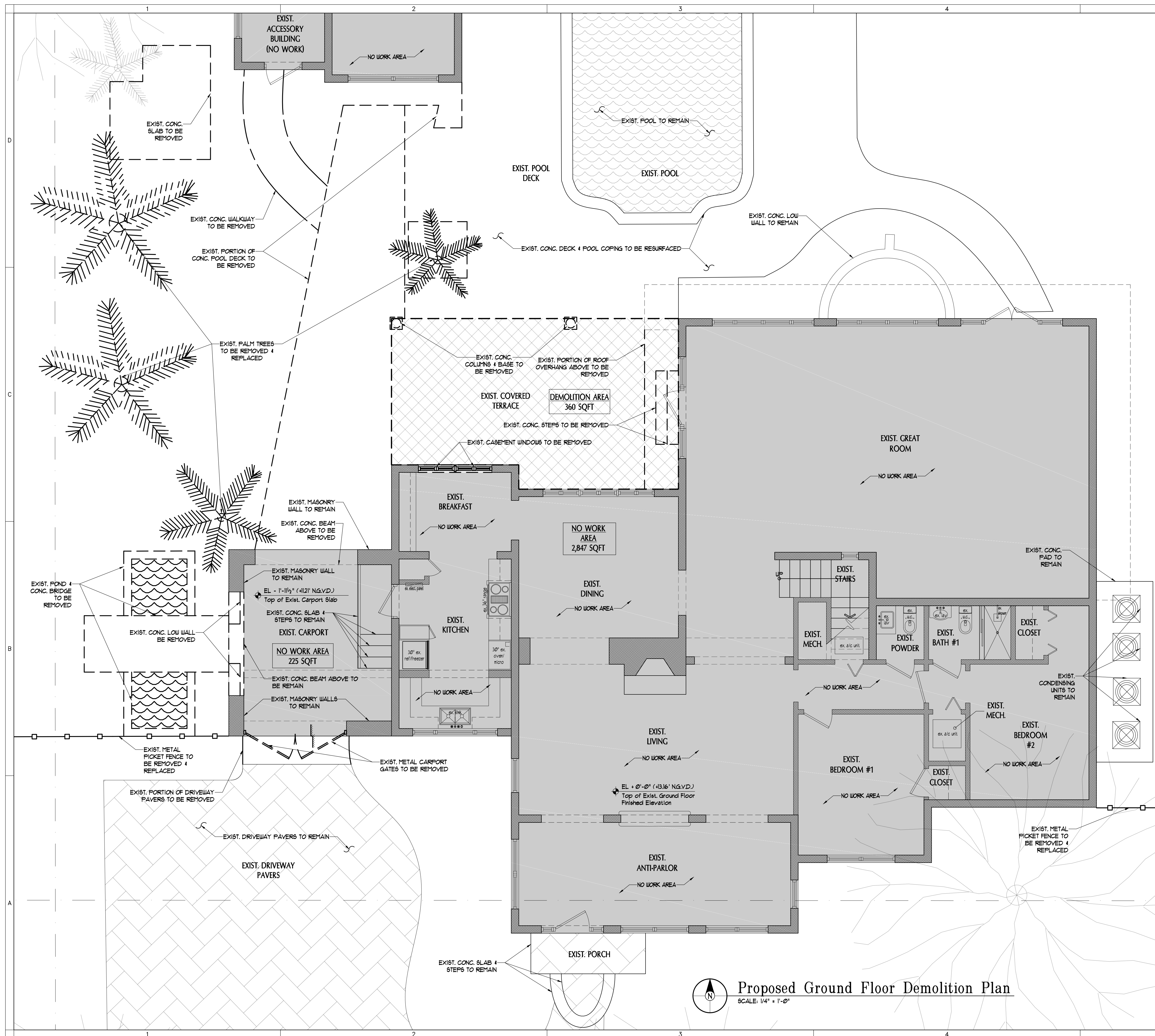


<p>GENERAL NOTES</p> <p>DIVISION 1 - GENERAL REQUIREMENTS</p> <p>1. These notes refer to general conditions of Construction and some sections may not be relevant to this project. Contractor shall keep in visible location Architects sign during construction as per local code. Architects sign shall take priority over Contractors sign. Signage shall be shared where allowed.</p> <p>2. Scope of work: The General Contractor shall provide all labor, materials, supplies, equipment and services to include but not limited to general construction, electrical, plumbing and HVAC work required for a complete and operational job as shown and / or indicated on these drawings. The Contractor will be responsible for coordination of all work provided by the subcontractors and the various trades.</p> <p>Items marked on plans as F.B.O. shall be Furnished By Owner and installed by trades. Sub contractors and trades shall be provided with full spec sheets prior to proceeding with any installation or ordering of custom goods.</p> <p>12) Allowances: Contractor shall include in the contract all allowances as listed in the Index to Specifications. When the allowance exceeds the cost, Contractor shall pay the difference to the Owner. When the cost exceeds the allowance, Owner will pay the difference to the Contractor.</p> <p>See Specifications for allowances for the following items: 1. Door Hardware. 2. Specialty Millwork.</p> <p>Items not included in Contract and installed by others: 1. Stereo / security low-voltage Smart Home Control, and digital television distribution shall be provided by others. 2. Stereo system to be by others. Contractor to coordinate scheduling for pre-amping of all low voltage & electrical tie-ins.</p> <p>13. Code Compliance: The Contractor, subcontractor and others performing work on this project shall comply with the Florida Building Code 2020 (7th Edition) Residential Edition and all applicable local codes and regulations and any other authority having jurisdiction. The General Contractor shall be responsible to secure all applicable permits, licenses, pay all necessary fees and supply the owner with releases of liens for all subcontractors in performing this contract. Contractor should allow for 20 hours to be used for code compliance issues or to be used at Architect or Owners discretion.</p> <p>14. Field Engineering: The Contractor and subcontractors shall examine all areas in which their work is to be installed, and shall report any condition which is not suitable to receive work under this contract.</p> <p>When discrepancies occur between construction conditions and the construction documents, the Contractor shall be responsible for notifying the Architect for clarification or verification prior to proceeding. Contractor should allow for 40 hours to be used for additional work to clarify discrepancies or to be used at Architect or Owners discretion.</p> <p>All finish work shall be free from all defects. The Architect reserves the right to reject any material and workmanship which is not considered to be up to the high standards of the various trades involved.</p> <p>15. Use of Drawings: The Contractor shall use figure measurements noted on the drawings only. Measurements shall not be scaled from the drawings. If additional information is required, the contractor shall notify the architect prior to proceeding. The Contractor shall not interpolate dimensions of information from the drawings.</p> <p>16. Schedules and Reports: The Contractor shall provide a schedule indicating the proposed sequence of operations for selective demolition work and construction to Architect and Owner for review prior to start of work. Include coordination for utility locating, shutoff, capping and continuation of services as required, together with notes on dust and noise control protection.</p> <p>17. Shop Drawings, Product Data and Samples: Submit shop drawings for review in the form of one (1) reproducible transparency and three (3) opaque reproductions. Opaque copies of reproduction will be retained by Architect, and the transparency returned to Contractor.</p> <p>Present in a clear and thorough manner. Title each sheet with the project name, identify each element of the drawing by reference to sheet number and detail, schedule or room number of construction documents, identifying field dimensions showing relationship to adjacent or critical features of work or products.</p> <p>General Contractor shall verify all shop drawings and verify all site conditions and dimensions. Once Contractor has approved Shop Drawings and signed them indicating approval, then they shall be submitted to Architect for review of design content only. Any existing condition found by the Contractor, which will adversely affect the work shall immediately be brought to the attention of the Architect.</p> <p>Submittals received from sources other than the Contractor's office, and which do not have Contractor's executed review and approved marking will be returned "without action".</p> <p>Do not allow submittals without appropriate final "action" markings by Architect to be used in connection with the work.</p> <p>Provide an approved set of shop drawings to be held with the Job site record set.</p> <p>Submittal of shop drawings shall include but not limited to: Trusses, steel keystone columns & decorative moldings, wood brackets, exterior & interior hardware, mechanical, electrical and pool equipment prior to fabrication or ordering.</p> <p>All Shop drawings to be reviewed by the Architect / Engineer. SHOP DRAWINGS REQUIRE APPROVAL BY THE VILLAGE OF KEY BISCAIYNE.</p> <p>18. Temporary Facilities: Contractor shall pay for and coordinate with the owner and applicable codes for the use of power, telephone service, working hours, routes for workmen's travel within the structure, location of dumpster or trash pick-up site and construction vehicles, etc.</p> <p>19. Product Substitutions: Changes and substitutions are permissible only with the prior written approval and authorization of the architect and owner.</p> <p>20. Project Record Documents: Provide and maintain at a convenient location within the job site a complete set of the construction drawings including all latest revisions and supplement sheets for reference and coordination during construction.</p> <p>21. Waste Disposal: Proper disposal of all waste materials shall be by the General Contractor. All individual subcontractors shall be responsible for proper disposal of waste materials due to their respective activities.</p> <p>22. Provide danger sign on interior side of garage door as per The Florida Building Code, stating: "DANGER DO NOT OPERATE ENGINES WITH DOOR CLOSED, CARBON MONOXIDE EMISSION IS LETHAL."</p>	<p>D) Remove debris, rubbish and other materials resulting from demolition operations from building site. Transport and legally dispose of materials off - site.</p> <p>E) Protect from damage existing finish work that is to remain in place and becomes exposed during demolition operations.</p> <p>F) Protect floor with suitable coverings when necessary.</p> <p>G) Provide temporary weather protection during removal between demolition and removal of existing construction on exterior surfaces and installation of new construction to ensure that no water leakage or damage occurs to structure or interior areas of existing building.</p> <p>Explosives: The use of explosives will not be permitted.</p> <p>20. Environmental Controls: If hazardous materials are encountered during demolition operations comply with applicable regulations, laws and ordinances concerning removal, handling and protection against exposure or environmental pollution. Beginning of demolition / installation will be construed as acceptance of existing substrates, surfaces, and conditions.</p> <p>22. Landscape Protection: Protect all existing shrubs, trees, flowers etc. to remain. Properly trim back areas that will be in way of approved construction travel. All plants to be removed and relocated shall be done in an orderly and timely fashion to protect such plant.</p> <p>23. Earthwork: Backfill: Bring backfill to suitable elevation above finish grade to provide for anticipated settlement and shrinkage.</p> <p>Remove all excess fill not needed for backfill. Do not fill above the finish floor height or foundation venting unless specifically noted on plans.</p> <p>24. Termitis Control: The entire soil slab to be covered by footings, slab, porches, etc. shall be treated with Fendicid or equal for protection against termites in accordance with specifications approved for FHA and VA insured homes. FBC 105.10, 105.11, 106, 123.65, FBC R301.</p> <p>24. Termitis Treatment Certificate: Provide a jobsite posting board to receive duplicate treatment certificates as each required treatment is completed. 1 copy - permit holder, 1 copy - building department. Certificate to include product used, identity of the applicator, time, & date of the treatment, site location, area treated, chemical used, percent concentration, & number of gallons used, to establish a verifiable record of protective treatments. Refer to FBC 10423.1 FBC R301.</p> <p>25. Litter and Seepage: Litter supply lines shall be protected and marked to prevent accidental breakage.</p> <p>sewer line shall be marked and protected to prevent damage due to construction equipment.</p> <p>26. Site Clearing: Contractor is responsible to remove all debris, rubbish and other materials resulting from construction in a timely fashion. Transport and legally dispose of off-site. DO NOT BURN ANY BUILDING MATERIALS ON SITE!</p>	<p>DIVISION 1 - THERMAL AND MOISTURE PROTECTION</p> <p>1) Insulation: Typical insulation shall be installed as per manufacturer's instructions as follows: R-30 Fiberglass Batt Insul. R-41 back-fall insulation on metal framing at all exterior walls. R-11 Battin and sound insulation partition walls as indicated on plans. 1) Built-up Asphalt Roofing: Roof finish to consist of coating over (2) layers hot topped #5 fiberglass and (1) layer 3/8" felt anchor sheet. The capging is to be 2" c/c with 1/2" head lap. Metal drip edge cover with built and membrane, nailed 4" c/c with 3" lap and allow for 1/2" clearance from structure.</p> <p>13. Roofing Tiles: All roofing shall have Miami-Dade Product approved roof tile by "Boral Roofing, LLC" Model "Barcelona 300 Concrete Roof Tiles" NOA# 21-042026 Exp. 04-16-2022. Provide Color Sample to Owner for approval.</p> <p>14. Flashing: Provide 26 GA Galv. flashing and drip edges at vertical wall/roof intersections and roof ends with antique paint/finish or as indicated on plans.</p> <p>15. Joint Sealers: Provide Butyl base sealant under all new exterior door thresholds and also reinous caulking at all doors, windows, and other areas as required.</p> <p>Provide weather-stripping and manufacturer specified water proofing at all exterior doors, windows and thresholds. Submit sample for Architect's / Owner approval.</p> <p>16. Slab on grade: Provide 6 mil Visqueen moisture barrier below slab on grade.</p> <p>17. Waterproofing & Damp Proofing: All water proofing and water protective sealant shall be done as per requirements specified in the ASTM standards & specifications.</p> <p>All water proofing shall be appropriate for it's conditions.</p> <p>All materials shall be installed as per manufacturers & industry standard.</p> <p>Provide Trecco Wilken 350 waterproofing on any exterior slab to receive tile finish. NOA: IT-0406.02</p> <p>General contractor shall submit specification & shop drawings indicating water proofing methods through all trade involved included, but not limited to: painting, exterior lighting, exterior window & door installation, tile installation, roofing installation penetration through structure, flat roofs and balcony.</p> <p>Membrane hydrolytic and chemical additives in concrete are typical types of water proofing and damp proofing systems. Choice of the appropriate system depends upon the prevailing hydrostatic conditions. Consult manufacturer for system preferences and uses.</p> <p>Specify installation to conform strictly to the recommendations of the manufacturer of the system selected.</p> <p>General Contractor shall be responsible that all trades involved and that have part in the waterproofing have provided appropriate systems that meet ASTM standards & specifications.</p>	<p>9.1 Fire Retardant Coatings: 9.1.1 1-hour Fire Rated wall: 2x4 wood or metal studs at 16" c/c with single top and bottom plates and SHEETROCK brand MOLD TOUGH 5/8" FIRECODE panel UL Classified UL 1465 Type "X" Gypsum wall board finish, both sides.</p> <p>9.1.2 1-hour Fire Rated Ceiling: 12" x 24" metal high strength track @ 16" o.c. with (2) layers of SHEETROCK brand MOLD TOUGH 5/8" FIRECODE panels UL Classified UL 263 Type "X" Gypsum wall board finish.</p> <p>9.8 Application: Apply patch, finish, and make paint ready all work specified herein as per the particular manufacturer's printed specifications or instructions. In areas of remodeling patch and plaster as required, finish to match existing finish.</p> <p>9.9 Painting: All areas of new construction and existing areas abutting shall be painted shall be painted with top grade paint (Benjamin Moore) or approved equal.</p> <p>Paint colors to be selected by Architect.</p> <p>Provide one prime coat and two (2) finish coats on all surfaces.</p> <p>Protect all equipment, furnishings, electrical devices, and fire alarm equipment from over-spray or drips. Never paint orange sprinkler lines or sprinkler heads!</p> <p>Contractor shall provide sample on wall as indicated on Specifications.</p> <p>9.10 Ceramic Tile, Floors & Pavers, Hard Surfaces: All installation and waterproofing of flooring, but not limited to: exterior or interior floors, countertops, walls and backslashes, shall meet the requirements of the manufacturer specifications and the industry standards specified in the Tile Council of America standards for installation of latest edition and ANSI A108/ A118/ A136.</p> <p>See Specification for the selected materials. Coordinate w/ Architect for any changes in materials prior to installation.</p> <p>Provide actual bid for all brackets, pedestals and moldings as indicated on plans.</p> <p>Provide actual bid for installation of all specified materials. Price shall include waterproofing or sealing as per manufacturer specifications. Contractor shall provide all material samples for Owner / Architect and interior designers approval.</p> <p>DIVISION B - PLUMBING</p> <p>General Contractor must be aware of all conditions of proper drainage of terraces, balconies and roof structures. Waterproof and install required sub-surfaces as indicated by manufacturer.</p> <p>9.1 Materials: All water lines shall be standard weight cast iron or copper. All water lines below grade shall be Type K Copper, above grade Type L. Gas lines shall be wrapped black iron pipe. All other lines shall be shown. All roof, water, & sanitary lines in interior spaces shall be wrapped in soundproofing.</p> <p>9.2 Fixtures and Appliances: Install all fixtures and appliances. Inspect all fixtures prior to installation and reject damaged units. All accepted units shall be protected from damage until completion of the work. Provide for all plumbing fixtures as per Specifications.</p> <p>9.3 All plumbing work shall comply with the Florida Building Code 2020 7th edition and all applicable local codes and regulations. Plumber should allow for 20 hours allowance for additional work associated with local authority and other trades or to be used at Architect or Owners discretion.</p> <p>DIVISION B - MECHANICAL</p> <p>General Contractor's HVAC subcontractor must make themselves aware of all openings between beams and trusses</p> <p>9.4 All A/C supply vents to be white painted aluminum vents.</p> <p>9.5 Provide linear vents which meet c.f.m. req. with owners approval.</p> <p>9.7 All HVAC work shall comply with the Florida Building Code 2020 7th edition and all applicable local codes and regulations. HVAC Contractor should allow for 20 hours allowance for additional work associated with local authorities and other trades or to be used at Architects or Owners discretion</p> <p>DIVISION 16 - ELECTRICAL</p> <p>9.1 All work shall be performed in accordance with the latest edition of the NEC, the Florida Building Code 2020 7th edition, and all other permitting codes and regulations established by submitting codes and regulations. Contractor shall meet the requirements of other recognized standards, such as the ASTM, IEEE, NFPA and NEMA where the requirements of such standards are more stringent than those cited above.</p> <p>9.2 All work shall be performed by a licensed Electrical Contractor in a first class name, fully operative, and to the acceptance of the Owner and the Engineer.</p> <p>9.3 All electrical materials and equipment shall be approved by UL and shall bear the UL label.</p> <p>9.4 The plans are generally diagrammatic and the Contractor shall coordinate his work with the work of other trades so that interference between conduits, piping, equipment, architectural and structural work will be avoided. Electrician should allow 20 hours allowance for additional work associated with local authority and other trades or to be used at Architect and Owners discretion.</p> <p>9.5 Submit for approval properly identified Shop Drawings and manufacturer's literature giving materials, finishes, accessories, and installation directions, where required, of the following electrical equipment: raceways and conduits, conductors, pull and junction boxes, wiring devices, safety switches, over current protective devices, panelboards, lighting fixtures and lamps. Submit samples as directed by Architect / Engineer.</p> <p>9.6 After the system is installed, the Contractor shall conduct an operative test, for approval and acceptance by the Owner. Equipment shall be guaranteed for a period of one (1) year from date of final acceptance thereof against defective materials, construction and workmanship.</p> <p>9.7 All conductors shall be soft-drawn copper. Minimum size shall be #10 for power wiring and #14 for B-A CB's. Conductor insulation shall be 600 volt, THH or THHN. All wiring shall be run in rigid conduit, or EMT.</p> <p>9.8 Grounding shall consist of copper conductors in conduit with bolted or brazed connection to cold water pipe for 100/240 volt neutral. Grounding and bonding shall comply with NEC 250. All metallic raceways shall be grounded.</p> <p>9.9 Wall switches shall be provided where indicated on the drawings and shall be Decoro switches or as indicated on specifications, 4"-0" to center from the finished floor. Wall switches shall be on strike side of door openings unless as the strike position, they shall be ganged under one plate. Cover plates shall be white plastic, unless otherwise indicated. Provide Decoro touch resistant switches or as indicated on specifications or indicated on the plans.</p> <p>9.10 Outlets shall be 18" above finished floor level unless otherwise indicated. Cover plates shall match those of wall switches as to design, color, thickness, and material. All receptacles shall have grounding contact connected to suitable ground with separate conductor.</p> <p>9.11 Install fixtures and accessories provided by Owner.</p> <p>9.12 All Bedroom outlets shall be GFI. (Ground Fault Interceptors) and all exterior outlets shall be both GFI and waterproofed.</p> <p>9.13 All Bedroom outlets shall be protected by an ARC-Fault Circuit Interrupter (AFCI).</p> <p>9.14 Mechanical equipment disconnect switches shall be provided with dual element fuses sized as noted per manufacturer's recommendation. Field verify before installation.</p> <p>9.5 Motors, transformers, and mechanical equipment shall be provided with greenfield flexible connections, watertight where exposed to moisture and weather conditions.</p> <p>9.16 Before commencing Pool and Whirlpool work, Contractor shall coordinate disconnect, fuse, wiring, conduit, grounding size and other electrical components with Pool and Whirlpool Contractor. Sizes shown are estimates furnished to determine electrical installation requirements.</p> <p>9.17 Pool and Whirlpool installation shall be done in accordance with NEC 680 and 250.</p> <p>9.18 Circuits feeding Pool and Whirlpool equipment shall be on GFI circuits. Grounding shall be a continuous #6 minimum solid copper service ground from control panel equipment ground terminal.</p> <p>9.19 Bonding shall be a continuous #6 solid copper conductor connecting motors, heaters, air blowers, lights and other components as well as all fixed metal objects and reinforcing located within 5' from Pool/Whirlpool. Terminate at bond bar in panel.</p> <p>9.20 Lighting fixtures shown shall be selected by Architect/Owner.</p> <p>9.21 Air conditioning equipment sizes shown are estimates based on similar installations furnished to determine electrical equipment requirements. Before commencing work, Contractor shall coordinate installation with A/C Contractor and, if necessary, update electrical protection, wiring, and conduit as required to meet NEC and manufacturer's recommendations.</p> <p>9.22 Provide TV & digital coaxial cable runs in 3/4" C to TV outlets as required by Cable TV installation standards.</p> <p>9.23 Telephone and Cable TV services shall be 1" C or 18" underground from point of service at property line to service entrance junction box located in utility room with Owner's approval. Coordinate installation with company representatives to assure compliance with established standards.</p> <p>9.24 All general notes indicated on electrical plans shall take precedence of above notation installation standards.</p>	<p>Project Scope:</p> <p>NEW ONE STORY GARAGE/LAUNDRY, NEW ONE STORY BBQ GAZEBO, NEW WALKWAYS, & NEW FLAT ROOF ADDITION OVER REMODELED TERRACE TO EXIST. TWO STORY SINGLE FAMILY RESIDENCE</p> <p>List of Drawings</p> <table border="1"> <tr><td>A0.00</td><td>Cover Sheet</td></tr> <tr><td>A0.01</td><td>General Notes & List of Drawings</td></tr> <tr><td>A0.02</td><td>Typ. Blocking Details & Spec Sheets</td></tr> <tr><td>A1.01</td><td>Proposed Demolition Floor Plan</td></tr> <tr><td>A2.00.0</td><td>Proposed Site Plan & Zoning Data</td></tr> <tr><td>A2.00.1</td><td>Zoning Diagrams</td></tr> <tr><td>A2.00.2</td><td>Zoning Diagrams</td></tr> <tr><td>A2.01</td><td>Proposed Ground Floor Plan</td></tr> <tr><td>A2.02</td><td>Proposed Second Floor Plan</td></tr> <tr><td>A4.01</td><td>Proposed & Existing Rear Elevations</td></tr> <tr><td>A4.02</td><td>Proposed & Existing Front (Alhambra Cir.) 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Litter and Seepage: Litter supply lines shall be protected and marked to prevent accidental breakage.</p> <p>sewer line shall be marked and protected to prevent damage due to construction equipment.</p> <p>26. Site Clearing: Contractor is responsible to remove all debris, rubbish and other materials resulting from construction in a timely fashion. Transport and legally dispose of off-site. DO NOT BURN ANY BUILDING MATERIALS ON SITE!</p> <p>DIVISION 3 - CONCRETE</p> <p>Note: Structural Specifications supersede the General Notes.</p> <p>30. All work shall be in accordance to the Florida Building Code, (High Velocity Hurricane Zones) 2020 (7th Edition)</p> <p>31. Compressive strength of concrete at 28 days shall be 5,000 PSI.</p> <p>32. Reinforcing steel shall be in accordance with ASTM specification A-65, Grade 60.</p> <p>Reinforcing steel shall be bent, lapped and spliced in accordance with A.C.I. standard details and specifications. Minimum Lap = 10".</p> <p>33. Concrete coverage unless otherwise noted or shown: A. Footings 3" for Bottom and Sides B. Beams 1 1/2" to Strips or Ties C. Columns 1 1/2" to ties D. Slabs (Ground Floor) 2" for Bottom and Top E. Slabs (Other) 1 1/2" for Bottom and Top</p> <p>34. All concrete beams shall have no horizontal joints. Any stop in concrete work shall be made at center or span with bulkhead.</p> <p>All concrete beams marked TB, shall be placed using walls as bottom forms and shall have continuous top and bottom reinforcing, splices, where necessary, shall be made in middle 1/3 of span for top bars, and end 1/3 of span for bottom bars. Provide 4" diameter lap minimum at all splices. All exterior corners shall have 4'-0" corner bars, one top and one bottom, bent at mid-point.</p> <p>35. Dowel all columns to foundation with bars of same size and number as in column. Dowel splice 36" diameter minimum. Columns shall be poured to full height and allowed to attain initial set prior to placing beams above. Minimum time interval 12 hours.</p> <p>36. The soil conditions at this site are adequate to support the design noted in Soil Report dated June 24, 2022 submitted by Dywidag Engineering Corp. Should other conditions or materials be encountered, the Engineer / Architect shall be notified before proceeding with the work.</p> <p>37. Fill for floor slabs shall be placed on 12" layers and rolled and / or compacted to minimum field density of 95% as measured by the "Modified Proctor Test". All fill shall be clean sand or sand/rock mixture free of organic or other deleterious materials.</p> <p>38. Provide 8" x 8" precast concrete lintels over door and window openings in masonry walls. Lintels shall be 8" minimum each side of opening. Reinforce lintels as follows: A. Spans to 4'-0" 2 #3 bottom bars B. Spans over 4'-0" 2 #4 bottom bars C. Spans to 11'-0" 2 #4 bottom bars D. Spans over 11'-0" As detailed on Plans.</p> <p>DIVISION 6 - WOOD AND PLASTICS</p> <p>6.1 Rough Carpentry: 6.1.1 Lumber: Lumber used structurally shall be identified by the grade mark of an approved lumber grading agency. Structural wood to be air dried, well seasoned and grade marked as kiln and have a maximum moisture content of 19% and shall be Southern Pine No. 2 grade or better with the following minimum properties: Allowable Flexural Stress - 1200 psi Allowable Shear Stress - 90 psi Modulus of Elasticity - 1160000 psi</p> <p>6.2 Framing: Framing shall be done in a workman like manner by skilled labor. Before framing shall be installed, contractor shall check out walls and walk through with Architect and owner. Framing shall be square, level and plumb unless otherwise noted on plans. A. All nailing shall conform to the Building Code nailing schedule. B. Provide double studs at each side of door openings. C. Cutting of wood structural members shall be done in accordance to the Florida Building Code.</p> <p>6.3 Roof Framing: All rafters, trusses and framing members shall be strapped with 1" x 10" galvanized metal strap to wrap around top plate or be embedded in tie beam as per Structural Engineer's specifications. Manufacturer to provide Shop Drawings to Architect and Structural Engineer for design review ONLY. Straps are to bear manufacturer print on strap. Builder to provide 2" x blocking @ areas w/ exposed rafter ends between truss top chord @ tie beam. Typical outlooker to be Douglas Fir Larch Select Structural Grade with the following minimum properties - provide sample for approval: Allowable Flexural Stress - 1500 psi Allowable Shear Stress - 95 psi Modulus of Elasticity - 1900000 psi</p> <p>6.4 Roof Sheathing: Shall be a minimum of 5/8" exterior grade CDX structural 1 unless otherwise specified, nailed to trusses or rafters with 8d ring shank nails or 16d common at 4" c/c at panel edges and 6" c/c at interior supports.</p> <p>6.5 Interior Partitions: Interior metal partitions shall be 20 Ga. # 16" o.c. 1/8" x 3 1/2" metal studs (unless otherwise specified on plans). Single wall plate and a single top plate (nonbearing) and double top plate (bearing).</p> <p>All bathrooms & kitchen to have 1/2" G.A. metal studs at 12" o.c. or as otherwise indicated on plans.</p> <p>6.6 Furring of masonry walls: To be with 1 x 2" PT wood furring at 16" o.c.</p> <p>Pressure treat all lumber in contact with masonry or concrete, as per "American Wood Preserves Bureau". All other wood in contact with masonry or concrete must be wrapped with building paper.</p> <p>All rough hardware for exterior use shall be galvanized.</p> <p>6.7 Exterior Trim: Exterior trim boards to be as shown on Drawings.</p> <p>6.8 Ceiling furring strips shall be 1" x 3" FT wood # 16" O.C. or metal high-hat.</p> <p>6.9 Provide all blocking for ceiling mounted electrical fixtures, wall mounted cabinetry, plumbing fixtures, etc.</p> <p>6.2 Finish Carpentry: Install millwork square and accurately with tight joints and true surfaces well sanded and free from defects. At length joints, join at 45° angle.</p> <p>See Specifications for all cabinetry specifications.</p>	<p>DIVISION 8 - DOORS AND WINDOWS</p> <p>8.1 Security: 8.1.1 Exterior doors and windows to comply with Chapter 36 (Burglary and Intrusion) of Miami-Dade County Code and the components of the Florida Building Code with Miami-Dade County Product approvals to include Impact Resistance.</p> <p>8.2 All locks on exterior doors shall be capable of resisting a force of 300#, applied in any movable direction and in accordance with resistance standards set forth in the Florida Building Code.</p> <p>8.3 All single exterior swing doors shall have a lock to be key operated from the exterior with a minimum of 6000# possible key changes or locking auxiliary single dead bolt with hardened both inserts.</p> <p>8.4 The active leaf of pairs of exterior swing doors shall have same locks as required for single exterior swing doors. The inactive leaf shall have multiple points of locks with 5/8" min. throw bolts with inserts.</p> <p>8.5 Jamb of all exterior offset type swing doors shall be rabbeted or of similar fabrication to prevent defeating the purpose of the strike and the integrity of the locks and latches.</p> <p>8.6 Hinges on exterior out swing doors shall have non-removable pins and non-exposed screws.</p> <p>8.7 Glass and exterior doors shall comply with the American National Standards Institute's standard Z97.1</p> <p>8.7.1 Glass in bathroom areas shall be Cat. II Safety Glass.</p> <p>8.8 Vision Panel exterior doors other than glazing with 40% of the inside locking activating device of loose and swing doors shall comply with the American National Standard Institute's standard Z97.1</p> <p>8.9 Windows shall be installed and constructed so that no panel can be lifted from the tracks when in the locked position and so as to comply with the architectural aluminum mfgs association standards for forced entry resistance, ANSA 305.3.</p> <p>Exterior windows shall be locked with device capable of withstanding a force of 150# applied in an operative direction.</p> <p>8.9.1 Exterior windows used as a means of escape shall comply with FBC 2020 (7th Edition) Section 1009.4 and 1009.5</p> <p>8.9.2 Front main entrance doors shall be provided with a door scope and vision panels.</p> <p>8.2 Doors & Windows: All windows shall be faux wood finish aluminum frame & laminated impact glass Miami-Dade product approved impact resistant, U Factor 1.08 & SHGC 0.30. Color to be selected by Architect & Owner. Provide door manufacturer approvals which meet wind pressures on exterior elevations as follows: - Casement Windows- ESW casement windows "Series 5000" / NOA# 20-095.02, Exp. 03-21-2026 or approved equal. - Fixed/Casement Windows- ESW fixed/casement window "Series 5100" / NOA# 20-116.01, Exp. 03-21-2026 or approved equal. - Window Unit- ESW Window Unit "Series 8000" / NOA# 21-091.02, Exp. 04-03-2023 or approved equal. Contact: "Paul Fisher" Cell (305) 310-8848, from "Clear Choice Windows & Doors Inc. Window permit is required prior to ordering windows.</p> <p>All exterior doors shall be faux wood finish aluminum frame & laminated impact glass Miami-Dade or Florida product approved impact resistant, U Factor 1.08 & SHGC 0.30. Color to be selected by Architect & Owner. Provide door manufacturer approvals which meet wind pressures on exterior elevations as follows: - French Doors- ESW casement french door "Series 5100" / NOA# 16-061.03, Exp. 01-04-2023 or approved equal - Sliding Doors- ESW sliding doors "Series 3020" / FL Approval# 2261 or approved equal. Contact: "Paul Fisher" Cell (305) 310-8848, from "Clear Choice Windows & Doors Inc. Door permit is required prior to ordering doors. "Boston Millwright USA, Inc." Series "Ballistics" Outswing Millwright Door NOA# 19-068.06 Exp. 08-08-24 or approved equal. Contact: "Robert De Leon" Cell (305) 114-3999 Door permit is required prior to ordering doors.</p> <p>8.2.1 Interior doors to be solid stain grade wood, unless otherwise noted on Door Schedule.</p> <p>8.2.2 Interior closet doors to be solid stain grade 1 1/2" wood doors if applicable.</p> <p>8.2.3 All door frames to be stain grade solid wood without finger joints.</p> <p>8.3 Manufacturing: It is mandatory for door and window suppliers to submit Shop Drawings for Architect review prior to their fabrication. Verify finished openings with door / window manufacturer prior to framing out or ordering.</p> <p>8.4 Installation: Follow manufacturer's installation instructions. All windows and doors shall be level and operate with ease.</p> <p>8.5 Finish Hardware: See window and door hardware schedules or confirm with owner.</p> <p>DIVISION 9 - FINISHES</p> <p>9.1 Lath and Stucco: Provide 5/8" thick stucco finish on CBS and concrete walls and / or over paper backed metal lath, see plans. Apply stucco with 3 coat finish. Finish to be smooth.</p> <p>9.2 Hangers and Furring: Provide necessary furring nail cover, hangers, tie wire, corner ties, control joints, corner beads etc.</p> <p>9.3 Cement Board: Provide 1/2" thick DUROCK brand cement board @ 12" o.c. with 5/8" felt paper backing at all areas to receive tile/ stone finishes and to include areas surrounding tub, shower and vanity.</p> <p>9.4 Moisture Resistant Board: Provide green board in bathrooms, laundry area or damp locations to be finished with paint.</p> <p>9.5 Gypsum Wallboard: Provide 5/8" thick SHEETROCK brand MOLD TOUGH gypsum wallboard w/ Level 6 finish on 2 x 4 wood or metal studs. New structural soffit areas may use 1 1/8" metal studs and 1/2" thick SHEETROCK brand MOLD TOUGH gyp board. Tape, patch, and sand smooth all surfaces.</p> <p>9.6 Versac Plaster: Where called for on plans, use 1/2" blueboard with one coat finish, owner or architect to approve finished texture.</p>	<p>9.1 Fire Retardant Coatings: 9.1.1 1-hour Fire Rated wall: 2x4 wood or metal studs at 16" c/c with single top and bottom plates and SHEETROCK brand MOLD TOUGH 5/8" FIRECODE panel UL Classified UL 1465 Type "X" Gypsum wall board finish, both sides.</p> <p>9.1.2 1-hour Fire Rated Ceiling: 12" x 24" metal high strength track @ 16" o.c. with (2) layers of SHEETROCK brand MOLD TOUGH 5/8" FIRECODE panels UL Classified UL 263 Type "X" Gypsum wall board finish.</p> <p>9.8 Application: Apply patch, finish, and make paint ready all work specified herein as per the particular manufacturer's printed specifications or instructions. In areas of remodeling patch and plaster as required, finish to match existing finish.</p> <p>9.9 Painting: All areas of new construction and existing areas abutting shall be painted shall be painted with top grade paint (Benjamin Moore) or approved equal.</p> <p>Paint colors to be selected by Architect.</p> <p>Provide one prime coat and two (2) finish coats on all surfaces.</p> <p>Protect all equipment, furnishings, electrical devices, and fire alarm equipment from over-spray or drips. Never paint orange sprinkler lines or sprinkler heads!</p> <p>Contractor shall provide sample on wall as indicated on Specifications.</p> <p>9.10 Ceramic Tile, Floors & Pavers, Hard Surfaces: All installation and waterproofing of flooring, but not limited to: exterior or interior floors, countertops, walls and backslashes, shall meet the requirements of the manufacturer specifications and the industry standards specified in the Tile Council of America standards for installation of latest edition and ANSI A108/ A118/ A136.</p> <p>See Specification for the selected materials. Coordinate w/ Architect for any changes in materials prior to installation.</p> <p>Provide actual bid for all brackets, pedestals and moldings as indicated on plans.</p> <p>Provide actual bid for installation of all specified materials. Price shall include waterproofing or sealing as per manufacturer specifications. Contractor shall provide all material samples for Owner / Architect and interior designers approval.</p> <p>DIVISION B - PLUMBING</p> <p>General Contractor must be aware of all conditions of proper drainage of terraces, balconies and roof structures. Waterproof and install required sub-surfaces as indicated by manufacturer.</p> <p>9.1 Materials: All water lines shall be standard weight cast iron or copper. All water lines below grade shall be Type K Copper, above grade Type L. Gas lines shall be wrapped black iron pipe. All other lines shall be shown. All roof, water, & sanitary lines in interior spaces shall be wrapped in soundproofing.</p> <p>9.2 Fixtures and Appliances: Install all fixtures and appliances. Inspect all fixtures prior to installation and reject damaged units. All accepted units shall be protected from damage until completion of the work. Provide for all plumbing fixtures as per Specifications.</p> <p>9.3 All plumbing work shall comply with the Florida Building Code 2020 7th edition and all applicable local codes and regulations. Plumber should allow for 20 hours allowance for additional work associated with local authority and other trades or to be used at Architect or Owners discretion.</p> <p>DIVISION B - MECHANICAL</p> <p>General Contractor's HVAC subcontractor must make themselves aware of all openings between beams and trusses</p> <p>9.4 All A/C supply vents to be white painted aluminum vents.</p> <p>9.5 Provide linear vents which meet c.f.m. req. with owners approval.</p> <p>9.7 All HVAC work shall comply with the Florida Building Code 2020 7th edition and all applicable local codes and regulations. HVAC Contractor should allow for 20 hours allowance for additional work associated with local authorities and other trades or to be used at Architects or Owners discretion</p> <p>DIVISION 16 - ELECTRICAL</p> <p>9.1 All work shall be performed in accordance with the latest edition of the NEC, the Florida Building Code 2020 7th edition, and all other permitting codes and regulations established by submitting codes and regulations. Contractor shall meet the requirements of other recognized standards, such as the ASTM, IEEE, NFPA and NEMA where the requirements of such standards are more stringent than those cited above.</p> <p>9.2 All work shall be performed by a licensed Electrical Contractor in a first class name, fully operative, and to the acceptance of the Owner and the Engineer.</p> <p>9.3 All electrical materials and equipment shall be approved by UL and shall bear the UL label.</p> <p>9.4 The plans are generally diagrammatic and the Contractor shall coordinate his work with the work of other trades so that interference between conduits, piping, equipment, architectural and structural work will be avoided. Electrician should allow 20 hours allowance for additional work associated with local authority and other trades or to be used at Architect and Owners discretion.</p> <p>9.5 Submit for approval properly identified Shop Drawings and manufacturer's literature giving materials, finishes, accessories, and installation directions, where required, of the following electrical equipment: raceways and conduits, conductors, pull and junction boxes, wiring devices, safety switches, over current protective devices, panelboards, lighting fixtures and lamps. Submit samples as directed by Architect / Engineer.</p> <p>9.6 After the system is installed, the Contractor shall conduct an operative test, for approval and acceptance by the Owner. Equipment shall be guaranteed for a period of one (1) year from date of final acceptance thereof against defective materials, construction and workmanship.</p> <p>9.7 All conductors shall be soft-drawn copper. Minimum size shall be #10 for power wiring and #14 for B-A CB's. Conductor insulation shall be 600 volt, THH or THHN. All wiring shall be run in rigid conduit, or EMT.</p> <p>9.8 Grounding shall consist of copper conductors in conduit with bolted or brazed connection to cold water pipe for 100/240 volt neutral. Grounding and bonding shall comply with NEC 250. All metallic raceways shall be grounded.</p> <p>9.9 Wall switches shall be provided where indicated on the drawings and shall be Decoro switches or as indicated on specifications, 4"-0" to center from the finished floor. Wall switches shall be on strike side of door openings unless as the strike position, they shall be ganged under one plate. Cover plates shall be white plastic, unless otherwise indicated. Provide Decoro touch resistant switches or as indicated on specifications or indicated on the plans.</p> <p>9.10 Outlets shall be 18" above finished floor level unless otherwise indicated. Cover plates shall match those of wall switches as to design, color, thickness, and material. All receptacles shall have grounding contact connected to suitable ground with separate conductor.</p> <p>9.11 Install fixtures and accessories provided by Owner.</p> <p>9.12 All Bedroom outlets shall be GFI. (Ground Fault Interceptors) and all exterior outlets shall be both GFI and waterproofed.</p> <p>9.13 All Bedroom outlets shall be protected by an ARC-Fault Circuit Interrupter (AFCI).</p> <p>9.14 Mechanical equipment disconnect switches shall be provided with dual element fuses sized as noted per manufacturer's recommendation. Field verify before installation.</p> <p>9.5 Motors, transformers, and mechanical equipment shall be provided with greenfield flexible connections, watertight where exposed to moisture and weather conditions.</p> <p>9.16 Before commencing Pool and Whirlpool work, Contractor shall coordinate disconnect, fuse, wiring, conduit, grounding size and other electrical components with Pool and Whirlpool Contractor. Sizes shown are estimates furnished to determine electrical installation requirements.</p> <p>9.17 Pool and Whirlpool installation shall be done in accordance with NEC 680 and 250.</p> <p>9.18 Circuits feeding Pool and Whirlpool equipment shall be on GFI circuits. Grounding shall be a continuous #6 minimum solid copper service ground from control panel equipment ground terminal.</p> <p>9.19 Bonding shall be a continuous #6 solid copper conductor connecting motors, heaters, air blowers, lights and other components as well as all fixed metal objects and reinforcing located within 5' from Pool/Whirlpool. Terminate at bond bar in panel.</p> <p>9.20 Lighting fixtures shown shall be selected by Architect/Owner.</p> <p>9.21 Air conditioning equipment sizes shown are estimates based on similar installations furnished to determine electrical equipment requirements. Before commencing work, Contractor shall coordinate installation with A/C Contractor and, if necessary, update electrical protection, wiring, and conduit as required to meet NEC and manufacturer's recommendations.</p> <p>9.22 Provide TV & digital coaxial cable runs in 3/4" C to TV outlets as required by Cable TV installation standards.</p> <p>9.23 Telephone and Cable TV services shall be 1" C or 18" underground from point of service at property line to service entrance junction box located in utility room with Owner's approval. Coordinate installation with company representatives to assure compliance with established standards.</p> <p>9.24 All general notes indicated on electrical plans shall take precedence of above notation installation standards.</p>	<p>Project Scope:</p> <p>NEW ONE STORY GARAGE/LAUNDRY, NEW ONE STORY BBQ GAZEBO, NEW WALKWAYS, & NEW FLAT ROOF ADDITION OVER REMODELED TERRACE TO EXIST. TWO STORY SINGLE FAMILY RESIDENCE</p> <p>List of Drawings</p> <table border="1"> <tr><td>A0.00</td><td>Cover Sheet</td></tr> <tr><td>A0.01</td><td>General Notes & List of Drawings</td></tr> <tr><td>A0.02</td><td>Typ. Blocking Details & Spec Sheets</td></tr> <tr><td>A1.01</td><td>Proposed Demolition Floor Plan</td></tr> <tr><td>A2</td></tr></table>	A0.00	Cover Sheet	A0.01	General Notes & List of Drawings	A0.02	Typ. Blocking Details & Spec Sheets	A1.01	Proposed Demolition Floor Plan	A2																							
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Demolition Wall Legend

EXISTING INTERIOR AND EXTERIOR WALLS TO REMAIN

EXISTING WALL TO BE REMOVED: REMOVE EXISTING WALL FROM FLOOR TO CEILING, CUT AND CAP ALL ELECTRIC AND PLUMBING PRIOR TO REMOVAL - PROVIDE SHORING WHERE NECESSARY

NOTE: WHERE PARTIAL WALL TO BE REMOVED, CUT IN A CLEAN MANNER TO ACCEPT NEW WORK. PROVIDE ALL CUTS FOR NEW ELECTRIC, PLUMBING AND MECHANICAL WORK

- DEMOLITION**
- Take special precautions during demolition and construction to secure the existing structure at all times. Coordinate construction schedule with Owner and their security service (if applicable) in advance so that security can be maintained continuously.
 - Take special care in demolition not to damage any existing areas which are intended to remain. Review selective demolition work as indicated by drawings, in schedules and herein specified.
 - Partial Demolition and Removal: Items indicated to be removed with no value to Owner but of salvageable value to Contractor may be removed from structure as work progresses with Owners' approval.
 - A) Where indicated on drawings as "Salvage - Deliver to Owner" carefully remove indicated items, clean, store and turn over to Owner and obtain receipt.
 - B) Protection: Provide temporary barricades and other forms of protection as required to protect owner and general public from injury due to selective demolition work.
 - C) Provide protective measures as required to provide free and safe passage of owner and general public to and from occupied portions of building.
 - D) Erect temporary covered passageways as required by authorities having jurisdiction
 - E) Provide interior and exterior shoring, bracing, or support to prevent movement, settlement, or collapse of structure or element to be demolished and adjacent facilities or work to remain.
 - F) Remove protections at completion of work.
 - Utility Services: Maintain existing utilities indicated to remain, keep in service, and protect against damage during demolition operations.
 - A) Do not interrupt existing utilities serving occupied or used facilities. Provide temporary services during interruptions to existing utilities.
 - B) Provide services for effective air and water pollution controls as required by local authorities having jurisdiction.
 - Clean up and Repair:
 - A) Upon completion of demolition work, remove tools, equipment and demolished materials from site. Remove protections and leave interior areas broom clean.
 - B) Repair demolition performed in excess of that required. Return structures and surfaces to remain to condition existing prior to commencement of selective demolition work. Repair adjacent construction of surfaces soiled or damaged by selective demolition work.
 - C) Damages: Promptly repair damages caused to adjacent facilities by demolition work at no cost to owner.
 - D) Remove debris, rubbish and other materials resulting from demolition operations from building site. Transport and legally dispose of materials off site.
 - E) Protect from damage existing finish work that is to remain in place and becomes exposed during demolition operations.
 - F) Protect floor with suitable coverings when necessary.
 - G) Provide temporary weather protection during interval between demolition and removal of existing construction on exterior surfaces, and installation of new construction to ensure that no water leakage or damage occurs to structure or interior areas of existing building.

NOTES:

- EXPLORATORY DEMOLITION IS REQUIRED TO EXPOSE EXISTING STRUCTURAL CONDITIONS AND OBSTACLES.
- SHORE UP STRUCTURAL WALLS PRIOR TO ANY DEMOLITION.
- COORDINATE REMOVAL OF EXIST. WINDOWS/DOORS W/ INSTALLATION OF NEW DOORS/WINDOWS.
- COVER AND PROTECT ALL AREAS TO REMAIN

NOTE:

GENERAL CONTRACTOR SHALL CAREFULLY REMOVE INTERIOR FINISHES WITHIN REMODELED AREAS FOR ARCHITECTURAL/ STRUCTURAL INSPECTION PRIOR TO REMOVAL OF ANY INTERIOR OR EXTERIOR FRAMING

Area Hatch Legend

NO WORK AREA

DEMOLITION AREA

VILLAGE ARCHITECTS
OF KEY BISCAIYNE, INC.
AA. 26002086

ARCHITECTS, PLANNERS
INTERIOR DESIGNERS

99 NW 38TH STREET
MIAMI, FLORIDA 33127
Tel: 305-361-5335, Fax: 305-361-5329
E-Mail: info@villagesarchitects.com

CONSULTANTS

**Tyler Residence
Remodeling &
Addition**

1031 Alhambra Circle
Coral Gables, FL 33134

OWNERS INFO
Michael Tyler & W
Maria M. Tyler
1031 Alhambra Circle
Coral Gables, FL 33134

Mark	Date	Description	Mark	Date	Description
	08/16/22	Design Development			
	07/08/22	Schematic Design			

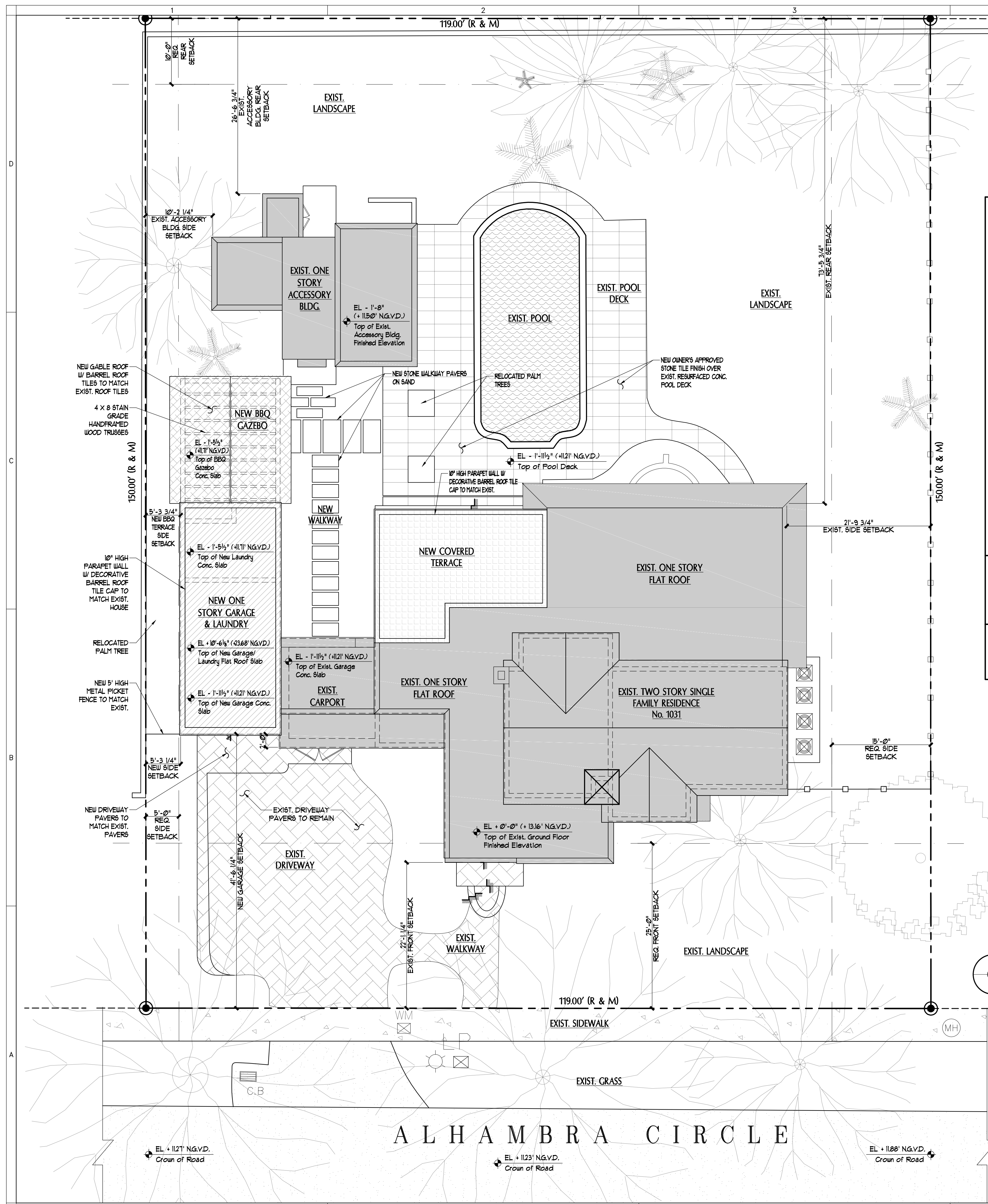
ARCHITECT
ROBERT JOHN GRABOSKI AR. 0091596

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AA. 26002086

PROJECT YR.: 2022 CAD DWG FILE: TYLER
DRAWN BY: CHECKED BY:
SHEET TITLE
Proposed Ground Floor Demolition Plan
SHEET No.
A1.01

Proposed Ground Floor Demolition Plan
SCALE: 1/4" = 1'-0"



SCOPE OF WORK
 NEW ONE STORY GARAGE TO REPLACE EXISTING CARPORT, NEW ONE STORY BBQ GAZEBO, NEW POND & WALKWAYS, & NEW FLAT ROOF ADDITION OVER REMODELED TERRACE TO EXIST. TWO STORY SINGLE FAMILY RESIDENCE

FOLIO NUMBER:
 08-4107-014-0390

LEGAL DESCRIPTION:
 EAST 19 FEET OF LOT 21 AND LOTS 19 & 20 OF BLOCK 3, OF CORAL GABLES SECTION C ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8 PAGE 26 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SCOPE OF WORK:
 NEW ONE-STORY ADDITION TO EXISTING TWO STORY CBS SINGLE FAMILY RESIDENCE, REFINISHED POOL DECK, NEW COVERED TERRACE, & NEW BBQ COVERED TERRACE

FLOOD ZONE:
 ZONE "X"
 EXISTING FINISH FLOOR ELEVATION: (EXIST) + 13.16' N.G.V.D.
 ADJACENT GRADE ELEVATION: + 11.8' N.G.V.D.
 HIGHEST CROWN OF ROAD: + 11.88' N.G.V.D.

SETBACKS:	PROPOSED	REQUIRED
FRONT ALHAMBRA CIR.)	22'-1 1/4" (EXIST.)	25'-0"
REAR	7'-5 3/4" (EXIST.)	10'-0"
SIDE SETBACKS: (20% OF 119'-)	23'-9 1/2" / 20' MAX = 10' PER SIDE/ 5' MIN.	
EAST SIDE	21'-3 3/4" (EXIST.)	15'-0"
WEST SIDE	5'-3 1/4" (NEW)	5'-0" MIN.
ACCESSORY BLDG. WEST SIDE	5'-3 1/4" (NEW)	5'-0" MIN.
HEIGHT (TWO STORY)	41'-10" (EXIST.)	25'-0" (MAX.)

ZONING CLASSIFICATION:
 SFR- SINGLE FAMILY RESIDENTIAL

EXISTING AND PROPOSED USE:
 TWO STORY SINGLE FAMILY RESIDENCE

LOT SIZE: 17,850 SQFT

SEPARATE PERMIT REQUIRED FOR:
 • ROOFING
 • DOORS & WINDOWS
 • WATERPROOFING
 • PAVING

NOTE:
 PRIOR TO ANY EXCAVATION CALL FLORIDA ONE TO MARK ALL UNDERGROUND UTILITIES
 1-800-432-4710

GROUND AREA COVERAGE:

PRINCIPLE BUILDING:
 MAX. GROUND AREA COVERAGE:
 (.35 X 17,850 = 6,248 sqft) 4,048 SQFT PROVIDED)

MAX. TOTAL GROUND AREA COVERAGE:
 (.45 X 17,850 = 8,033 sqft) 4,611 SQFT PROVIDED)

PRINCIPLE BUILDING FLOOR AREA:

EXIST. GROUND FLOOR A/C LIVING AREA	2,614 SQFT
NEW. GROUND FLOOR A/C LIVING AREA	162 SQFT
EXIST. CARPORT AREA	238 SQFT
NEW GARAGE AREA	347 SQFT
NEW BBQ GAZEBO AREA	317 SQFT
NEW COVERED TERRACE	334 SQFT
EXIST. PORCH	36 SQFT
TOTAL PRINCIPLE BUILDING	4,048 SQFT

AUXILIARY STRUCTURE FLOOR AREA:

EXIST. ACCESSORY BLDG. AREA	521 SQFT
EXIST. STORAGE AREA	42 SQFT
TOTAL PRINCIPLE BUILDING	4,048 SQFT
TOTAL GROUND AREA COVERAGE:	4,611 SQFT

MAXIMUM FLOOR AREA:

LOT SIZE: 17,850 SQFT

48% (First 5,000 of Lot) = 5,000 x .48=	2,400 SQFT
35% (Second 5,000 of Lot) = 5,000 x .35=	1,750 SQFT
30% (Remaining of Lot) = 7,850 x .30=	2,355 SQFT
MAXIMUM FLOOR AREA:	6,505 SQFT

FLOOR AREA:

EXIST. GROUND FLOOR A/C LIVING AREA	2,614 SQFT
NEW. GROUND FLOOR A/C LIVING AREA	162 SQFT
EXIST. SECOND FLOOR A/C LIVING AREA	924 SQFT
EXIST. CARPORT AREA	238 SQFT
NEW GARAGE AREA	347 SQFT
NEW COVERED TERRACE	334 SQFT
NEW BBQ GAZEBO AREA	317 SQFT
EXIST. PORCH	36 SQFT
EXIST. ACCESSORY BLDG. AREA	521 SQFT
EXIST. STORAGE AREA	42 SQFT
TOTAL MAX FLOOR AREA	5,535 SQFT

LANDSCAPE OPEN SPACE:

MIN LANDSCAPE OPEN SPACE: (40 X 17,850 = 7,140 SQFT) 10,128 SQFT PROVIDED

FRONT YARD OPEN SPACE: (20 X 7,140 = 1,428 SQFT) 2,079 SQFT PROVIDED

PROPOSED IMPERVIOUS AREA

EXIST. GROUND FLOOR A/C LIVING AREA	2,614 SQFT
NEW. GROUND FLOOR A/C LIVING AREA	162 SQFT
EXIST. CARPORT AREA	238 SQFT
NEW GARAGE AREA	347 SQFT
NEW COVERED TERRACE	334 SQFT
NEW BBQ GAZEBO AREA	317 SQFT
EXIST. PORCH	36 SQFT
EXIST. ACCESSORY BLDG. AREA	521 SQFT
EXIST. STORAGE AREA	42 SQFT
EXIST. POOL AREA	593 SQFT
EXIST. POOL DECK AREA	1,023 SQFT
EXIST. DRIVEWAY AREA	1,059 SQFT
NEW DRIVEWAY AREA	156 SQFT
EXIST. WALKWAY AREA (40 SQFT + 22 SQFT)	62 SQFT
NEW WALKWAY AREA	265 SQFT
EXIST. MECH DECK	80 SQFT
PROPOSED TOTAL IMPERVIOUS AREA:	7,849 SQFT

PROPOSED PERVIOUS AREA: 17,850 SF - 7,849 SF = 10,001 SQFT LANDSCAPE OPEN SPACE

FRONT YARD IMPERVIOUS AREAS

EXIST. GROUND FLOOR A/C LIVING AREA	74 SQFT
EXIST. PORCH	36 SQFT
EXIST. DRIVEWAY AREA	764 SQFT
NEW DRIVEWAY AREA	36 SQFT
EXIST. WALKWAY AREA	22 SQFT
TOTAL FRONT YARD IMPERVIOUS AREA:	932 SQFT

2,975 SF - 932 SF = 2,043 SQFT FRONT YARD IMPERV. AREA	2,043 SQFT FRONT YARD OPEN SPACE
--	----------------------------------

Proposed Site Plan
 SCALE: 1/8" = 1'-0"

VILLAGE ARCHITECTS
 OF KEY BISCAIYNE, INC.
 AA. 26002086

ARCHITECTS, PLANNERS
 INTERIOR DESIGNERS

99 NW 38TH STREET
 MIAMI, FLORIDA 33127
 Tel: 305-361-5335, Fax: 954-861-5329
 E-Mail: info@villagearchitects.com

CONSULTANTS

Tyler Residence Remodeling & Addition

1031 Alhambra Circle
 Coral Gables, FL 33134

OWNERS INFO
 Michael Tyler & W
 Maria M. Tyler
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 Coral Gables, FL 33134

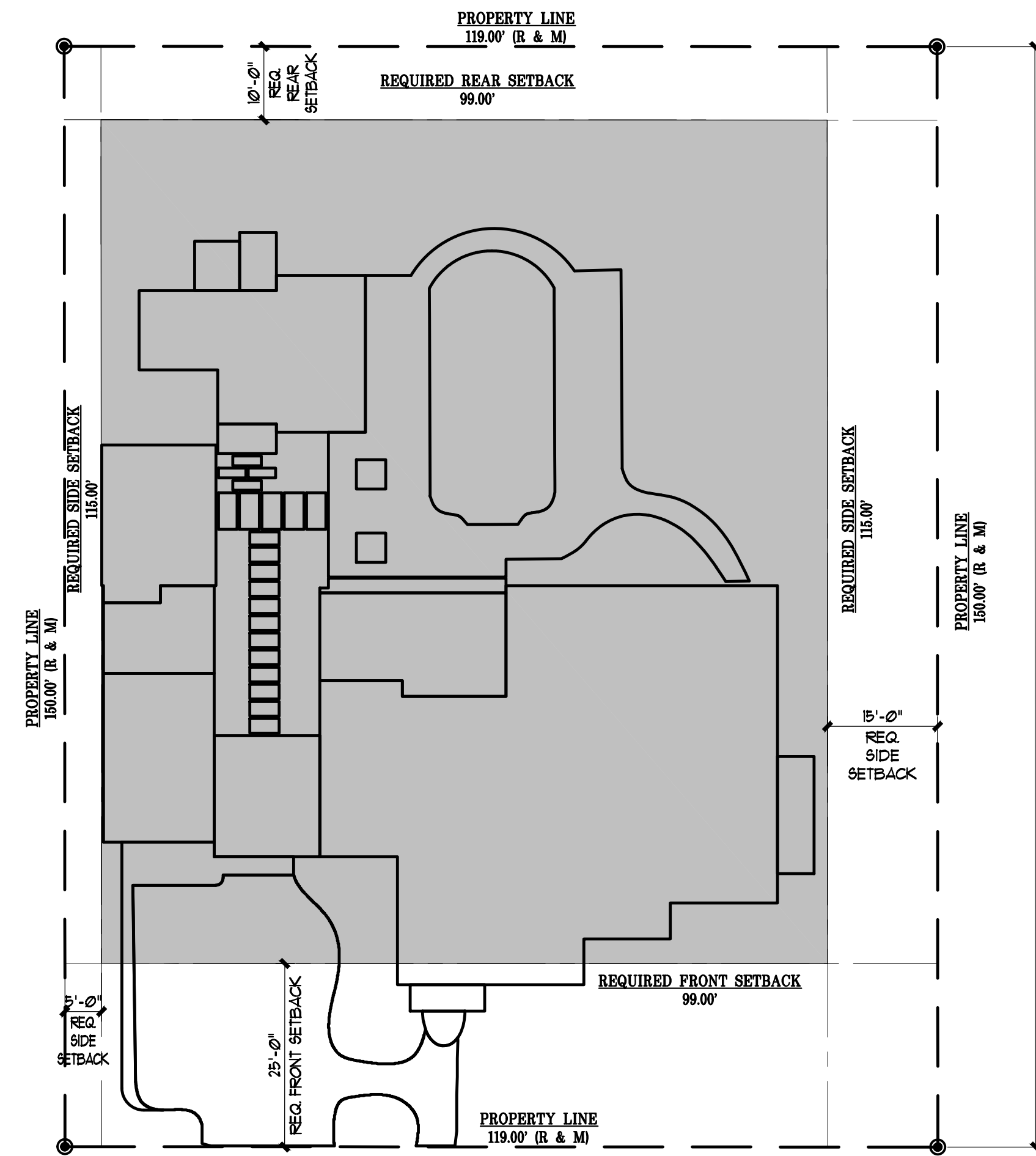
Mark/Date	Description	Mark/Date	Description
08/16/22	Design Development		
07/08/22	Schematic Design		

ARCHITECT
 ROBERT JOHN GRABOSKI AR. 0091596

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AA. 26002086

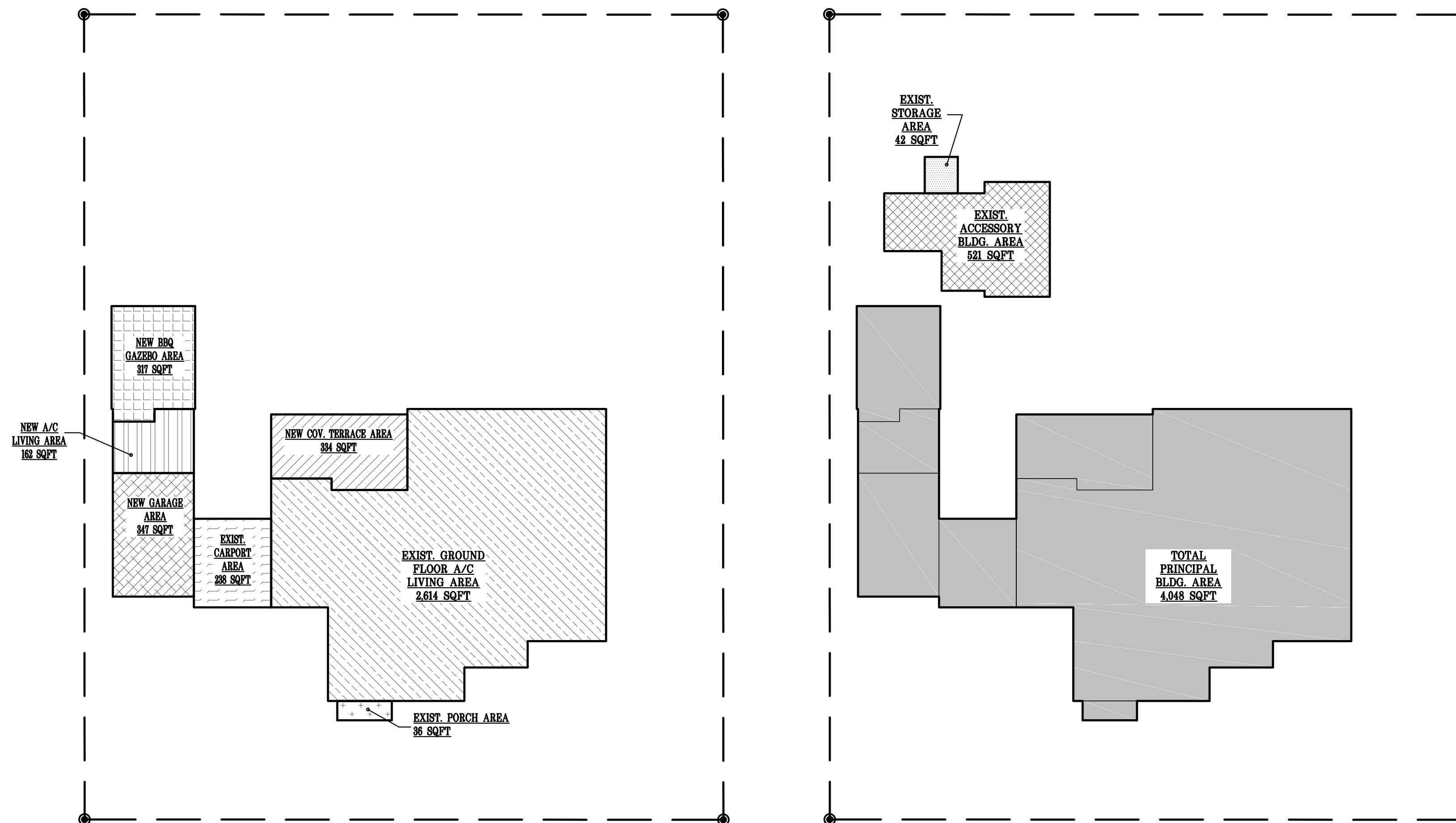
PROJECT YR.: 2022 CAD DWG FILE: TYLER
 DRAWN BY: : CHECKED BY: :
 SHEET TITLE
 Proposed Site Plan & Site Data
 SHEET No.
A2.00.0



SETBACK DIAGRAM

GROUND AREA COVERAGE	
PRINCIPLE BUILDING:	
MAX. GROUND AREA COVERAGE: (35 X 17.850 = 6.248 sqft) 4,048 SQFT PROVIDED	
MAX. TOTAL GROUND AREA COVERAGE: (45 X 17.850 = 8.033 sqft) 4,611 SQFT PROVIDED	
PRINCIPLE BUILDING FLOOR AREA:	
EXIST. GROUND FLOOR A/C LIVING AREA	2,614 SQFT
NEW GROUND FLOOR A/C LIVING AREA	182 SQFT
EXIST. CARPORT AREA	238 SQFT
NEW GARAGE AREA	347 SQFT
NEW BBQ GAZERBO AREA	317 SQFT
NEW COVERED TERRACE	334 SQFT
EXIST. PORCH	96 SQFT
TOTAL PRINCIPLE BUILDING	4,048 SQFT

AUXILIARY STRUCTURE FLOOR AREA:	
EXIST. ACCESSORY BLDG. AREA	521 SQFT
EXIST. STORAGE AREA	42 SQFT
TOTAL PRINCIPLE BUILDING	4,048 SQFT
TOTAL GROUND AREA COVERAGE:	4,611 SQFT



GROUND AREA COVERAGE

VILLAGE

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AA. 26002086

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08/16/22 Design Development

07/08/22 Schematic Design

ARCHITECT ROBERT JOHN GRABOSKI AR. 0091596

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DRAWN BY : CHECKED BY :

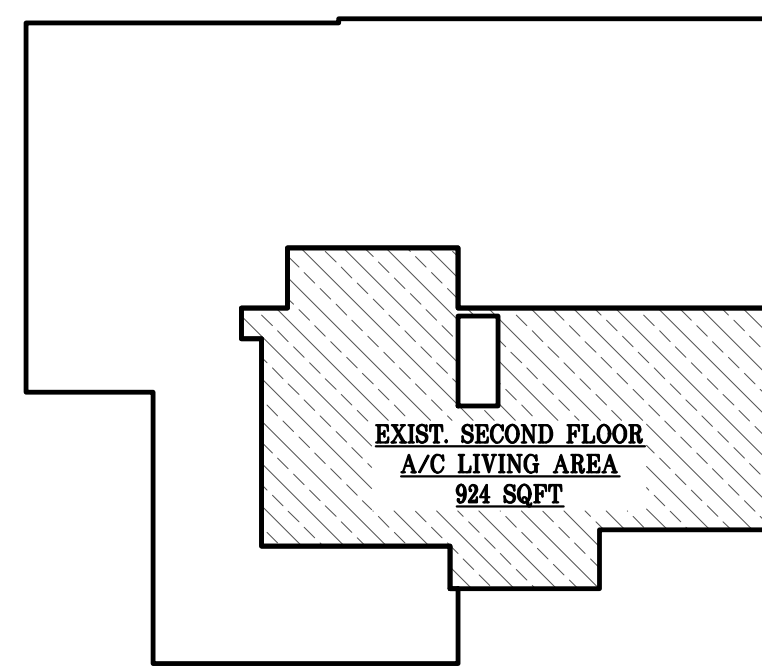
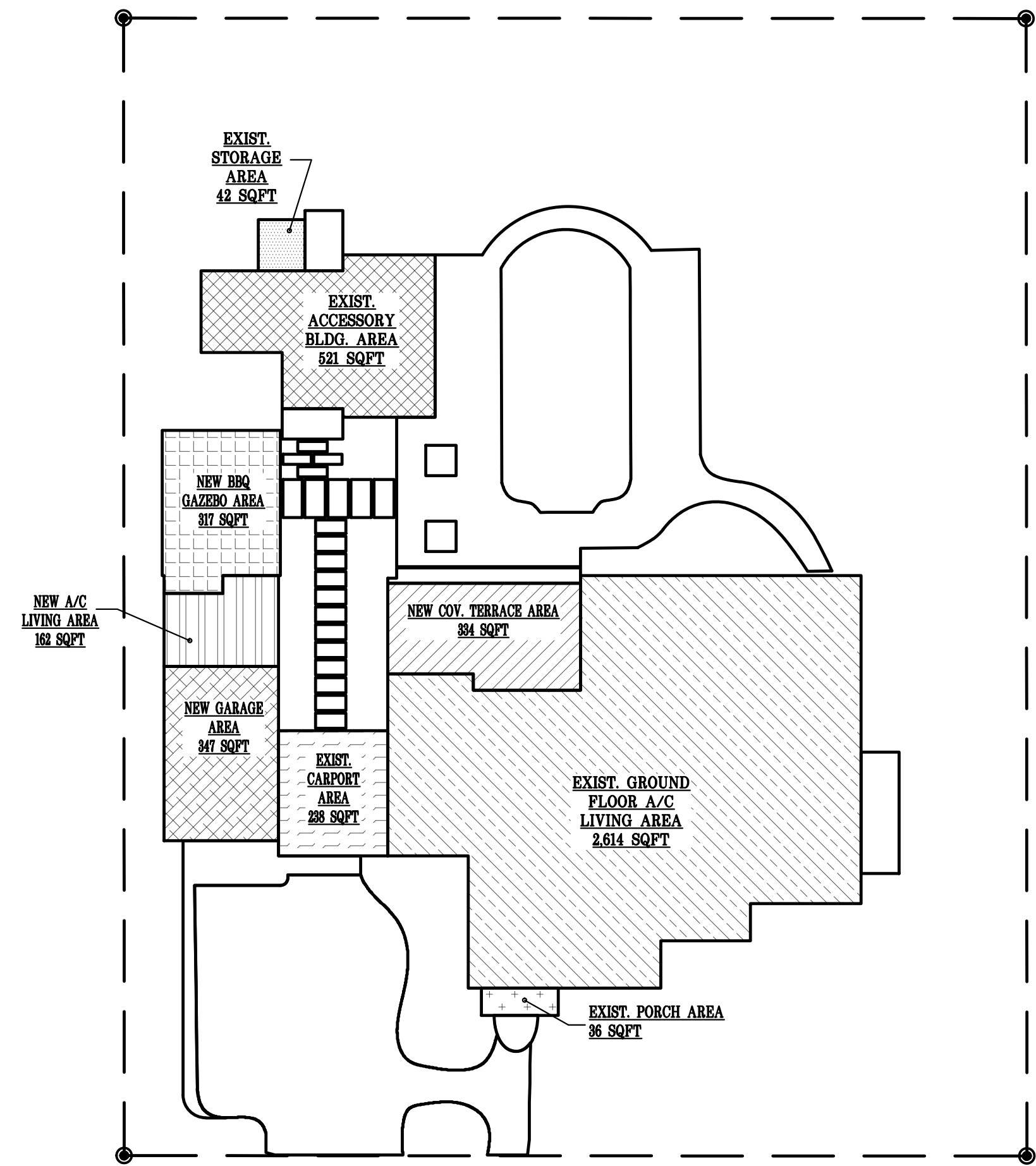
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Site Data Diagrams

SHEET No.

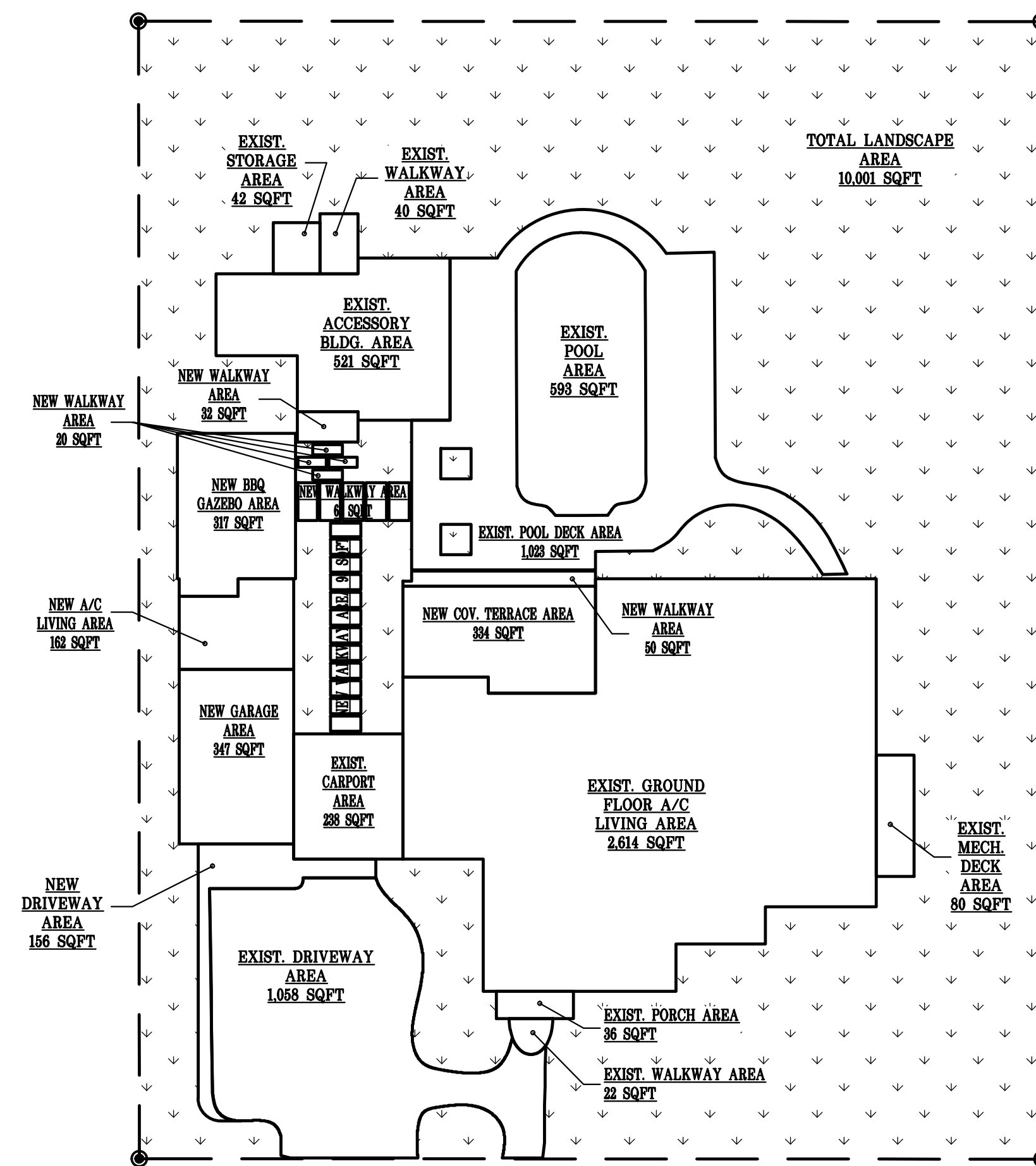
A2.00.1

MAXIMUM FLOOR AREA:	
LOT SIZE: 17,850 SQFT	
48% (First 5,000 of Lot) = 5,000 x .48 =	2,400 SQFT
35% (Second 5,000 of Lot) = 5,000 x .35 =	1,750 SQFT
30% (Remaining of Lot) = 7,850 x .30 =	2,353 SQFT
MAXIMUM FLOOR AREA:	6,503 SQFT
FLOOR AREA:	
EXIST. GROUND FLOOR A/C LIVING AREA	2,614 SQFT
NEW. GROUND FLOOR A/C LIVING AREA	162 SQFT
EXIST. SECOND FLOOR A/C LIVING AREA	924 SQFT
EXIST. CARPORT AREA	238 SQFT
NEW GARAGE AREA	347 SQFT
NEW COVERED TERRACE	334 SQFT
NEW BBQ GAZEBO AREA	317 SQFT
EXIST. PORCH	36 SQFT
EXIST. ACCESSORY BLDG. AREA	521 SQFT
EXIST. STORAGE AREA	42 SQFT
TOTAL MAX FLOOR AREA	5,635 SQFT

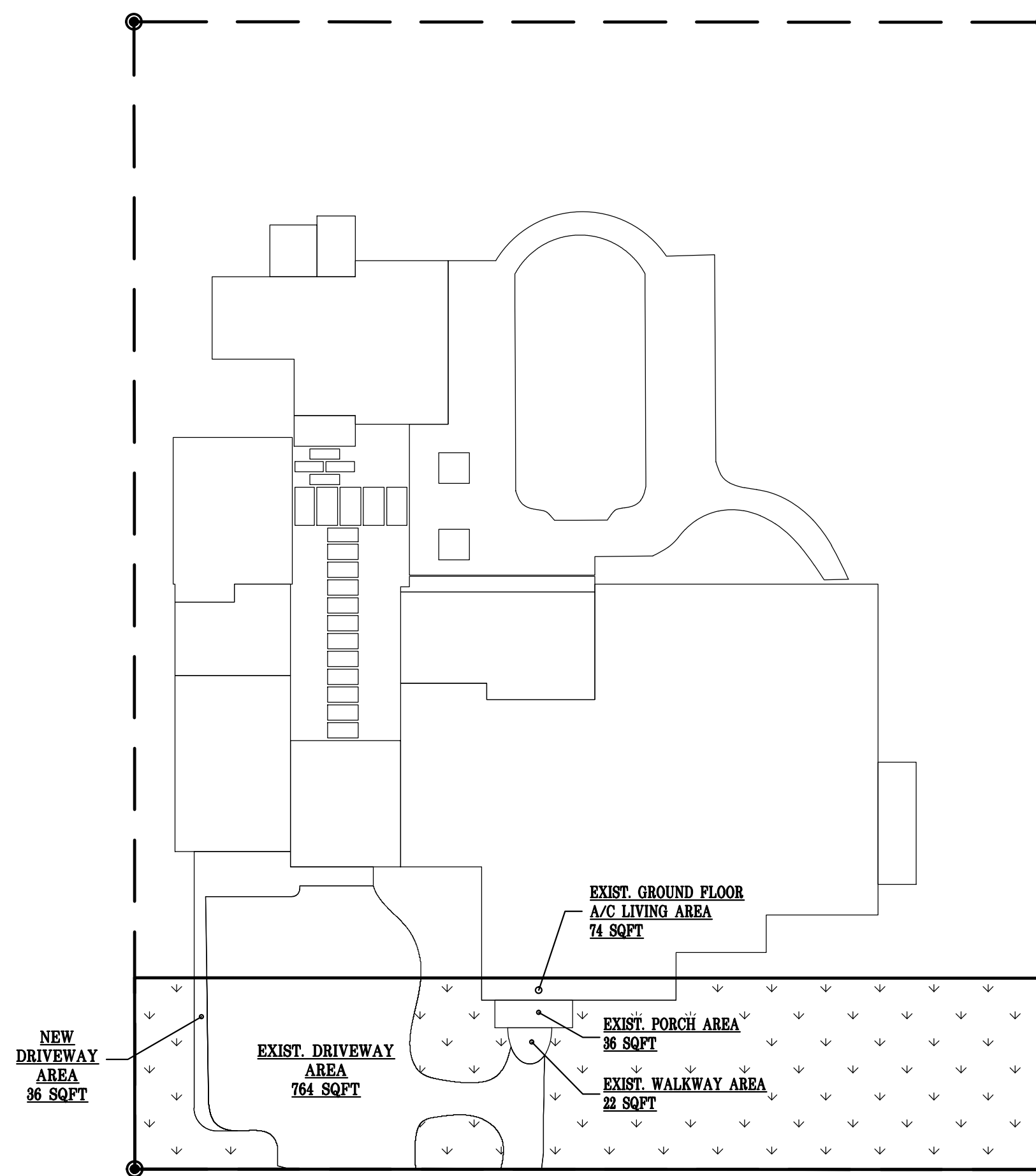


MAXIMUM FLOOR AREA

LANDSCAPE OPEN SPACE:	
MIN LANDSCAPE OPEN SPACE: 140 X 17,850 = 7,140 SQFT	10,128 SQFT PROVIDED
FRONT YARD OPEN SPACE: 130 X 7,140 = 1,448 SQFT	2,079 SQFT PROVIDED
PROPOSED IMPERVIOUS AREA:	
EXIST. GROUND FLOOR A/C LIVING AREA	2,614 SQFT
NEW. GROUND FLOOR A/C LIVING AREA	162 SQFT
EXIST. CARPORT AREA	238 SQFT
NEW GARAGE AREA	347 SQFT
NEW COVERED TERRACE	334 SQFT
NEW BBQ GAZEBO AREA	317 SQFT
EXIST. PORCH	36 SQFT
EXIST. ACCESSORY BLDG. AREA	521 SQFT
EXIST. STORAGE AREA	42 SQFT
EXIST. POOL AREA	593 SQFT
EXIST. POOL DECK AREA	1,023 SQFT
EXIST. DRIVEWAY AREA	1,059 SQFT
NEW DRIVEWAY AREA	156 SQFT
EXIST. WALKWAY AREA (40 SQFT + 22 SQFT)	62 SQFT
NEW WALKWAY AREA	265 SQFT
60 SQFT + 91 SQFT + 68 SQFT + 20 SQFT + 32 SQFT	80 SQFT
EXIST. MECH DECK	80 SQFT
PROPOSED TOTAL IMPERVIOUS AREA:	7,849 SQFT
PROPOSED PERVIOUS AREA:	
17,850 SF - 7,849 SF	10,001 SQFT
LOT SIZE	LANDSCAPE OPEN SPACE



FRONT YARD IMPERVIOUS AREAS:	
EXIST. GROUND FLOOR A/C LIVING AREA	74 SQFT
EXIST. PORCH	36 SQFT
EXIST. DRIVEWAY AREA	764 SQFT
NEW DRIVEWAY AREA	36 SQFT
EXIST. WALKWAY AREA	22 SQFT
TOTAL FRONT YARD IMPERVIOUS AREA:	932 SQFT
2,975 SF - 932 SF	2,043 SQFT
FRONT YARD IMPERV. AREA	FRONT YARD OPEN SPACE



LANDSCAPE OPEN SPACE

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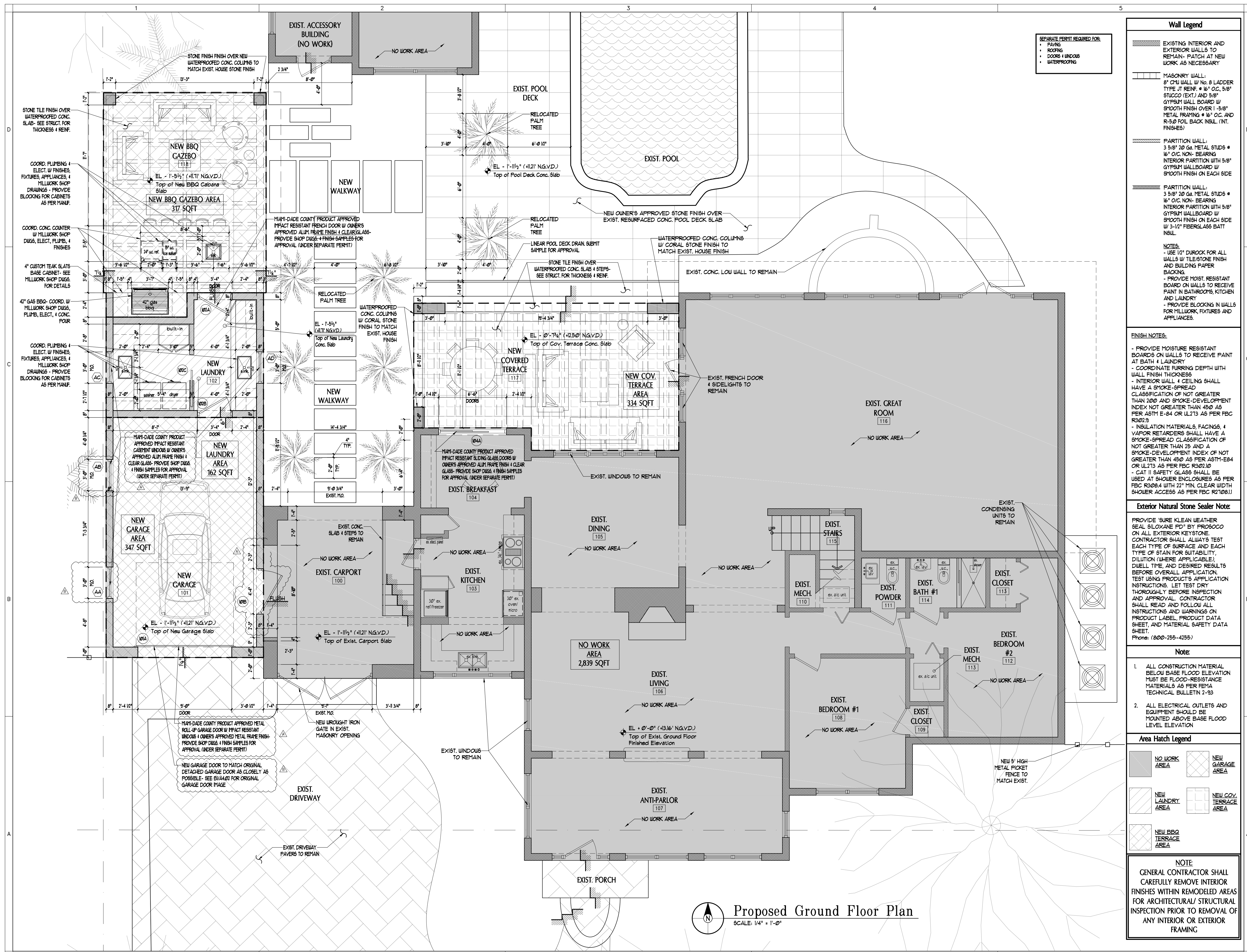
ARCHITECT
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PROJECT YR. : 2022 CAD DWG FILE : TYLER
 DRAWN BY : CHECKED BY :
 SHEET TITLE
 Site Data Diagrams

SHEET No.
A2.00.2



SEPARATE PERMIT REQUIRED FOR:
 • PAVING
 • ROOFING
 • DOORS & WINDOWS
 • WATERPROOFING

Wall Legend

EXISTING INTERIOR AND EXTERIOR WALLS TO REMAIN - PATCH AT NEW WORK AS NECESSARY

MASONRY WALL:
 8" CMU WALL W/ NO. 8 LADDER TYPE JT REIN. @ 16" O.C. 5/8" STUCCO (EXT.) AND 5/8" GYPSUM WALL BOARD W/ SMOOTH FINISH OVER 1-5/8" METAL FRAMING @ 16" O.C. AND R-5.0 FOIL BACK INSUL. (INT. FINISHES)

PARTITION WALL:
 3-5/8" 20 Ga. METAL STUDS @ 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD W/ SMOOTH FINISH ON EACH SIDE

PARTITION WALL:
 3-5/8" 20 Ga. METAL STUDS @ 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD W/ SMOOTH FINISH ON EACH SIDE W/ 3-1/2" FIBERGLASS BATT INSUL.

NOTES:
 - USE 1/2" DUROCK FOR ALL WALLS W/ TILE/STONE FINISH AND BUILDING PAPER BACKING.
 - PROVIDE MOIST RESISTANT BOARD ON WALLS TO RECEIVE PAINT IN BATHROOMS, KITCHEN AND LAUNDRY.
 - PROVIDE BLOCKING IN WALLS FOR MILLWORK, FIXTURES AND APPLIANCES.

FINISH NOTES:

- PROVIDE MOISTURE RESISTANT BOARDS ON WALLS TO RECEIVE PAINT AT BATH & LAUNDRY
- COORDINATE FURRING DEPTH WITH WALL FINISH THICKNESS
- INTERIOR WALL & CEILING SHALL HAVE A SMOKE-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL713 AS PER FBC R202.9
- INSULATION MATERIALS, FACINGS, & VAPOR RETARDERS SHALL HAVE A SMOKE-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPMENT INDEX OF NOT GREATER THAN 450 AS PER ASTM-E84 OR UL713 AS PER FBC R202.10
- CAT II SAFETY GLASS SHALL BE USED AT SHOWER ENCLOSURES AS PER FBC R308.4 WITH 22" MIN. CLEAR WIDTH SHOWER ACCESS AS PER FBC R2108.11

Exterior Natural Stone Sealer Note:

PROVIDE 'SURE KLEAN WEATHER SEAL SILOXANE PD' BY PROSOCCO ON ALL EXTERIOR KEYSTONE. CONTRACTOR SHALL ALWAYS TEST EACH TYPE OF SURFACE AND EACH TYPE OF STAIN FOR SUITABILITY, DILUTION (WHERE APPLICABLE), DUELL TIME, AND DESIRED RESULTS BEFORE OVERALL APPLICATION. TEST USING PRODUCT'S APPLICATION INSTRUCTIONS. LET TEST DRY THOROUGHLY BEFORE INSPECTION AND APPROVAL. CONTRACTOR SHALL READ AND FOLLOW ALL INSTRUCTIONS AND WARNINGS ON PRODUCT LABEL, PRODUCT DATA SHEET, AND MATERIAL SAFETY DATA SHEET.
 Phone: (800)-255-4255

Note

1. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION MUST BE FLOOD-RESISTANCE MATERIALS AS PER FEMA TECHNICAL BULLETIN 2-93
2. ALL ELECTRICAL OUTLETS AND EQUIPMENT SHOULD BE MOUNTED ABOVE BASE FLOOD LEVEL ELEVATION

Area Hatch Legend

[Hatch]	NO WORK AREA	[Hatch]	NEW GARAGE AREA
[Hatch]	NEW LAUNDRY AREA	[Hatch]	NEW COV. TERRACE AREA
[Hatch]	NEW BBQ TERRACE AREA		

NOTE:
 GENERAL CONTRACTOR SHALL CAREFULLY REMOVE INTERIOR FINISHES WITHIN REMODELED AREAS FOR ARCHITECTURAL/ STRUCTURAL INSPECTION PRIOR TO REMOVAL OF ANY INTERIOR OR EXTERIOR FRAMING

VILLAGE ARCHITECTS
 OF KEY BISCAIYNE, INC.
 A.A. 26002086

ARCHITECTS, PLANNERS
 INTERIOR DESIGNERS

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OWNERS INFO
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 Coral Gables, FL 33134

Mark	Date	Description	Mark	Date	Description
12/28/23	B.O.A.	Comments			
12/04/23	B.O.A.	Comments			
08/16/22		Design Development			
07/08/22		Schematic Design			

ARCHITECT
 ROBERT JOHN GRABOSKI AR. 0091596

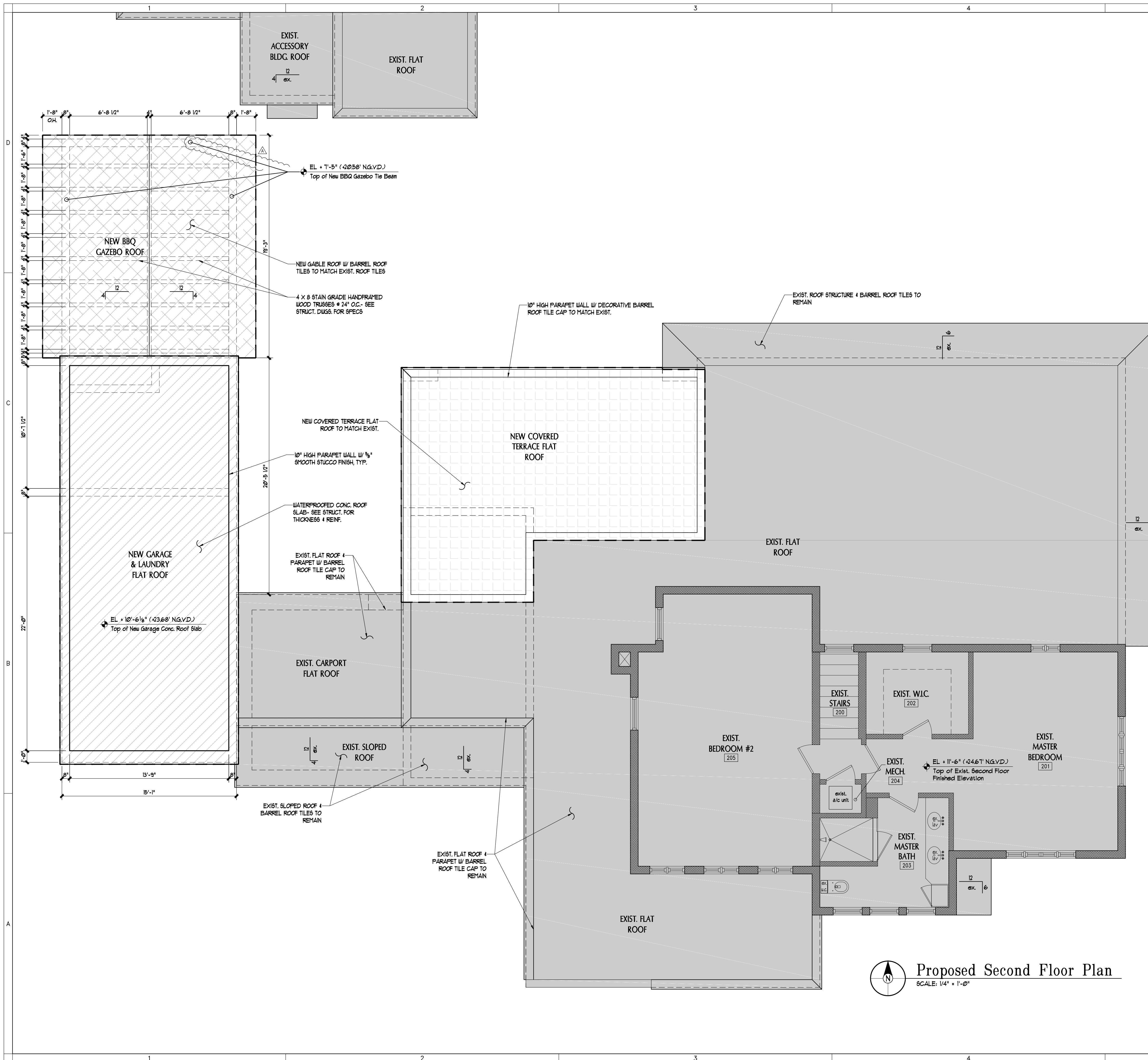
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A.A. 26002086

PROJECT YR.: 2022 CAD DWG FILE: TYLER
 DRAWN BY: CHECKED BY:
 SHEET TITLE

Proposed Ground Floor Plan
 SHEET No. **A2.01**

Proposed Ground Floor Plan
 SCALE: 1/4" = 1'-0"



Wall Legend

EXISTING INTERIOR AND EXTERIOR WALLS TO REMAIN- PATCH AT NEW WORK, AS NECESSARY

MASONRY WALL:
8" CMU WALL W/ NO. 8 LADDER TYPE JT REIN. @ 16" O.C., 5/8" STUCCO (EXT.) AND 5/8" GYPSUM WALL BOARD W/ SMOOTH FINISH OVER 1-5/8" METAL FRAMING @ 16" O.C. AND R-5.0 FOIL BACK INSUL. (INT. FINISHES)

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NOTES:
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- PROVIDE BLOCKING IN WALLS FOR MILLWORK, FIXTURES AND APPLIANCES.

FINISH NOTES:

- PROVIDE MOISTURE RESISTANT BOARDS ON WALLS TO RECEIVE PAINT AT BATH & LAUNDRY
- COORDINATE FURRING DEPTH WITH WALL FINISH THICKNESS
- INTERIOR WALL & CEILING SHALL HAVE A SMOKE-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL713 AS PER FBC R302.9
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SEPARATE PERMIT REQUIRED FOR:

- PAVING
- ROOFING
- DOORS & WINDOWS
- WATERPROOFING

Area Hatch Legend

- NO WORK AREA
- NEW GARAGE AREA ROOF
- NEW COV. TERRACE AREA ROOF
- NEW BBQ TERRACE AREA

NOTE:
GENERAL CONTRACTOR SHALL CAREFULLY REMOVE INTERIOR FINISHES WITHIN REMODELED AREAS FOR ARCHITECTURAL/ STRUCTURAL INSPECTION PRIOR TO REMOVAL OF ANY INTERIOR OR EXTERIOR FRAMING

Proposed Second Floor Plan
SCALE: 1/4" = 1'-0"

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99 NW 38TH STREET
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Tel: 305-361-3335, Fax: 305-361-5329
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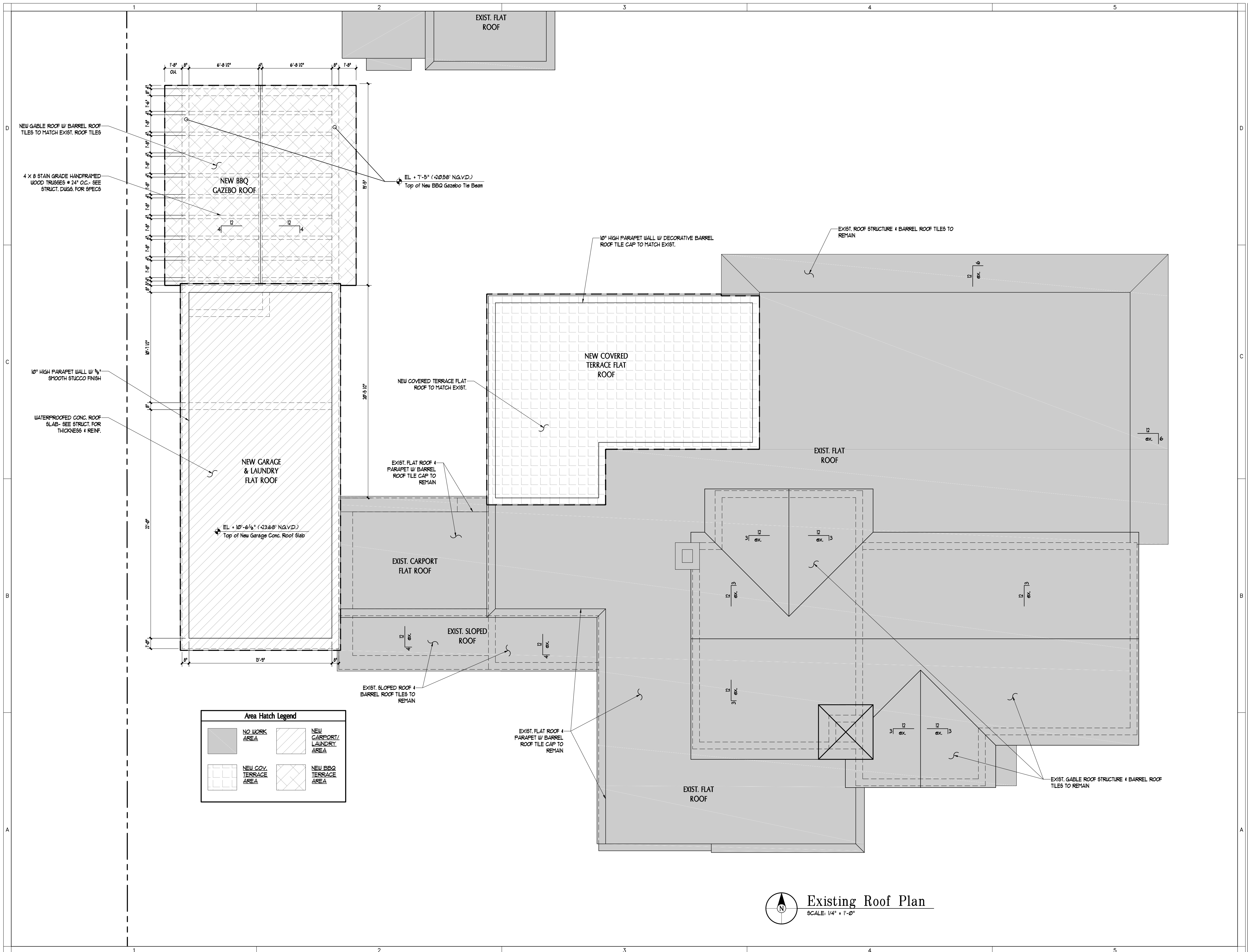
12/04/23	R.O.A. Comments
08/16/22	Design Development
07/08/22	Schematic Design

Mark	Date	Description	Mark	Date	Description

ARCHITECT
ROBERT JOHN GRABOSKI AR. 0091596

AA. 26002086

PROJECT YR.: 2022 CAD DWG FILE: TYLER
DRAWN BY: CHECKED BY:
SHEET TITLE
Proposed Second Floor Plan
SHEET No.
A2.02



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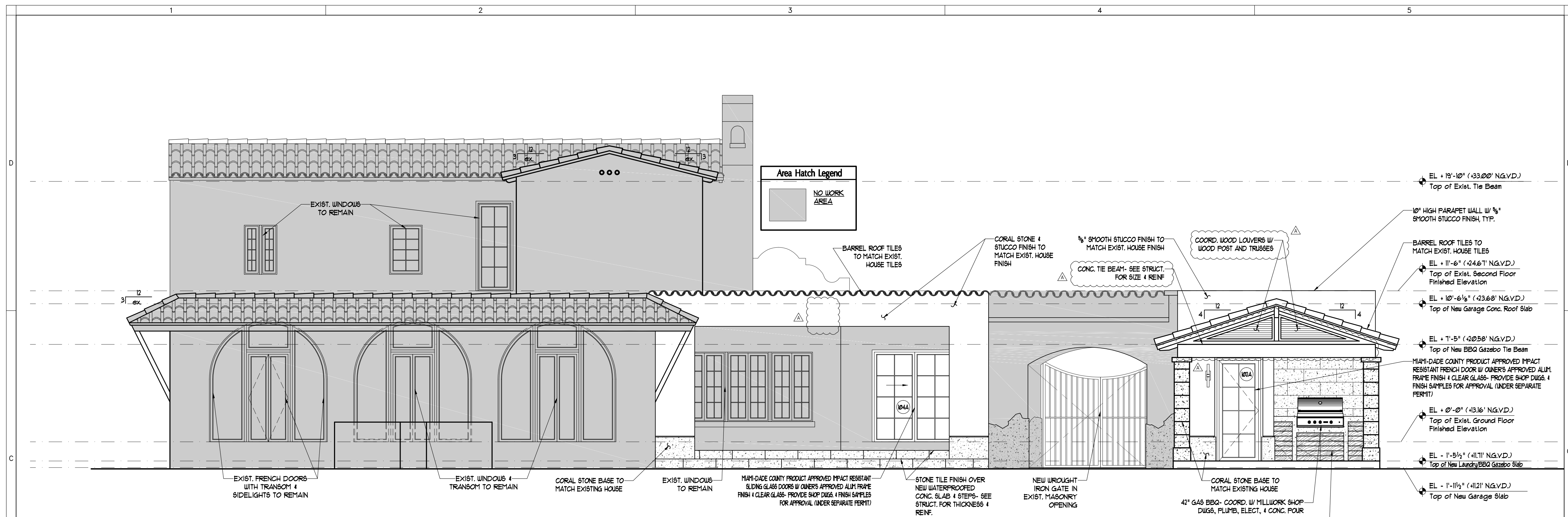
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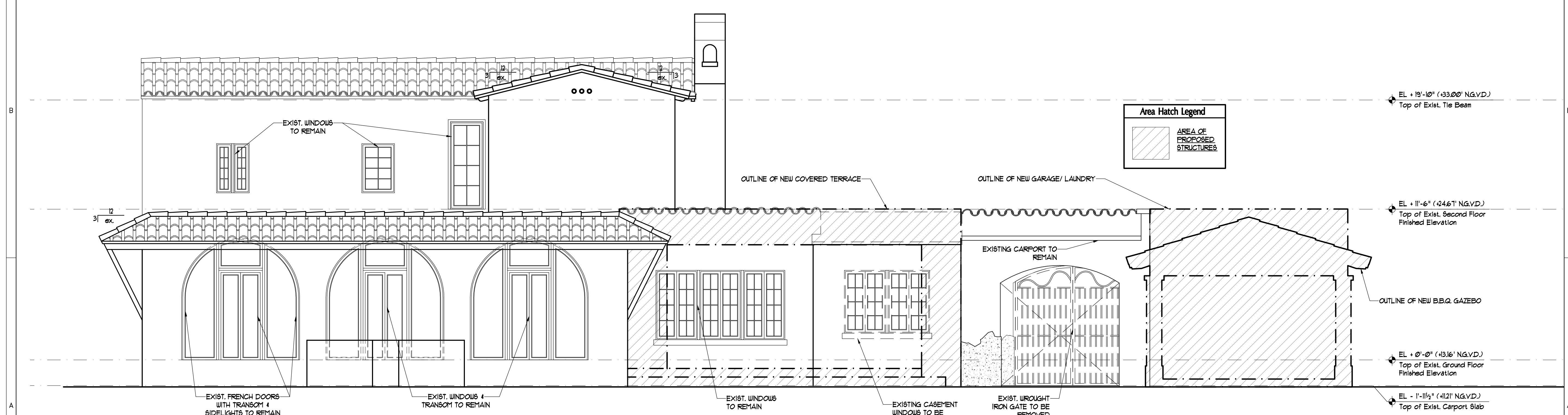
AA. 26002086

PROJECT YR. : 2022 CAD DWG FILE : TYLER
 DRAWN BY : CHECKED BY :
 SHEET TITLE
 Existing Roof Plan
 SHEET No.
A2.03

Existing Roof Plan
 SCALE: 1/4" = 1'-0"



Proposed Rear (North) Elevation
SCALE: 1/4" = 1'-0"



Existing Rear (North) Elevation
SCALE: 1/4" = 1'-0"

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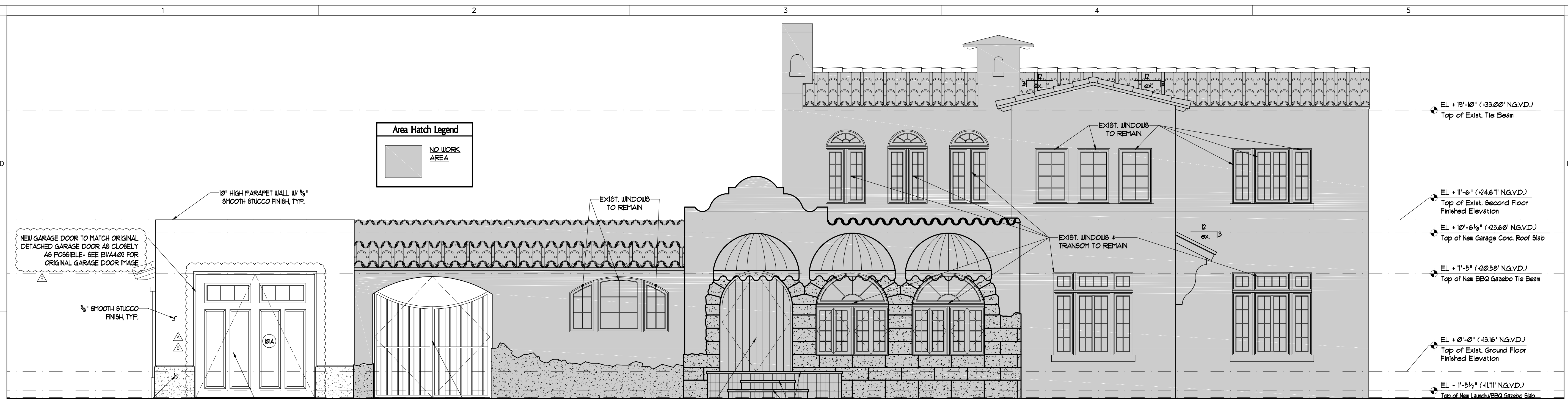
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PROJECT YR.: 2022 CAD DWG FILE: TYLER
DRAWN BY: CHECKED BY:
SHEET TITLE
**Proposed & Exist.
Rear Elevations**

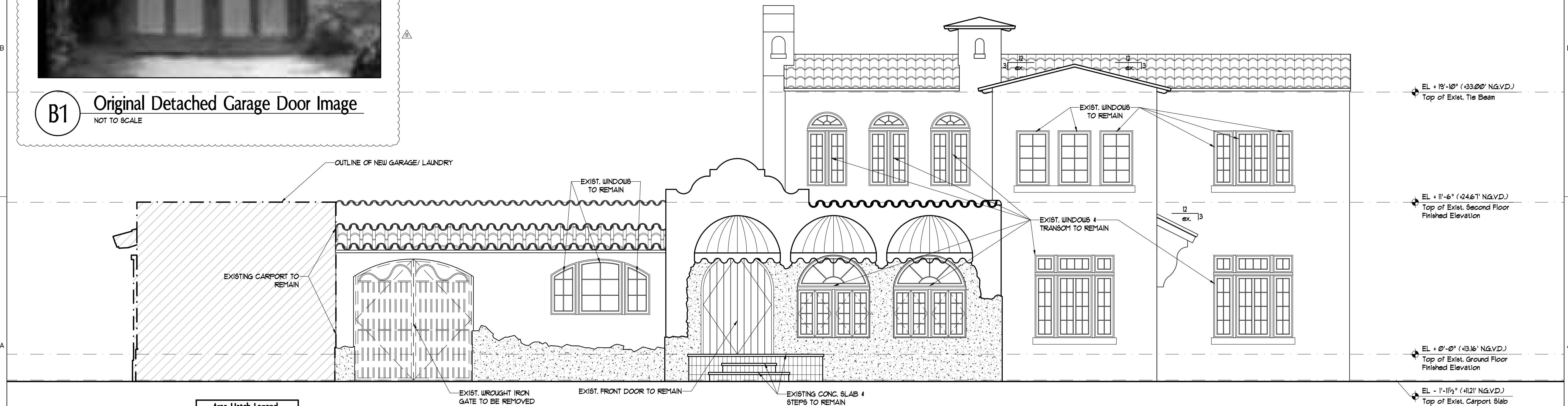
SHEET No.
A4.01



Proposed Front (Alhambra Circle) Elevation
SCALE: 1/4" = 1'-0"



B1 Original Detached Garage Door Image
NOT TO SCALE



Existing Front (Alhambra Circle) Elevation
SCALE: 1/4" = 1'-0"

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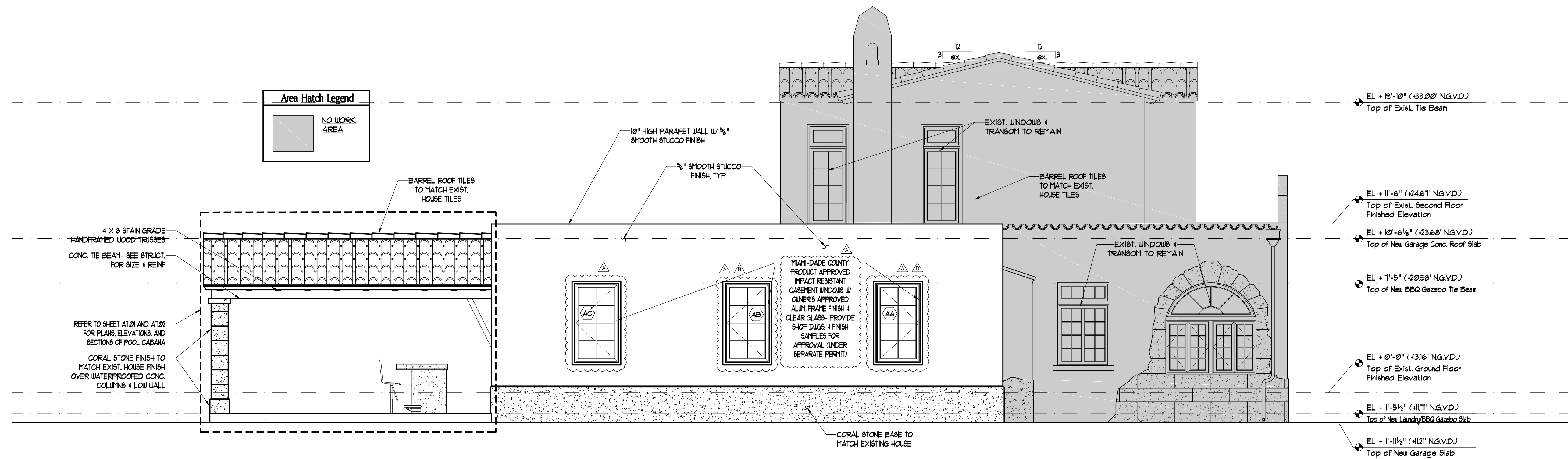
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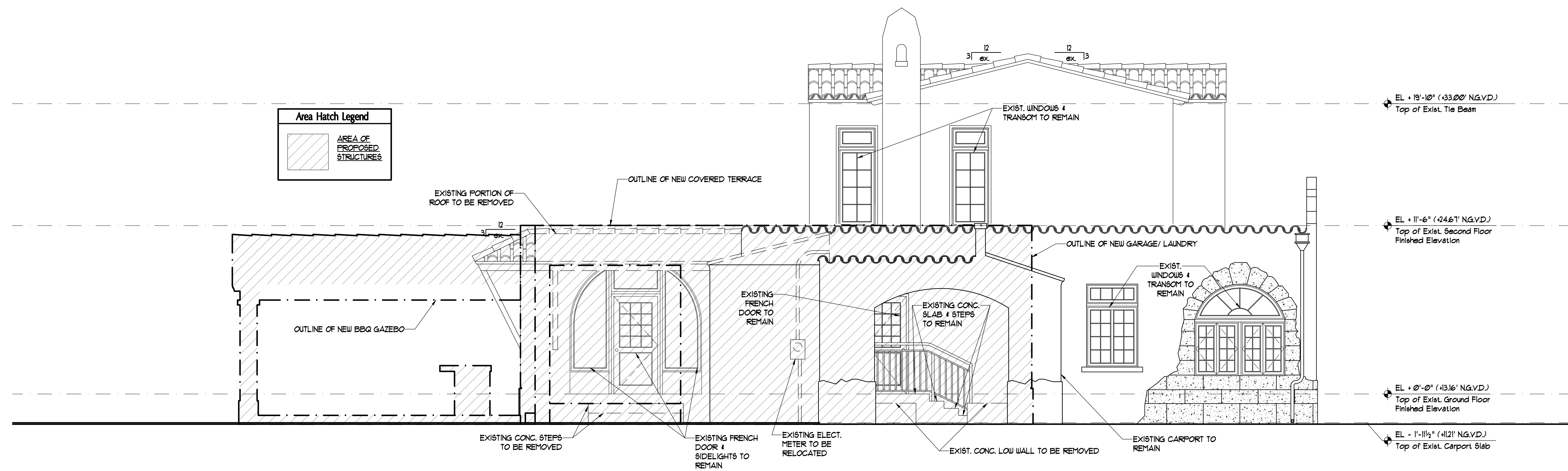
PROJECT YR.	2022	CAD DWG FILE :	TYLER
DRAWN BY :		CHECKED BY :	

SHEET TITLE
**Proposed & Existing
Front Elevations**

SHEET No.
A4.02



Proposed Side (West) Elevation
 SCALE: 1/4" = 1'-0"



Existing Side (West) Elevation
 SCALE: 1/4" = 1'-0"

VILLAGE ARCHITECTS
 OF KEY BISCAYNE, INC.
 AA. 26002086

ARCHITECTS, PLANNERS
 INTERIOR DESIGNERS

99 NW 38TH STREET
 MIAMI, FLORIDA 33127
 Tel: 305-361-5335, Fax: 305-361-5329
 E-Mail: info@villagearchitects.com

CONSULTANTS

**Tyler Residence
 Remodeling &
 Addition**

1031 Alhambra Circle
 Coral Gables, FL 33134

OWNERS INFO
 Michael Tyler & W
 Maria M. Tyler
 1031 Alhambra Circle
 Coral Gables, FL 33134

Mark	Date	Description	Mark	Date	Description
12/28/23	B.O.A.	Comments			
12/04/23	B.O.A.	Comments			
08/16/22		Design Development			
07/08/22		Schematic Design			

ARCHITECT
 ROBERT JOHN GRABOSKI AR. 0091596

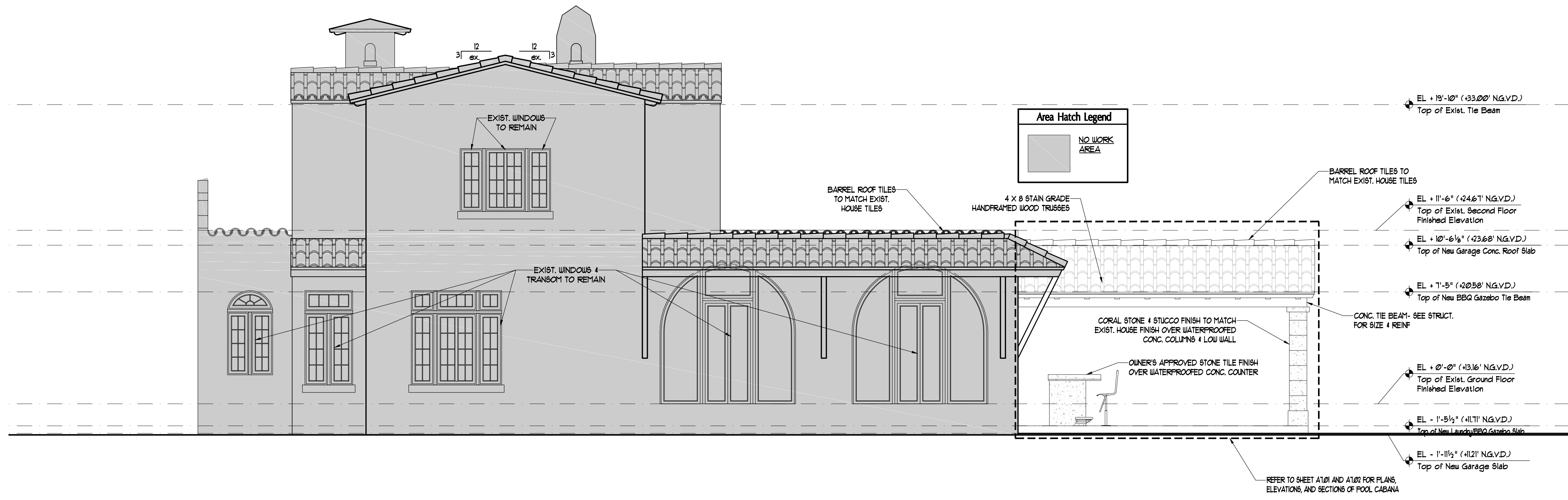
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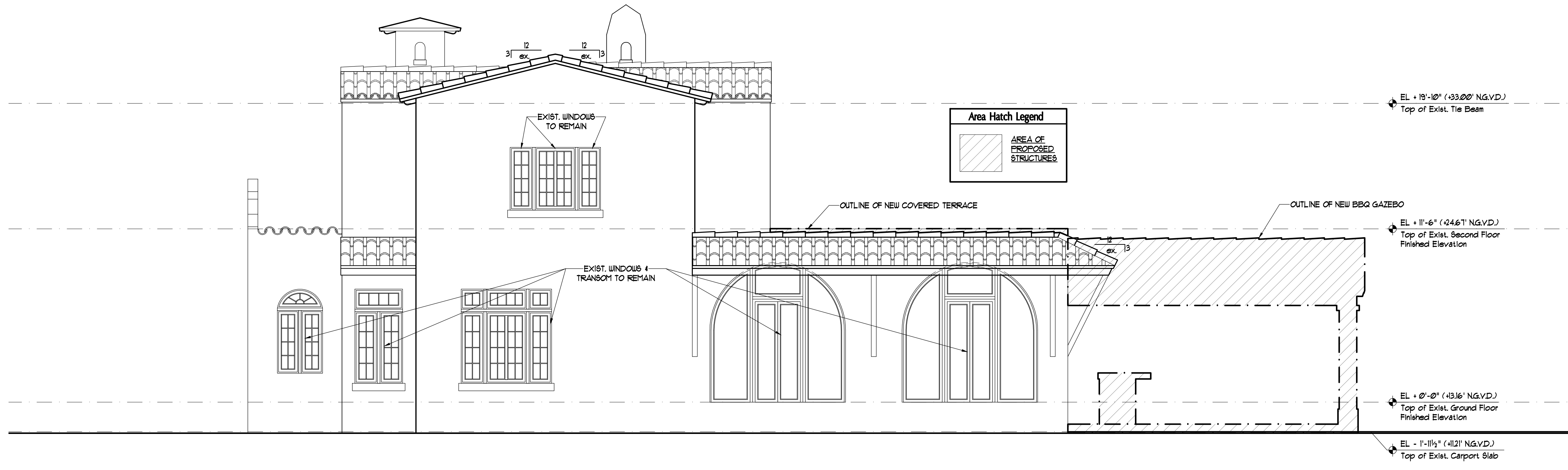
PROJECT YR: 2022 CAD DWG FILE: TYLER
 DRAWN BY: CHECKED BY:

SHEET TITLE
 Proposed & Existing
 West Side Elevations

SHEET No.
A4.03



Proposed Side (East) Elevation
SCALE: 1/4" = 1'-0"



Existing Side (East) Elevation
SCALE: 1/4" = 1'-0"

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E-Mail: info@villagearchitects.com

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Maria M. Tyler
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08/16/22	Design Development		
07/08/22	Schematic Design		

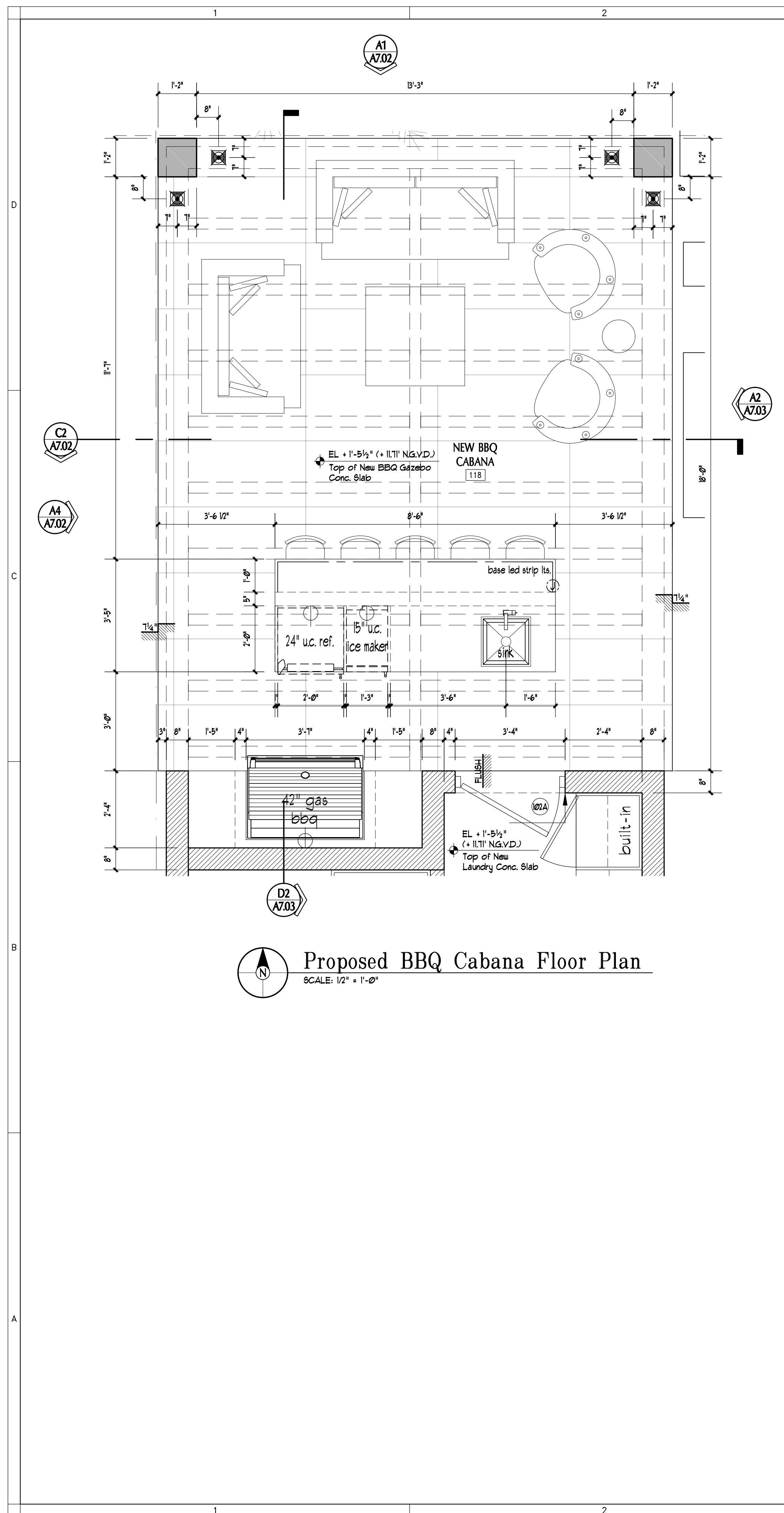
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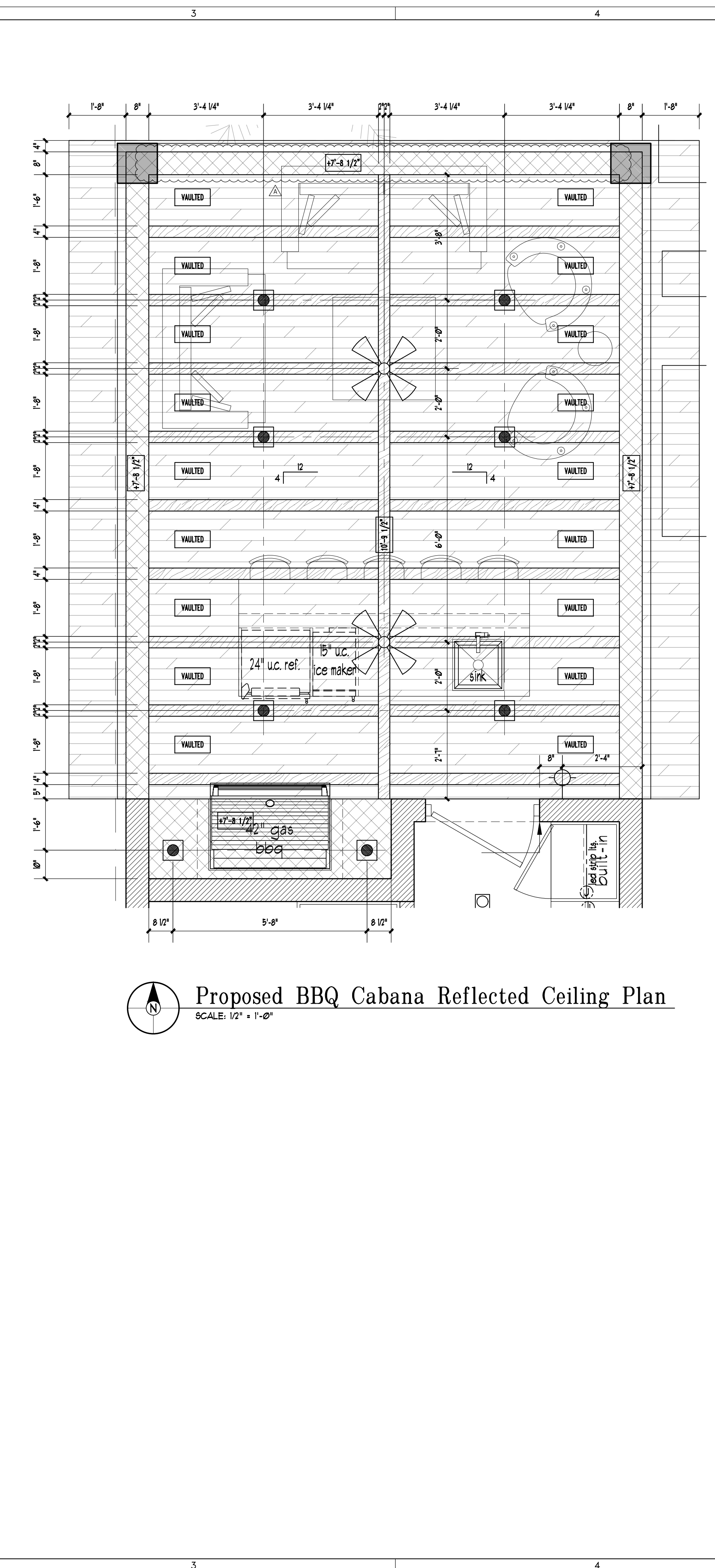
PROJECT YR. : 2022	CAD DWG FILE : TYLER
DRAWN BY :	CHECKED BY :
SHEET TITLE	

Proposed & Existing
East Side Elevations

SHEET No.
A4.04



Proposed BBQ Cabana Floor Plan
SCALE: 1/2" = 1'-0"



Proposed BBQ Cabana Reflected Ceiling Plan
SCALE: 1/2" = 1'-0"

VILLAGE
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AA. 26002086

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MIAMI, FLORIDA 33127
Tel: 305-361-5335, Fax: 305-361-5329
E-Mail: info@villagearchitects.com

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Remodeling &
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OWNERS INFO
Michael Tyler & W
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1031 Alhambra Circle
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△	12/04/23	R.O.A. Comments			
	08/16/22	Design Development			
	07/08/22	Schematic Design			

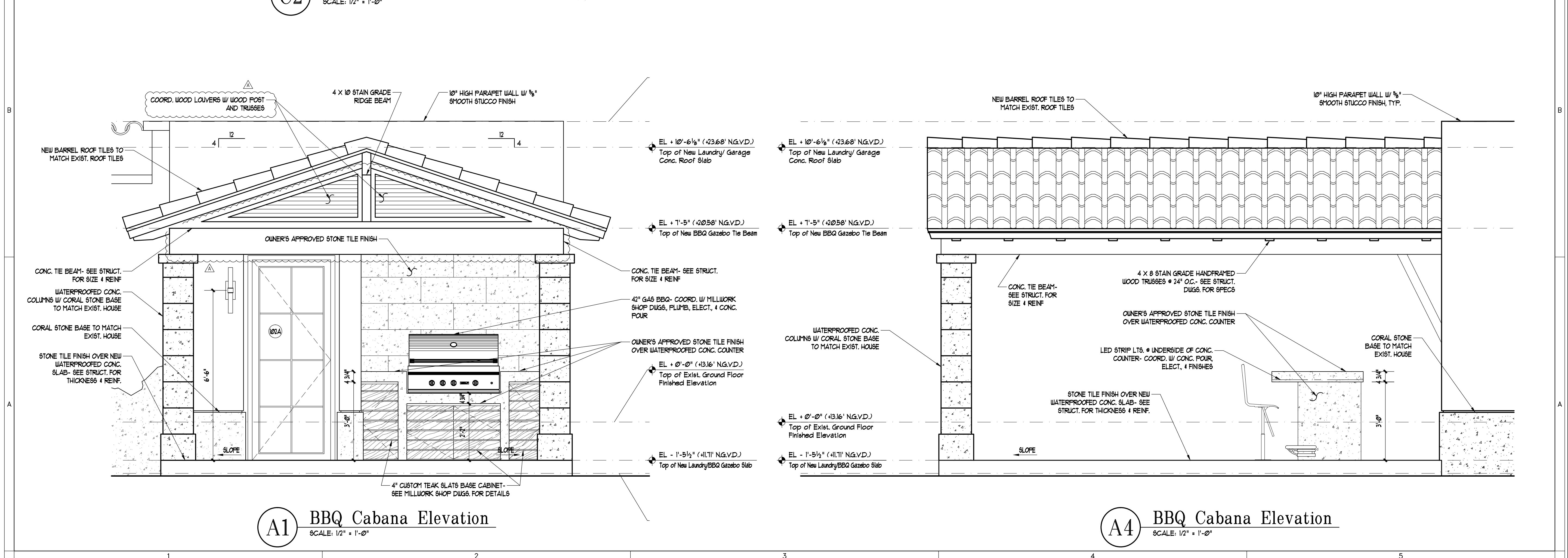
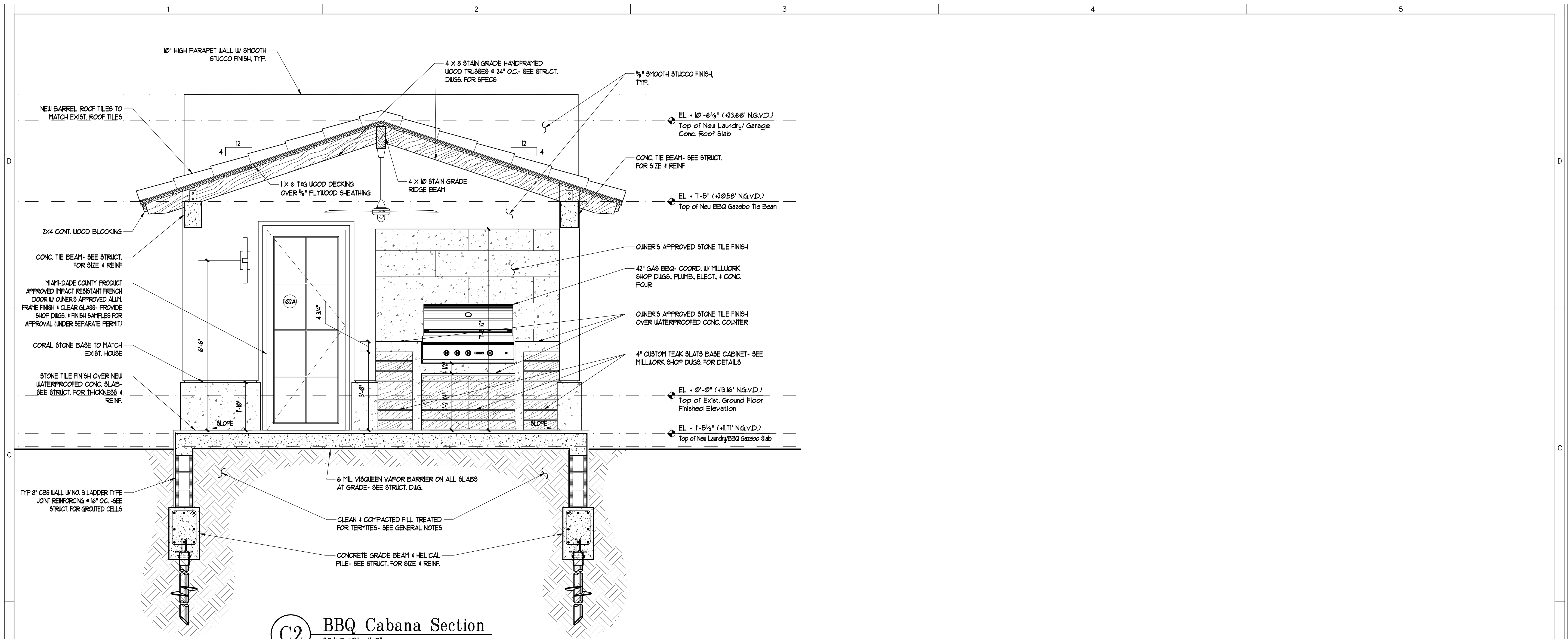
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AA. 26002086

PROJECT YR.: 2022 CAD DWG FILE: TYLER
DRAWN BY: CHECKED BY:
SHEET TITLE
Proposed BBQ Cabana Plans & Section

SHEET No.
A7.01



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AA. 26002086

ARCHITECTS, PLANNERS
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99 NW 38TH STREET
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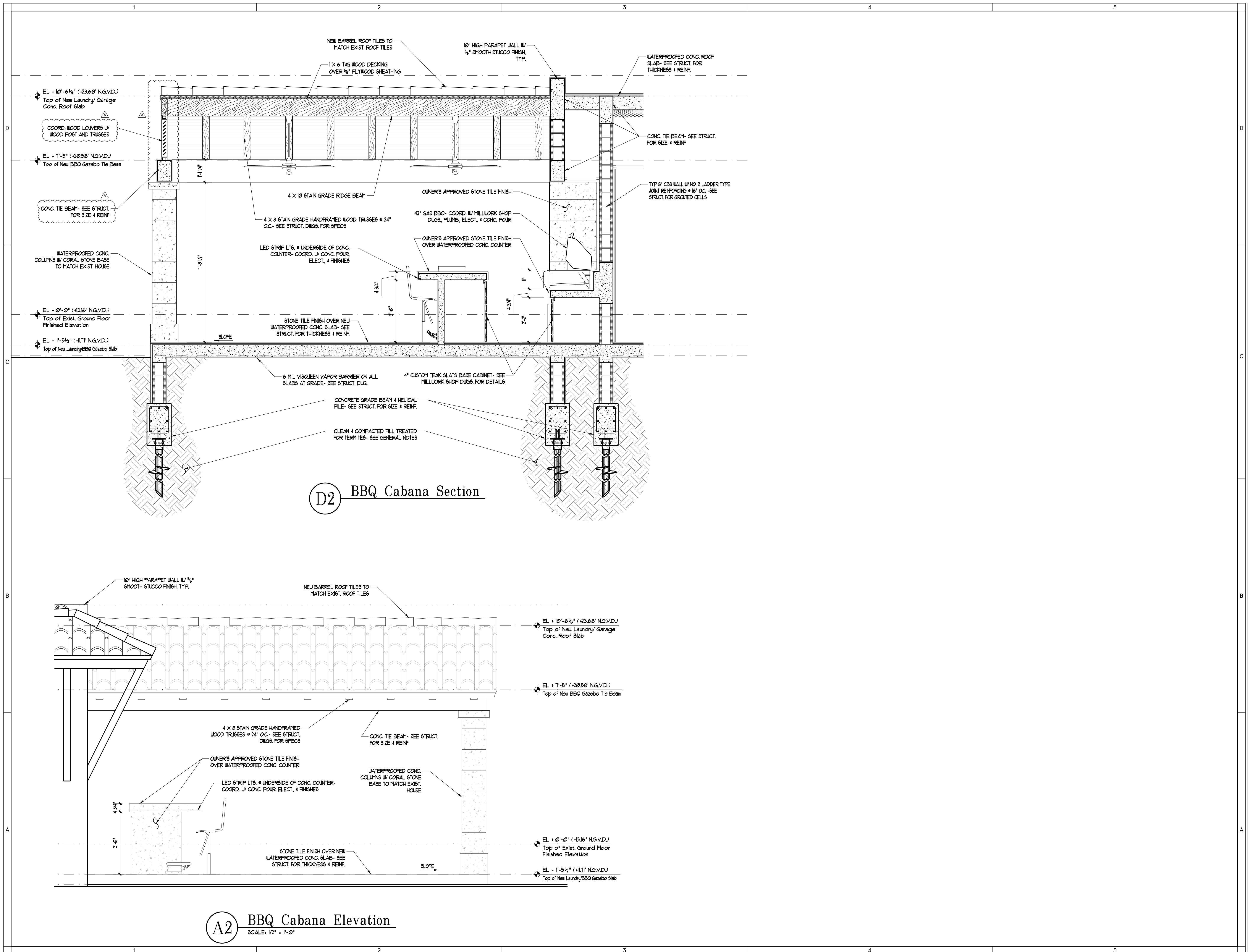
Mark	Date	Description	Mark	Date	Description
AA	12/04/23	B.O.A. Comments			
	08/16/22	Design Development			
	07/08/22	Schematic Design			

ARCHITECT
ROBERT JOHN GRABOSKI AR. 0091596

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AA. 26002086

PROJECT YR.: 2022 CAD DWG FILE: TYLER
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SHEET TITLE
Proposed BBQ Cabana Elevations
SHEET No. **A7.02**



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ARCHITECTS, PLANNERS
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99 NW 38TH STREET
MIAMI, FLORIDA 33127
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07/08/22	Schematic Design		

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AA. 26002086

PROJECT YR.: 2022 CAD DWG FILE: TYLER
DRAWN BY: CHECKED BY:

SHEET TITLE
Proposed BBQ Cabana
Elevations & Sections

SHEET No.
A7.03