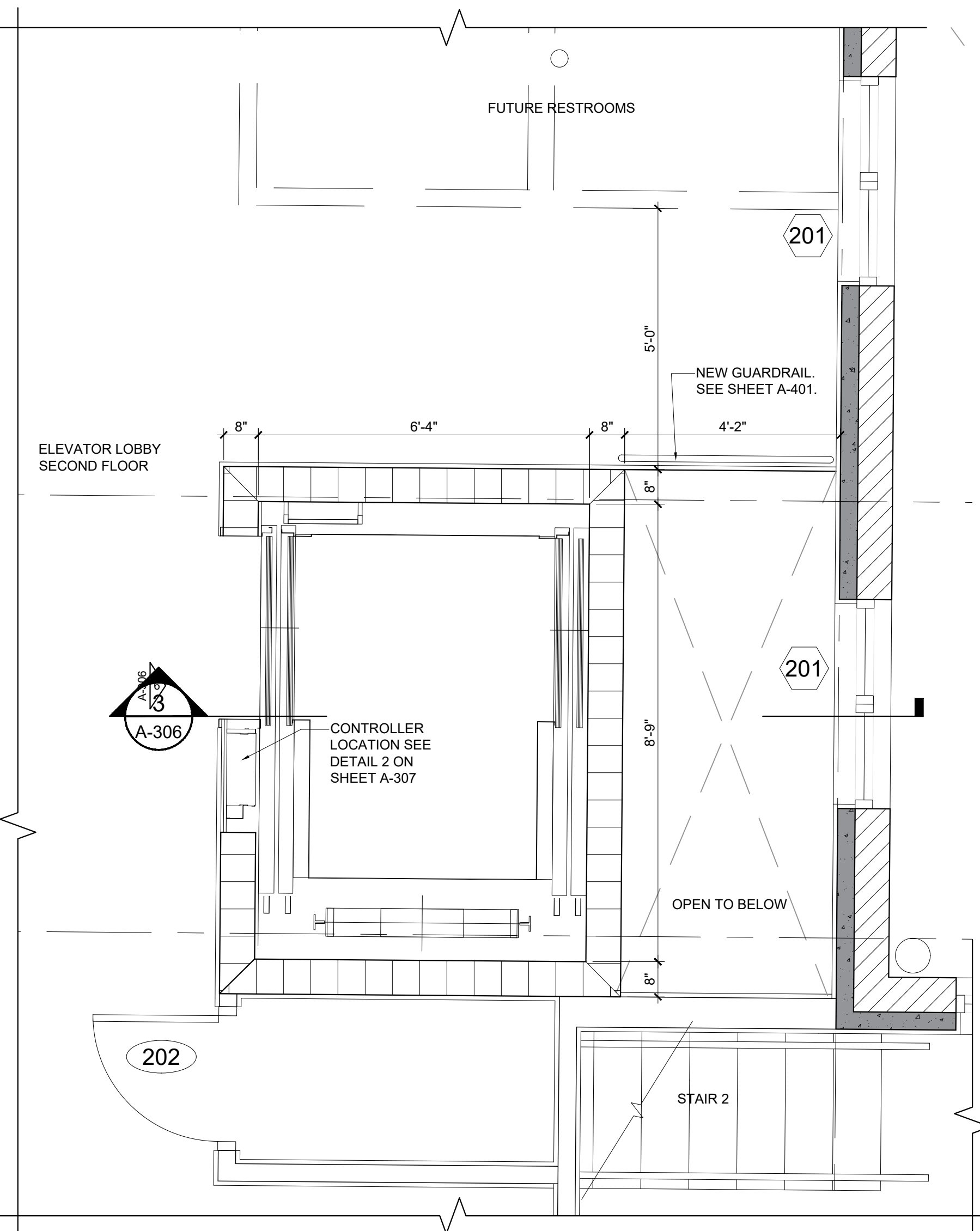
CHECKED BY  
 J. S. K.

SHEET NUMBER

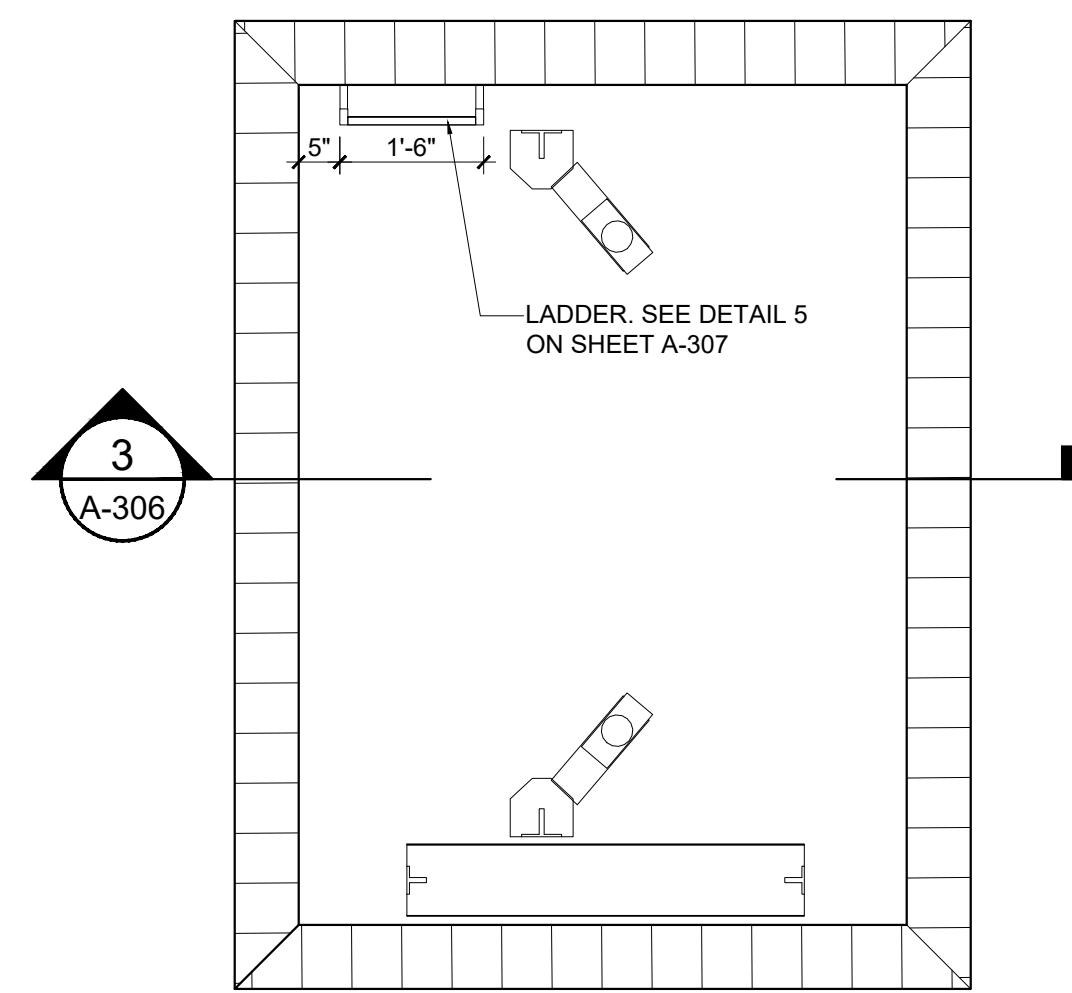
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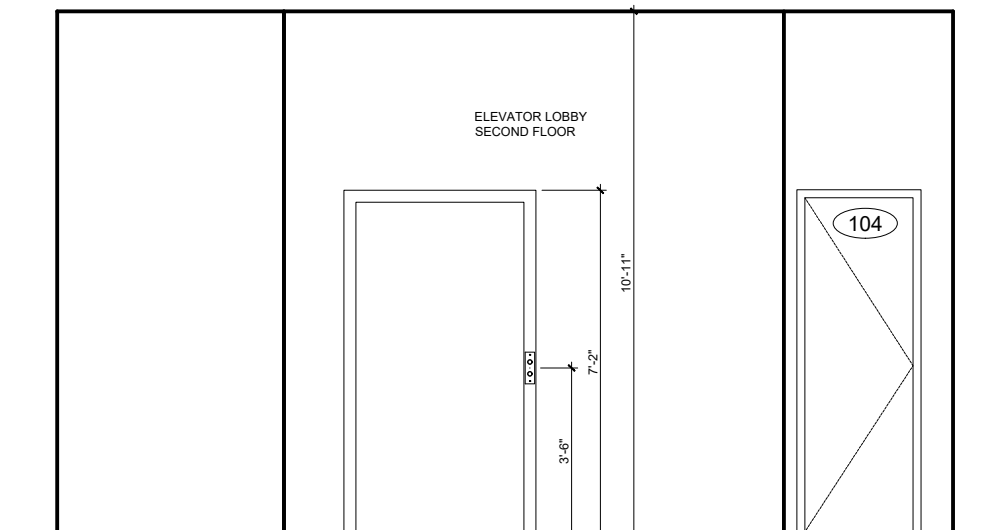
**1 GROUND FLOOR ELEVATOR PLAN**  
 A-306 SCALE: 1/2"=1'-0"



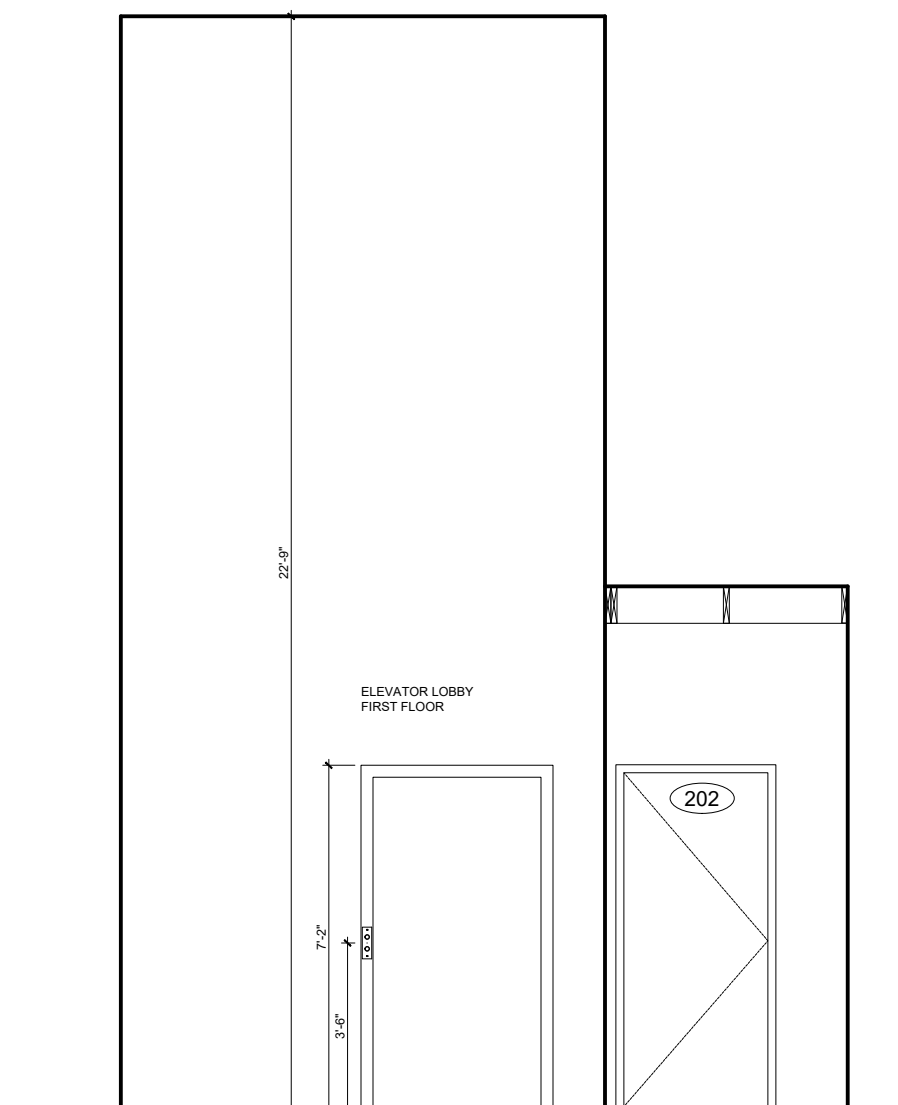
**2 SECOND FLOOR ELEVATOR PLAN**  
 A-306 SCALE: 1/2"=1'-0"



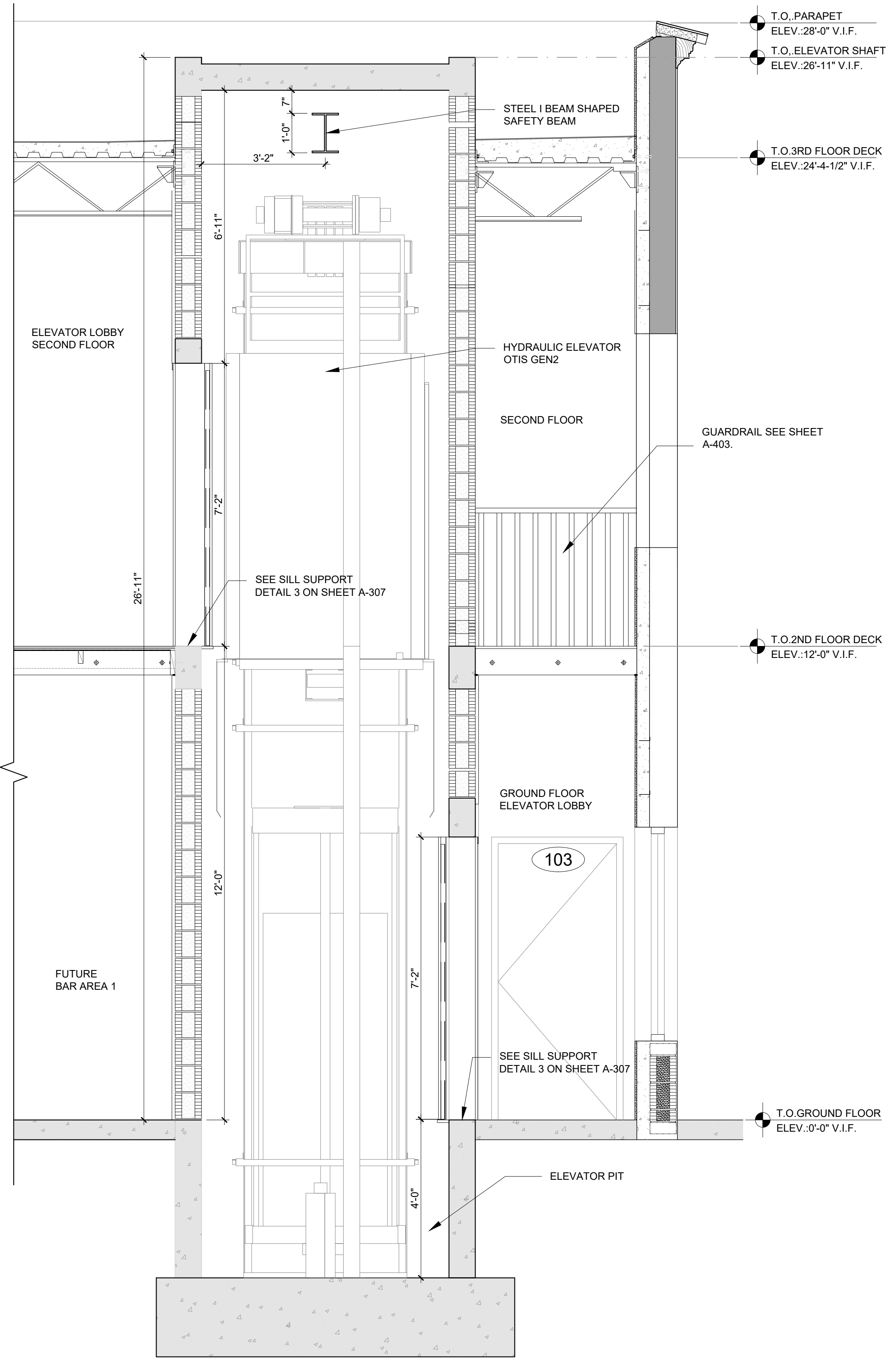
**4 ELEVATOR PIT PLAN**  
 A-306 SCALE: 1/2"=1'-0"



**5 ELEVATOR LOBBY ELEVATION**  
 A-306 SCALE: 1/2"=1'-0"



**6 ELEVATOR LOBBY ELEVATION**  
 A-306 SCALE: 1/2"=1'-0"



**3 ELEVATOR SHAFT ENLARGED SECTION**  
 A-306 SCALE: 1/2"=1'-0"

NOTE: GC SHALL COORDINATE AND FOLLOW ALL OF THE REQUIREMENTS OF THE SHOP DRAWINGS OF FROM THE ELEVATOR CONTRACTOR.  
 SEE SHEET A-404 FOR ELEVATOR DETAILS AND NOTES



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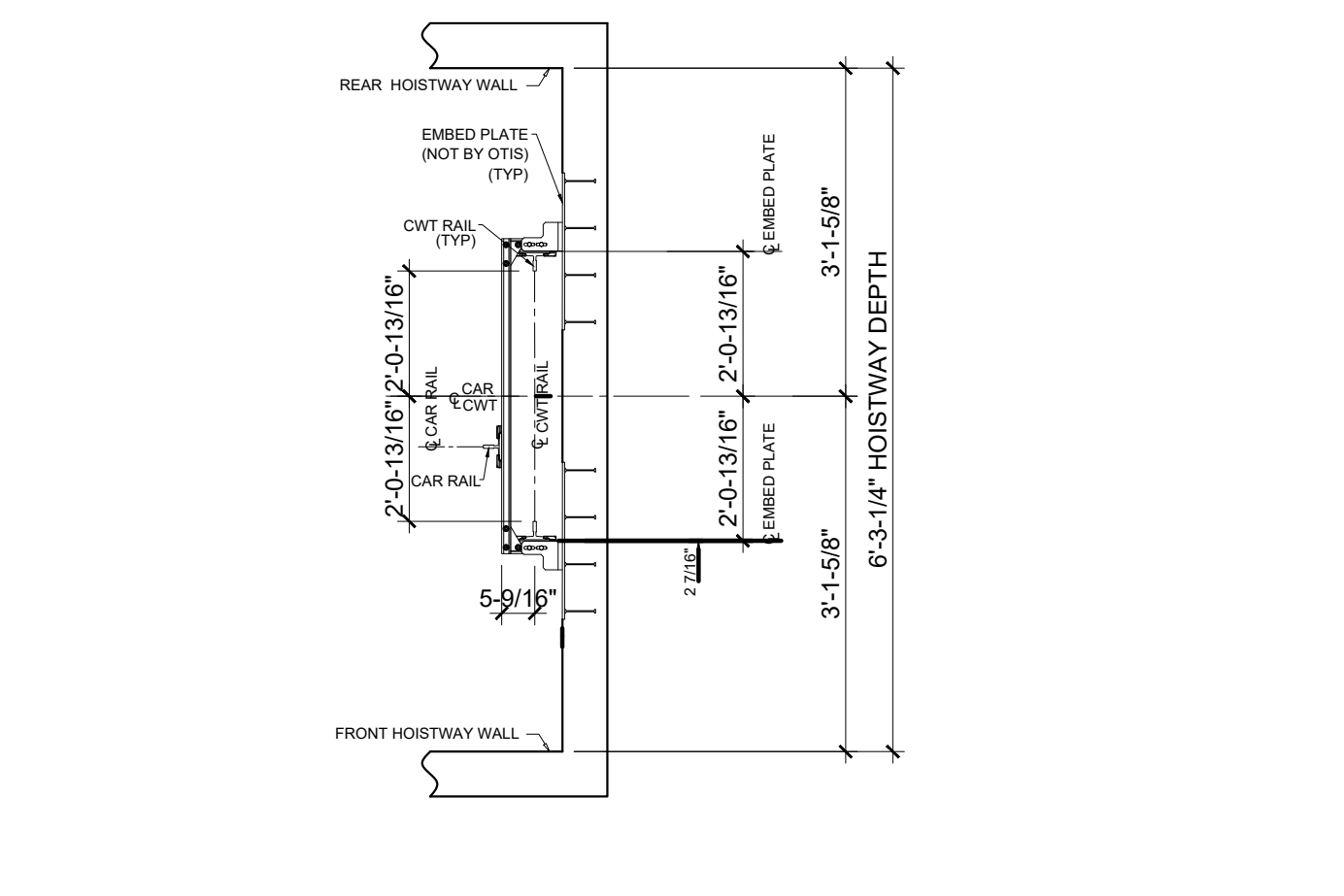


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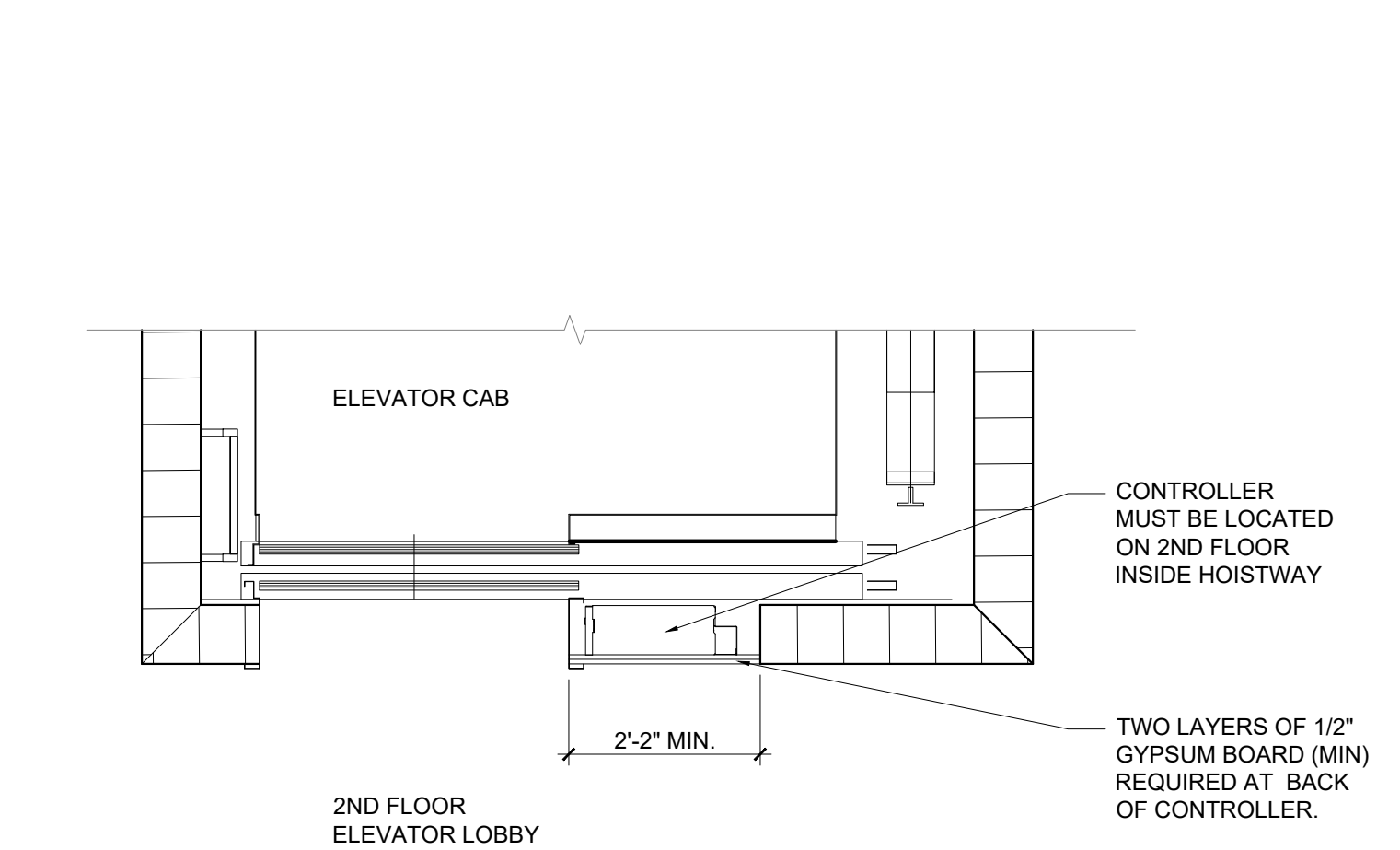
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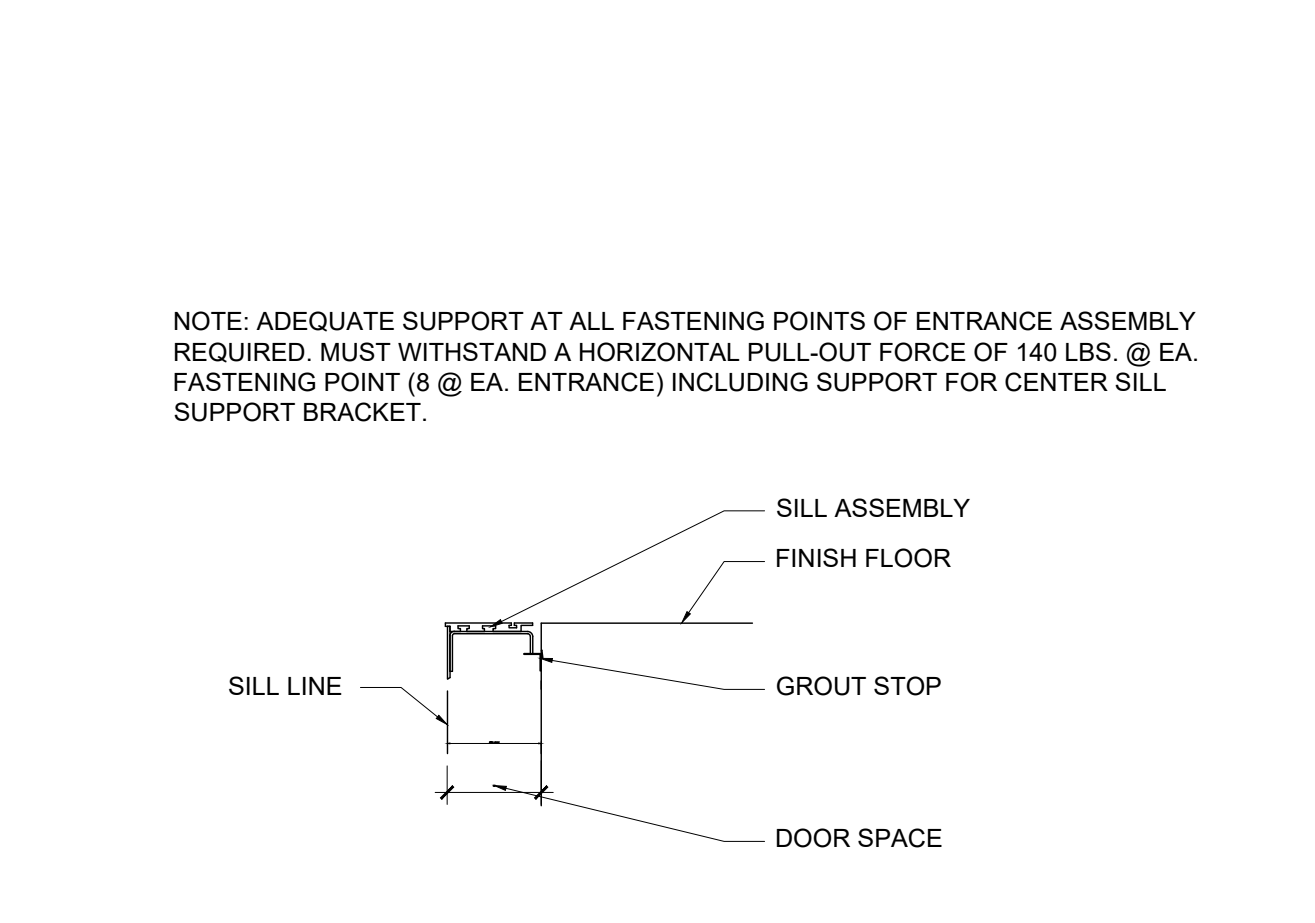
PROJECT NUMBER  
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 DATE  
 02/06/2020  
 SHEET TITLE  
 ELEVATOR DETAILS AND NOTES  
 DRAWN BY  
 L. R.  
 CHECKED BY  
 J. S. K.  
 SHEET NUMBER  
**A-307**



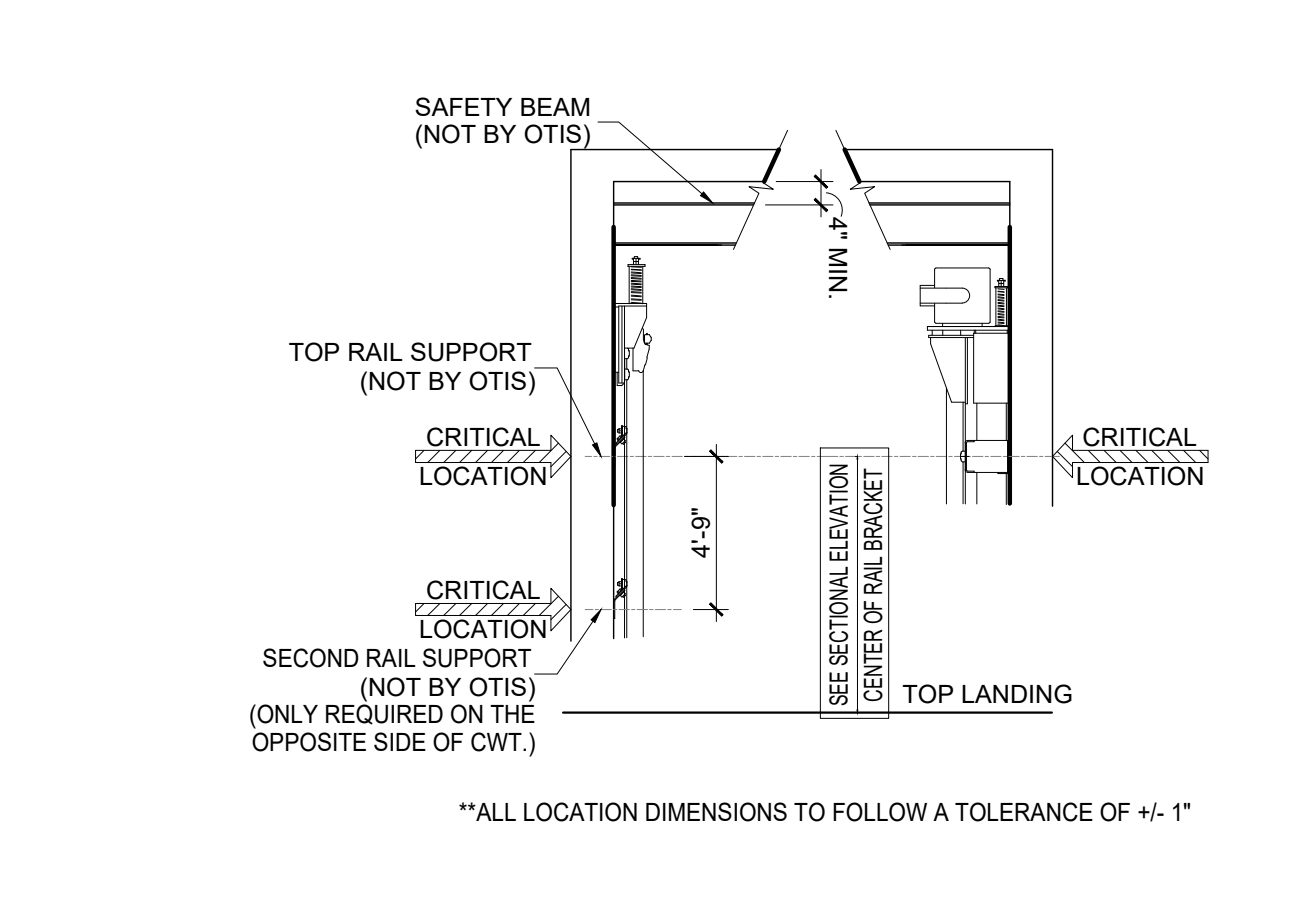
**1 EMBED LOCATION DETAIL**  
 SCALE: NTS



**2 CONTROLLER LOCATION REQUIREMENTS**  
 SCALE: 1/2"=1'-0"



**3 SILL SUPPORT**  
 SCALE: NTS



**4 MACHINE DETAIL**  
 SCALE: NTS

**GENERAL PREPWORK**  
 1. PROVIDE ON-SITE STORAGE AREA FOR ELEVATOR EQUIPMENT AS FOLLOWS: DRY AND ENCLOSED, PROVIDES ROLL-ABLE ACCESS TO THE ELEVATOR HOISTWAY AT THE GROUND LEVEL. LOCATED WITHIN 100 FEET (30480MM) OF THE HOISTWAY AND IS LARGER THAN 25 X 20 FEET (7620MM X 6096MM) PER ELEVATOR. ANY WARRANTIES PROVIDED BY OTIS FOR ELEVATOR EQUIPMENT ARE NULL AND VOID IF EQUIPMENT IS STORED IN A MANNER OTHER THAN A DRY ENCLOSED BUILDING STRUCTURE.

2. PROVIDE SUFFICIENT ON-SITE REFUSE CONTAINERS FOR THE PROPER DISPOSAL OF ELEVATOR PACKAGING MATERIAL. SHOULD SUFFICIENT REFUSE CONTAINERS NOT BE PROVIDED, DISPOSAL OF PACKAGING MATERIAL SHALL BECOME THE RESPONSIBILITY OF THE OWNER.  
 3. PROVIDE ANY CUTOUTS TO ACCOMMODATE ELEVATOR EQUIPMENT (TROUHING, VENTING, AND HALL FIXTURES), ALONG WITH THE PATCHING/PAINTING OF WALLS, FLOORS, OR PARTITIONS TOGETHER WITH FINISH PAINTING OF ENTRANCE DOORS AND FRAMES, IF REQUIRED.

**UHOISTWAY & PIT PREPWORK**  
 4. PROVIDE AND INSTALL A STEEL, I-BEAM SHAPED SAFETY BEAM WITH A MAXIMUM FLANGE WIDTH OF 8 11/16" (220MM), FROM SIDE WALL TO SIDE WALL AT THE TOP OF THE HOISTWAY, CAPABLE OF WITHSTANDING A MINIMUM NET LIVE LOAD OF 7500 LB (3402KG) PER ELEVATOR. REFERENCE OTIS LAYOUT FOR LOCATION. A 4" MINIMUM CLEARANCE IS REQUIRED FROM TOP OF BEAM TO TOP OF HOISTWAY.

5. PROVIDE A CLEAR PLUMB HOISTWAY WITH VARIATIONS FROM THE SIZE SHOWN ON THE OTIS LAYOUT NOT TO EXCEED .07+1"(25MM) AND NOT LESS THAN THE CLEAR DIMENSIONS SHOWN ON THE OTIS LAYOUT

6. PROVIDE ADEQUATE RAIL BRACKET SUPPORTS, BRACKET SPACING AS REQUIRED BY GOVERNING CODE. FROM PIT FLOOR TO TOP OF HOISTWAY TO COMPLY WITH THE RAIL REACTION FORCES DETAILED ON THE OTIS CONTRACT LAYOUT. PROVIDE ADEQUATE SUPPORT FOR THE TOP RAIL BRACKETS AT LOCATIONS ABOVE THE TOP LANDING AS SPECIFIED ON THE OTIS LAYOUT. PROVIDE SEPARATOR BEAMS WHERE REQUIRED. UNLESS APPROVED BY OTIS, RAIL-BRACKET ATTACHMENT SUPPORTS MUST BE EXPOSED AND FLUSH WITH THE CLEAR HOISTWAY LINE. IF THE FLOOR-TO-FLOOR HEIGHT EXCEEDS THE MAXIMUM BRACKET SPACING ALLOWED BY THE ELEVATOR CODE, OTIS REQUIRES SOME FORM OF STEEL SUPPORT TO PROPERLY ATTACH OUR GUIDE RAIL BRACKETS. THE MAXIMUM ALLOWED BRACKET SPACING IS INDICATED IN THE RAIL FORCE AND BRACKET DETAIL, TABLE ON THE OTIS LAYOUT. ANY RAIL BRACKET MOUNTING SURFACES THAT ARE NOT IN LINE WITH THE FINISHED HOISTWAY DIMENSION (I.E. THE CLEAR HOISTWAY LINE) MAY NEED TO BE EXTENDED TO MEET THE REQUIRED DISTANCE. OTIS AGREES TO PROVIDE GUIDANCE ON THIS MATTER AT THE APPROPRIATE TIME. IF RAIL BRACKET EMBEDDED PLATES OR INSERTS ARE PROVIDED BY OTIS THEY SHALL BE INSTALLED BY OTHERS IN ACCORDANCE WITH OTIS DOCUMENTATION AND INSTRUCTIONS. IF VERTICAL TUBE STEEL IS UTILIZED AS RAIL SUPPORT, SEE THE OTIS LAYOUT FOR ANY SPECIFIC REQUIREMENTS.

7. PROVIDE ADEQUATE SUPPORT AT ALL FASTENING POINTS OF EACH ENTRANCE. PROVIDE PLUMB VERTICAL SURFACES FOR ENTRANCES AND ENTRANCES AND BUILDING SILL LINE. FOR MRL INSTALLATIONS, A HORIZONTAL SUPPORT MEMBER IS TO BE PROVIDED 20" (508MM) ABOVE THE CLEAR OPENING AT THE CONTROLLER LANDING TO SUPPORT THE ENTRANCE AND CONTROLLER COMPONENTS. IF ANY OTHER FLOOR HEIGHT EXCEEDS 12'-0" (3657MM), A HORIZONTAL SUPPORT MEMBER IS TO BE PROVIDED 12" (305MM) ABOVE THE CLEAR OPENING, FOR MRL INSTALLATIONS, IF ENTRANCE FINISH PROTECTION IS INSTALLED, A SECTION OF SUCH PROTECTION MUST BE REMOVABLE TO ALLOW SAFE AND CONVENIENT ACCESS TO THE INSPECTION & TEST PANEL OF THE ELEVATOR.

8. PRIOR TO THE START OF INSTALLATION, PROVIDE A DRY, PROPERLY FRAMED, ENCLOSED AND VENTED HOISTWAY IN ACCORDANCE WITH ALL APPLICABLE CODES. A) PROTECTION FROM FALLS:

9. AS REQUIRED BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) 1926.502 B) (1-3) A FREESTANDING REMOVABLE BARRICADE AT EACH HOISTWAY OPENING AT EACH FLOOR. BARRICADES SHALL BE 42" (1067MM) HIGH, WITH MID-RAIL AND KICK BOARD, AND WITHSTAND 200 LBS. (90.7KG) OF VERTICAL AND HORIZONTAL PRESSURE. B) PROTECTION FROM FALLING OBJECTS: AS REQUIRED BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) 1926.502(J) HOISTWAY PROTECTION FROM FALLING DEBRIS AND OTHER TRADES MATERIALS BY EITHER: 1) FULL ENTRANCE SCREENING/MESH IN FRONT OF ALL ELEVATOR ENTRANCES 2) SECURED/CONTROLLED ACCESS TO ALL ELEVATOR LOBBIES (LOCK AND KEY) WITH POSTED NOTICE "ONLY ELEVATOR PERSONNEL BEYOND THIS PROTECTION." NOTES: ITEMS A) AND B) CAN BE INTEGRATED SYSTEMS. HOISTWAY BARRICADES AND SCREENING SHALL BE CONSTRUCTED, MAINTAINED AND REMOVED BY OTHERS.

10. PROVIDE A PIT FLOOR DESIGNED TO SUSTAIN VERTICAL FORCES (BASED ON SAFETY IMPACT) ON CAR AND COUNTERWEIGHT RAILS AND IMPACT LOADS ON CAR AND COUNTERWEIGHT BUFFERS AS SHOWN ON THE OTIS LAYOUT. THE PIT MUST BE DRY AND CLEAN. THE ELEVATOR PIT MUST HAVE A FLOOR DRAIN OR SUMP PUMP TO PREVENT THE ACCUMULATION OF WATER. LOCATION TO BE COORDINATED WITH OTIS TO AVOID ALL ELEVATOR COMPONENTS AND ACCESS AREAS. IN AREAS REQUIRING FIRE FIGHTERS EMERGENCY OPERATION (FEO) A SUMP PUMP/DRAIN SHALL BE PROVIDED THAT SHALL HAVE THE CAPACITY TO REMOVE A MINIMUM OF 11.4M3/H (3,000 GAL/H) PER ELEVATOR (ASME A17.1/CSA B44 LATEST APPLICABLE CODE YEAR SECTION 2.2.2.5). OTIS RECOMMENDS THAT THE OWNER VERIFY THE DRAIN OR SUMP PUMP SYSTEM IS IN COMPLIANCE WITH ALL APPLICABLE CODES AND LAWS.

11. TOP AND BOTTOM LANDINGS (AND THE MAIN LANDING WHERE APPLICABLE), ARE NOT TO BE CONSTRUCTED UNTIL AFTER ALL ELEVATOR EQUIPMENT IS INSTALLED IN THE HOISTWAY. THE ENTIRE FRONT WALL MUST BE OPEN FOR INSTALLATION WITH THE FOLLOWING ROUGH OPENING DIMENSIONS (TO BE SHOWN ON LAYOUTS): CLEAR HOISTWAY WIDTH - ROUGH OPENING WIDTH 2642MM (8'-8") FOR A 2134MM (7') ENTRANCE HEIGHT - ROUGH OPENING HEIGHT 2947MM (9'-8") FOR A 2438MM (8') ENTRANCE HEIGHT IF THE CONTROLLER IS LOCATED ON THE REAR ENTRANCE, THE WALL AT THIS REAR ENTRANCE SHOULD ALSO HAVE THESE ROUGH OPENING DIMENSIONS. REMAINING FRONT ENTRANCE WALLS ARE NOT TO BE CONSTRUCTED UNTIL AFTER DOOR FRAMES AND SILLS ARE IN PLACE. THE ROUGH OPENINGS, PER SIZES SHOWN ON THE OTIS LAYOUT, ARE REQUIRED. PRIOR TO THE COMPLETION AND TURNOVER OF THE ELEVATOR(S), ALL ENTRANCE WALLS MUST BE INSTALLED AND ROUGH OPENINGS FILLED IN COMPLETE TO MAINTAIN FIRE RATED HOISTWAY REQUIREMENTS.

12. PROVIDE AND INSTALL A FIXED VERTICAL IRON LADDER IN EACH PIT AS REQUIRED BY GOVERNING CODE AND LOCATED PER OTIS LAYOUT OR AS COORDINATED WITH OTIS PERSONNEL. LADDER WIDTH AND PIT WALL POCKET REQUIREMENTS ARE SHOWN IN THE PIT PLAN VIEW ON THE OTIS LAYOUT. FOR ENTRANCE HEIGHTS OF UP TO 7' (2134MM) THE TOP RUNG OF THE LADDER MUST BE EVEN WITH THE BOTTOM LANDING. FOR ENTRANCE HEIGHTS GREATER THAN 7' (2134MM) THE TOP RUNG MUST BE 12" (305MM) ABOVE THE BOTTOM LANDING. HAND GRIPS MUST BE PROVIDED TO A HEIGHT OF 4' (1219MM) ABOVE THE BOTTOM LANDING. HAND GRIPS MUST HAVE 4-1/2" (114MM) RADIAL CLEARANCE, FROM THEIR CENTERLINE, TO ANY OBSTRUCTION IN THE HOISTWAY. (REFER TO THE DETAIL VIEWS FOR TYPICAL LADDER ARRANGEMENT)

13. INSTALL PERMANENT LIGHT FIXTURE IN EACH ELEVATOR PIT WITH ILLUMINATION OF NOT LESS THAN 100 LX (10 FC) AS MEASURED AT THE PIT FLOOR. THE LIGHT BULB(S) SHALL BE EXTERNALLY GUARDED TO PREVENT CONTACT AND ACCIDENTAL BREAKAGE. THE LIGHT SWITCH SHALL BE SO LOCATED AS TO BE ACCESSIBLE FROM THE PIT LADDER.

14. GLASS USED IN HOISTWAY CONSTRUCTION MUST BLOCK 98% OR MORE OF INCIDENT FULL-SPECTRUM ULTRAVIOLET RADIATION FROM THE FULL HEIGHT OF THE HOISTWAY.

15. PROVIDE AND INSTALL GUARDING OF COUNTERWEIGHT IN A MULTIPLE-ELEVATOR HOISTWAY AS REQUIRED, WHEN A COUNTERWEIGHT IS LOCATED BETWEEN ELEVATORS, THE COUNTERWEIGHT RUNWAY SHALL BE GUARDED ON THE SIDE NEXT TO THE ADJACENT ELEVATOR. THE GUARDING MUST MEET OR EXCEED THE REQUIREMENTS OF ASME A17.1/CSA B44 LATEST APPLICABLE CODE YEAR, SECTION 2.3.2.3. IF AN EMERGENCY DOOR IN A BLIND HOISTWAY IS REQUIRED, PROVIDE AN OUTWARD SWINGING SINGLE SECTION TYPE DOOR WITH DOOR CLOSER AND A SELF-CLOSING BARRIER PER ASME A17.1/CSA B44 LATEST APPLICABLE CODE YEAR, SECTION 2.11.1.2. CONTACT YOUR LOCAL OTIS PERSONNEL FOR A DETAILED DRAWING (AA246900D\_FM) SHOWING OTIS SPECIFIC REQUIREMENTS.

**MRL MACHINE SPACE PREPWORK**  
 16. MAINTAIN THE TEMPERATURE AT THE TOP OF THE HOISTWAY (MACHINE SPACE) BETWEEN 32° F (0° C) AND 104° F (40° C). THIS SPACE ALSO INCLUDES THE THE CAR CONTROLLER WHICH IS MOUNTED AT THE TOP LANDING. RELATIVE HUMIDITY SHALL NOT TO EXCEED 95% NON-CONDENSING. PROVIDE VENTILATION TO SUIT OTIS HEAT RELEASE AMOUNTS AS SHOWN IN OTIS CONFIRMATION OF POWER SUPPLY FORM. LOCAL CODES MAY REQUIRE TIGHTER TEMPERATURE RANGES AND HIGHER VENTILATION LEVELS. PLEASE CHECK WITH YOUR LOCAL CODE AUTHORITY FOR THE EXACT REQUIREMENTS IN YOUR AREA. IF YOUR MACHINERY SPACE TEMPERATURE EXCEEDS THIS REQUIREMENT, CONTACT YOUR LOCAL OTIS SALES REPRESENTATIVE FOR ASSISTANCE.

17. INSTALL A PERMANENT LIGHT FIXTURE AT THE TOP OF THE HOISTWAY (MACHINE SPACE) OF NOT LESS THAN 200-LUX (19 FC) AS MEASURED AT THE LEVEL OF THE STANDING SURFACE ON THE CAR WHEN THE ELEVATOR IS AT THE TOP LANDING. LIGHT SWITCH IS TO BE LOCATED IN THE HOISTWAY PER THE OTIS LAYOUT.

18. INSTALL A PERMANENT LIGHT FIXTURE AT THE TOP LANDING ENTRANCE (CONTROL SPACE), IN THE HALL, OF NOT LESS THAN 200-LUX (19 FC) AS MEASURED AT THE FLOOR LEVEL. LIGHT SWITCH IS TO BE LOCATED CLOSE TO THE ELEVATOR ENTRANCE.

**CONTROL ROOM/SPACE AND MACHINE SPACE PREPWORK**  
 19. PROVIDE A SUITABLE CONTROL ROOM/SPACE(S) WITH ACCESS AND VENTILATION IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTROL ROOM/SPACE(S) SHALL BE MAINTAINED AT A TEMPERATURE BETWEEN 32F (0C) AND 104F (40C) TO BE MEASURED 6 FEET (1830 MM) ABOVE THE FLOOR AND 1 FOOT (305 MM) OUT FROM THE FRONT CENTER OF THE CAR CONTROLLER(S). RELATIVE HUMIDITY IS NOT TO EXCEED 95% NON-CONDENSING. PROVIDE VENTILATION TO SUIT OTIS HEAT RELEASE AMOUNTS AS SHOWN ON THE OTIS CONFIRMATION OF POWER SUPPLY FORM. LOCAL CODES MAY REQUIRE TIGHTER TEMPERATURE RANGES AND HIGHER VENTILATION LEVELS. PLEASE CHECK WITH YOUR LOCAL CODE AUTHORITY FOR THE EXACT REQUIREMENTS IN YOUR AREA. IF YOUR CONTROL ROOM/SPACE(S) TEMPERATURES EXCEED THESE REQUIREMENTS, CONTACT YOUR LOCAL OTIS SALES REPRESENTATIVE FOR ASSISTANCE.

20. PROVIDE ILLUMINATION OF CONTROL ROOM/SPACE(S) OF NOT LESS THAN 200 LUX (19 FC) AS MEASURED AT FLOOR LEVEL. LIGHT SWITCH IS TO BE LOCATED WITHIN 18" (157 MM) TO THE LOCK-JAMB SIDE OF THE ACCESS DOOR TO THE CONTROL ROOM/SPACE(S).

21. PROVIDE CONTROL ROOM/SPACE(S) WITH SELF-CLOSING AND SELF-LOCKING DOORS WITH A GROUP 2 LOCKING DEVICE. IN ADDITION, ENSURE THAT ALL AIR GAPS AROUND THE DOORS ARE SEALED (I.E. THRESHOLD, WEATHER STRIPPING, ETC.).

22. MAINTAIN THE TEMPERATURE AT THE TOP OF THE HOISTWAY (MACHINE SPACE) BETWEEN 32° F (0° C) AND 104° F (40° C). RELATIVE HUMIDITY SHALL NOT TO EXCEED 95% NON-CONDENSING. PROVIDE VENTILATION TO SUIT OTIS HEAT RELEASE AMOUNTS AS SHOWN IN OTIS CONFIRMATION OF POWER SUPPLY FORM. IF YOUR MACHINERY SPACE TEMPERATURE EXCEEDS THIS REQUIREMENT, CONTACT YOUR LOCAL OTIS SALES REPRESENTATIVE FOR ASSISTANCE.

23. INSTALL A PERMANENT LIGHT FIXTURE AT THE TOP OF THE HOISTWAY (MACHINE SPACE) OF NOT LESS THAN 200-LUX (19 FC) AS MEASURED AT THE LEVEL OF THE STANDING SURFACE ON THE CAR WHEN THE ELEVATOR IS AT THE TOP LANDING. LIGHT SWITCH IS TO BE LOCATED IN THE HOISTWAY PER THE OTIS LAYOUT.

**FIRE PREVENTION PREPWORK**  
 24. PROVIDE HOISTWAY WALLS DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIRED FIRE RATING (INCLUDING THOSE PLACES WHERE ELEVATOR FIXTURE BOXES, RAIL BRACKET FASTENINGS, AND ANY OTHER PENETRATION INTO THE HOISTWAY WALLS).

25. IN THE UNITED STATES PROVIDE SMOKE DETECTORS, LOCATED AS REQUIRED, WITH WIRING FROM THE SENSING DEVICES TO THE CONTROLLER(S) DESIGNATED BY OTIS. A. FOR EACH GROUP OF ELEVATORS, PROVIDE A NORMALLY CLOSED CONTACT REPRESENTING THE SMOKE DETECTOR AT THE DESIGNATED RETURN LANDING. B. FOR EACH GROUP OF ELEVATORS, PROVIDE A NORMALLY CLOSED CONTACT REPRESENTING ALL SMOKE DETECTORS LOCATED IN LOBBIES, HOISTWAYS, OR CONTROL ROOMS/SPACES BUT NOT THE SMOKE DETECTOR AT THE DESIGNATED RETURN LANDING (SEE ABOVE) OR THE SMOKE DETECTORS AS DESCRIBED BELOW: 1) IF A SMOKE DETECTOR IS LOCATED IN THE HOISTWAY AT OR BELOW THE LOWER OF THE TWO RECALL LANDINGS, IT SHALL BE WIRED TO ACTIVATE THE SAME NORMALLY CLOSED CONTACT AS THE SMOKE DETECTOR LOCATED IN THE LOBBY AT THE LOWER OF THE TWO RECALL LANDINGS. 2) IF THE CONTROL ROOM/SPACE(S) ARE LOCATED AT THE DESIGNATED RETURN LANDING, THE SMOKE DETECTORS LOCATED THEREIN SHALL BE WIRED TO ACTIVATE THE SAME NORMALLY CLOSED CONTACT AS THE SMOKE DETECTOR AT THE DESIGNATED LANDING. C. REQUIREMENTS FOR INTERMITTENTLY ILLUMINATING THE FIRE HAT VISUAL SIGNAL IN THE CAR OPERATING PANEL, EITHER 1) OR 2) MUST BE SELECTED. 1) FOR A SINGLE UNIT, OR GROUP OF ELEVATORS HAVING CONTROL ROOM/SPACE(S) AND ONE COMMON HOISTWAY, PROVIDE ONE ADDITIONAL NORMALLY CLOSED CONTACT REPRESENTING THE CONTROL ROOM/SPACE(S) AND HOISTWAY SMOKE DETECTORS. 2) IF THE GROUP CONTAINS MORE THAN ONE HOISTWAY, AND HOISTWAY SMOKE DETECTORS ARE INSTALLED, PROVIDE ONE NORMALLY CLOSED CONTACT FOR EACH ELEVATOR. THE CONTACT IS TO REPRESENT THE SMOKE DETECTORS IN THE CONTROL ROOM/SPACE(S) OR HOISTWAY CONTAINING THAT PARTICULAR ELEVATOR.

27. IN THE UNITED STATES, IF SPRINKLERS ARE INSTALLED IN THE HOISTWAY(S), OR MACHINE SPACE(S), A MEANS TO AUTOMATICALLY DISCONNECT THE MAIN LINE POWER SUPPLY OF THE AFFECTED ELEVATOR AND ANY OTHER POWER SUPPLY USED TO MOVE THE ELEVATOR UPON OR PRIOR TO THE APPLICATION OF WATER IS REQUIRED (UNLESS PROHIBITED BY LOCAL CODE). SMOKE DETECTORS SHALL NOT BE USED TO ACTIVATE SPRINKLERS IN HOISTWAY(S), OR MACHINERY SPACES OR TO DISCONNECT THE MAINLINE POWER SUPPLY. IN ADDITION, WHEN THE AUTOMATIC RECOVERY OPERATION (ARO) IS SPECIFIED, THE MEANS PROVIDED TO AUTOMATICALLY DISCONNECT POWER TO THE ELEVATOR SHALL BE EQUIPPED WITH AN ADDITIONAL AUXILIARY CONTACT THAT IS POSITIVELY OPENED WHEN POWER IS REMOVED FROM THE ELEVATOR SYSTEM. THIS AUTOMATICALLY DISCONNECT MEANS PROVIDED WITH ALL ASSOCIATED WIRING AND CONDUIT TO THE CONTROLLER.

28. PROVIDE AN "ABC" FIRE EXTINGUISHER, MINIMUM 10 LBS FOR MACHINE SPACE, AND LOCATED CONVENIENT TO THE TOP LANDING ELEVATOR ENTRANCE.

29. PROVIDE CONTROL ROOM/SPACE(S) AND DOOR TO CODE COMPLIANT FIRE-RESISTIVE CONSTRUCTION.

**ELECTRICAL REQUIREMENTS**  
 30. 3 PHASE POWER MRL - PROVIDE A PERMANENT THREE (3) PHASE ELECTRICAL-FEEDER SYSTEM WITH A SEPARATE EQUIPMENT-GROUNDING CONDUCTOR TERMINATING IN THE ELEVATOR CONTROLLER LOCATED AT THE TOP LANDING OR TRANSFORMER LOCATED AT THE TOP OF THE HOISTWAY. PERMANENT THREE (3) PHASE ELECTRICAL-FEEDER TO BE TERMINATED AT THE ELEVATOR CONTROLLER OR TRANSFORMER AT THE START OF INSTALLATION OF THE TOP LANDING ELEVATOR ENTRANCE AND THE TIMING OF CONNECTION TO OTIS CONTROLLER SHALL BE COORDINATED WITH THE ELEVATOR INSTALLER. FEEDER CONDUCTORS AND GROUNDING CONDUCTOR SIZED ACCORDING TO ELEVATOR CURRENT CHARACTERISTICS AS SHOWN ON THE OTIS CONFIRMATION OF POWER SUPPLY FORM. FEEDER CONDUCTORS AND GROUNDING CONDUCTOR MUST BE COPPER. PROVIDE A FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER CAPABLE OF BEING LOCKED IN THE OPEN POSITION, FOR EACH ELEVATOR PER THE NATIONAL ELECTRICAL CODE (ANSINFPFA 70) OR CANADIAN ELECTRICAL CODE (C22.1) WITH FEEDER OR BRANCH WIRING TO ELEVATOR CONTROLLER (NEC 620-61, 620-61(D), AND 620-62) OR [CEC RULE 38-013 (2) (A)] LOCATED AT THE POINT OF POWER DISTRIBUTION IN THE BUILDING. THE DISCONNECTING MEANS REQUIRED BY THE NATIONAL ELECTRICAL CODE OR CANADIAN ELECTRICAL CODE CEC [RULE 38-051] SHALL BE PROVIDED WITH ALL ASSOCIATED WIRING AND CONDUIT TO THE ELEVATOR CONTROLLER. SIZE OF MAIN CONTACTS TO SUIT ELEVATOR POWER CHARACTERISTICS, FUSES, IF PROVIDED, ARE TO BE CURRENT LIMITING CLASS J OR EQUIVALENT. CIRCUIT BREAKERS, IF PROVIDED, ARE TO HAVE CURRENT LIMITING CHARACTERISTICS EQUIVALENT TO CLASS J FUSES. FUSES OR CIRCUIT BREAKERS ARE TO BE TIME DELAY TO COVER THE FULL LOAD UP ACCELERATING CURRENT. ACCELERATING CURRENT TYPICALLY IS THE PEAK AS INDICATED ON THE OTIS CONFIRMATION OF POWER SUPPLY FORM, AND LASTS FOR DURATION NOT TO EXCEED 7 SECONDS. FEEDER CONDUCTORS AND ASSOCIATED WIRING TO THE CONTROLLER TO BE SIZED TO LIMIT WIRING VOLTAGE DROP TO 5% MAXIMUM WHEN DELIVERING ELEVATOR FULL LOAD UP ACCELERATING CURRENT. THE BUILDING POWER SYSTEM USED TO OPERATE THE ELEVATOR(S) SHALL BE CAPABLE OF SUPPLYING NON LINEAR LOADS AND BE CAPABLE OF ABSORBING THE REGENERATED POWER LISTED ON THE OTIS CONFIRMATION OF POWER SUPPLY FORM.

31. SINGLE PHASE POWER MRL - PROVIDE A PERMANENT SINGLE PHASE ELECTRICAL-FEEDER SYSTEM WITH A SEPARATE EQUIPMENT-GROUNDING CONDUCTOR TERMINATING TO THE TRANSFORMER LOCATED AT THE TOP OF THE HOISTWAY. PERMANENT SINGLE PHASE ELECTRICAL-FEEDER TO BE TERMINATED AT THE TRANSFORMER AT THE START OF INSTALLATION OF THE TOP LANDING ELEVATOR ENTRANCE AND THE TIMING OF CONNECTION TO OTIS CONTROLLER SHALL BE COORDINATED WITH THE ELEVATOR INSTALLER. FEEDER CONDUCTORS AND GROUNDING CONDUCTOR SIZED ACCORDING TO ELEVATOR CURRENT CHARACTERISTICS SHOWN ON THE OTIS CONFIRMATION OF POWER SUPPLY FORM. FEEDER CONDUCTORS AND GROUNDING CONDUCTOR MUST BE COPPER. PROVIDE A FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER CAPABLE OF BEING LOCKED IN THE OPEN POSITION, FOR EACH ELEVATOR PER THE NATIONAL ELECTRICAL CODE (ANSINFPFA 70) OR CANADIAN ELECTRICAL CODE (C22.1) WITH FEEDER OR BRANCH WIRING TO ELEVATOR CONTROLLER (NEC 620-61, 620-61(D), AND 620-62) OR [CEC RULE 38-013 (2) (A)] LOCATED AT THE POINT OF POWER DISTRIBUTION IN THE BUILDING. THE DISCONNECTING MEANS REQUIRED BY THE NATIONAL ELECTRICAL CODE OR CANADIAN ELECTRICAL CODE CEC [RULE 38-051] SHALL BE PROVIDED WITH ALL ASSOCIATED WIRING AND CONDUIT TO THE ELEVATOR CONTROLLER. SIZE OF MAIN CONTACTS TO SUIT ELEVATOR POWER CHARACTERISTICS, FUSES, IF PROVIDED, ARE TO BE CURRENT LIMITING CLASS J OR EQUIVALENT. CIRCUIT BREAKERS, IF PROVIDED, ARE TO HAVE CURRENT LIMITING CHARACTERISTICS EQUIVALENT TO CLASS J FUSES. FUSES OR CIRCUIT BREAKERS ARE TO BE TIME DELAY TO COVER THE FULL LOAD UP ACCELERATING CURRENT. ACCELERATING CURRENT TYPICALLY IS THE PEAK AS INDICATED ON THE OTIS CONFIRMATION OF POWER SUPPLY FORM, AND LASTS FOR DURATION NOT TO EXCEED 7 SECONDS. FEEDER CONDUCTORS AND ASSOCIATED WIRING TO THE CONTROLLER TO BE SIZED TO LIMIT WIRING VOLTAGE DROP TO 5% MAXIMUM WHEN DELIVERING ELEVATOR FULL LOAD UP ACCELERATING CURRENT. THE BUILDING POWER SYSTEM USED TO OPERATE THE ELEVATOR(S) SHALL BE CAPABLE OF SUPPLYING NON LINEAR LOADS AND BE CAPABLE OF ABSORBING THE REGENERATED POWER LISTED ON THE OTIS CONFIRMATION OF POWER SUPPLY FORM.

**MRL CONFIGURATION (CONTROLLER LOCATED IN HOISTWAY ENTRANCE) WITH TRANSFORMER - IF A TRANSFORMER IS REQUIRED AND THE CONTROLLER IS TO BE LOCATED IN THE HOISTWAY ENTRANCE, THE TRANSFORMER MUST BE LOCATED IN AN ELECTRICAL ROOM. THE TRANSFORMER MUST BE MOUNTED AND WIRED AS PER THE NATIONAL ELECTRICAL CODE (ANSINFPFA 70) OR CANADIAN ELECTRICAL CODE (C22.1). PROVIDE CONDUIT AND WIRING TO THE TRANSFORMER AS WELL AS BETWEEN THE TRANSFORMER AND THE CONTROLLER LOCATED IN THE HOISTWAY ENTRANCE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (ANSINFPFA 70) OR CANADIAN ELECTRICAL CODE (C22.1). CONTACT YOUR LOCAL OTIS REPRESENTATIVE FOR DETAILS.**

**SINGLE PHASE POWER CONTROL ROOM/SPACE - PROVIDE A PERMANENT SINGLE PHASE ELECTRICAL-FEEDER SYSTEM WITH A SEPARATE EQUIPMENT-GROUNDING CONDUCTOR TERMINATING IN THE CONTROL ROOM/SPACE(S), LOCATED PER OTIS LAYOUT. FEEDER CONDUCTORS AND GROUNDING CONDUCTOR SIZED ACCORDING TO ELEVATOR CURRENT CHARACTERISTICS AS SHOWN ON THE OTIS CONFIRMATION OF POWER SUPPLY FORM. FEEDER CONDUCTORS AND GROUNDING CONDUCTOR MUST BE COPPER. A FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER CAPABLE OF BEING LOCKED IN THE OPEN POSITION, FOR EACH ELEVATOR PER THE NATIONAL ELECTRICAL CODE (ANSINFPFA 70) OR CANADIAN ELECTRICAL CODE (C22.1) WITH FEEDER OR BRANCH WIRING TO CONTROLLER (NEC 620-61, 620-61(D), AND 620-62) OR [CEC RULE 38-013(2)(A)]. THE DISCONNECTING MEANS REQUIRED BY THE NATIONAL ELECTRICAL CODE OR CANADIAN ELECTRICAL CODE CEC [RULE 38-051] SHALL BE PROVIDED WITH ALL ASSOCIATED WIRING AND CONDUIT TO THE CONTROLLER. SIZE OF MAIN CONTACTS TO SUIT ELEVATOR POWER CHARACTERISTICS, FUSES ARE TO BE CURRENT LIMITING CLASS RK1 OR EQUIVALENT. CIRCUIT BREAKERS ARE TO HAVE CURRENT LIMITING CHARACTERISTICS EQUIVALENT TO CLASS RK1 FUSES. FUSES OR CIRCUIT BREAKERS ARE TO BE TIME DELAY TO COVER THE FULL LOAD UP ACCELERATING CURRENT. ACCELERATING CURRENT TYPICALLY IS THE PEAK AS INDICATED ON THE OTIS CONFIRMATION OF POWER SUPPLY FORM, AND LASTS FOR DURATION NOT TO EXCEED 7 SECONDS.**

FEEDER CONDUCTORS AND ASSOCIATED WIRING TO THE CONTROLLER TO BE SIZED TO LIMIT WIRING VOLTAGE DROP TO 5% MAXIMUM WHEN DELIVERING ELEVATOR FULL LOAD UP ACCELERATING CURRENT. THE BUILDING POWER SYSTEM USED TO OPERATE THE ELEVATOR(S) SHALL BE CAPABLE OF SUPPLYING NON LINEAR LOADS AND BE CAPABLE OF ABSORBING THE REGENERATED POWER LISTED ON THE OTIS CONFIRMATION OF POWER SUPPLY FORM.

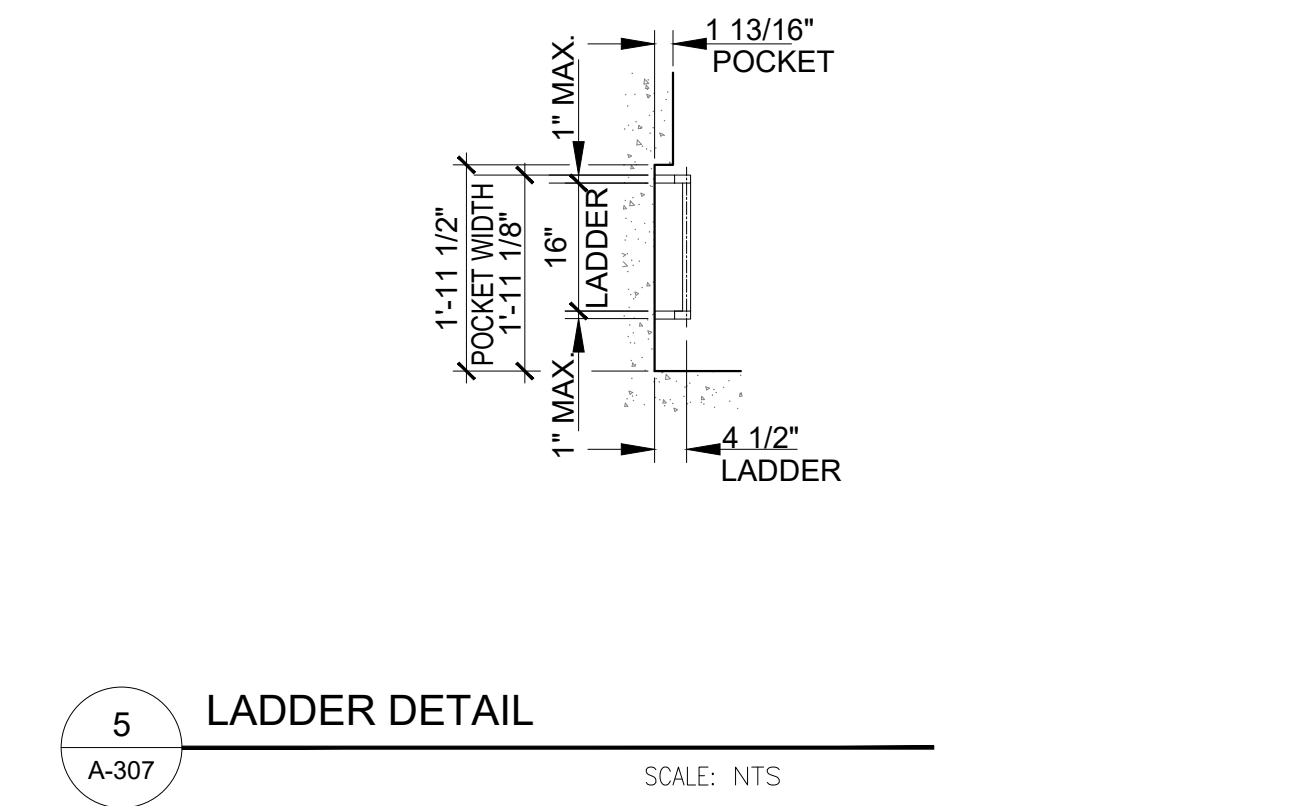
32. PROVIDE A DEDICATED 125 VOLT, 15 AMPERE SINGLE-PHASE BRANCH CIRCUIT WITH A FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER LOCATED AT THE POINT OF POWER DISTRIBUTION IN THE BUILDING. THE FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER SHALL BE CAPABLE OF BEING LOCKED IN THE OPEN POSITION. THIS BRANCH CIRCUIT SUPPLIES THE CAR LIGHTS, CAR TOP RECEPTACLE, AUXILIARY LIGHTING POWER SOURCE AND VENTILATION ON EACH CAR IN COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE [NEC620-53] OR CANADIAN ELECTRICAL CODE [CEC RULE 38-053]. TERMINATION OF THIS BRANCH CIRCUIT SHALL BE IN THE ELEVATOR CONTROLLER LOCATED AT THE TOP LANDING AND SHALL BE CONNECTED AT THE SAME TIME AS THE PERMANENT THREE (3) PHASE POWER REFERENCED IN THE PREVIOUS PARAGRAPH.

33. ALL 125 VOLT, 15 OR 20 AMPERE SINGLE-PHASE RECEPTACLES INSTALLED IN PITS, MACHINE SPACES, CONTROL ROOMS/SPACE(S) SHALL BE OF THE GROUND-FAULT CIRCUIT-INTERRUPTER TYPE (GFCI). A DEDICATED SINGLE-PHASE RECEPTACLE SUPPLYING A PERMANENTLY INSTALLED PIT SUMP PUMP SHALL NOT REQUIRE GFCI PROTECTION.

34. PROVIDE ELECTRIC POWER FOR LIGHTS, TOOLS, WELDING, HOISTING, ETC. DURING INSTALLATION WITH SUFFICIENT POWER FOR STARTING, TESTING AND ADJUSTING THE ELEVATOR. PROVIDE A 220 VOLT, 30 AMPERE SINGLE-PHASE 4 WIRE ELECTRICAL SUPPLY FOR PLATFORM OPERATION DURING CONSTRUCTION, AVAILABLE AT THE START OF ELEVATOR INSTALLATION.

35. PROVIDE ONE (1) DEDICATED OUTSIDE TELEPHONE LINE, PER ELEVATOR, AND TERMINATED AT THE CONTROLLER DESIGNATED BY THE OTIS CONSTRUCTION SUPERINTENDENT. REFERENCE THE A17-1 CODE AND THE OTIS POWER OF CONFIRMATION LETTER FOR SPECIFIC REQUIREMENTS.

36. IN AREAS UNDER THE JURISDICTION OF AMSE A17-1:2004/CSA B44 OR LATER WHERE THE ELEVATOR TRAVEL IS GREATER THAN OR EQUAL TO 60 FEET /18 METERS, PROVIDE TWO-WAY VOICE COMMUNICATIONS MEANS THAT SHALL ENABLE EMERGENCY PERSONNEL WITHIN THE BUILDING TO ESTABLISH COMMUNICATIONS TO EACH CAR INDIVIDUALLY WITHOUT INTERVENTION BY A PERSON WITHIN THE CAR. THE COMMUNICATION MEANS SHALL OVERRIDE COMMUNICATIONS TO THE OUTSIDE OF THE BUILDING AND ONCE ESTABLISHED SHALL ONLY BE TERMINATED BY EMERGENCY PERSONNEL OUTSIDE THE CAR. REFER TO ASME A17-1/CSA B44 LATEST APPLICABLE CODE YEAR, SECTION 2.27.1.1.4 FOR EXACT REQUIREMENTS.

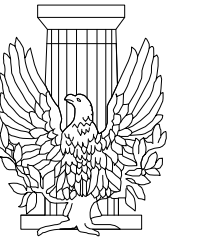


**5 LADDER DETAIL**  
 SCALE: NTS



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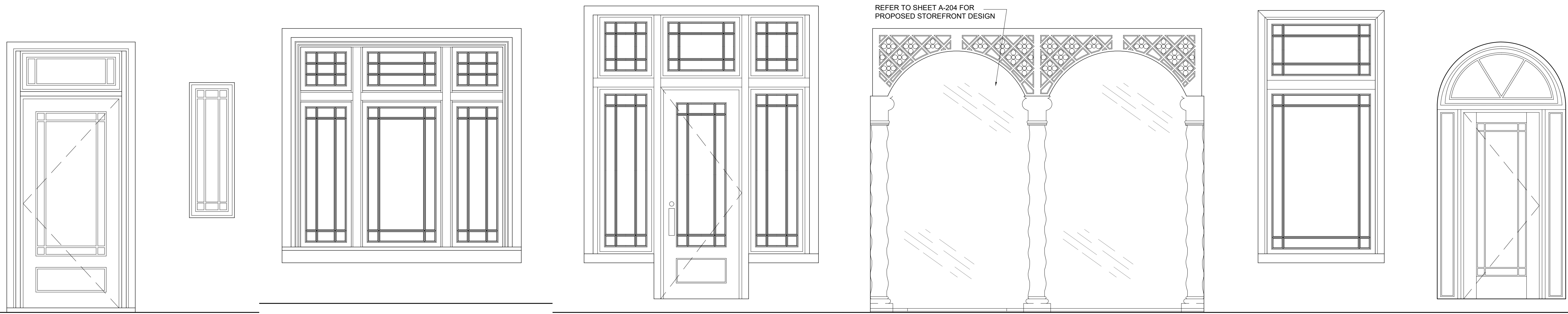
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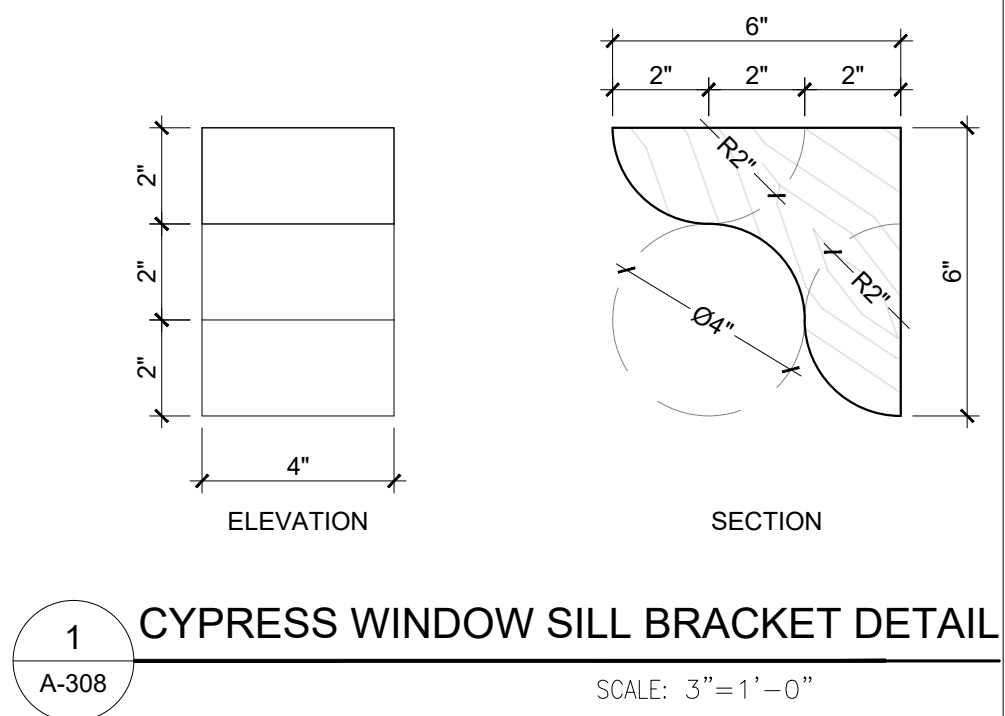
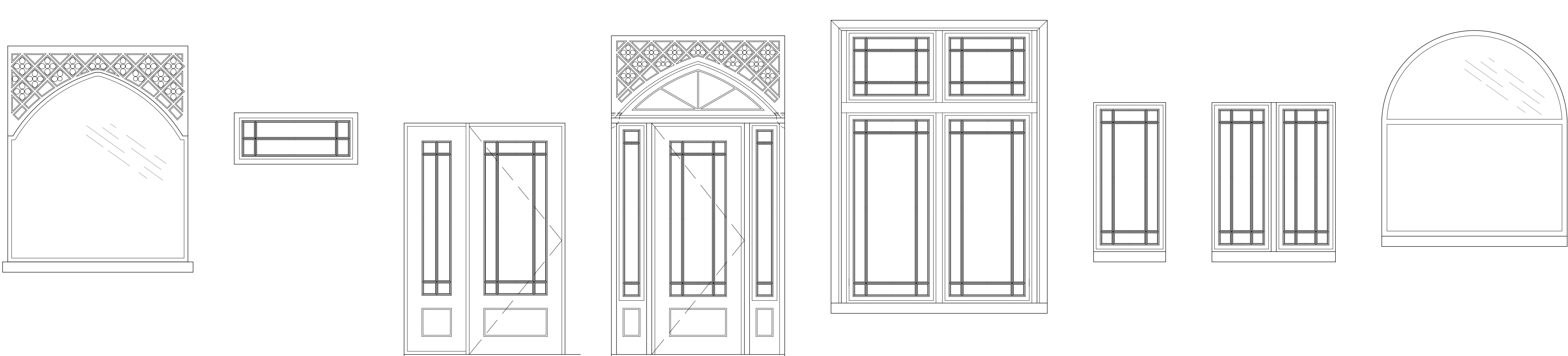
PROJECT NUMBER  
**2019-008**  
 DATE  
 02/06/2020  
 SHEET TITLE  
 ENLARGED WINDOW ELEVATIONS  
 DRAWN BY  
 L. R.  
 CHECKED BY  
 J. S. K.  
 SHEET NUMBER

**A-308**

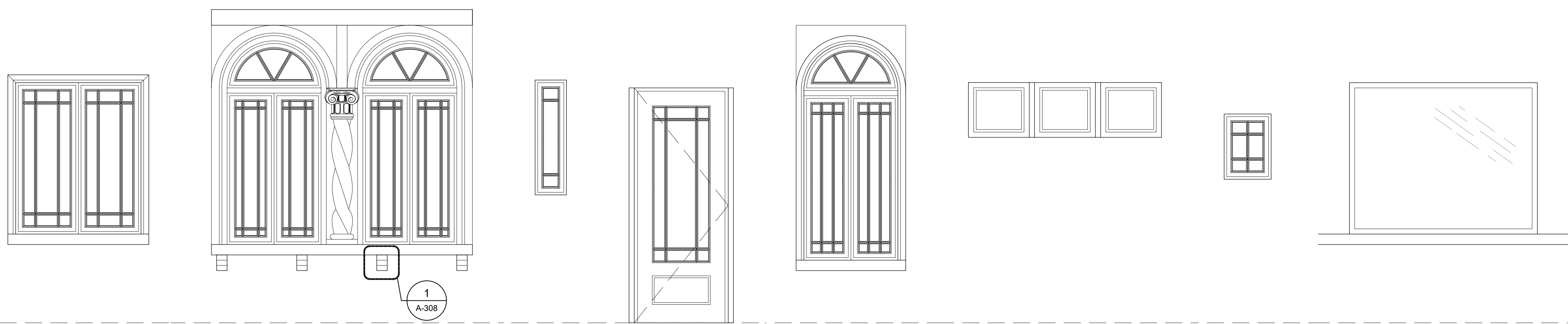
REFER TO SHEET A-204 FOR  
 PROPOSED STOREFRONT DESIGN



**A DOOR ELEVATION** SCALE: 1/2" = 1'-0"  
**B WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**C WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**D DOOR ELEVATION** SCALE: 1/2" = 1'-0"  
**E DOOR ELEVATION** SCALE: 1/2" = 1'-0"  
**F WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**G DOOR ELEVATION** SCALE: 1/2" = 1'-0"



**H WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**I WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**J DOOR ELEVATION** SCALE: 1/2" = 1'-0"  
**K DOOR ELEVATION** SCALE: 1/2" = 1'-0"  
**L WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**M WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**N WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**O WINDOW ELEVATION** SCALE: 1/2" = 1'-0"



**P WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**Q WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**R WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**S DOOR ELEVATION** SCALE: 1/2" = 1'-0"  
**T WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**U WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**V WINDOW ELEVATION** SCALE: 1/2" = 1'-0"  
**W WINDOW ELEVATION** SCALE: 1/2" = 1'-0"

**NOTE:**  
 FOR OPENING SIZES, WINDOW CONTRACTOR/MANUFACTURER IS TO VERIFY DIMENSIONS IN FIELD ON EACH PARTICULAR LOCATION AND WINDOW TYPE PRIOR TO FABRICATION AND PROVIDE NECESSARY SHOP DRAWINGS

## WINDOW AND EXTERIOR DOOR SCHEDULE

NO.	LOCATION (ELEVATION)	STYLE	TYPE	QTY.	R. O. SIZES		DESIGN WIND PRESSURE (PSF)	REMARKS	NO.	LOCATION (ELEVATION)	STYLE	TYPE	QTY.	R. O. SIZES		DESIGN WIND PRESSURE (PSF)	REMARKS
					WIDTH	HEIGHT								WIDTH	HEIGHT		
101	NORTH	-	-	1	32"	104"	-50.09 +38.43	PROPOSED FIRE DOOR	125	COURTYARD	A	-	1	51.5"	122"	-43.51 +40.16	DOOR
102	NORTH	B	-	1	19"	63"	-43.51 +40.16		126	COURTYARD	H	-	1	74"	110"	-53.55 +40.16	
103	NORTH / COURTYARD	C	-	8	95"	108.5"	-42.00 +38.65		127	NORTH / COURTYARD	D	-	2	95"	108.5"	-42.00 +38.65	OPENING SIZE IS ADJUSTED FOR NEW DOOR AND WINDOW COMBINATION
104	NORTH	D	-	1	95"	124"	-42.00 +38.65	DOOR	128	COURTYARD	D	-	1	74"	110"	-42.00 +38.65	OPENING SIZE IS ADJUSTED FOR NEW DOOR AND WINDOW COMBINATION
105	NORTH	E	-	2	162.5"	92" + 21"	-41.18 +37.83	GLASS DOOR (STOREFRONT)	129	NORTH LOBBY	N	-	1	76.5"	63"		EXISTING WINDOW TO BE RESTORED
106	NORTH	A	-	1	39"	115"	-48.19 +37.48	DOOR	130	COURTYARD	-	-	1	36"	-		EXIT DOOR
107	WEST	F	-	1	51.5"	190"	-46.09 +36.43		131	SOUTH	-	-	1	36"	-		EXIT DOOR
108	WEST	G	-	2	57.5"	106"	-40.66 +37.31	DOOR	201	NORTH/WEST SOUTH/CYARD	P	-	37	52"	63"	-43.51 +40.16	
109	WEST	L	-	2	77"	109"	-40.49 +37.14		202	NORTH/WEST COURTYARD	Q	-	8	36.5"	79.5"	-52.45 +39.61	
110	WEST	F	-	1	52"	112"	-46.09 +36.43		203	WEST	S	-	4	10"	50"		
111	SOUTH	M	-	4	24.5"	58"	-43.15 +39.81		204	WEST	S	-	2	43"	92"	-43.37 +40.03	DOOR
112	SOUTH	N	-	1	47.5"	58"	-42.96 +39.61		205	SOUTH	S	-	1	50"	91.5"		DOOR
113	SOUTH	N	-	1	37"	48"	-42.96 +39.61		206	SOUTH / COURTYARD	P	-	7	38.5"	51"	-42.96 +39.61	
114	SOUTH	N	-	1	47"	48"	-42.96 +39.61		207	SOUTH / EAST	W	-	17	71"	63"	-41.37 +38.02	
115	SOUTH	N	-	1	51"	63"			208	EAST	P	-	3	40"	63"	-42.25 +38.90	ESTIMATED SIZE
116	SOUTH / EAST	O	-	16	71.5"	84"	-42.54 +39.20		209	COURTYARD	T	-	9	37"	69"	-42.96 +39.61	
117	COURTYARD	H	-	4	70.5"	48" + 25.5"	-43.51 +40.16		210	COURTYARD	U	-	1	21"	70"	-43.51 +40.16	
118	COURTYARD	B	-	2	39"	63"			211	COURTYARD	T	-	4	40.5"	70.5"	-42.96 +39.61	
119	COURTYARD	I	-	1	46"	24"	-43.51 +40.16		301	NORTH	N	-	1	38"	55"	-51.62 +39.20	
120	COURTYARD	D	-	4	95"	120"	-42.00 +38.65	DOOR	302	NORTH/WEST SR3-SR6	V	-	30	19"	26"	-53.55 +40.16	
121	COURTYARD	C	-	1	95"	120"	-42.00 +38.65		303	SR1 / SR2	V	-	2	34"	38"	-53.55 +40.16	
122	COURTYARD	J	-	1	66"	84"	-41.18 +37.83	DOOR	304	3RD FLOOR SUITE	V	-	13	37"	51"	-53.55 +40.16	
123	COURTYARD	C	-	1	86"	108"	-42.00 +38.65	EXISTING WINDOW TO BE RESTORED	305	3RD FLOOR SUITE	V	-	1	18"	25"	-53.55 +40.16	
124	COURTYARD	K	-	1	70"	108"	-41.6 +38.26	DOOR									

**ABBREVIATIONS LEGEND:**  
 SR = SERVICE ROOM                      MTL = METAL  
 R. O. = ROUGH OPENING                GL = GLASS  
 WD = WOOD                                S.S. = STAINLESS STEEL

## INTERIOR DOOR SCHEDULE

NO.	SIZE	LOCATION	TYPE	DOOR MAT'L	FRAME	JAMB	HEAD	HDWR.	FIN.	REMARKS	NO.	SIZE	LOCATION	TYPE	DOOR MAT'L	FRAME	JAMB	HEAD	HDWR.	FIN.	REMARKS	
101	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	206	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	
102	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	207	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	
103	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	208	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	
104	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	301	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	
105	3'-0"X7'-0"X1-3/4"	-	2	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	302	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	
106	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	303	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	
107	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	304	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	
108	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	E	-	-	-	-	-	-	-	-	PNT-1	EXISTING DOOR TO REMAIN	
109	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-	F	-	-	-	-	-	-	-	-	-	FUTURE DOOR	
110	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-												
201	3'-0"X7'-0"X1-3/4"	-	2	WD	MTL	MTL	MTL	GRP-1	PNT-1	-												
202	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-												
203	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-												
204	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-												
205	3'-0"X7'-0"X1-3/4"	-	1	WD	MTL	MTL	MTL	GRP-1	PNT-1	-												

## DOOR HARDWARE SCHEDULE

NOTE: ALL HARDWARE TO BE IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, ACCESSIBILITY 2017, ED.

### GRP-1

NOTE: QTY 3 PER LEAF 4-1/2" X 4-1/2" BRUSHED CHROME. LOCKSET/FUNCTION: STOREROOM OR SERVICE FUNCTION ANSI F86, KEYPED ON EXTERIOR SIDE, EXTERIOR LEVER IS RIGID AT ALL TIMES. ALWAYS UNLOCK FUNCTION FROM INSIDE.

CLOSER: PARALLEL ARM CLOSER WITH APPROPRIATE MOUNTING AND COVER. 1 REQD. STOP: WALL STOP, 1 REQD. PLATES: SST 10" HIGH KICKPLATE BOTH SIDES OF DOOR.

### DOOR NOTES:

ALL DOORS TO COMPLY WITH THE FLORIDA BUILDING CODE 2017 ED. SECTION 1008.

- PAINT FINISH FOR SOLID CORE WOOD DOORS. PRIME AND PAINT ALL 6 SIDES OF DOOR.
- REFER TO FINISH SCHEDULE FOR PAINT COLOR AND FINISH.
- ALL DOOR HARDWARE SHALL MEET THE REQUIREMENTS OF THE AMERICAN WITH DISABILITY ACT (ADA) AND FLORIDA BUILDING CODE 2017.
- ALL DOORS (NEW, EXISTING AND RELOCATED) IN A MEANS OF EGRESS TO BE EQUIPPED WITH LOCKING AND LATCHING HARDWARE THAT DOES NOT REQUIRE A KEY, TOOL OR SPECIAL KNOWLEDGE OR EFFORT FROM THE EGRESS SIDE.
- MAXIMUM GAP OF 1/4" BETWEEN BOTTOM OF FIRE RATED DOORS AND FINISH FLOOR.
- DOOR FINISH TO MATCH SEAMLESS AND EVEN WITH THE FINISH FACE OF WALL.
- EACH DOOR TO RECEIVE RUBBER WALL (W) OR FLOOR (F) BUMPERS AS INDICATED; US 32 FINISH (POLISHED STAINLESS STEEL).
- COORDINATE KEYING WITH OWNER.
- STAINLESS STEEL DOOR CLOSER (LCN 4041) SEE SCHEDULE FOR LOCATIONS
- PROVIDE RUBBER / VINYL DOOR SILENCERS
- COORDINATE DOOR INSTALLATION W/ DOOR FRAME PROFILE. HARDWARE & INSTALLATION TO PREVENT ANY DOOR SWING CONFLICTS
- ALL FIRE-RATED DOORS AND FRAMES WITH SELF-CLOSER AND LATCHING HARDWARE.

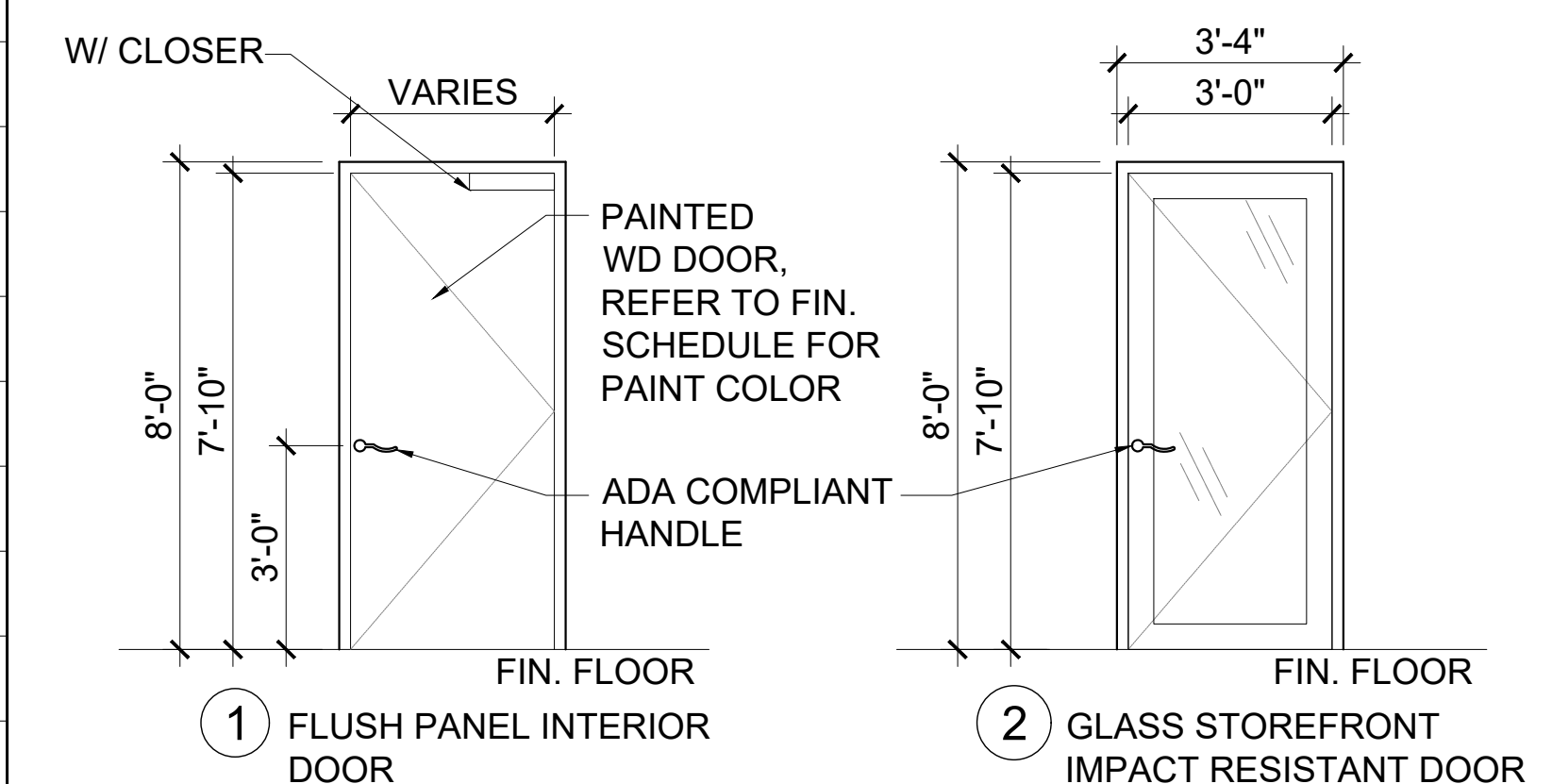
### WINDOW NOTES:

- SEE WINDOW STYLE ELEVATIONS ON SHEET A-303
- WINDOW MANUFACTURER TO DETERMINE ACTUAL WINDOW SIZES BASED ON INDICATED ROUGH OPENINGS AND PROVIDE NECESSARY SHOP DRAWINGS
- DESIGN WIND PRESSURES ARE BASED ON STRUCTURAL DRAWINGS AS DEVELOPED BY FRANK CUELLO, PE
- ALL WINDOW AND DOOR GLASS IS TO BE CLEAR
- DOOR AND WINDOW MUNTINS ARE TO BE HIGH-PROFILE
- WINDOWS AND DOORS TO BE CGI ESTATE SERIES 238 (N.O.A. #17-0926.17) (EXP.: 10/20/2023)
- A SECOND FLOOR WINDOW MOCK-UP SHALL BE SET UP AND READY FOR HPB STAFF TO REVIEW AHEAD OF BUILDING PERMIT ISSUANCE.

### NOTES:

- FOR ALL HANDICAP ACCESSIBLE AREAS, THRESHOLD SHALL NOT EXCEED 1/4" CHANGES OF 1/2" SHALL BE ACCEPTED W/ A BEVELED SLOPE OF NO GREATER THAN 1:2, AS PER THE FLORIDA BUILDING CODE, ACCESSIBILITY 2017 ED. SECTION 303.
- CONTRACTOR TO PROVIDE PRODUCT APPROVALS OF ALL DOOR TYPES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OF DOORS.
- CONTRACTOR TO PROVIDE RATED DOORS, FRAMES AND CLOSURES AS SPECIFIED ON THE DOOR SCHEDULE. FLAME RATED LABELS OF DOORS TO REMAIN VISIBLE AFTER PAINTING.

### DOOR TYPES



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**LA PALMA REHABILITATION AND RESTORATION**  
 112 ALHAMBRA CIRCLE, CORAL GABLES, FL 33134

### PERMIT SUBMITTAL

REVISIONS	DATE
BLDG. DEPT. COMMENTS	05/11/2020
PERM & WASA COMMENTS	05/20/2020
REVISIONS TO PERMIT NO.	06/30/2020
BL-20-02-5578	

PROJECT NUMBER  
**2019-008**

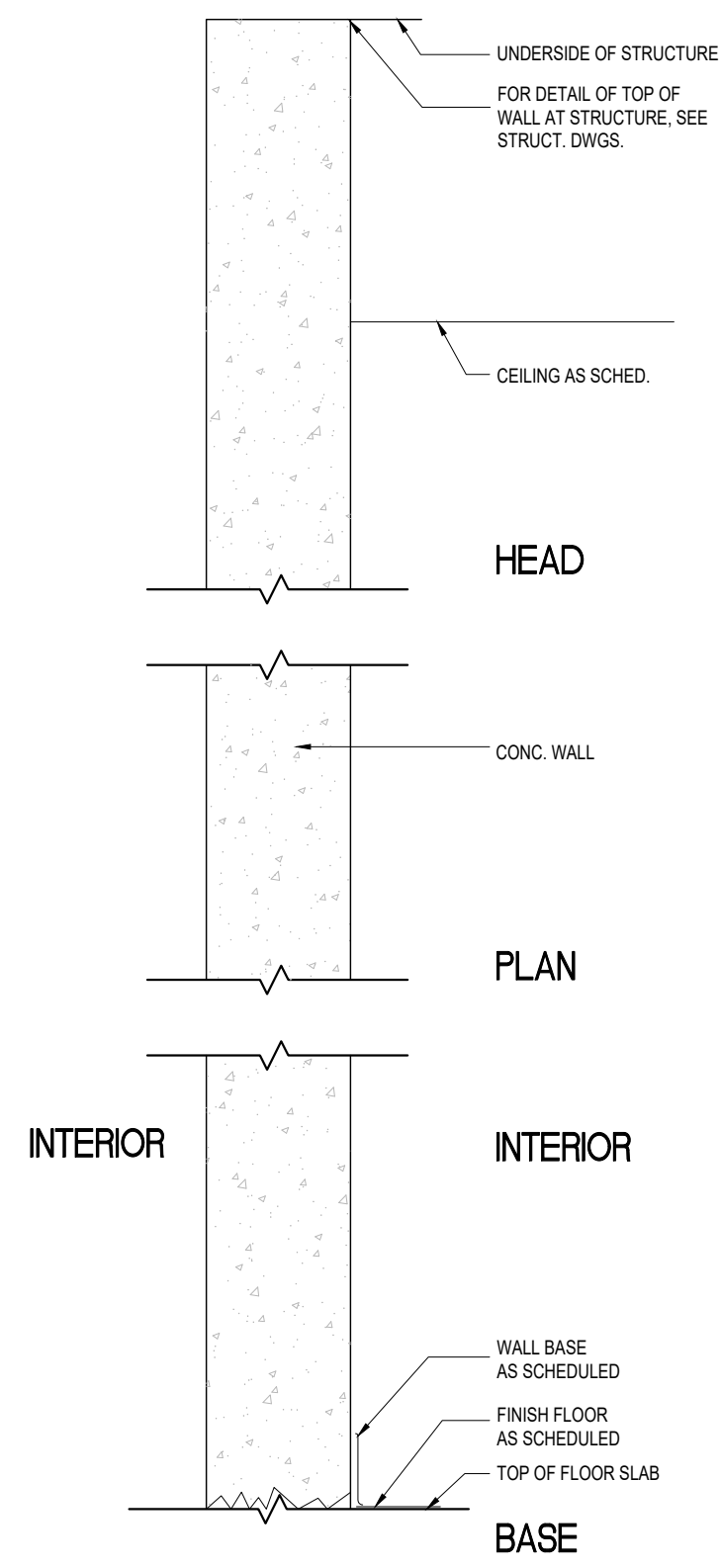
DATE  
 02/06/2020

SHEET TITLE  
 WINDOW AND EXTERIOR DOOR SCHEDULE  
 DRAWN BY  
 L. R.

CHECKED BY  
 J. S. K.

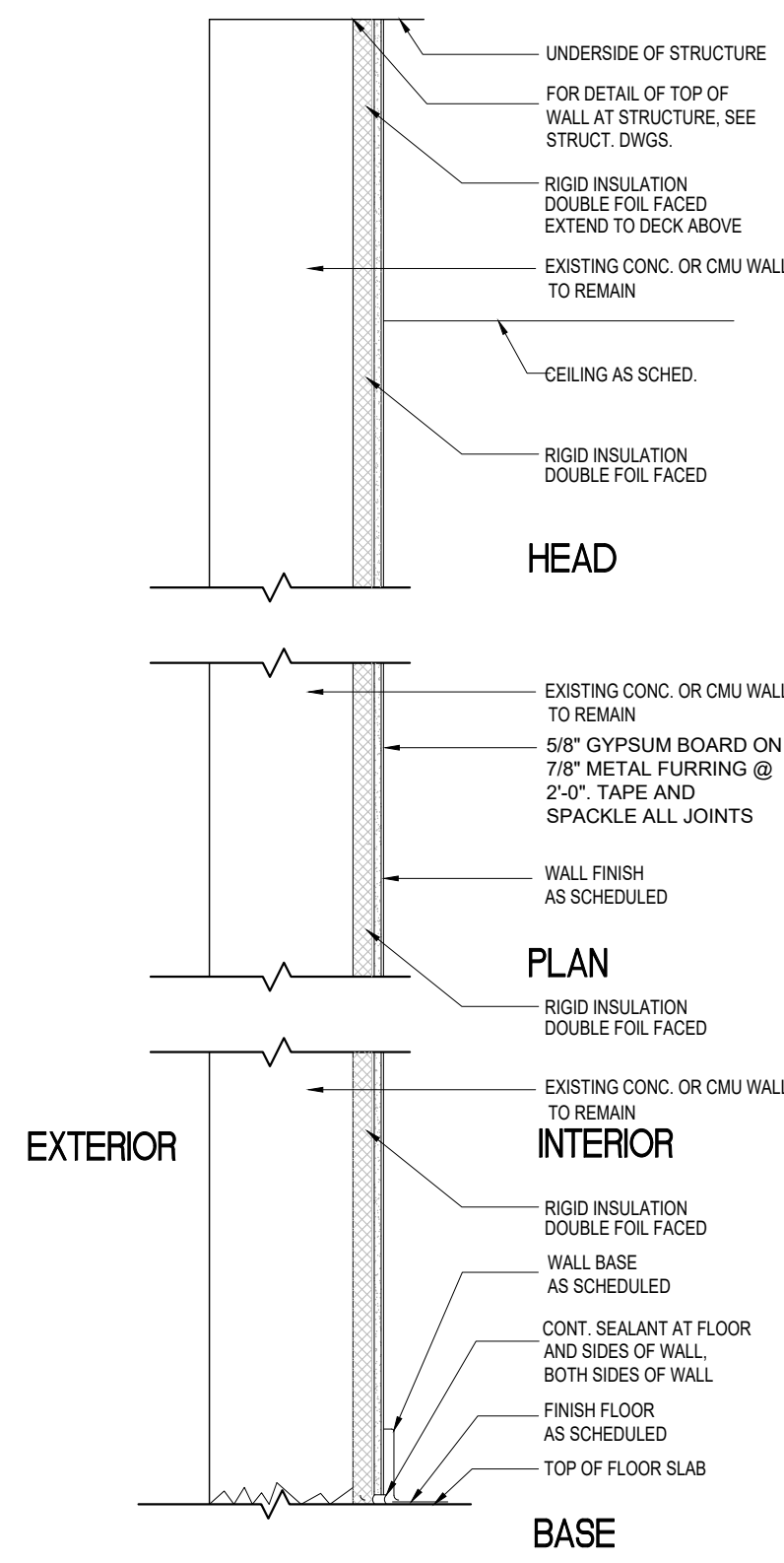
SHEET NUMBER  
**A-309**





FIRE RATING REQUIREMENTS (AS INDICATED ON WALL TYPE TAG):  
 (1) NO FIRE RATING REQUIRED  
 (3) THREE-HOUR FIRE RATING REQUIRED

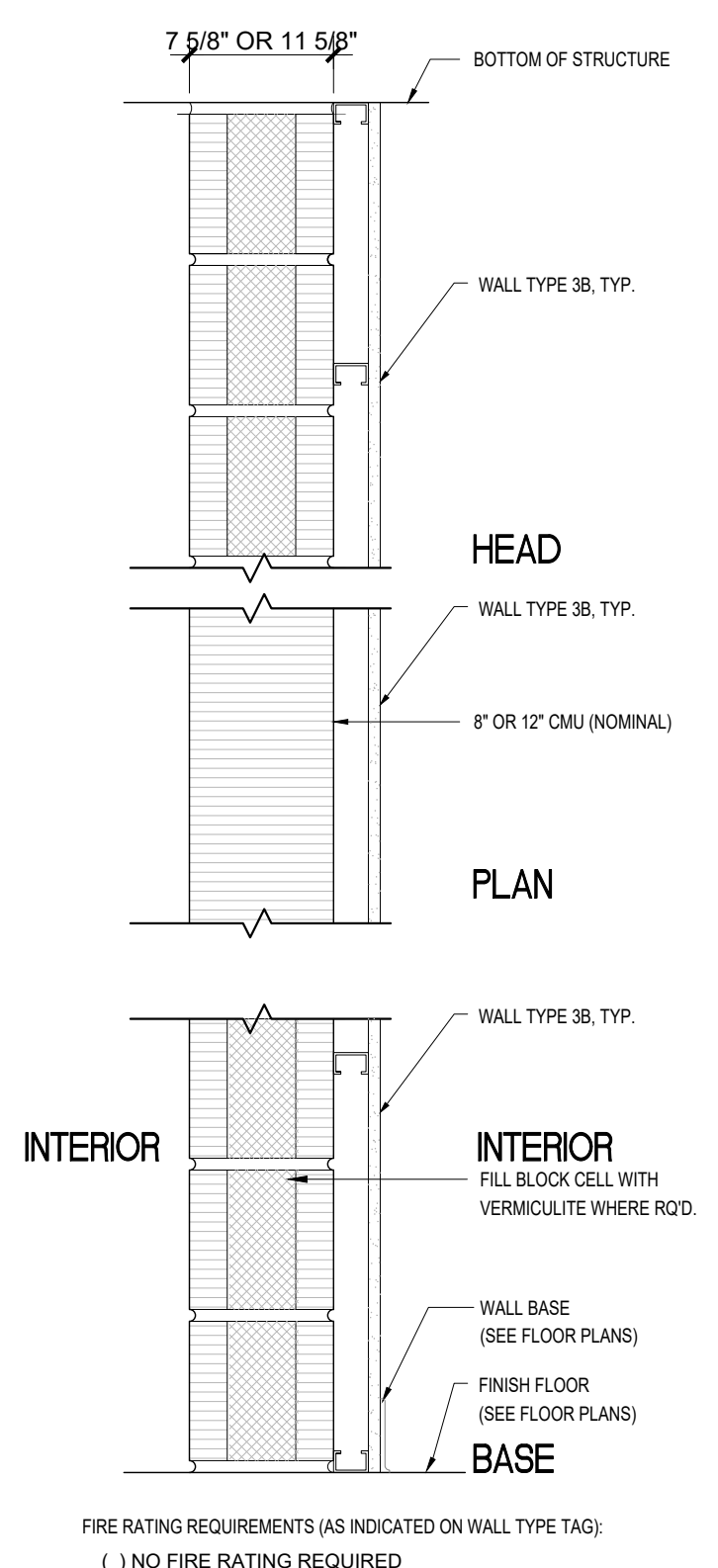
1



FIRE RATING REQUIREMENTS (AS INDICATED ON WALL TYPE TAG):  
 (1) NO FIRE RATING REQUIRED

2

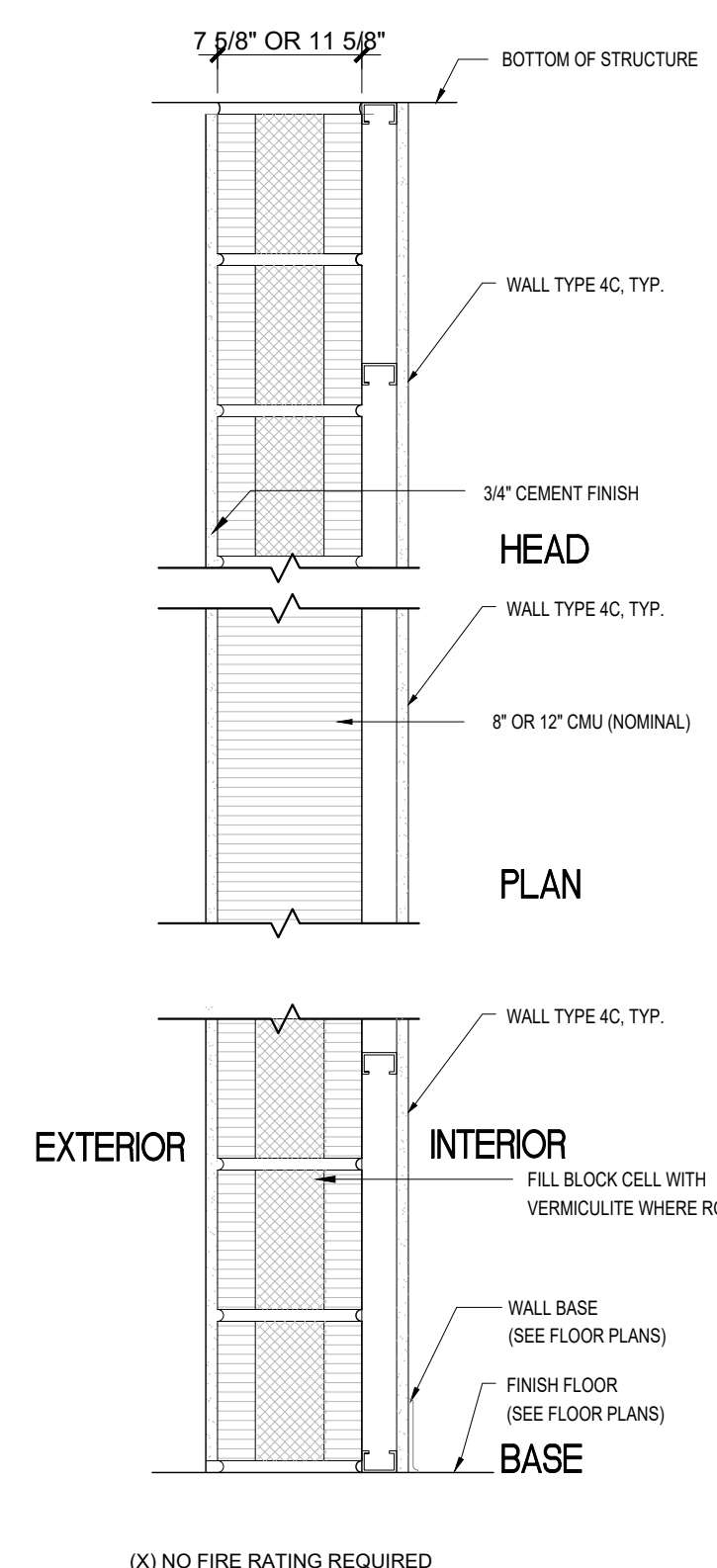
2A ADD DRYWALL TO EXISTING CMU OR CONCRETE WALL  
 MASONRY ASSOCIATION  
 2B 12" CMU (NOMINAL)  
 3B



FIRE RATING REQUIREMENTS (AS INDICATED ON WALL TYPE TAG):  
 (1) NO FIRE RATING REQUIRED  
 (1) 1/2 HR. FIRE/SMOKE BARRIER PER UL DESIGN U905  
 (X) 1 HR. FIRE RATED PER UL DESIGN U905  
 (1) 2 HR. FIRE RATED PER UL DESIGN U905

3

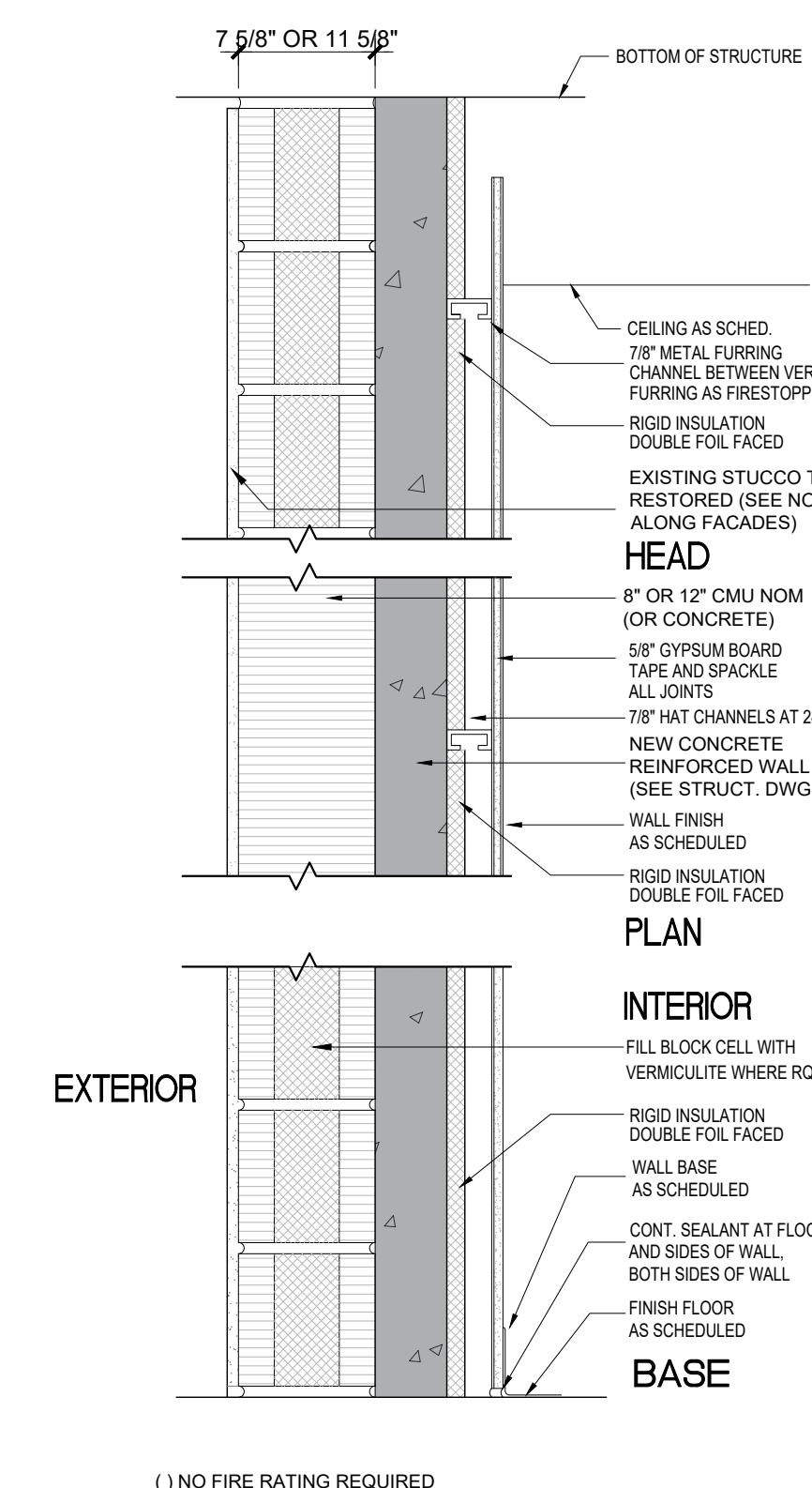
3A SAME AS 3, FILL IN BLOCK CELLS W/ VERMICULITE FULL HEIGHT OF WALL  
 STC-52, TESTED BY NATIONAL CONCRETE MASONRY ASSOCIATION  
 3B SAME AS 3A, W/ 5 1/2" 20 GA. METAL STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" GYPSUM WALL BOARD ON ONE SIDE OF INTERIOR WALL TO UNDERSIDE OF SLAB



(X) NO FIRE RATING REQUIRED  
 (1) 1/2 HR. FIRE/SMOKE BARRIER PER UL DESIGN U905  
 (1) 1 HR. FIRE RATED PER UL DESIGN U905  
 (1) 2 HR. FIRE RATED PER UL DESIGN U905

4

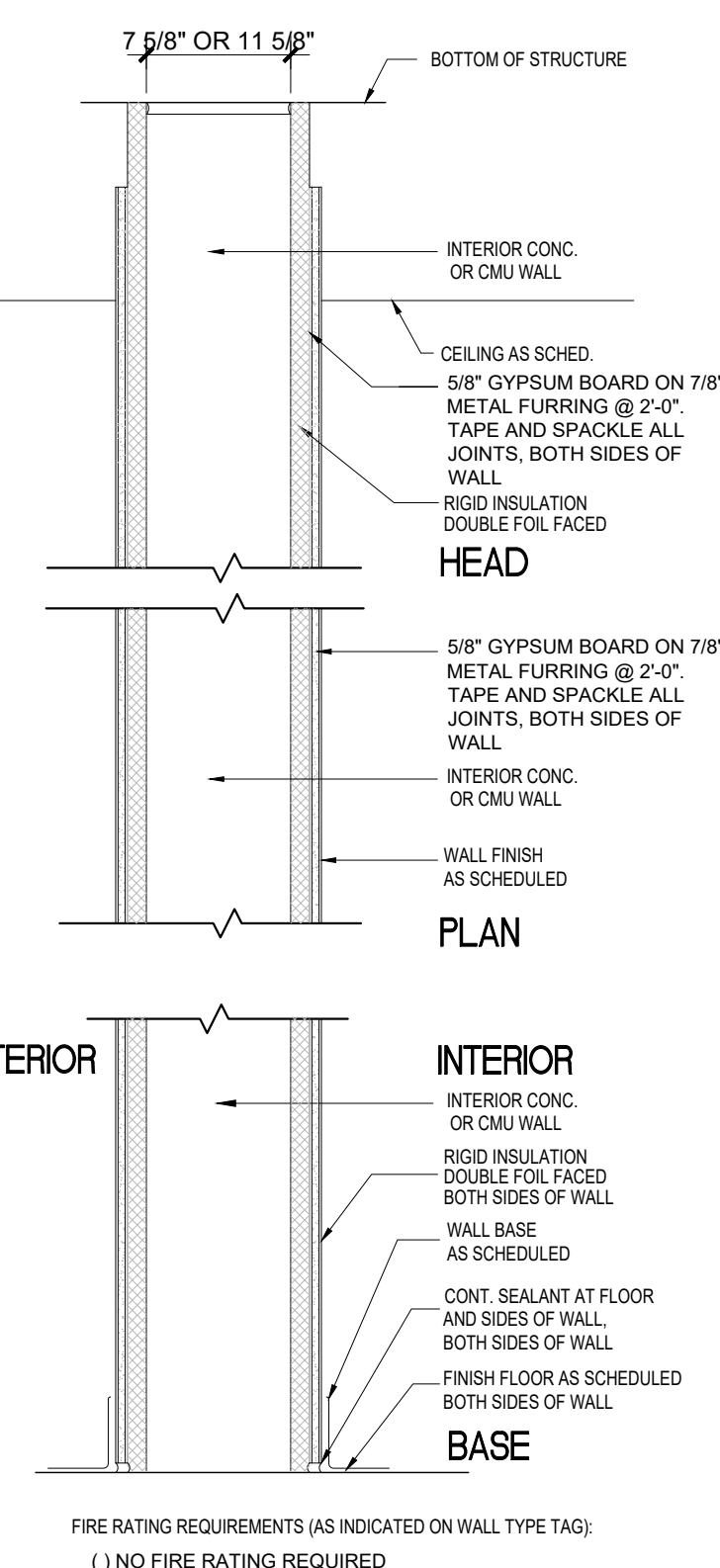
4A SAME AS 4, FILL IN BLOCK CELLS W/ VERMICULITE FULL HEIGHT OF WALL  
 STC-52, TESTED BY NATIONAL CONCRETE MASONRY ASSOCIATION  
 12" CMU (NOMINAL)  
 4B SAME AS 4A, W/ 5 1/2" 20 GA. METAL STUDS @ 16" O.C.  
 W/ ONE LAYER OF 5/8" GYPSUM WALL BOARD ON ONE SIDE OF INTERIOR WALL TO UNDERSIDE OF SLAB



(1) NO FIRE RATING REQUIRED  
 (1) 1/2 HR. FIRE/SMOKE BARRIER PER UL DESIGN U905  
 (1) 1 HR. FIRE RATED PER UL DESIGN U905  
 (1) 2 HR. FIRE RATED PER UL DESIGN U905

5

5A SAME AS 5, FILL IN BLOCK CELLS W/ VERMICULITE FULL HEIGHT OF WALL (4 HR. RATING)  
 STC-52, TESTED BY NATIONAL CONCRETE MASONRY ASSOCIATION  
 12" CMU (NOMINAL)  
 5B 4" CMU (NOMINAL)  
 5C 4" CMU WALL FILL BLOCK



FIRE RATING REQUIREMENTS (AS INDICATED ON WALL TYPE TAG):  
 (1) NO FIRE RATING REQUIRED  
 (1) 1/2 HR. FIRE/SMOKE BARRIER PER UL DESIGN U905  
 (1) 1 HR. FIRE RATED PER UL DESIGN U905  
 (1) 2 HR. FIRE RATED PER UL DESIGN U905

6

6A SAME AS 6, FILL IN BLOCK CELLS W/ VERMICULITE FULL HEIGHT OF WALL  
 STC-52, TESTED BY NATIONAL CONCRETE MASONRY ASSOCIATION  
 12" CMU (NOMINAL)  
 6B 12" CMU (NOMINAL)  
 6C 4" CMU (NOMINAL)

GENERAL NOTES:

- PROVIDE FIRE RATED GYPSUM WALL BOARD ON ALL GYP. BOARD WALLS INDICATED TO BE FIRE RATED. LABEL ALL FIRE RATED AND SMOKESTOP PARTITIONS
- ABOVE CEILING WITH PLAQUE OR STENCILED LETTERS READING "FIRE AND SMOKE BARRIER". SEAL AND PROTECT ALL OPENINGS. SIGN MUST BE PLACED ON BOTH SIDES OF WALLS.
- PROVIDE CONTINUOUS FIRE RATED SEALANT AT THE PERIMETERS OF ALL SMOKE TIGHT, FIRE RATED WALLS AND CHASES INCLUDING THE TOP, BOTTOM AND SIDE EDGES OF GYPSUM BOARD, BOTH SIDES OF WALL.
- SOUND-RATED PARTITIONS: SEAL AIR TIGHT AT FLOOR, SIDE WALLS AND ROOF ON BOTH SIDES OF WALL WITH A NON-HARDENING ACOUSTICAL SEALANT.
- SLEEVE PENETRATIONS AT FIRE RATED AND ACOUSTICAL WALLS, SHALL BE PROVIDED WITH FIRESTOPPING, AND SEALANT.
- IF GYPSUM BD. IS DOUBLED, ALL JOINTS MUST BE STAGGERED AND SEALED.
- OUTLETS OR OTHER WALL PENETRATIONS IN FIRE RATED OR ACOUSTICAL WALLS SHALL MAINTAIN A MIN. OF ONE STUD SEPARATION WHEN ON OPPOSITE SIDES.
- PROVIDE CEMENT BACKER BOARD AT ALL WET AREAS SUCH AS TOILETS, JANITOR CLOSETS, LOCKER ROOMS, KITCHEN, ETC.
- PROVIDE WALL REINFORCEMENT WHERE REQUIRED BY CASEWORK, EQUIPMENT OR FIXTURE.
- PROVIDE BACKING FOR ITEMS SUCH AS TOILET ACCESSORIES, TOILET PARTITIONS, DOOR STOPS, DOOR BUMPERS, WALL RAILS, HANDRAILS, ETC.
- FOR EXTERIOR WALL DETAILS SEE WALL SECTIONS
- REFER TO WALL SECTIONS, ELEVATIONS, DETAILS, ETC., FOR ADDITIONAL INFORMATION REGARDING INTERIOR PARTITIONS
- PROVIDE CERAMIC TILE TO A FULL HEIGHT WALL IN ALL LOCKERS, DRESSING ROOMS, SHOWERS, DRINKING FOUNTAINS, PULPER, DRYING AREAS, INDIVIDUAL TOILETS, KITCHEN AREA. REFER TO FINISH TAG ON FLOOR PLAN ONLY AT STUDENT OCCUPIED AREAS AND CORRIDORS. ALL GYPOUS TOILETS ARE FULL HEIGHT CERAMIC TILE. FOR ANY OTHER SPACE.
- PROVIDE 1/16" VENEER PLASTER FINISH AT INTERIOR CORRIDOR WALLS.
- WHEN TWO OR MORE WALL TYPES ARE INDICATED ON THE PLANS FOR THE SAME WALL THIS ASSEMBLY BECOMES A COMPOSITE WALL. CONTRACTOR SHALL DELETE THE FINISHES SPECIFIED ON THE INDIVIDUAL TYPES THAT WILL BE COVERED WORK.
- FOR PLASTER THICKNESS AND NUMBER OF COATS REFER TO TECH-SPEC 09220.
- PROVIDE HIGH DENSITY IMPACT RESISTANT WALL BOARD



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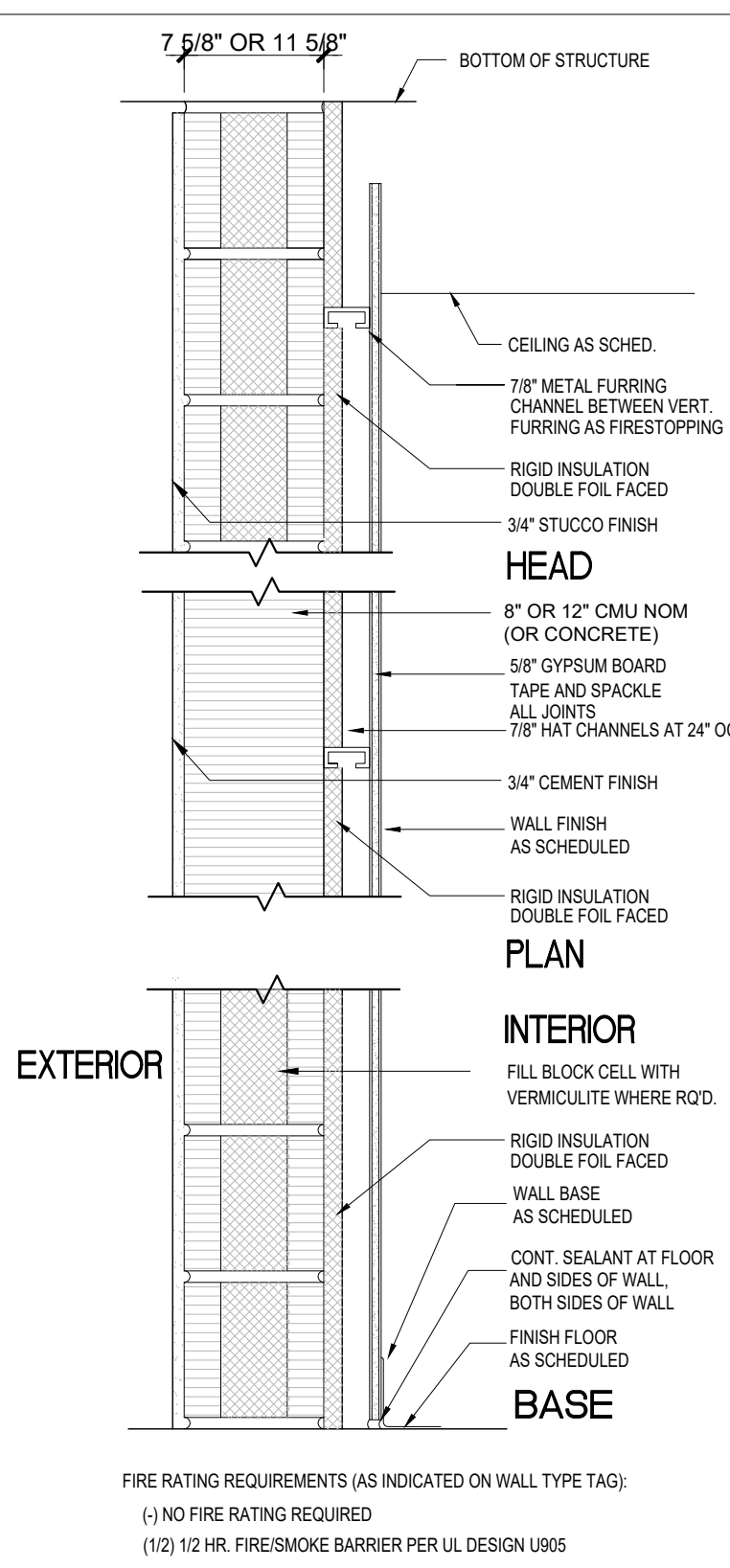


**LA PALMA REHABILITATION AND RESTORATION**  
 112 ALHAMBRA CIRCLE,  
 CORAL GABLES, FL 33134

PERMIT SUBMITTAL

REVISIONS	DATE

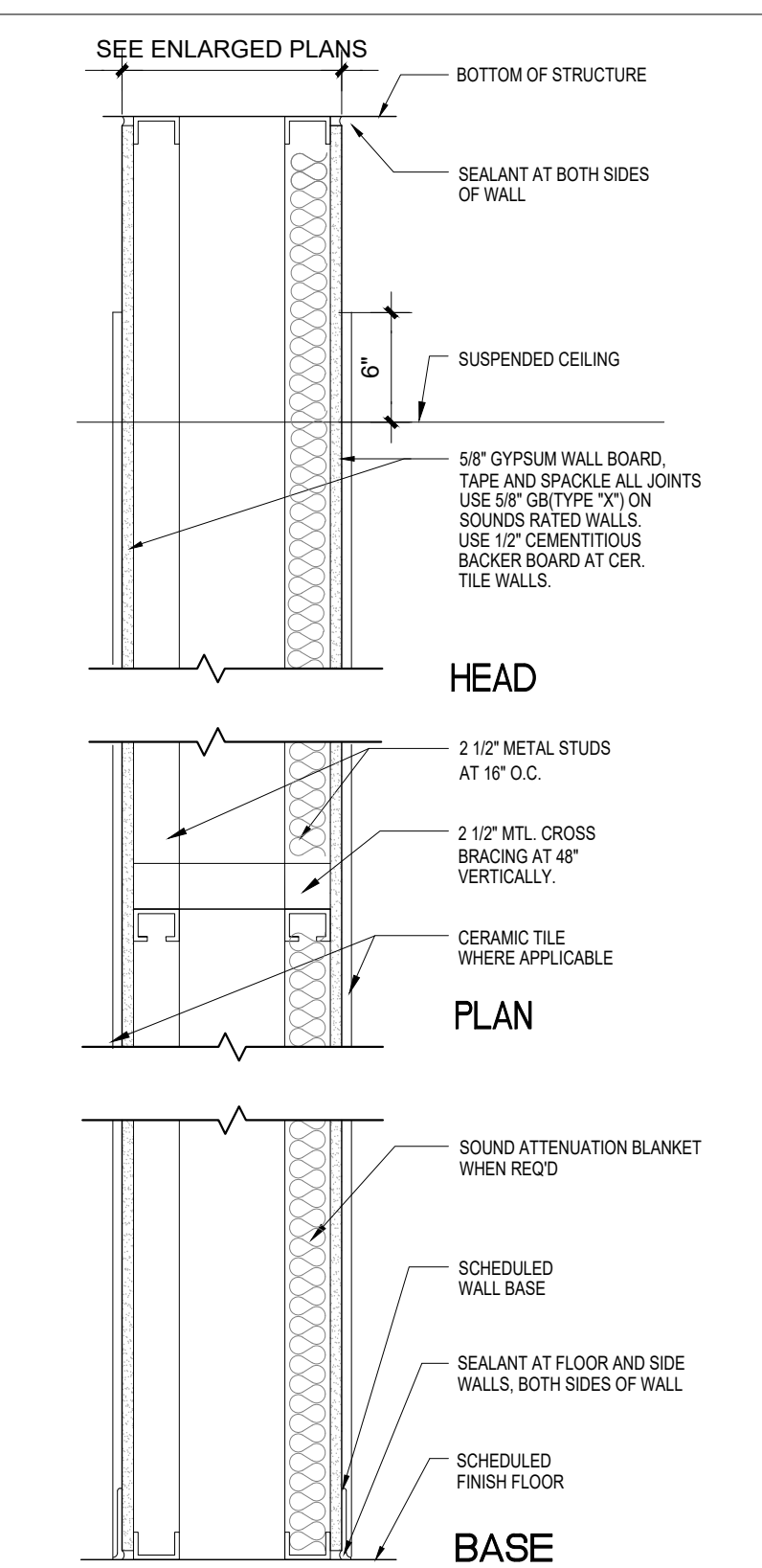
PROJECT NUMBER  
**2019-008**  
 DATE  
 02/06/2020  
 SHEET TITLE  
 WALL TYPES  
 DRAWN BY  
 L. R.  
 CHECKED BY  
 J. S. K.  
 SHEET NUMBER  
**A-400**



FIRE RATING REQUIREMENTS (AS INDICATED ON WALL TYPE TAG):  
 (1) NO FIRE RATING REQUIRED  
 (1) 1/2 HR. FIRE/SMOKE BARRIER PER UL DESIGN U905  
 (1) 1 HR. FIRE RATED PER UL DESIGN U905  
 (2) 2 HR. FIRE RATED PER UL DESIGN U905

7

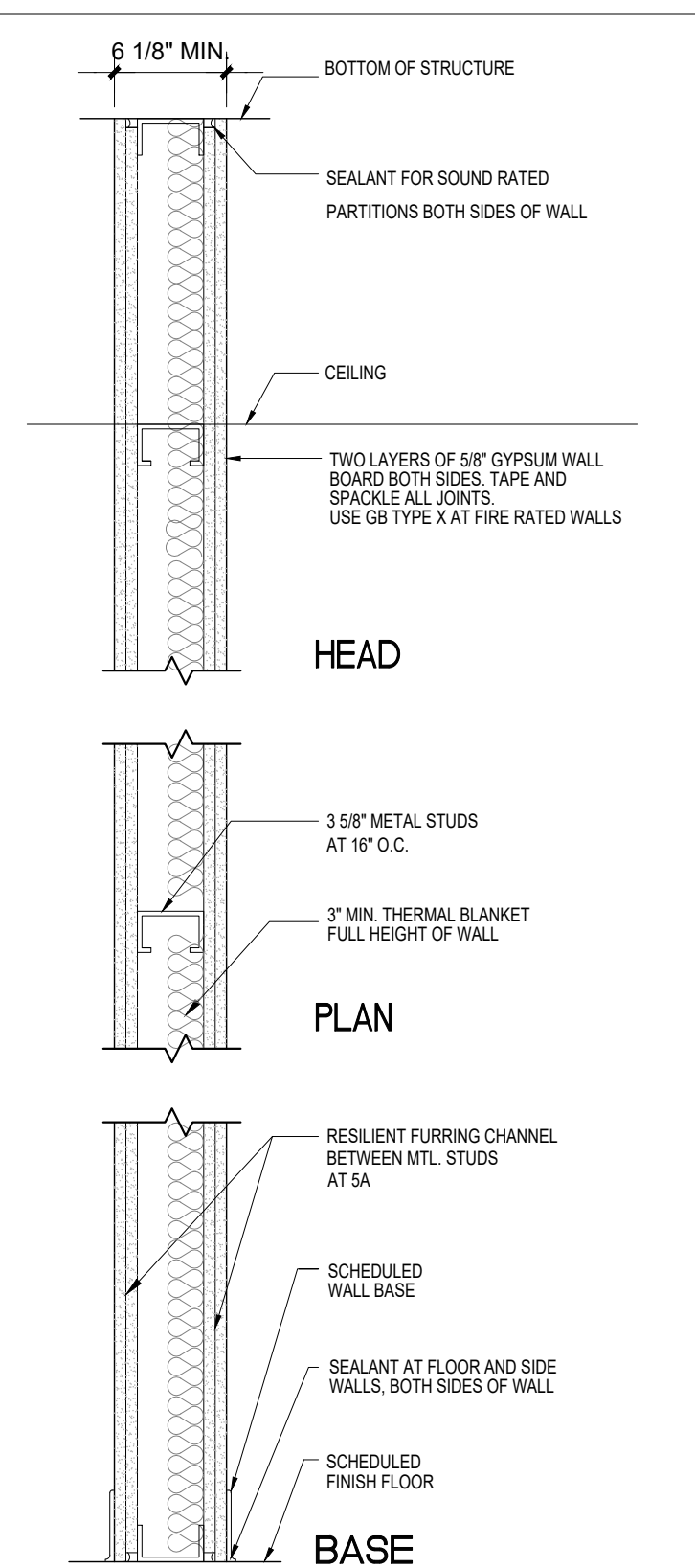
7A SAME AS 7, FILL IN BLOCK CELLS W/ VERMICULITE FULL HEIGHT OF WALL (4 HR. RATING)  
 STC-52, TESTED BY NATIONAL CONCRETE MASONRY ASSOCIATION  
 7B SAME AS WITHOUT STUCCO FINISH



FIRE RATING REQUIREMENTS (AS INDICATED ON WALL TYPE TAG):  
 (1) NO FIRE RATING REQUIRED  
 (1) 1 HR. FIRE RATED PER UL DESIGN U420

8

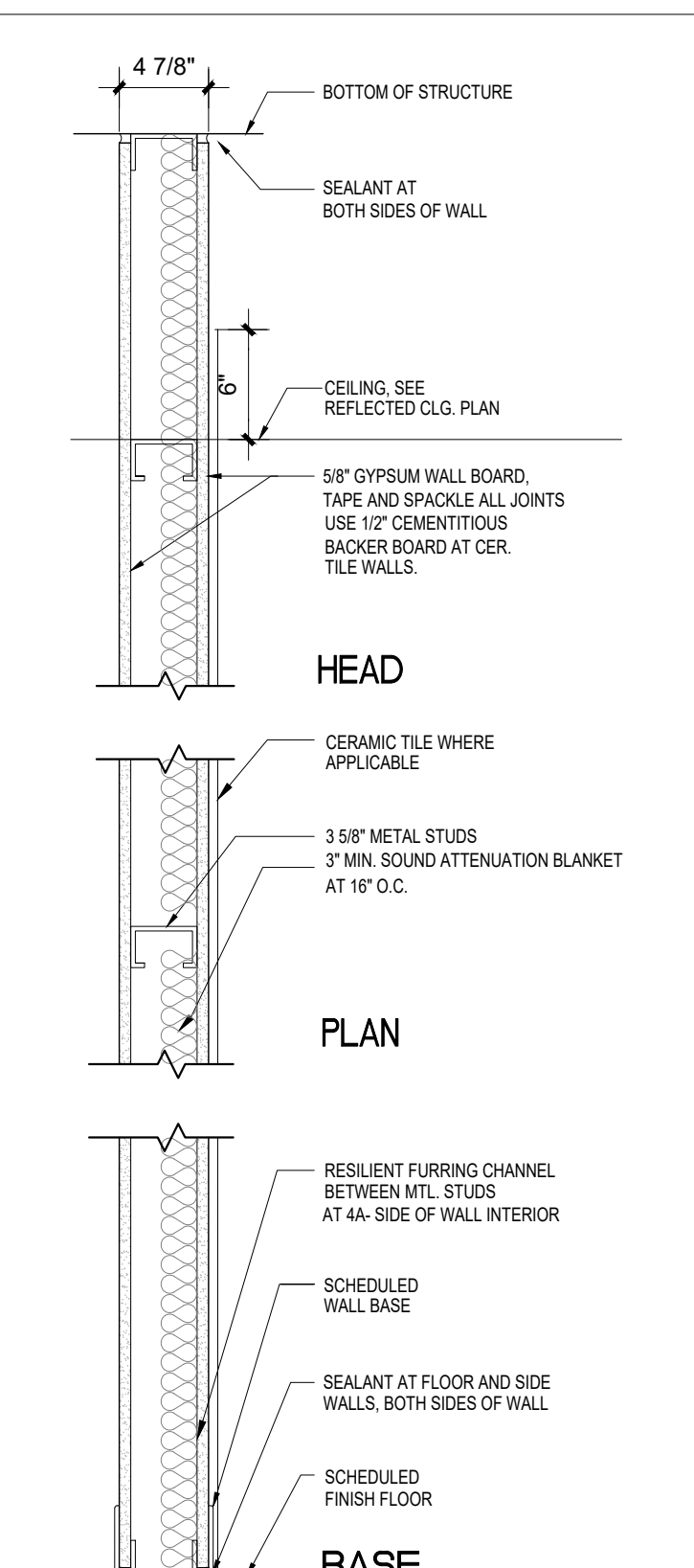
8A SAME AS 8, ADD 3" MIN. SOUND ATTENUATION BLANKET FULL HEIGHT OF WALL  
 STC-48, USG, SA-800422  
 OWENS: WO 3582



FIRE RATING REQUIREMENTS (AS INDICATED ON WALL TYPE TAG):  
 (1) 1 HR. FIRE RATED PER UL DESIGN U465  
 (2) 2 HR. FIRE RATED PER UL DESIGN U411

9

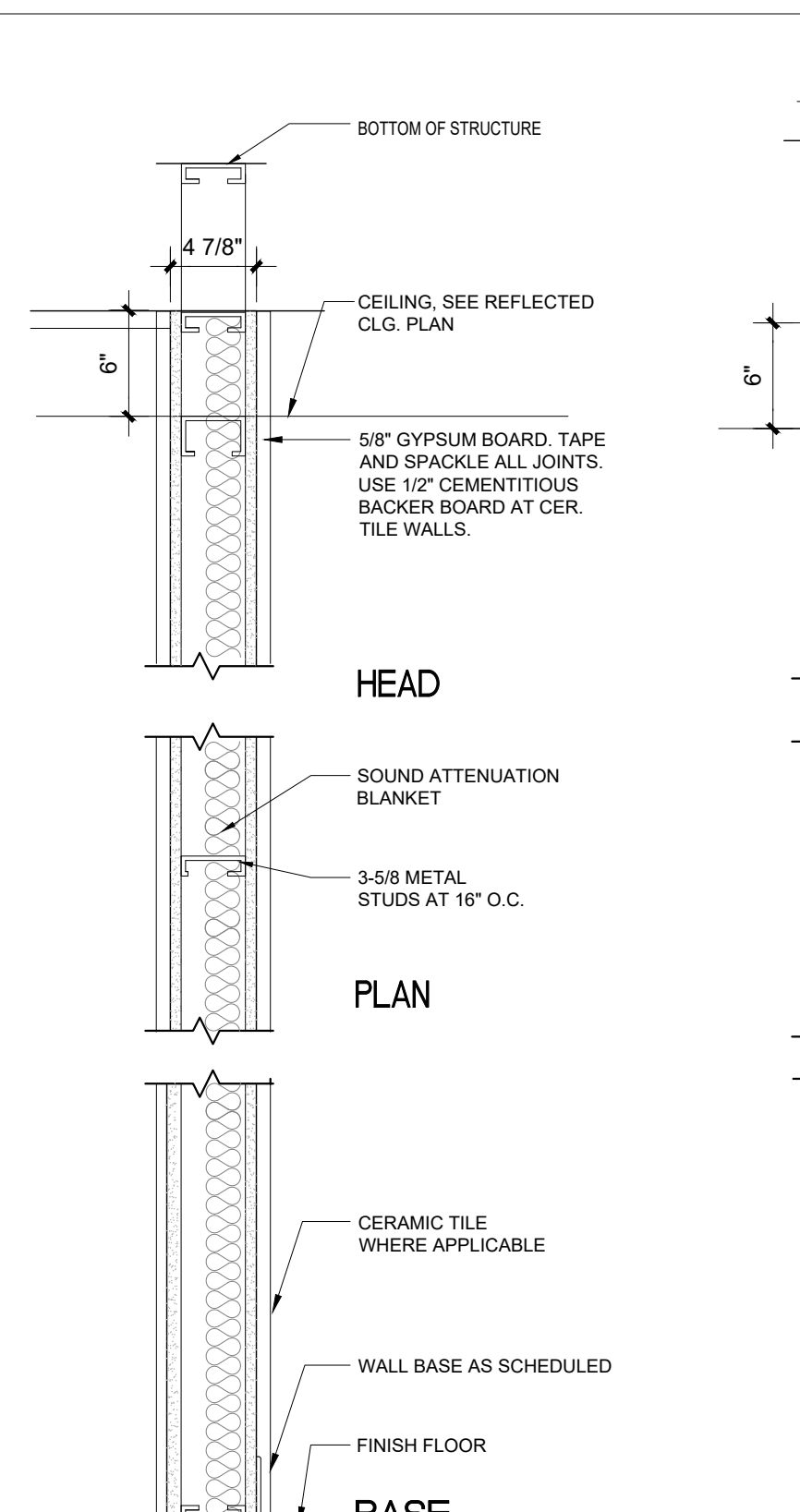
9A SAME AS 9, ADD 3" MIN. SOUND ATTENUATION BLANKET FULL HEIGHT OF WALL AND 12" RESILIENT CHANNELS @ 16" O.C. ON INTERIOR SIDE.  
 STC-61, USG, RAL-TL-84-216  
 OWENS: WO 2584



FIRE RATING REQUIREMENTS (AS INDICATED ON WALL TYPE TAG):  
 (1) NO FIRE RATING REQUIRED BASE  
 (1) 1 HR. FIRE RATED PER UL DESIGN U465  
 ADD 3" MIN. THERMAL BATTS FULL HEIGHT OF WALL

10

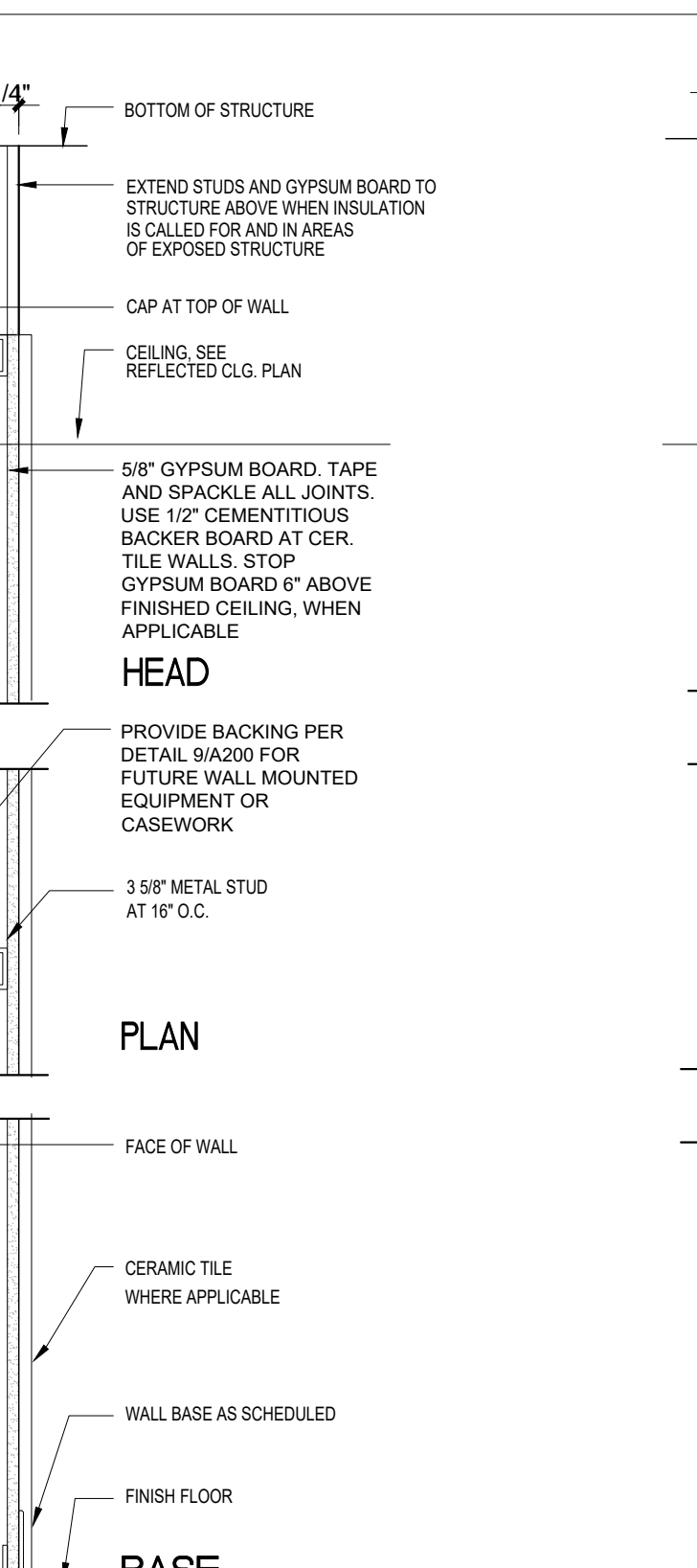
10A SAME AS 10, ADD 1/2" RESILIENT CHANNELS @ 16" O.C. ON INTERIOR SIDE. STC - 54, USG, RAL-TL-83-216  
 OWENS: RAL-TL-90-344



FIRE RATING REQUIREMENTS (AS INDICATED ON WALL TYPE TAG):  
 (1) NO FIRE RATING REQUIRED

11

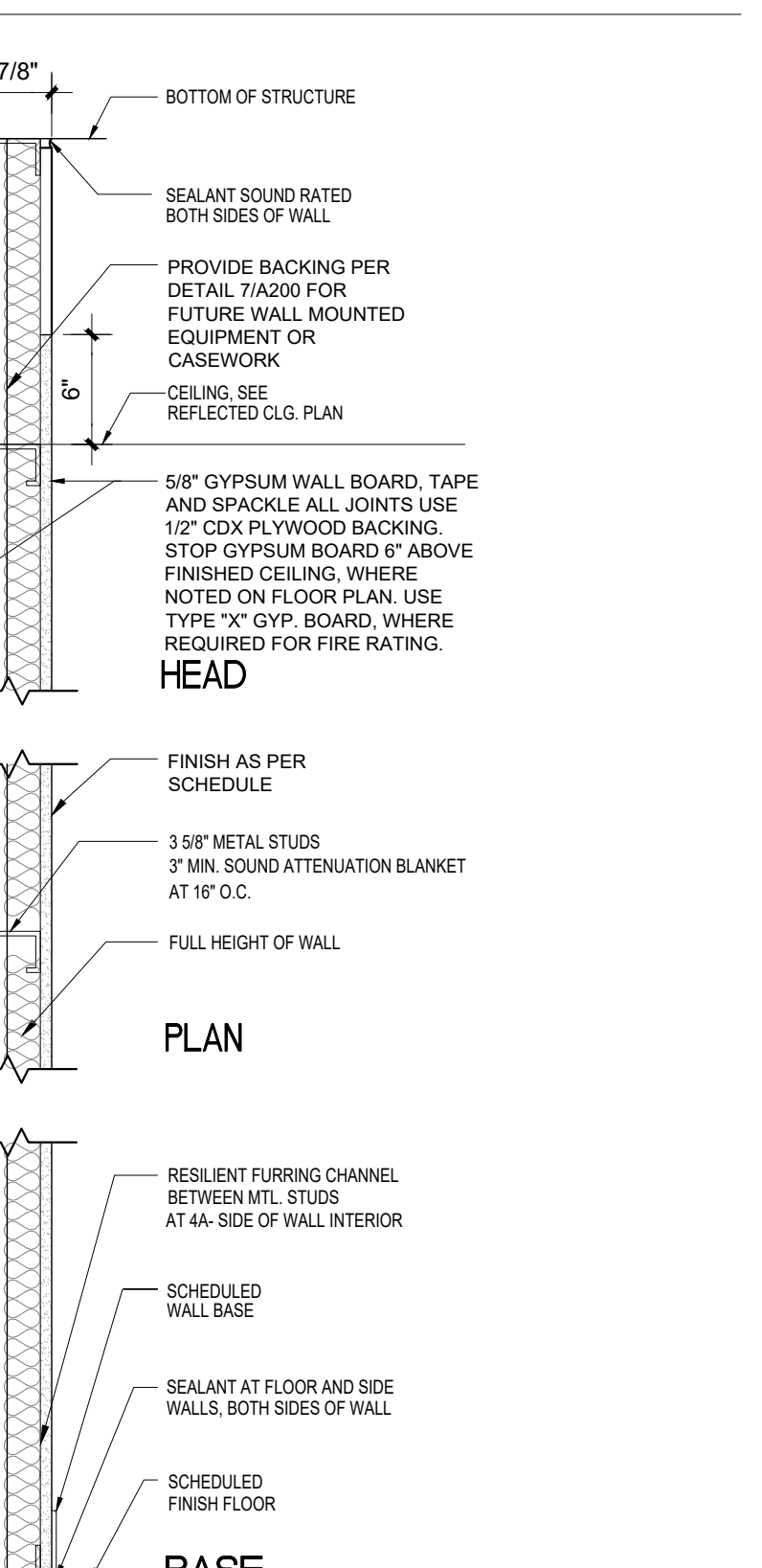
11A USE 1/2" CEMENTITIOUS BOARD



FIRE RATING REQUIREMENTS (AS INDICATED ON WALL TYPE TAG):  
 (X) NO FIRE RATING REQUIRED

12

12A SAME AS 12, EXTEND STUDS AND GYPSUM BOARD TO STRUCTURE ABOVE  
 12B SAME AS 12, ADD 3 1/2" SOUND ATTENUATION BATTS FULL HEIGHT OF WALL



FIRE RATING REQUIREMENTS (AS INDICATED ON WALL TYPE TAG):  
 (X) NO FIRE RATING REQUIRED BASE  
 (1) 1 HR. FIRE RATED PER UL DESIGN U465  
 ADD 3" MIN. THERMAL BATTS FULL HEIGHT OF WALL

13

13A SAME AS 13, ADD 1/2" RESILIENT CHANNELS @ 16" O.C. ON INTERIOR SIDE. STC - 54, USG, RAL-TL-83-216  
 OWENS: RAL-TL-90-344  
 13B SAME AS 13, ADD 5/8" DUROCK BOARD OR SIMILAR IN LIEU OF GYPSUM BOARD, WHERE WALL TILE OR THIN BRICK VENEER IS INSTALLED





**LA PALMA  
 REHABILITATION AND  
 RESTORATION**  
 112 ALHAMBRA CIRCLE,  
 CORAL GABLES, FL 33134

**PERMIT  
 SUBMITTAL**

REVISIONS	DATE
Δ BLDG. DEPT. COMMENTS	05/11/2020

PROJECT NUMBER  
**2019-008**

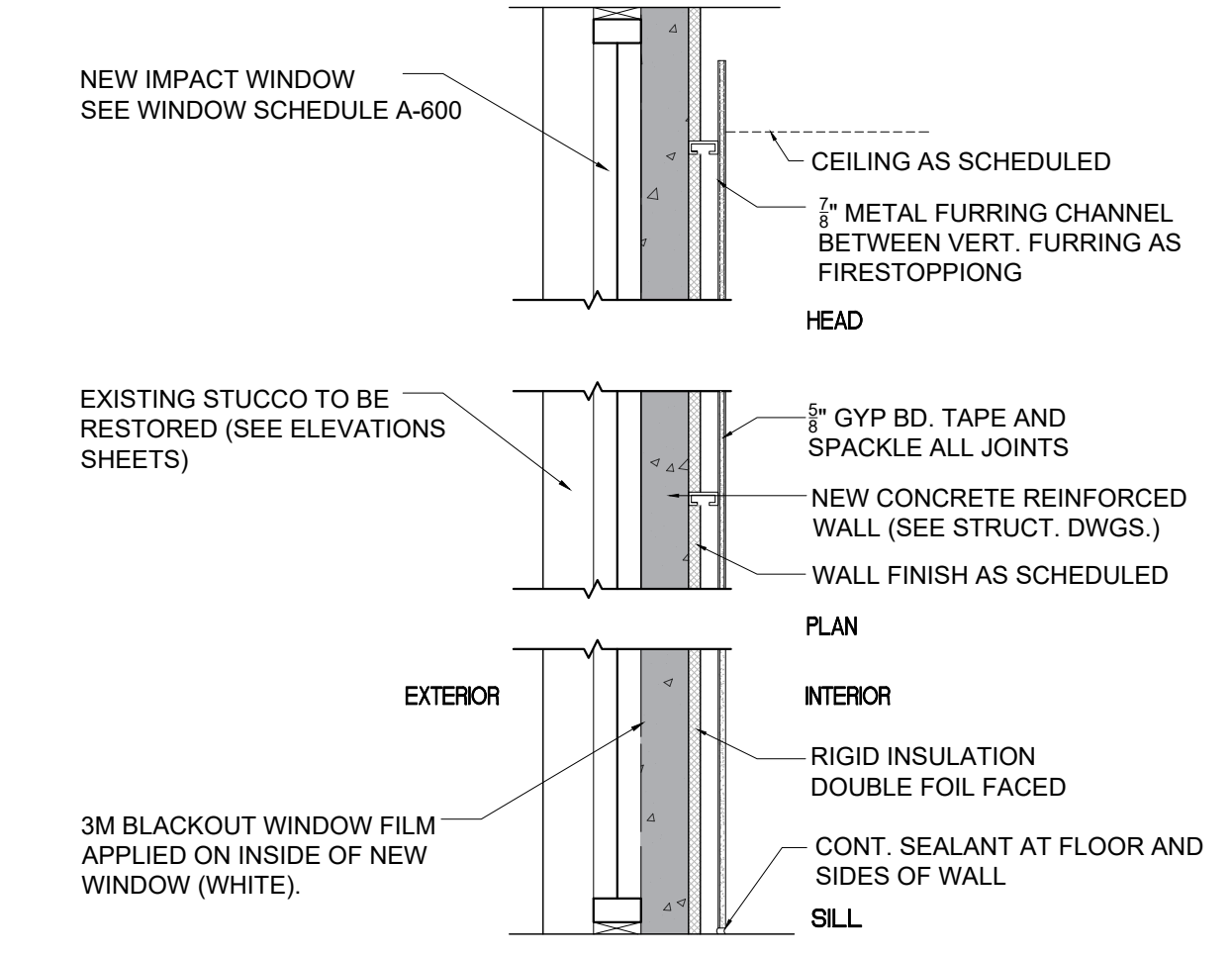
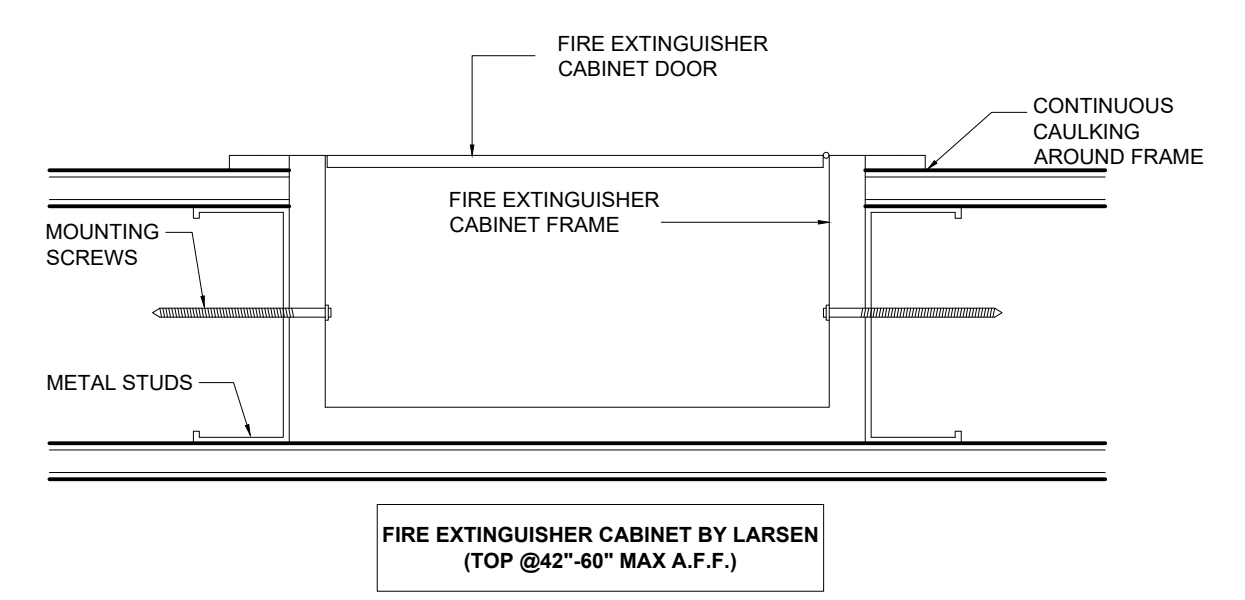
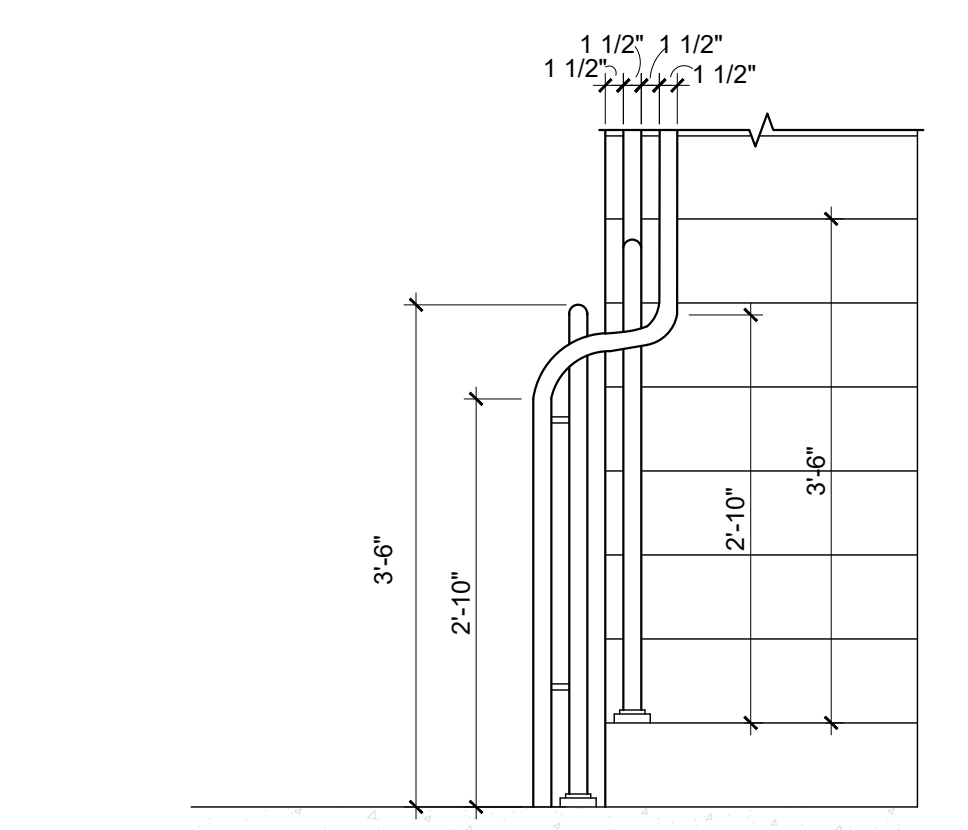
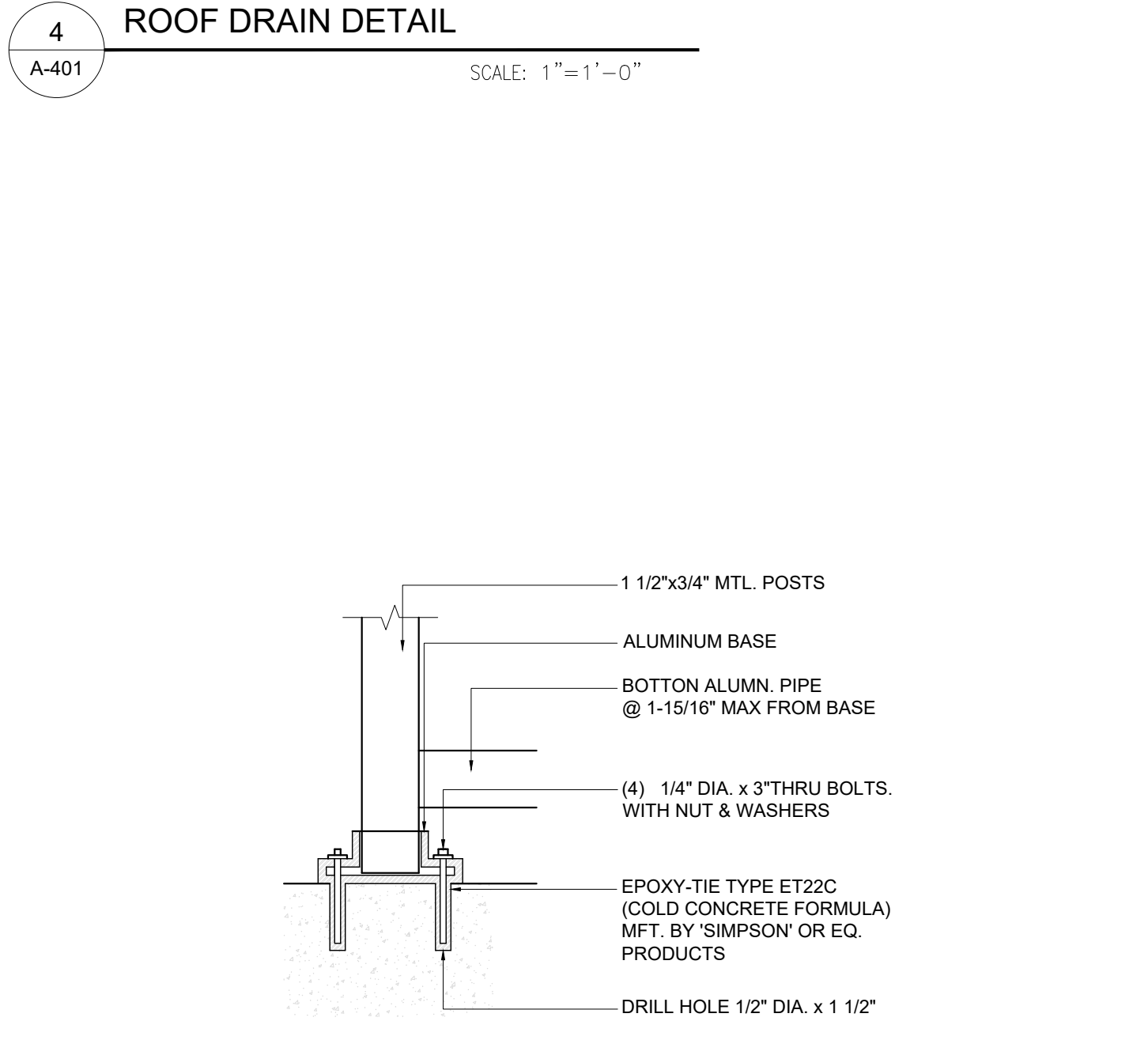
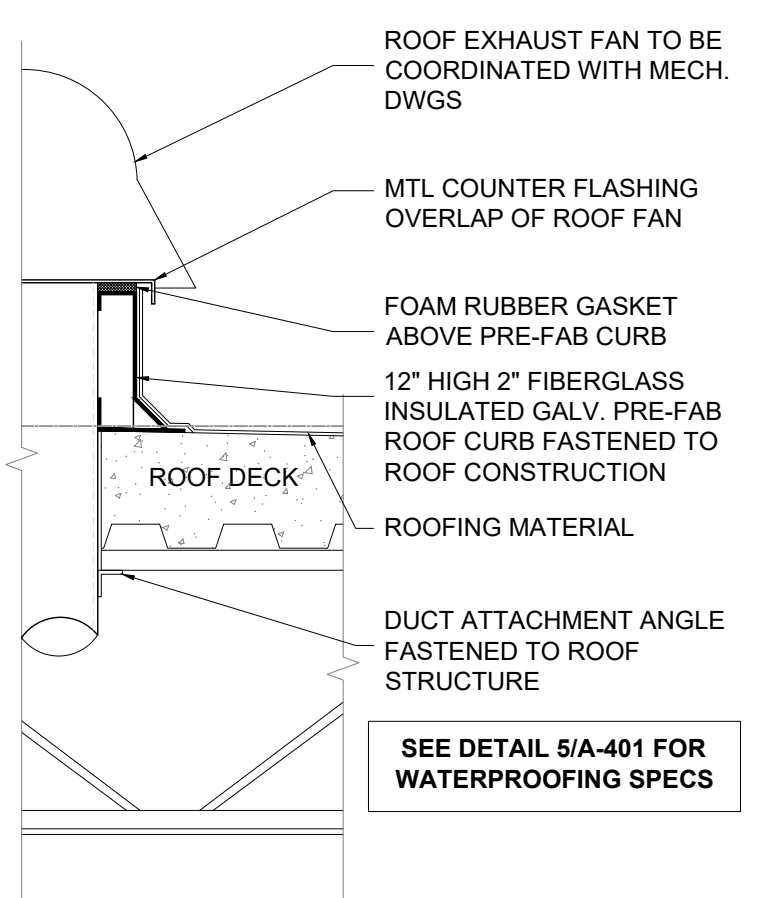
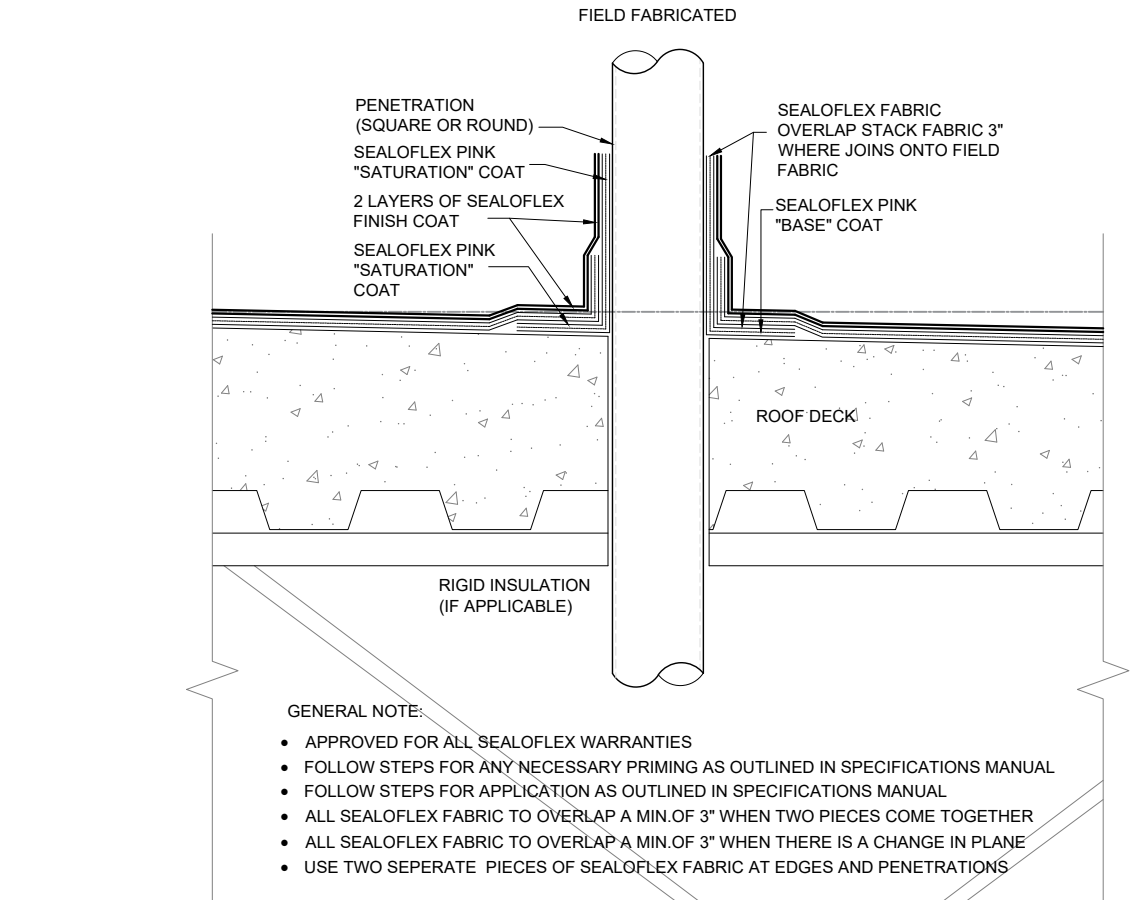
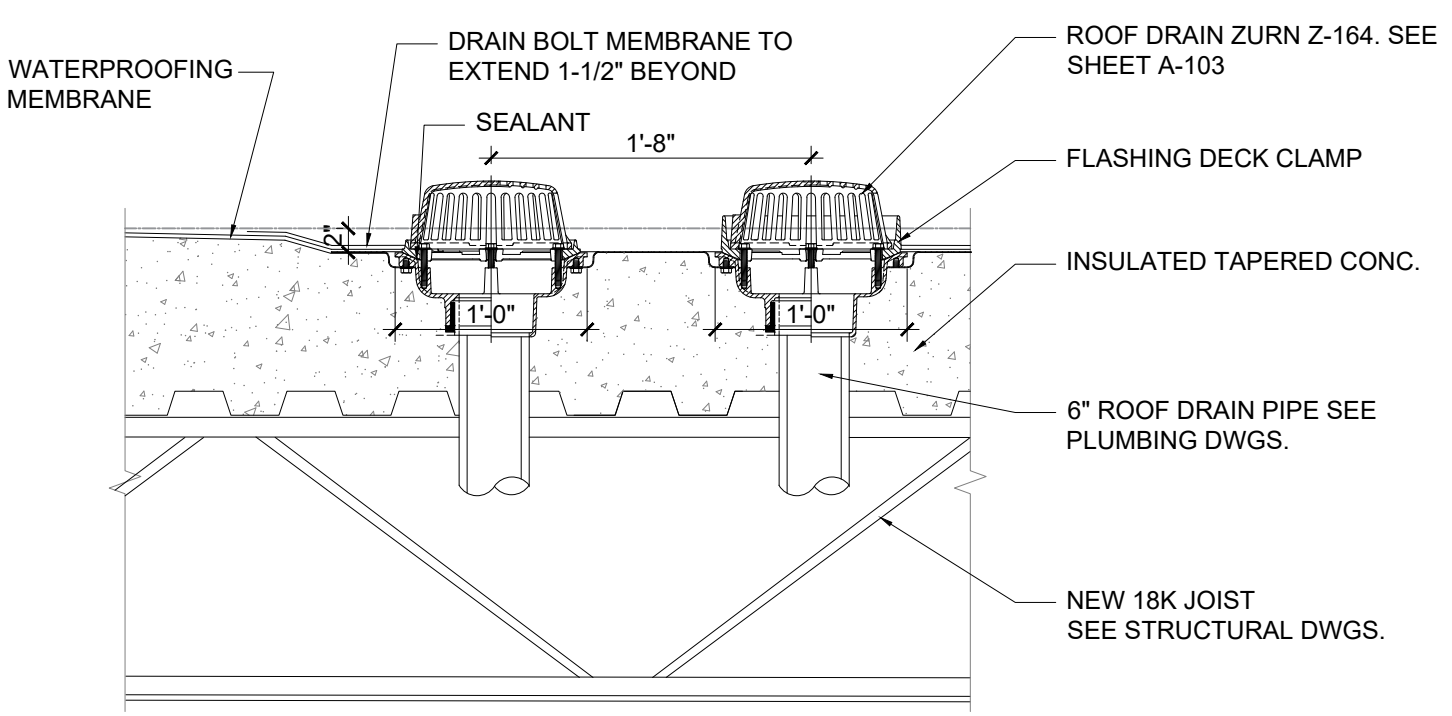
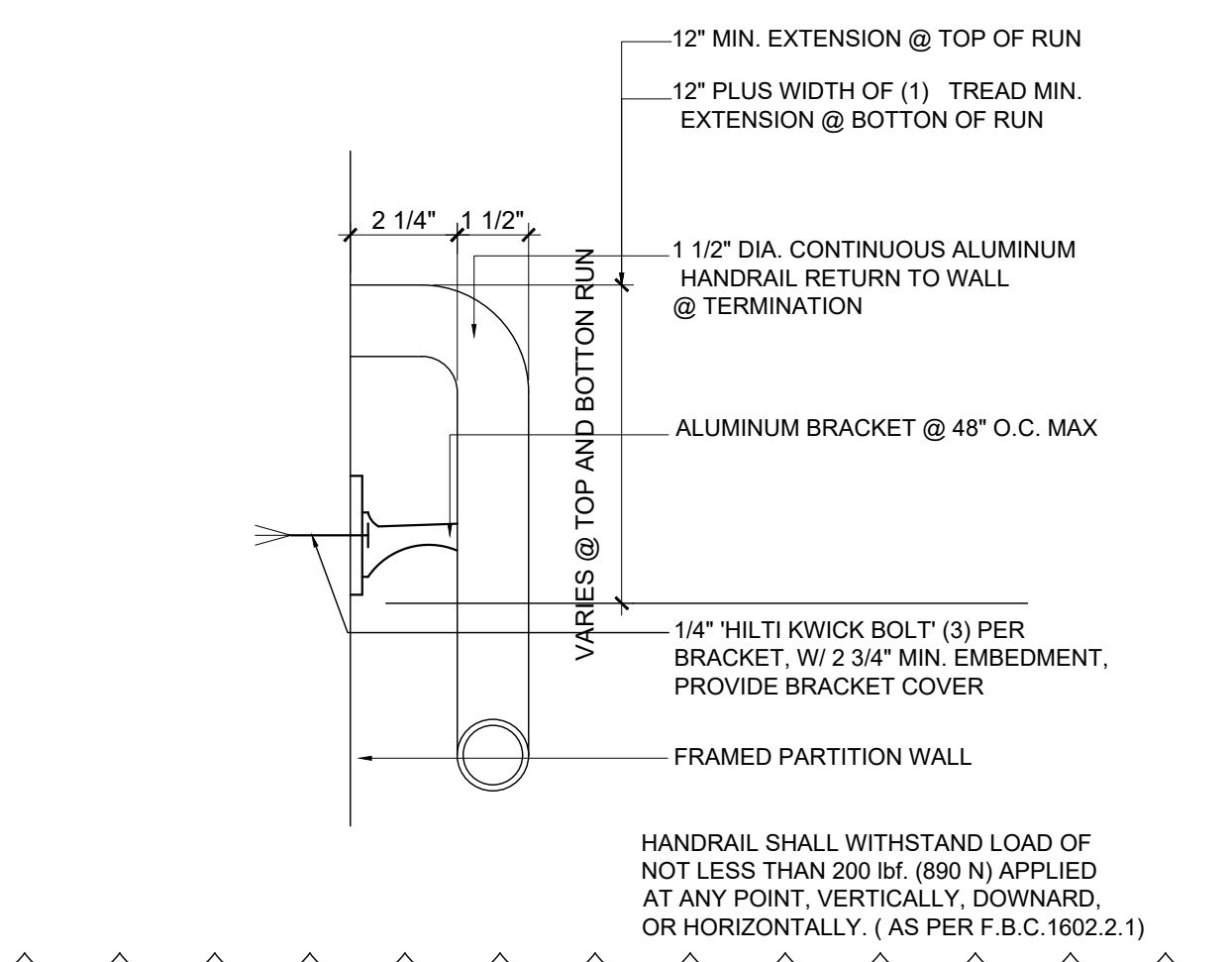
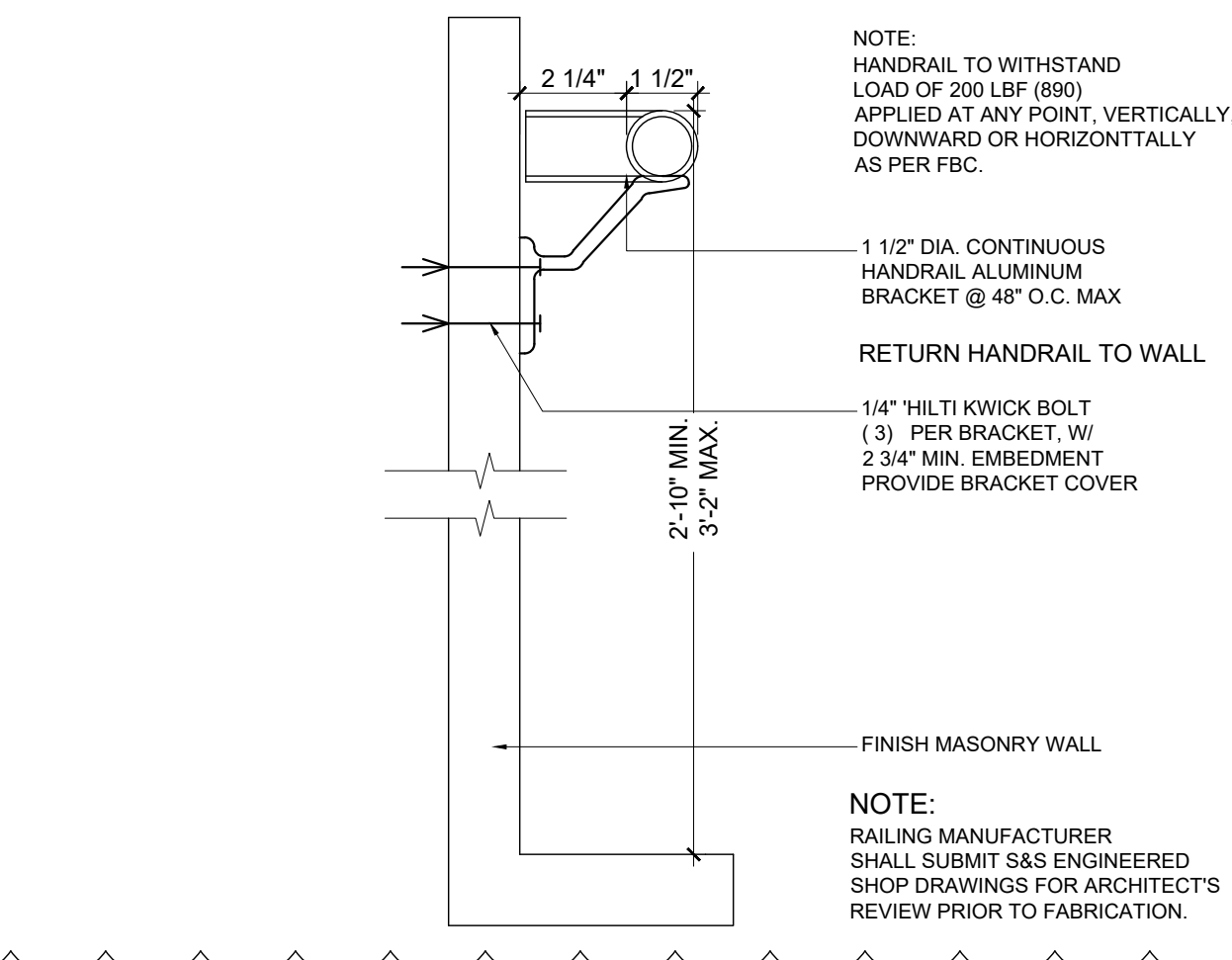
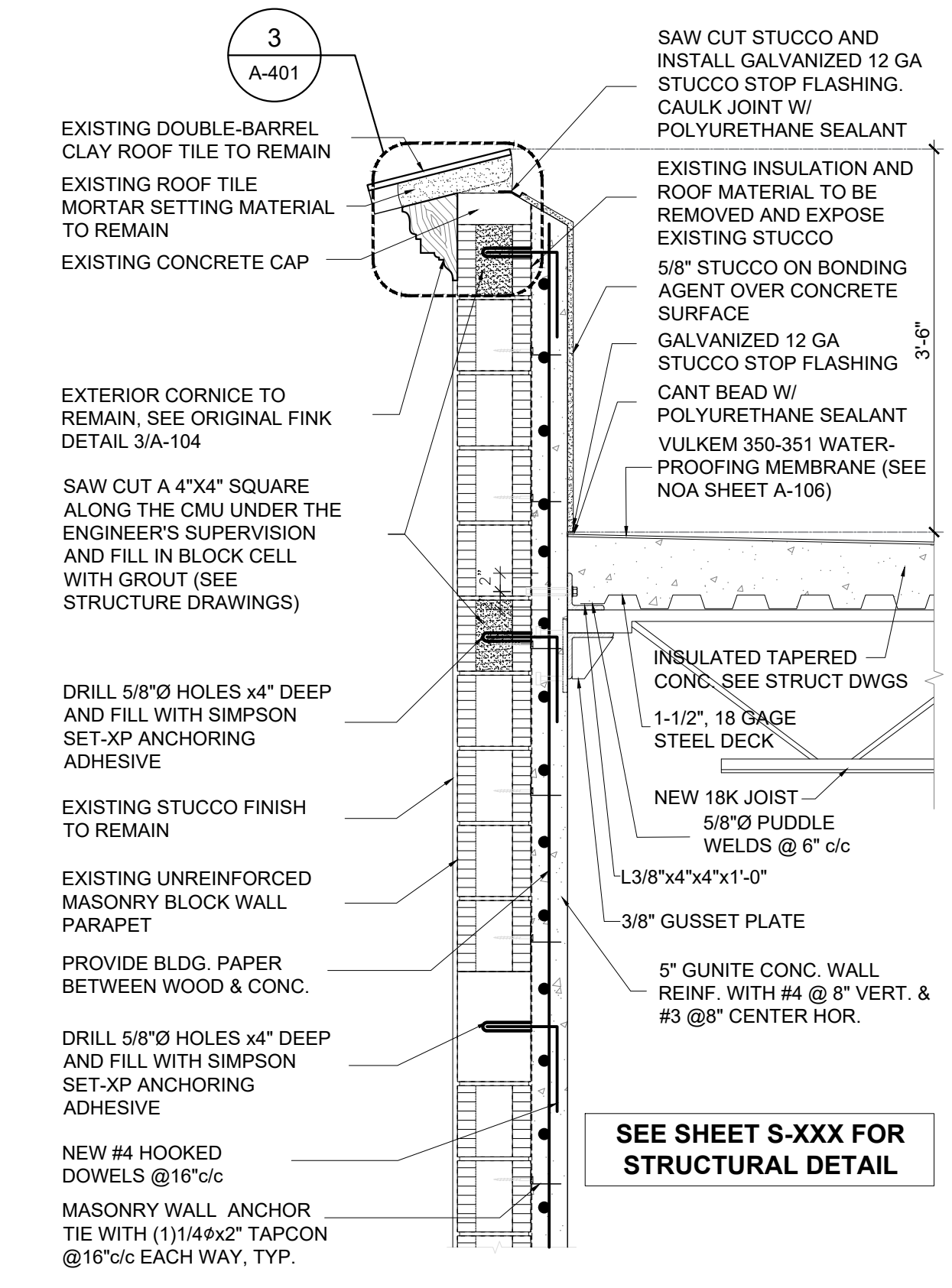
DATE  
 02/06/2020

SHEET TITLE  
 DETAILS

DRAWN BY  
 L. R.

CHECKED BY  
 J. S. K.

SHEET NUMBER  
**A-401**



**SCOPE:**  
 This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER - Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (in Miami-Dade County) and/or the AHJ (in areas other than Miami-Dade-County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.  
 This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Artisan Blend – Handmade Barrel Clay Roof Tile

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL:** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION:** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises and renews NOA No. 15-1026.03 and consists of pages 1 through 5.

The submitted documentation was reviewed by **Freddy Semino**

DESIGNER/ENGINEER APPROVED

NOA No.: 18-0220.12  
 Expiration Date: 05/09/23  
 Approval Date: 05/10/18  
 Page 1 of 5

**ROOFING ASSEMBLY APPROVAL**

**Category:** Roofing  
**Sub Category:** Roofing Tiles  
**Material:** Clay

**1. SCOPE**

This approves a roofing system using **Artisan Blend – Handmade Barrel Clay Roof Tile** manufactured by **MNS Inversiones LTDA in Cucuta, Colombia** and is distributed by **Santafe Tile Corporation**, as described in Section 2 of this Notice of Acceptance. For locations where the pressure requirements, as determined by applicable Building Code, do not exceed the design pressure values obtained by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

**2. PRODUCT DESCRIPTION**

Manufacturer by Applicant	Dimensions	Test Specifications	Product Description
Artisan Blend – Handmade Barrel Tile	L = 18" W = 9" Thickness: 0.55"	ASTM C1167 Type 1 Grade 3	High profile two-piece tapered clay roof tile. For direct deck, adhesive set applications.
Trim Pieces	Length: varies Width: varies varying thickness	ASTM C1167	Accessory trim, clay roof pieces for use at hips, rakes, ridges and valley terminations manufactured for each tile profile.

**2.1 MANUFACTURING LOCATION**

2.1.1. Cucuta, Colombia

**2.2 EVIDENCE SUBMITTED**

Test Agency	Test Identifier	Test Name/Report	Date
American Test Lab of South Florida	RT1116.01-12 RT1211.04-17 RT0319.04-18	TAS 101 ASTM C 1167 ASTM C 1167	11/16/12 12/22/17 04/26/18

DESIGNER/ENGINEER APPROVED

NOA No.: 18-0220.12  
 Expiration Date: 05/09/23  
 Approval Date: 05/10/18  
 Page 2 of 5

**3. LIMITATIONS:**

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test in accordance with TAS 106 shall be required in the HVHZ, refer to applicable building code.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Miami-Dade County Product Control Section for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturer's published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.

**4. INSTALLATION**

- 4.1 Clay Barrel Tile and its components shall be installed in strict compliance with Roofing Application Standard RAS-120.
- 4.2 Data For Attachment Calculations.

**Table 1: Average Weight (W) and Dimensions (L x w)**

Tile Profile	Weight-W (lbf)	Length-L (ft)	Width-w (ft)
Artisan Blend – Handmade Barrel Tile	6.5	1.5	0.75

**Table 2: Aerodynamic Multipliers - A (ft)**

Tile Profile	Batten Application A (ft)	Direct Deck Application A (ft)
Artisan Blend – Handmade Barrel Tile	N/A	0.23

**Table 3: Restoring Moments due to Gravity - M<sub>r</sub> (ft-lbf)**

Tile Profile	2'-12"	3'-12"	4'-12"	5'-12"	6'-12"	7'-12" or Greater
Artisan Blend – Handmade Barrel Tile	Direct Deck 3.98	Direct Deck 3.93	Direct Deck 3.87	Direct Deck 3.78	Direct Deck 3.69	Direct Deck 3.59

DESIGNER/ENGINEER APPROVED

NOA No.: 18-0220.12  
 Expiration Date: 05/09/23  
 Approval Date: 05/10/18  
 Page 3 of 5

**Table 6: Attachment Resistance Expressed as a Moment - M<sub>r</sub> (ft-lbf) for Single Patty Adhesive Set Systems**

Tile Profile	Tile Application	Minimum Attachment Resistance
Artisan Blend – Handmade Barrel Tile	3M™ 2-Component Foam Roof Tile Adhesive AH-160	66.1 <sup>1</sup>

<sup>1</sup> Medium paddy placement weight 35 grams of 3M™ 2-Component Foam Roof Tile Adhesive AH-160 for the pan files, 15 lb on each side of the cap files.

**5. LABELING**

- 5.1 All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo as detailed below, or following statement: "Miami-Dade County Product Control Approved".

**artisan blend**

LABEL FOR ARTISAN BLEND – HANDMADE BARREL TILE  
 (LOCATED ON THE TOPSIDE OF TILE)

**6. BUILDING PERMIT REQUIREMENTS:**

- 6.1 Application for building permit shall be accompanied by copies of the following:
  - 6.1.1 This Notice of Acceptance.
  - 6.1.2 Any other documents required by Building Official or Applicable building code in order to properly evaluate the installation of this system.

DESIGNER/ENGINEER APPROVED

NOA No.: 18-0220.12  
 Expiration Date: 05/09/23  
 Approval Date: 05/10/18  
 Page 4 of 5

**PROFILE DRAWING**  
**Product Technical Data Sheet**

**Santafe**  
 The Masters in Clay

Product Name: Artisan Blend - Handmade Barrel tile  
 Texture: Rustic  
 Color: Red Blend

Height 1: 2.36"  
 Height 2: 2.83"  
 Length: 18"  
 Width 1: 7"  
 Width 2: 9"  
 Thickness: 0.55"  
 Weight: 6.83 lbs

Pieces Per Square 180

**ARTISAN BLEND – HANDMADE BARREL TILE**  
 END OF THIS ACCEPTANCE

DESIGNER/ENGINEER APPROVED

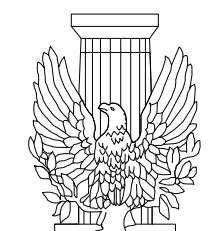
NOA No.: 18-0220.12  
 Expiration Date: 05/09/23  
 Approval Date: 05/10/18  
 Page 5 of 5

**SANTAFE ARTISAN BLEND ROOF TILES**  
 N.O.A. NO.: 18-0220.12



**JSK ARCHITECTURAL GROUP**  
 AA 0003187  
 JORGE S. KUPFERMAN, AIA  
 NCARB - AR 0016353  
 137 Giralda Avenue, Coral Gables, FL 33134  
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**REHABILITATION AND**  
**RESTORATION**  
 112 ALHAMBRA CIRCLE,  
 CORAL GABLES, FL 33134

**PERMIT**  
**SUBMITTAL**

REVISIONS	DATE

PROJECT NUMBER  
**2019-008**  
 DATE  
 02/06/2020  
 SHEET TITLE  
 PRODUCT NOTICE OF ACCEPTANCE  
 DRAWN BY  
 L. R.  
 CHECKED BY  
 J. S. K.  
 SHEET NUMBER  
**A-502**

**SCOPE:**  
 This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

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This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Vulkem® 350NF/351, Vulkem® 350NF/951NF, Vulkem® 350NF/346/346

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL:** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

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**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA No. 13-0716.15 and consists of pages 1 through 7. The submitted documentation was reviewed by Hamley Pacheco, P.E.

**ROOFING SYSTEM APPROVAL**  
**Category:** Roofing  
**Sub-Category:** Waterproofing  
**Material:** Polyurethane  
**Deck Type:** Concrete  
**Maximum Design Pressure:** -850 psf

**TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:**

Product	Dimensions	Test Specification	Product Description
Vulkem® 350NF-SL	Available in 5 & 55 gallons	ASTM C 836 ASTM C 957	One part, Low VOC polyurethane base coat waterproofing membrane. <b>Do Not Apply to Vertical Surfaces.</b>
Vulkem® 350NF-R	Available in 5 & 55 gallons	ASTM C 836 ASTM C 957	One part, Low VOC polyurethane base coat waterproofing membrane.
Vulkem® 351	Available in 5 & 55 gallon pails	ASTM C 957	One part, sand filled, top coat aliphatic polyurethane coating to provide chemical and UV resistance.
Vulkem® 951NF	Available in 4.2 gallon kit	ASTM C 957	Two part, sand filled, top coat aliphatic polyurethane coating to provide additional chemical and UV resistance.
Vulkem® 346	Available in 5 & 55 gallon pails	ASTM C 957	One part, sand filled, intermediate/top coat aliphatic polyurethane coating to provide chemical and UV resistance

**PRODUCTS MANUFACTURED BY OTHERS:**

Product	Dimensions	Test Specification	Product Description	Manufacturer
Unimin Aggregate	N/A	N/A	2040 (20/30 mesh size) Silicone Dioxide (silica) aggregate which imparts non-slip texture and wear resistance.	Generic

**MANUFACTURING LOCATION:**  
 1. Cleveland, OH

**CGI Windows and Doors, Inc.**  
**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**B. TESTS (CONTINUED)**  
 5. Test reports on: 1) Air Infiltration Test, per FBC, TAS 202-94  
 2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94  
 3) Water Resistance Test, per FBC, TAS 202-94  
 4) Forced Entry Test, per FBC 2411.3.2.1, and TAS 202-94  
 5) Large Missile Impact Test per FBC, TAS 201-94  
 6) Cyclic Wind Pressure Loading per FBC, TAS 203-94  
 7) Large Missile Impact Test per FBC, TAS 201-94

along with marked-up drawings and installation diagram of series 238 aluminum casement, project-out and fixed windows, prepared by Hurricane Test Laboratory, Inc., Test Reports No. **HTL-0080-0301-07** and **HTL-0080-0905-07**, dated from 10/10/06 to 08/28/07, all signed and sealed by Vinu J. Abraham, P.E. (Submitted under NOA No. 08-1114.06)

6. Test reports on: 1) Air Infiltration Test, per SIBC, PA 201-94  
 2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94  
 3) Water Resistance Test, per FBC, TAS 202-94  
 4) Large Missile Impact Test per FBC, TAS 201-94  
 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94  
 along with marked-up drawings and installation diagram of a series 238 aluminum fixed window, prepared by Hurricane Test Laboratory, Inc., Test Reports No. **HTL-0080-0203-96**, **HTL-0080-1107-98**, **HTL-0080-1127-98**, **HTL-0080-0606-99**, **HTL-0080-1020-99** and **HTL-0080-0203-99**, dated 03/06/96, 09/08/96, 11/10/98, 12/23/98 and 02/05-15/99, 06/07/99 and 10/28/99, all signed and sealed by Timothy S. Marshall, P.E. (Submitted under NOA No. 01-0918.01)  
 Test reports on: 1) Large Missile Impact Test per SIBC, PA 201-94,  
 2) Cyclic Wind Pressure Loading per FBC, TAS 203-94  
 along with marked-up drawings and installation diagram of aluminum casement, project-out and fixed windows, prepared by American Test Lab of South Florida, Inc., Test Report No. **ATL-1209-01-94**, dated 02/20/95, signed and sealed by Gerard B. Sullivan, P.E. (Submitted under NOA No. 01-0918.01)

**C. CALCULATIONS**  
 1. Anchor verification calculations and structural analysis, complying with FBC 5<sup>th</sup> Edition (2014), dated 08/05/14, prepared by Al-Farooq Corporation, signed and sealed by Javad Ahmad, P.E. (Submitted under NOA No. 14-0903.06)  
 2. Glazing complies with ASTM E1300-09

**D. QUALITY ASSURANCE**  
 1. Miami-Dade Department of Regulatory and Economic Resources (RER).

*Manuel Perez*  
 Manuel Perez, P.E.  
 Product Control Examiner  
 NOA No. 17-0926.18  
 Expiration Date: October 26, 2023  
 Approval Date: February 15, 2018

**APPROVED APPLICATIONS:**  
**Deck Type 1:** Concrete Decks, Terraces, Balconies, Roof Plaza Decks  
**Deck Description:** Min. 2500 psi, structural concrete  
**System Types F(1):** Vulkem® 350NF/351

**Substrate Preparation:** All surfaces must be dry and clean, free of depressions, spalled areas, honeycombs, or voids. Clean and free of any non-compatible curing compounds, release agents and other surface contaminants. Substrate shall be smooth with a hair broom finish. Preferably water cured.

**Primer:** Primer not required. Refer to manufacturer's recommendation or code requirements.

**Base Coat:** Apply 40 wet mils of Vulkem® 350NF-R or 350NF-SL to the entire area to be coated, including all detail coats, but excluding expansion joints. Use a V-notched squeegee, followed by back rolling to evenly distribute coating and eliminate pinholes. Base coat shall be allowed to cure in accordance with manufacturer's instructions to a firm but tacky rubber. For control joints or cracks, refer to the manufacturer's instructions. **Do Not Apply 350NF-SL to Vertical Surfaces.**

**Top Coat:** Apply one or more coats of Vulkem® 351 with a solvent resistant roller sleeve at a rate of 100 sq. ft./gal to a minimum thickness of 15 wet mils. Broadcast 20/30 mesh size aggregate into wet coating at a rate of 12 - 18 pounds per 100 square feet and backroll into membrane.

**Integrity Test:** Required, and shall be performed in accordance with ASTM D 5957 by an approved lab. Water may be maintained for a period longer than 24 hours if required.

**Inspection:** A representative of the membrane manufacturer, or Tremco approved inspection consultant or approved Tremco Distributor Technical Representative shall inspect the waterproofing assembly and notify the contractor of any defects. All defects shall be corrected.

**Surfacing:** N/A  
**Maximum Design Pressure:** -850 psf

**Deck Type 1:** Concrete Decks, Terraces, Balconies, Roof Plaza Decks  
**Deck Description:** Min. 2500 psi, structural concrete  
**System Types F(2):** Vulkem® 350NF/951NF

**Substrate Preparation:** All surfaces must be dry and clean, free of depressions, spalled areas, honeycombs, or voids. Clean and free of any non-compatible curing compounds, release agents and other surface contaminants. Substrate shall be smooth with a hair broom finish. Preferably water cured.

**Primer:** Primer not required. Refer to manufacturer's recommendation or code requirements.

**Base Coat:** Apply 40 wet mils of Vulkem® 350NF-R or 350NF-SL to the entire area to be coated, including all detail coats, but excluding expansion joints. Use a V-notched squeegee, followed by back rolling to evenly distribute coating and eliminate pinholes. Base coat shall be allowed to cure in accordance with manufacturer's instructions to a firm but tacky rubber. For control joints or cracks, refer to the manufacturer's instructions. **Do Not Apply 350NF-SL to Vertical Surfaces.**

**Top Coat:** Apply one or more coats of Vulkem® 951NF with a solvent resistant roller sleeve at a rate of 125 sq. ft./gal to a minimum thickness of 12 wet mils. Broadcast 20/30 mesh size aggregate into wet coating at a rate of 12 - 18 pounds per 100 square feet or to refusal.

**Integrity Test:** Required, and shall be performed in accordance with ASTM D 5957 by an approved lab. Water may be maintained for a period longer than 24 hours if required.

**Inspection:** A representative of the membrane manufacturer, or Tremco approved inspection consultant or approved Tremco Distributor Technical Representative shall inspect the waterproofing assembly and notify the contractor of any defects. All defects shall be corrected.

**Surfacing:** N/A  
**Maximum Design Pressure:** -440 psf

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**LA PALMA**  
**REHABILITATION AND**  
**RESTORATION**  
 112 ALHAMBRA CIRCLE,  
 CORAL GABLES, FL 33134

**PERMIT**  
**SUBMITTAL**

REVISIONS	DATE

PROJECT NUMBER  
**2019-008**  
 DATE  
 02/06/2020  
 SHEET TITLE  
 PRODUCT NOTICE OF ACCEPTANCE  
 DRAWN BY  
 L. R.  
 CHECKED BY  
 J. S. K.  
 SHEET NUMBER  
**A-504**

**Deck Type 1:** Concrete Decks, Terraces, Balconies, Roof Plaza Decks  
**Deck Description:** Min. 2500 psi, structural concrete  
**System Types F(3):** Vulkem® 350NF/346/346

**Substrate Preparation:** All surfaces must be dry and clean, free of depressions, spalled areas, honeycombs, or voids. Clean and free of any non-compatible curing compounds, release agents and other surface contaminants. Substrate shall be smooth with a hair broom finish. Preferably water cured.

**Primer:** Primer not required. Refer to manufacturer's recommendation or code requirements.

**Base Coat:** Apply 25 wet mils of Vulkem® 350NF-R or 350NF-SL to the entire area to be coated, including all detail coats, but excluding expansion joints. Use a V-notched squeegee, followed by back rolling to evenly distribute coating and eliminate pinholes. Base coat shall be allowed to cure in accordance with manufacturer's instructions to a firm but tacky rubber. For control joints or cracks, refer to the manufacturer's instructions. **Do Not Apply 350NF-SL to Vertical Surfaces.**

**Intermediate Coat:** First coat of Vulkem® 346 is applied with a heavy duty roller (1/2" to 3/4" nap) to a minimum thickness of 12 wet mils. Immediately following the application of the Vulkem® 346, broadcast 20 to 30 mesh silica sand into wet Vulkem® coating at a rate of 15-18 lbs per 100 square feet or flood to refusal. Allow the membrane to cure. Sweep away excess silica after the coating has cured. Repeat the application for a second coat of the Vulkem® 346. Allow to cure.

**Top Coat:** Apply one coat of Vulkem® 346 with a solvent resistant roller sleeve at a rate of 125 sq.ft./gal to a minimum thickness of 12 wet mils.

**Integrity Test:** Required, and shall be performed in accordance with ASTM D 5957 by an approved lab. Water may be maintained for a period longer than 24 hours if required.

**Inspection:** A representative of the membrane manufacturer, or Tremco approved inspection consultant or approved Tremco Distributor Technical Representative shall inspect the waterproofing assembly and notify the contractor of any defects. All defects shall be corrected.

**Surfacing:** N/A  
**Maximum Design Pressure:** -445 psf

**GENERAL LIMITATIONS:**

- Final classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- Required integrity flood testing report shall be provided to the Building Official for review at time of final inspection.
- A non-skid surfacing is required for all pedestrian areas, plaza decks or balconies.
- Vulkem® Systems described herein shall be installed solely by approved applicators familiar with the details and approved by Tremco, Inc., and only with approved equipment.
- Flashings shall be installed according to the manufacturers published standard details, specific details, approved by Tremco, Inc., shall be submitted to the Building Official for review.
- Tremco, Inc., Vulkem® Systems shall not be installed without consultation with Tremco, Inc., if ambient or surface temperature is below 40°F. Do not apply to wet or frozen concrete surface.
- Tremco, Inc., Vulkem® Systems shall not be installed over lightweight insulating concrete or plywood decking.
- All attachment and sizing of perimeter railers, metal profile, and/or flashing termination designs shall conform to Roofing Application Standard RAS 111 and the wind load requirements of applicable Building Code.
- The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners).
- All approved products listed herein shall be labeled and shall bear the imprint or identifiable marking of the manufacturer's name or logo and following statement: "Miami-Dade County Product Control Approved" or the Miami-Dade County Product Control Seal as shown below.
- All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9N-3 of the Florida Administrative Code.

**END OF THIS ACCEPTANCE**