



SHEET INDEX

A0.0	COVER PAGE
A0.1	SURVEY
A0.2	DEMO PLAN
A0.3	RENDERS
A0.4	IMAGES OF SURROUNDING
A0.5	IMAGES OF EXISTING
A0.6	ZONING DIAGRAMS
A1.0	ZONING DATA + SITE PLAN
A1.1	FLOOR PLAN
A1.2	ROOF PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS

QUINONEZ RESIDENCE

740 SAN JUAN DR.
CORAL GABLES, FL 33143



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HAMED RODRIGUEZ ARCHITECTS
AR03201
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REV.	DATE	COMMENT

COMPLETE RENOVATION +
ADDITION FOR

QUINONEZ
RESIDENCE

740 SAN JUAN DRIVE,
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COVER

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MAP OF BOUNDARY, TOPOGRAPHIC & TREE SURVEY



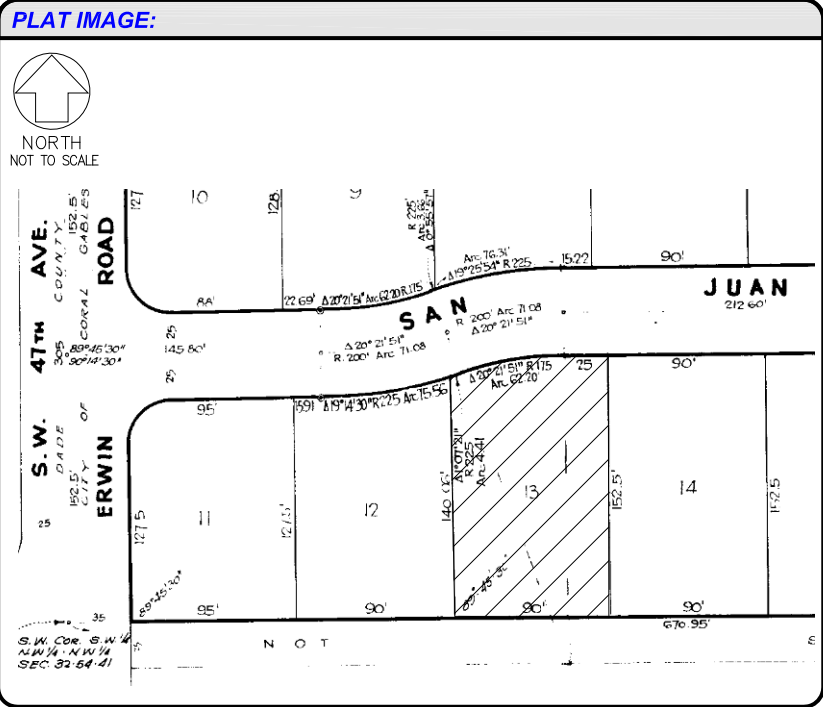
CERTIFICATE OF AUTHORIZATION # LB-7104

suarez surveying & mapping, inc.

13350 SW 131st Street, Suite 103, Miami, Florida 33186

Tel: 305.596.1799

www.suarezsurveying.com



LEGEND:

ABBREVIATIONS:

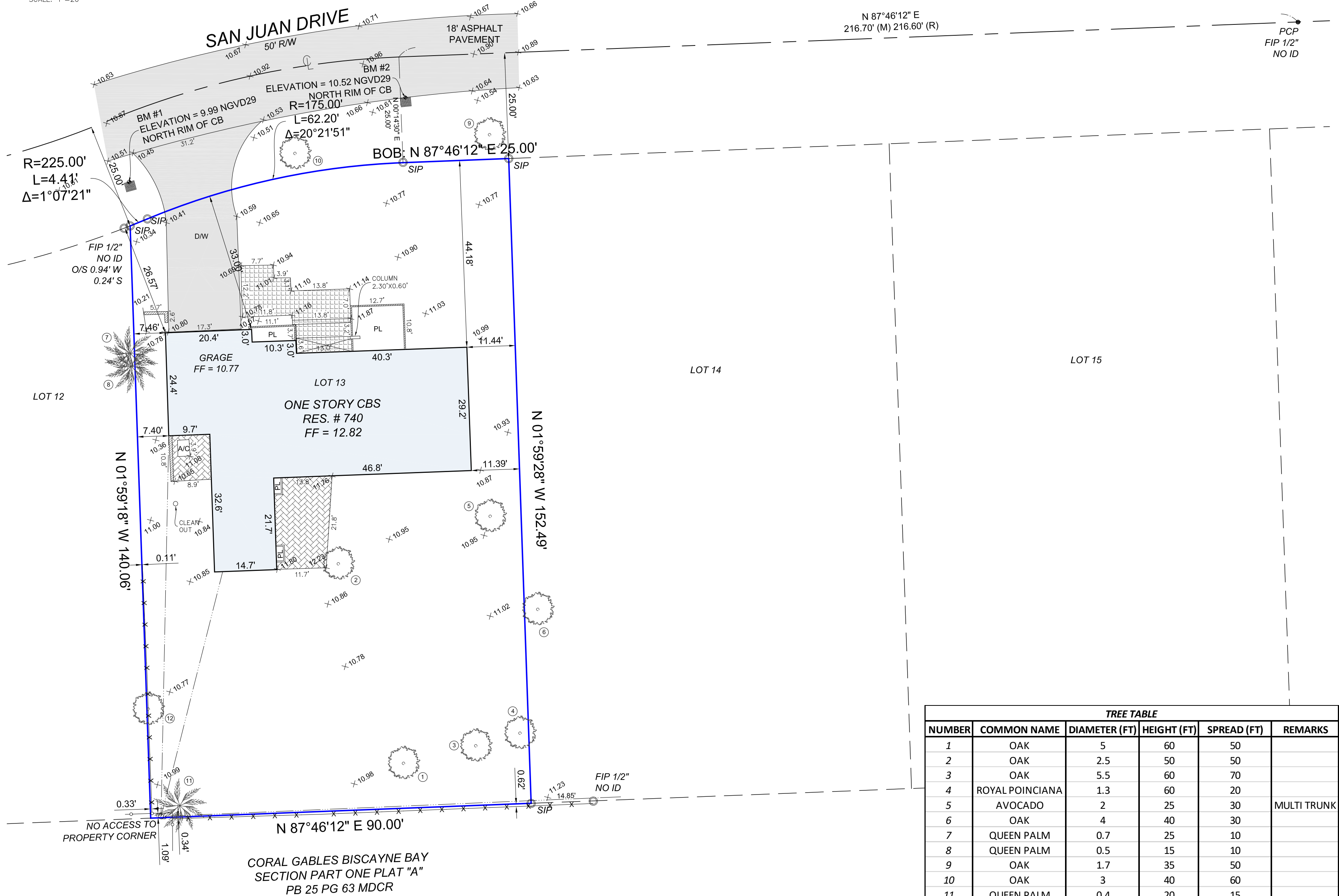
A = ARC DISTANCE
A/C = AIR CONDITIONER PAD
B/C = BROWARD COUNTY RECORDS
BLDG = BUILDING
BM = BENCH MARK
BOB = BASIS OF BEARINGS
CBS = CONCRETE BLOCK & STUCCO
(C) = CALCULATED
CB = CATCH BASIN
CHB = CHORD BEARING
C&G = CURB & GUTTER
CLF = CHAIN LINK FENCE
COL = COLUMN
CONC = CONCRETE
DE = DRAINAGE EASEMENT
DNE = DRAINAGE & MAINTENANCE EASEMENT
DW = DRIVE-WAY
EB = ELECTRIC BOX
ENC = ENCROACHMENT
EP = EDGE OF PAVEMENT
EW = EDGE OF WATER
FDH = FOUND DRILL HOLE
FF = FINISHED FLOOR ELEVATION
FIP = FOUND IRON PIPE
FIR = FOUND IRON ROD
FN = FOUND NAIL (NO ID)
FND = FOUND NAIL & DISK
FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD
LE = LANDSCAPE EASEMENT
LME = LAKE MAINTENANCE EASEMENT
(M) = MEASURED
MDCR = MIAMI-DADE COUNTY RECORDS
MH = MAN HOLE
ML = MONUMENT LINE
ORB = OFFICIAL RECORDS BOOK
O/S = OFF-SET
(P) = PLAT
PBC = PALM BEACH COUNTY
PB = PLAT BOOK
PC = POINT OF CURVATURE
PCP = PERMANENT CONTROL POINT
PE = POOL EQUIPMENT PAD
PG = PAGE
PI = POINT OF INTERSECTION
PK = PARKER KAELO (SURVEY NAIL)
PL = PLANTER
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PT = POINT OF TANGENCY
R = RADIUS DISTANCE
(R) = RECORD
RW = RIGHT OF WAY
RES = RESIDENCE
SIP = SET IRON PIPE
SND = SET NAIL & DISK (PK)
STL = SURVEY TIE LINE
SWK = SIDEWALK
(TYP) = TYPICAL
UB = UTILITY BOX
UE = UTILITY EASEMENT
W/F = WOOD FENCE
WMDE = WALL MAINTENANCE DRAINAGE EASEMENT

SYMBOLS:

— = HAND HOLE
— = ELECTRIC BOX
— = TELEPHONE RISER
— = CABLE TV RISER
— = WATER METER
— = WATER VALVE
— = CURB INLET
— = FIRE HYDRANT
— = LIGHT POLE
— = VALVE
— = GAS VALVE
— = BACKFLOW PREVENTER
— = BOLLARDS
(00') = ORIGINAL LOT DISTANCE
Δ = CENTRAL ANGLE
— = CENTER LINE
— = CATCH BASIN
— = UTILITY POLE
— = CONC. POLE
— = DRAINAGE MANHOLE
— = SEWER MANHOLE
— = COMMUNICATION MANHOLE
— = FPL MANHOLE
— = SIGN
— = ANCHOR
— = GUARD RAIL
— = IRON FENCE
— = WOOD FENCE
— = CHAIN LINK FENCE
— = OVERHEAD UTILITY WIRE
— = LIMITED ACCESS RIGHT-OF-WAY LINE
— = BOUNDARY LINE
x 0.00' = ELEVATION
= ENCROACHMENT NOTE (SEE SURVEYOR'S NOTES)

SURFACE:

ASPHALT CONCRETE PAVERS BUILDING TILES WOOD COVER



TREE TABLE					
NUMBER	COMMON NAME	DIAMETER (FT)	HEIGHT (FT)	SPREAD (FT)	REMARKS
1	OAK	5	60	50	
2	OAK	2.5	50	50	
3	OAK	5.5	60	70	
4	ROYAL POINCIANA	1.3	60	20	
5	AVOCADO	2	25	30	MULTI TRUNK
6	OAK	4	40	30	
7	QUEEN PALM	0.7	25	10	
8	QUEEN PALM	0.5	15	10	
9	OAK	1.7	35	50	
10	OAK	3	40	60	
11	QUEEN PALM	0.4	20	15	
12	OAK	1.5	50	40	

ONLY TREES WITH A TRUNK DIAMETER OF 4" (0.33') AT BREAST HEIGHT OR GREATER WERE LOCATED

SURVEYOR'S NOTES:

1. ELEVATIONS WHEN SHOWN REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
2. NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
3. THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.
4. THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE.
5. THE INTENT OF THIS SURVEY AS COMMUNICATED BY THE CERTIFIED PARTIES IS FOR REAL-ESTATE TRANSACTION OR MORTGAGE REFINANCING, THIS SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSE OR PARTY(IES) WITHOUT THE AUTHORIZATION OF THIS FIRM.
6. THIS SURVEY IS NOT INTENDED FOR NEITHER DESIGN NOR CONSTRUCTION PURPOSES, FOR THOSE PURPOSES, A TOPOGRAPHIC SURVEY MAY BE REQUIRED.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. IMPROVEMENTS SHOWN HAVE BEEN MEASURED TO THE NEAREST 10TH OF A FOOT. TIES SHOWN HAVE BEEN MEASURED TO THE NEAREST 100TH OF A FOOT.
9. ELEVATIONS WHEN SHOWN HAVE BEEN MEASURED TO NEAREST 100TH OF A FOOT ON HARD SURFACES AND NEAREST TENTH OF A FOOT FOR GROUND OR SOO SURFACES.
10. ALL BOUNDARY LIMIT INDICATORS SET ARE STAMPED LB# 7104.
11. THE BOUNDARY LIMITS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL DESCRIPTION PROVIDED BY CLIENT OR ITS REPRESENTATIVE.
12. BEARINGS WHEN SHOWN ARE TO AN ASSUMED MERIDIAN, THE NORTH LINE OF LOT 13 HAS BEEN ASSIGNED A BEARING OF N 87°46'12" E.
13. TYPE OF SURVEY: BOUNDARY, TOPOGRAPHIC AND TREE

BENCHMARK REFERENCE:

CITY OF CORAL GABLES BENCHMARK #577
ELEVATION = 11.22 NGVD29
DESCRIPTION: NE COR ERWIN RD/TIBIDABO AVE = PK NAIL AND BRASS WASHER POC BSW

PROJECT:

DATE OF FIELD SURVEY: 05/18/2021
JOB #: 210532927
FILE #: D-1543
PROJECT NAME: SURVEYS 2021
CAD FILE(H): DE SOLA
PARTY CHIEF: PALERMO
F.B.: x Pg. x
SHEET 1 OF 1

CERTIFIED TO:

RALPH L. WILKINS JR. TRUST
WILKINS FAMILY REVOCABLE TRUST
LINDA WILKINS CLEARLY TRUST

REVISIONS:

PROPERTY ADDRESS:

740 SAN JUAN DRIVE, CORAL GABLES, FLORIDA 33143

LEGAL DESCRIPTION:

LOT 13, OF SAN JUAN HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 57, PAGE 16, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:

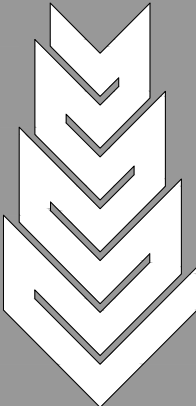
BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY REVISED ON 09/11/09 AND INDEX MAP REVISED ON 09/11/09 THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE X BASE FLOOD ELEVATION N/A. COMMUNITY NAME & NUMBER CORAL GABLES 120639. MAP & PANEL NUMBER 12086C0459 SUFFIX L.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 53-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTE.

AUTHENTIC COPIES OF THIS SURVEY SHALL BEAR THE ORIGINAL SIGNATURE AND RAISED SEAL OF THE ATTESTING REGISTERED SURVEYOR AND MAPPER

JUAN A. SUAREZ
PROFESSIONAL SURVEYOR & MAPPER
STATE OF FLORIDA LIC. # 6220



HamedRodriguez
architects

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DEMO PLAN

SHEET NUMBER:

A0.2

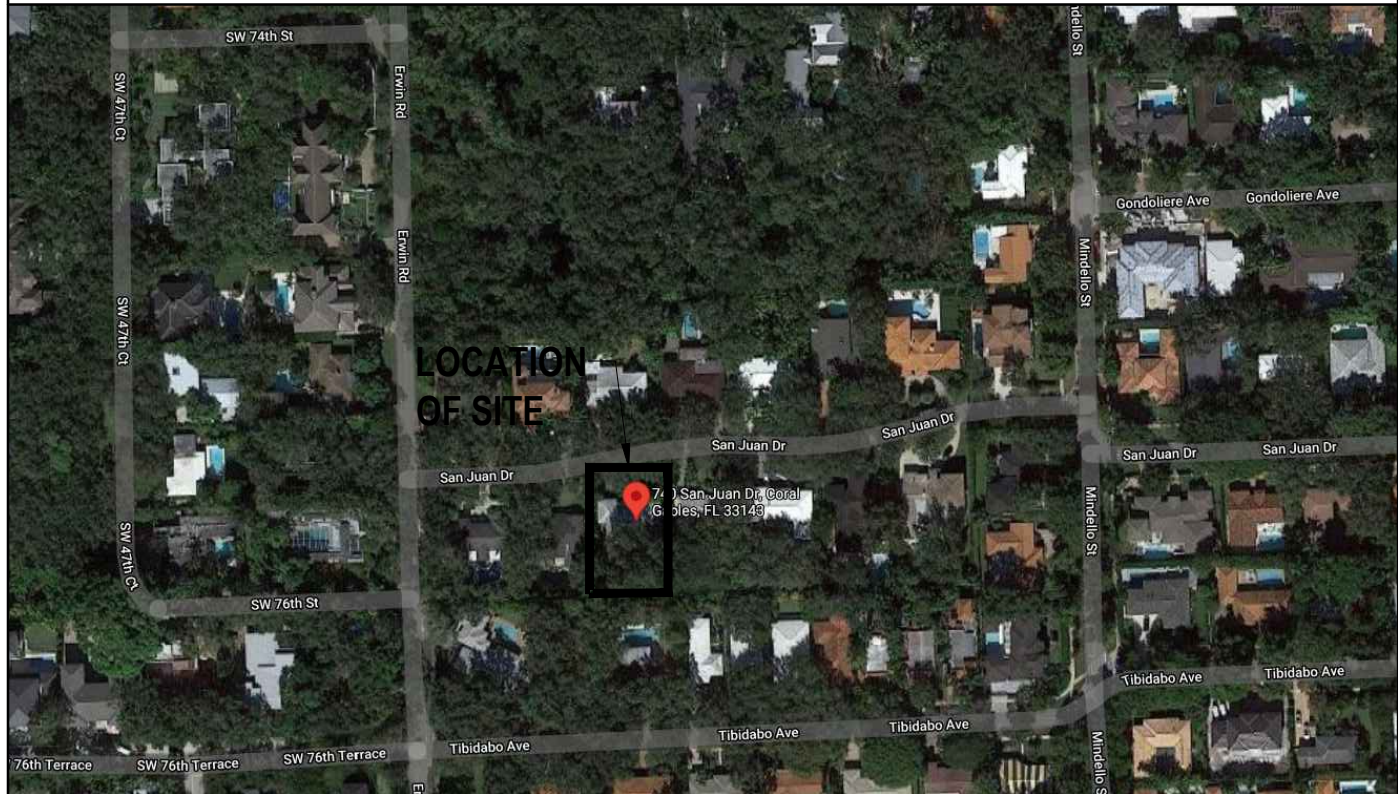
SCOPE OF WORK

DEMOLITION OF EXISTING ONE STORY CBS RESIDENCE, DRIVE WAY, SEPTIC TANK AND DRAIN FIELD.
SITE TO BE GRADED AND PLANTED WITH NEW SOD.
GROUP R - RESIDENTIAL AS PER FBC 2020

LEGAL DISCRIPTION

LOT 13 OF SAN JUAN HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK
57, PAGE 18, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA.

LOCATION MAP



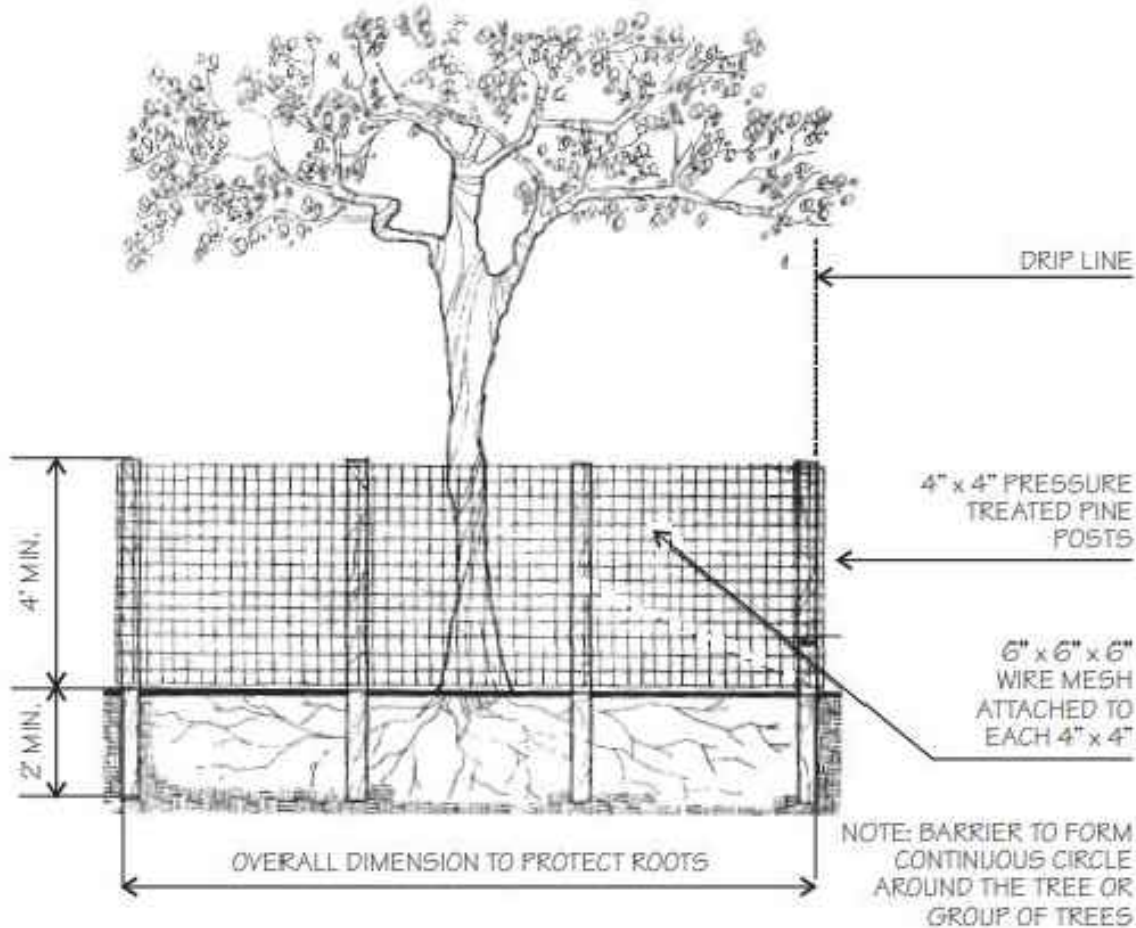
TREE TABLE EXISTING

NUMBER	COMMON NAME	DIAMETER (FT)	HEIGHT (FT)	SPREAD (FT)	REMARKS
1	OAK	5	60	50	
2	OAK	2.5	50	50	
3	OAK	5.5	60	70	
4	ROYAL POINCIANNA	13	60	20	
5	AVOCADO	2	25	30	MULTI TRUNK
6	OAK	4	40	30	
7	QUEEN PALM	0.7	25	10	
8	QUEEN PALM	0.5	15	10	
9	OAK	17	35	50	
10	OAK	3	40	60	
11	QUEEN PALM	0.4	20	15	
12	OAK	1.5	50	40	

DEMOLITION NOTES

- DASHED WALLS AND SURFACES AS INDICATED ON PLANS ARE TO BE REMOVED.
- DEMOLITION REMOVAL AND OFF SITE DISPOSAL INCLUDES:
 - FLOOR TILES AND THIN-SET / THICKSET REMOVAL
 - FRAME WALLS AND WALL BOARD
 - ALL CONTENTS OF INTERIOR
 - INTERIOR FINISHES
 - KITCHEN APPLIANCES
 - CONCRETE SLAB AND FOUNDATIONS
 - SEPTIC TANK AND DRAIN FIELD
 - DRIVEWAY AND APPROACH
 - ALL PATIOS AND AC PADS
 - ALL UNDERGROUND PIPES INCLUDING SPRINKLER, DOMESTIC SUPPLY AND SANITARY
- OWNER OR ARCHITECT TO ASSUME NO RESPONSIBILITY FOR THE ACTUAL CONDITIONS ON SITE.
- PROTECT NEIGHBORING PROPERTIES
- CONTRACTOR TO REPAIR ANY (AT NO COST TO THE OWNER) ON SITE OR ON ADJACENT FACILITIES DUE TO DAMAGES.
- CONTRACTOR TO SHUT OFF UTILITIES TO ALL AREAS
- CONTRACTOR TO OBTAIN ALL APPLICABLE PERMITS PRIOR TO BEGINNING WORK
- DEMOLITION WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF ALL CODES HAVING JURISDICTION OVER THE PROJECT.
- CONTRACTOR TO PROVIDE BRACING AND SHORING TO PREVENT THE SETTLEMENT OR COLLAPSE OR STRUCTURE WHEN APPLICABLE.
- CONTRACTOR TO IDENTIFY, STUB OFF AND DISCONNECT UTILITY SERVICE TO REMAIN.

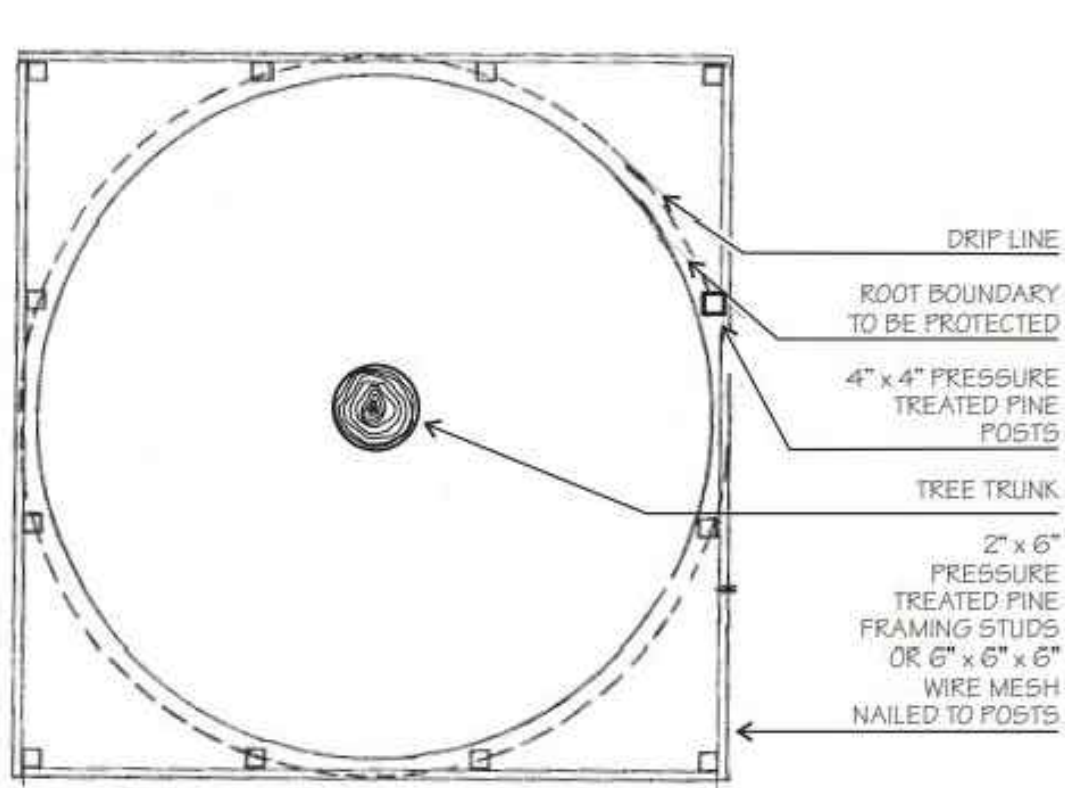
IT IS CRITICAL TO EXISTING TREE
SURVIVAL TO PROVIDE PROTECTION
DURING CONSTRUCTION. THIS DETAIL
CAN BE USED AROUND ONE OR MORE
TREES AND WILL PROVIDE PROTECTION
FROM CONSTRUCTION EQUIPMENT.



WIRE MESH BARRIER DETAIL

SCALE:

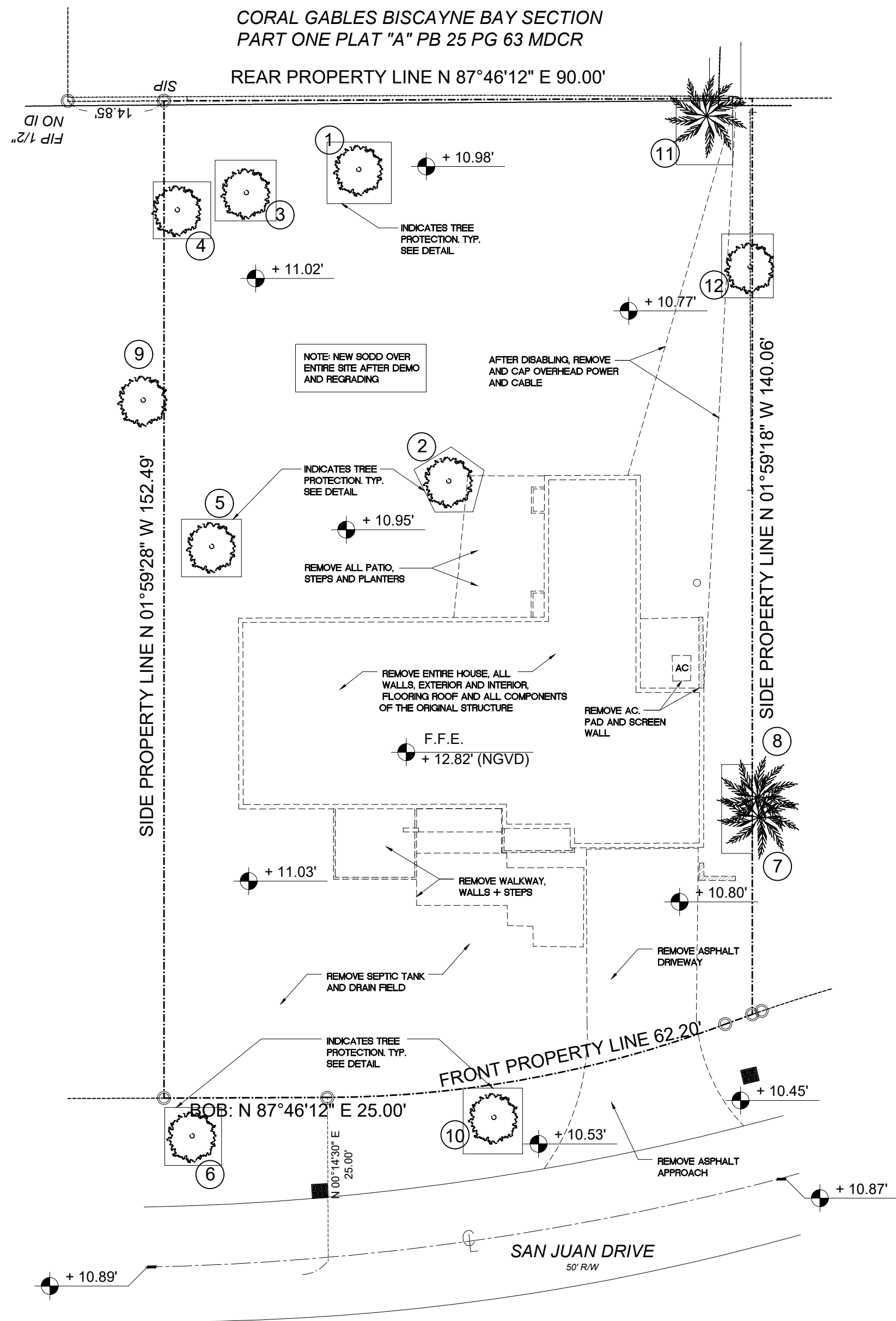
N/A



TREE PROTECTION PLAN

SCALE:

N/A



*NOTE: NO EXISTING TREES WILL BE
REMOVED OR RELOCATED IN THIS
PROJECT

DEMOLITION PLAN

SCALE:

1/16\"/>



FRONT VIEW OF PROPOSED



REAR VIEW OF PROPOSED



PROPOSED REAR VIEW



REAR VIEW OF PROPOSED



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IMAGES

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A0.3



NEIGHBOR ON EAST SIDE



VIEW OF SUBJECT PROPERTY
(740 San Domingo Dr, Coral Gables, FL
33143)



NEIGHBOR ON WEST SIDE



NORTH-WEST NEIGHBOR



NEIGHBOR DIRECTLY ACROSS STREET



SOUTH-WEST NEIGHBOR

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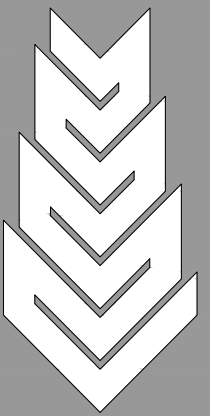
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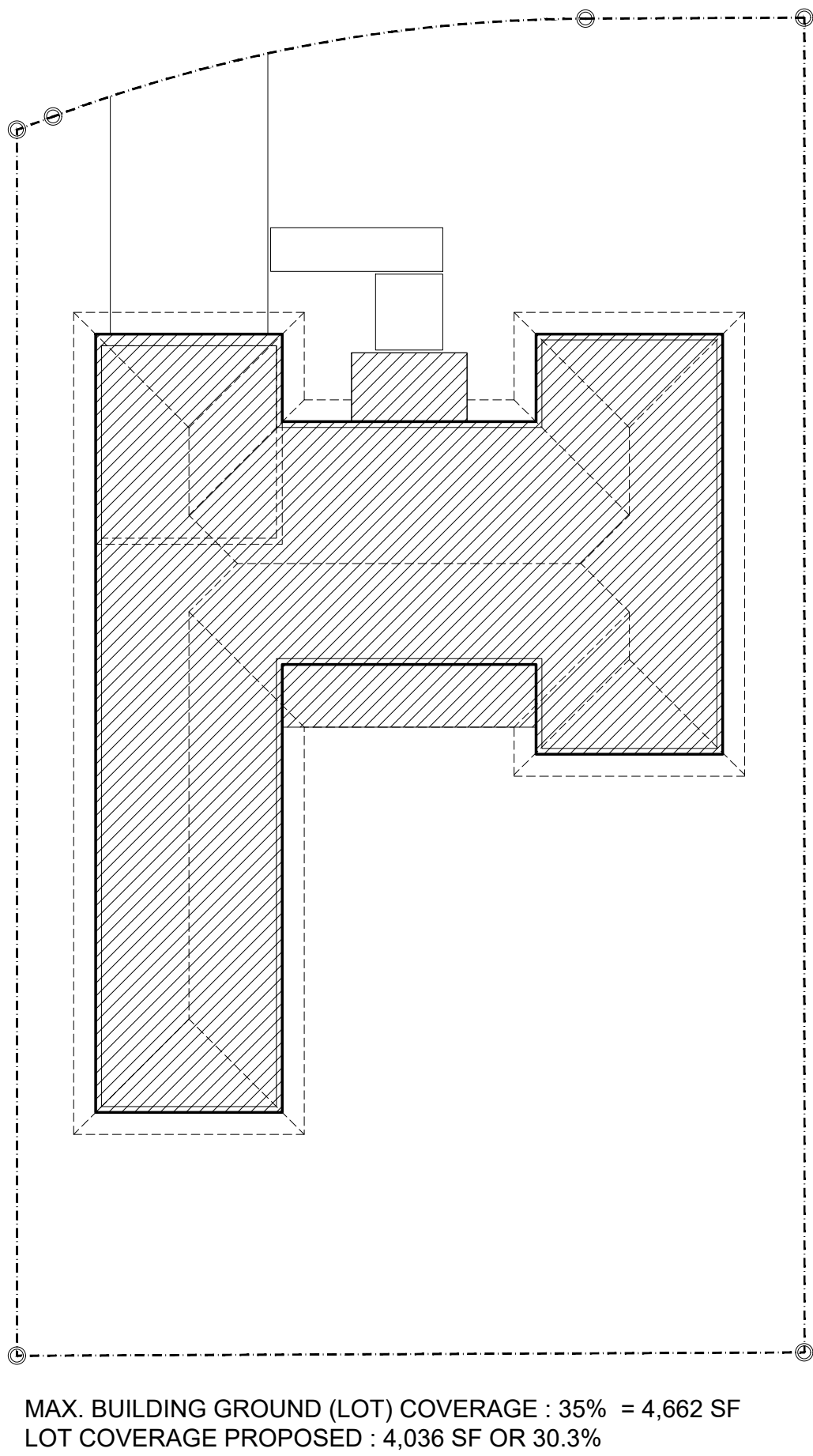
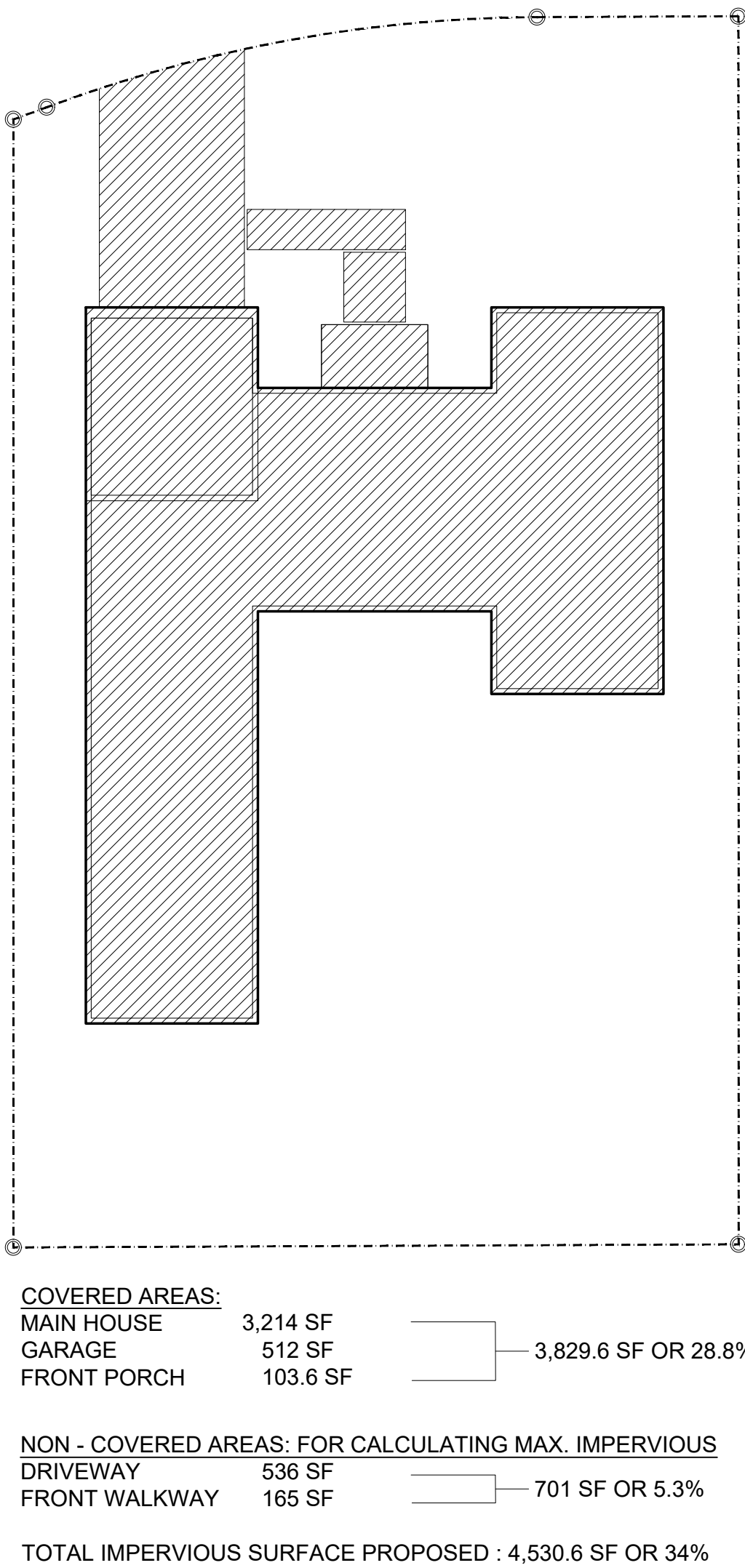
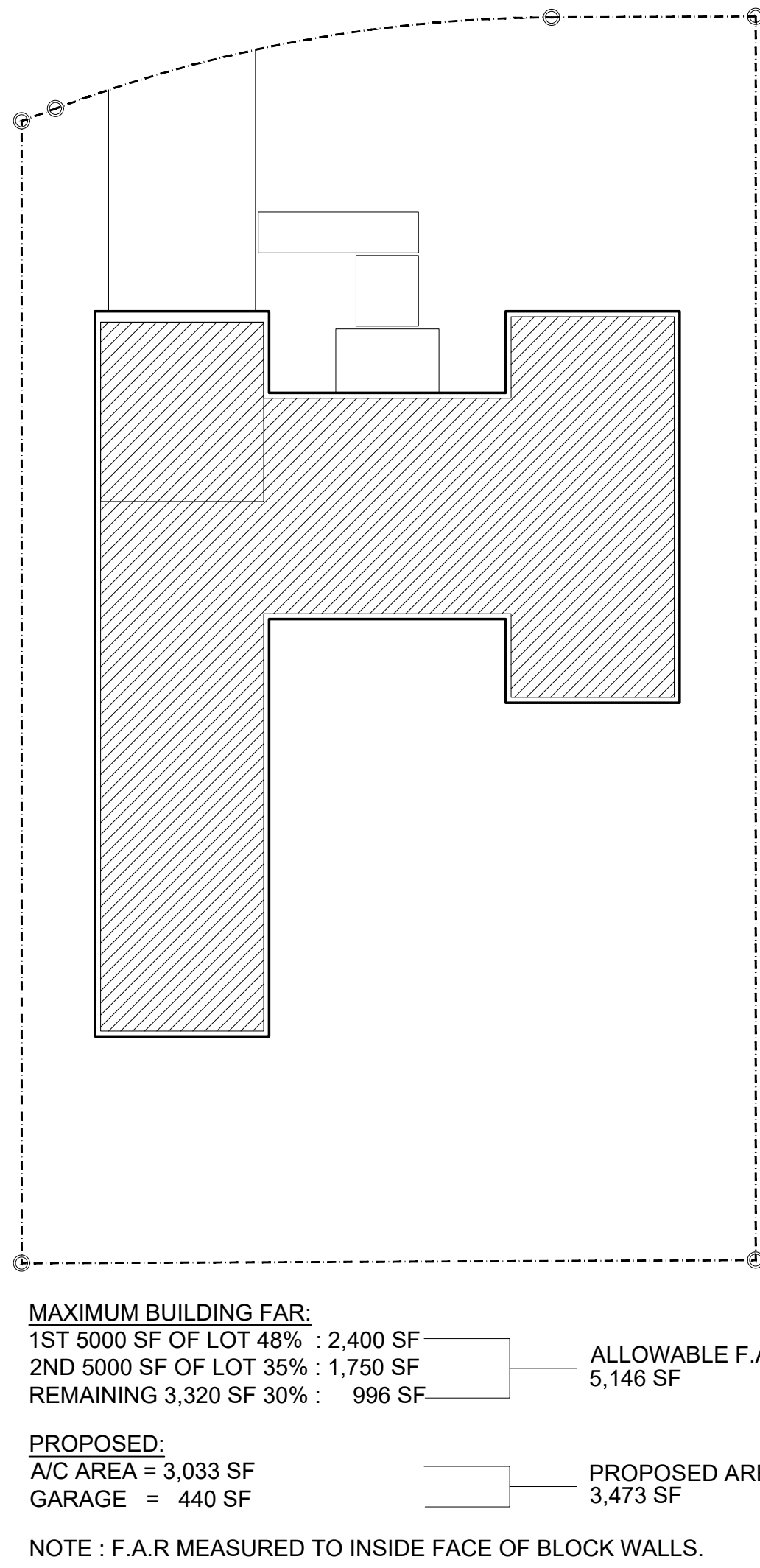
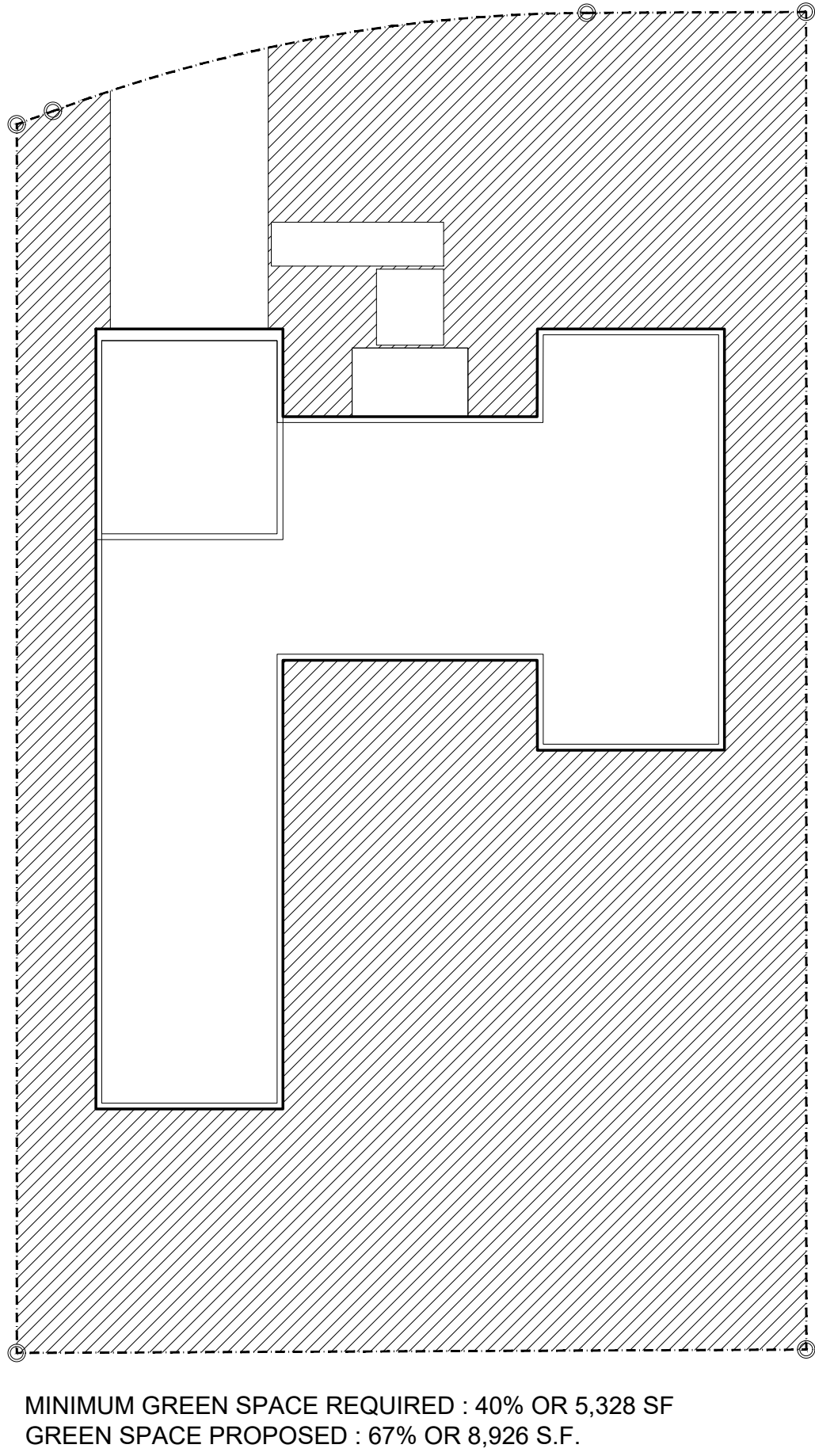
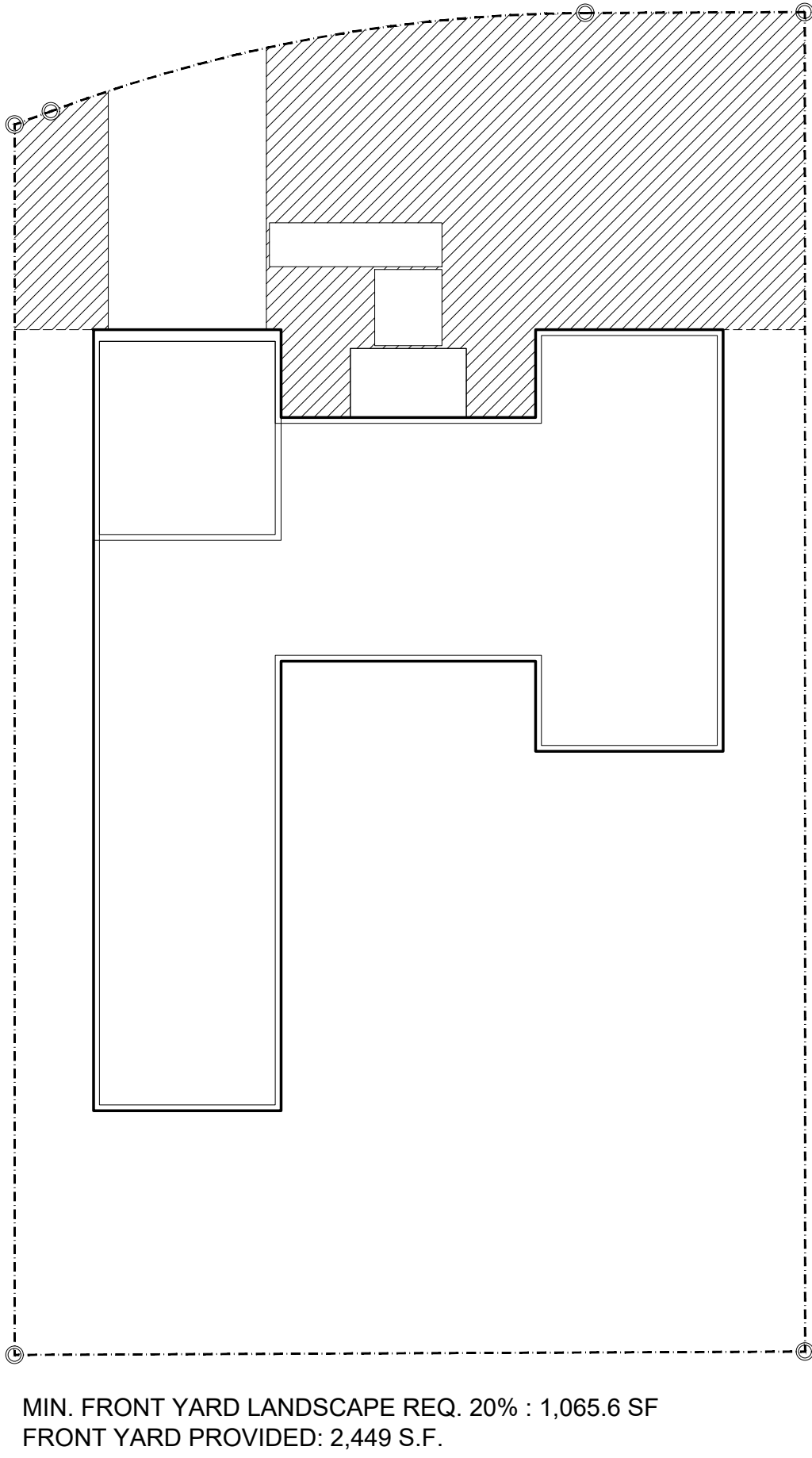
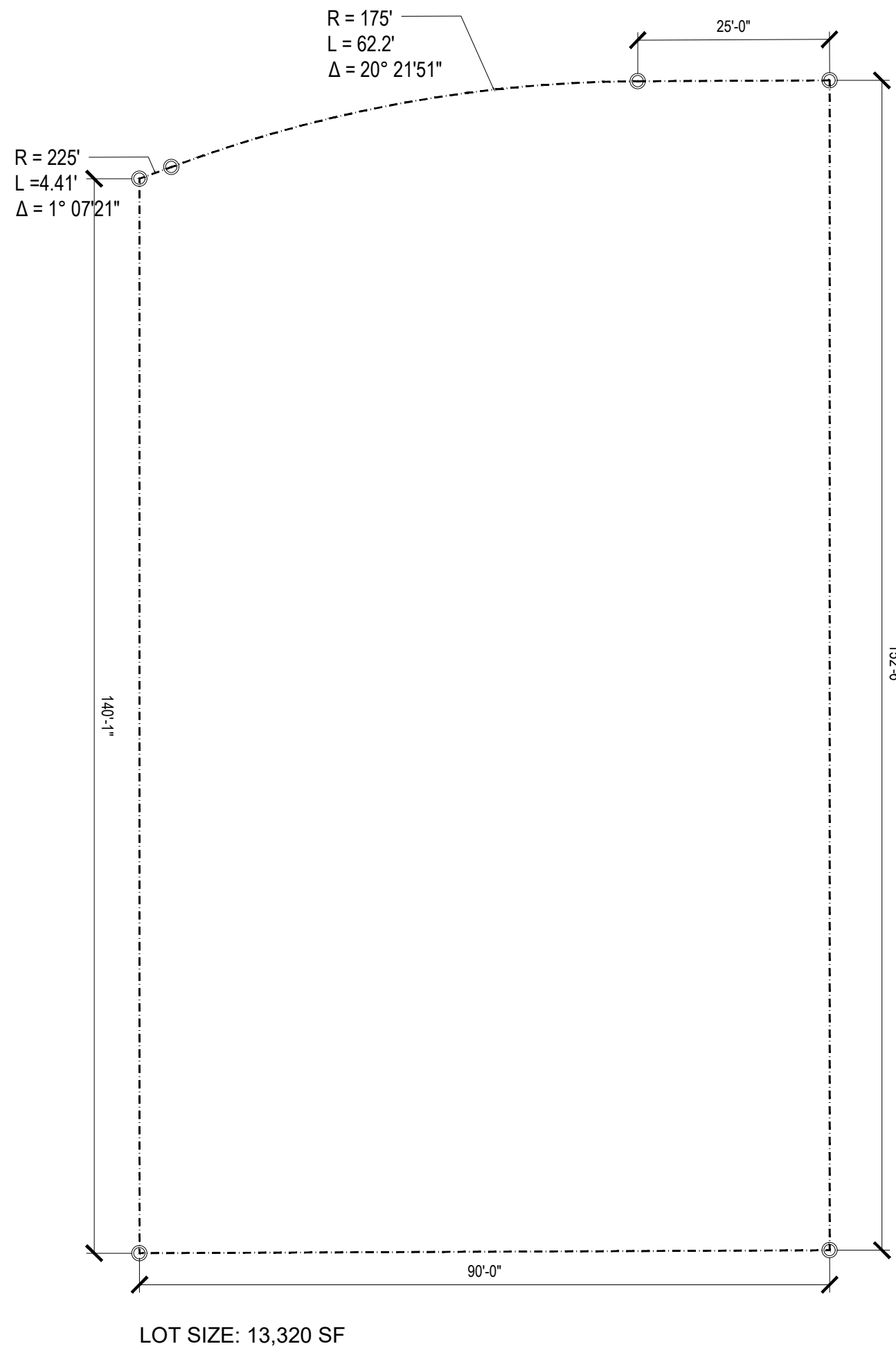
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DIAGRAMS

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GENERAL NOTES

- AIA Documents A201, "General Conditions Of The Contract For Construction, Latest Edition," shall govern all work under this Contract and shall apply to all trades and is hereby incorporated into these documents.
- All work shall comply with all applicable National Codes, the latest edition of The Florida Building Code (2020) (herein also referred to as F.B.C.), Residential, Seventh Edition, and updated Local Zoning Ordinances.
The Contractor shall field verify all dimensions and existing conditions and notify the Architect of all discrepancies or needed interpretations prior to commencing construction.
- Omissions from drawings and/or misdescription of details of work which are manifestly necessary to carry out intent of drawings or are customarily performed shall not relieve contractor from performing such omitted or misdescribed details or work, but shall be performed as if fully and correctly set forth and described in drawings using most appropriate method, with final approval issued by Architect to alleviate conflicts of scheduling, drawings, details, and/or specifications.
- All work shall be performed in the best and most professional manner by mechanics skilled in their respective trades.
- Contractor shall be responsible for quality and performance of all materials, appliances, and work. All materials, equipment, and systems shall be installed in strict accordance with applicable standards and manufacturers written specifications, instructions, and recommendations. Contractor shall review all shop drawings such as and not limited to roof trusses, doors, windows and hardware. Contractor will inform the Architect of any item which deviates from the working drawings.
These plans may be used only under such conditions in which all applicable safety laws, rules and regulations are the sole responsibility of the contractor.
- Written dimensions have precedence over scaled dimensions. Do not scale drawings. Field verify all dimensions.
- Contractor is responsible that easements and setbacks are not encroached.
- Coordinate Architectural drawings with Structural, Mechanical, Plumbing, and Electrical drawings. Any discrepancies are to be brought to Architect's attention for clarification prior to bidding and work.
- Not used.
- Not used.
- Provide all site clearing, excavating to required grades and lines, back fill, grading fill, compaction and dewatering as required to execute the work. All fill under slabs shall be Compacted with fine sand fill set in 6" layers to 95% density ASTM 1157. Verify against Structural drawings. Preserve all existing trees and shrubs unless otherwise specified by Owner.
- Contractor shall remove all construction debris and leave the site graded as indicated on the site plan or as specified by Architect/Owner.
- All concrete work at ground level shall have 6 Mil thick Visqueen vapor Barrier, or approved equal. Lap visqueen by min. 6" fully duct tape along length of lap.
- Finish grade shall slope away from building walls and property lines. Refer to Site Plan.
- Not used.
- All gates to be self closing and latching (if applicable).
- Not used.
- Refer to engineering drawings for all engineering information (coordinate against Architectural).
- Not used.
- All work shall comply with chapter 10 (means of egress) of the Florida Building Code and NFPA 101. Typical throughout these documents.
- Elevations shown on the plan refer to National Geodetic Vertical Datum (N.G.V.D.).
- Termite protection shall be provided by registered termiticides or other approved methods of termite protection labeled for use as a preventative treatment to new construction.
All new structures shall comply to section 1B16 of F.B.C.
- UTILITY NOTES:
A. General Contractor to verify exact locations of the following outside the property line: 1. Electric Service, 2. Gas, 3. Water Main, 4. Telephone.
B. All above and associated work utilities shall be as per enforced edition of the Florida Building Code F.B.C. and all applicable Codes.
C. Contractor shall verify the locations of all utilities, overhead and underground, prior to construction and coordinate with Architect/Owner prior to start of work.
D. Electrical power, telephone, water and gas shall be run as required to meet existing service. All to be verified with Architect/Owner. The Contractor shall coordinate tie-ins and service with utility companies prior to start of work.
- All premanufactured items such as exterior shutters and doors, but not limited to these, shall be under a separate permit if required. General contractors and any subcontractor providing the above items shall provide signed and sealed calculations and shop drawings. All submissions shall be according to N.F.P.A. 101 and the latest edition of the F.B.C. for A/E approval prior to fabrication and ordering. All manufactured items shall meet high velocity hurricane zone (HVHZ) prior to ordering and work, typical throughout project. Refer to Structural engineering sheets for applicable information, i.e. wind pressure calculations, etc.
- Typical throughout project: Where slope is indicated with an arrow, contractor to provide 1/4" per ft. min. slope or as noted.
- For septic tank and drain field refer to plumbing drawings (if applicable).
- Not used.
- Not used.
- Not used.
- Not used.
- The plans and specifications are not intended to depict each and every detail as the party in the field. The contractor is in the best position to verify that all conditions are completed to provide a watertight structure.
- FEMA NOTES:
All areas below FEMA elevation shall meet the requirements of chapter 11C: development within flood hazard districts.
A. Not used.
B. All Electrical, Mechanical & Plumbing shall be above base flood elevation.
- BACKING FOR WALL HUNG FIXTURE NOTES:
Where wall-hung fixtures are provided 2" x 4" bracing between studs at point of attachment of fixture shall be provided to withstand 200 lb. force applied in all directions (or supports be provided as per fixture manufacturer's requirement)
- EGRESS WINDOW SPECIFICATION: Not used.
- EGRESS DOOR SAFETY NOTE: Not used.
- APPLICABLE ITEMS OF CHAPTER 24 OF FBC. REGARDING DOORS AND OPERABLE WINDOWS IN EXTERIOR WALLS: Not used.
- ZONING DISTRICT (Residential):

Site to be filled to county flood elevation N.G.V.D. or an elevation no less than the highest approved crown elevation of the road abutting the property.

DEMOLITION NOTES

- DASHED WALLS AS INDICATED ON PLANS ARE TO BE REMOVED. NO WALL REMOVED IS LOAD BEARING
- SELECTIVE REMOVAL AND OFF SITE DISPOSAL INCLUDES:
 - FLOOR TILES AND THINSET/ THICKSET REMOVAL
 - FRAME WALLS AND WALL BOARD
 - INDICATED INTERIOR DOORS
 - INTERIOR FINISHES AS INDICATED
 - KITCHEN APPLIANCES (ASK OWNER IF TO BE DISPOSED)
- OWNER OR ARCHITECT TO ASSUME NO RESPONSIBILITY FOR THE ACTUAL CONDITIONS ON SITE.
- PROTECT EXISTING FINISH WORK ON SITE FROM DAMAGE DUE TO NEW CONSTRUCTION.
- CONTRACTOR TO REPAIR ANY (AT NO COST TO THE OWNER) ON SITE OR ON ADJACENT FACILITIES DUE TO DAMAGES.
- CONTRACTOR TO SHUT OFF UTILITIES TO ALL AREAS EXCEPT OCCUPIED PORTIONS OF THE BUILDING
- CONTRACTOR TO OBTAIN ALL APPLICABLE PERMITS PRIOR TO BEGINNING WORK
- DEMOLITION WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF ALL CODES HAVING JURISDICTION OVER THE PROJECT.
- CONTRACTOR TO PROVIDE BRACING AND SHORING TO PREVENT THE SETTLEMENT OR COLLAPSE OR STRUCTURE WHEN APPLICABLE.
- CONTRACTOR TO IDENTIFY, STUB OFF AND DISCONNECT UTILITY SERVICE TO REMAIN.

ZONING DATA (SFR ZONING Sec. 2-100)

SET BACKS:	REQUIRED (MIN)	PROPOSED
FRONT:	25'	25'-0"
REAR :	10'	27'-8"
SIDE SETBACKS SHOULD TOTAL 20% OF THE TOTAL LOT WIDTH (90') : 18'		
SIDE (EAST):	5' MIN.	9'-6"
SIDE (WEST):	5' MIN.	9'-0"

GROUND AREA COVERAGE:	REQUIRED (MAX)	PROPOSED
LOT AREA: 13,320 sf	35% OR 4,662 sf	4,036 sf OR 30.3%

MAX. ALLOWABLE SQUARE FOOTAGE:	REQUIRED (MAX)	EXIST. W/ NO CHANGE
FIRST 5000 SF OF LOT 48%:	2,400 sf	
SECOND 5000 SF OF LOT 35%:	1,750 sf	
REMAINING 3320 SF OF LOT 30%:	996 sf	
TOTAL OF MAX. AREAS ALLOWED:	5,146 sf	3,473 sf

OPEN SPACE REQUIRED 40% TOTAL =	5,328 sf	
PROVIDED =	8,926 sf	
20% FRONT YARD OPEN SPACE REQ =	1,065.6 sf	
PROVIDED =	2,449 sf	

MAX. ALLOWABLE HEIGHT = 2 STORIES OR 25' MEASURED FROM BASE FLOOD ELEVATION		
PROPOSED BUILDING HEIGHT: 18'-0"		

FLOOD LEGEND

ZONE X

ADDRESS: 740 SAN JUAN DR, CORAL GABLES, FLORIDA
HIGHEST CROWN OF ROAD ELEV. AS PER THE ATTACHED CERTIFIED SURVEY.
BASE FLOOD ELEVATION (N.G.V.D.) = NOT APPLICABLE

ALL ELECTRICAL, MECHANICAL AND PLUMBING WILL BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION (B.F.E.)

ALL AREAS BELOW B.F.E. SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF THE OPENING WILL BE NO HIGHER THAN ONE (1) FOOT ABOVE GRADE AND LOCATED ON DIFFERENT SIDES OF THE ENCLOSED AREA. OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOUVERS. FLOOD RESISTANT MATERIALS WILL BE USED BELOW B.F.E.

ALTERNATIVELY SEE A CERTIFICATION BY THE P.E. ON THE PLAN NOTES INDICATING THAT THE DESIGN WILL BE ALLOWED FOR AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.

THE SITE WILL BE GRADED IN A MANNER TO PREVENT THE FLOODING OF ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTORS SWALES WILL BE CONSTRUCTED ON-SITE WITH NO ENCRoACHMENT OVER ADJACENT PROPERTIES.

0'-0" = +16.6' FT NGVD

LEGAL DESCRIPTION

FOLIO : 03-4132-002-0130
SAN JUAN HGTS PB 57-16, LOT 13, LOT SIZE 90,000 X 148
according the public records of Miami-Dade County, Florida

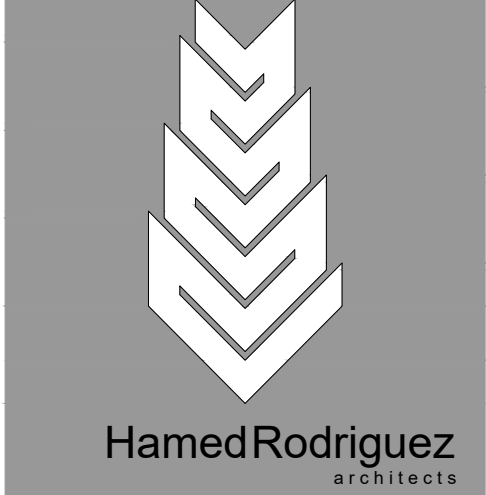
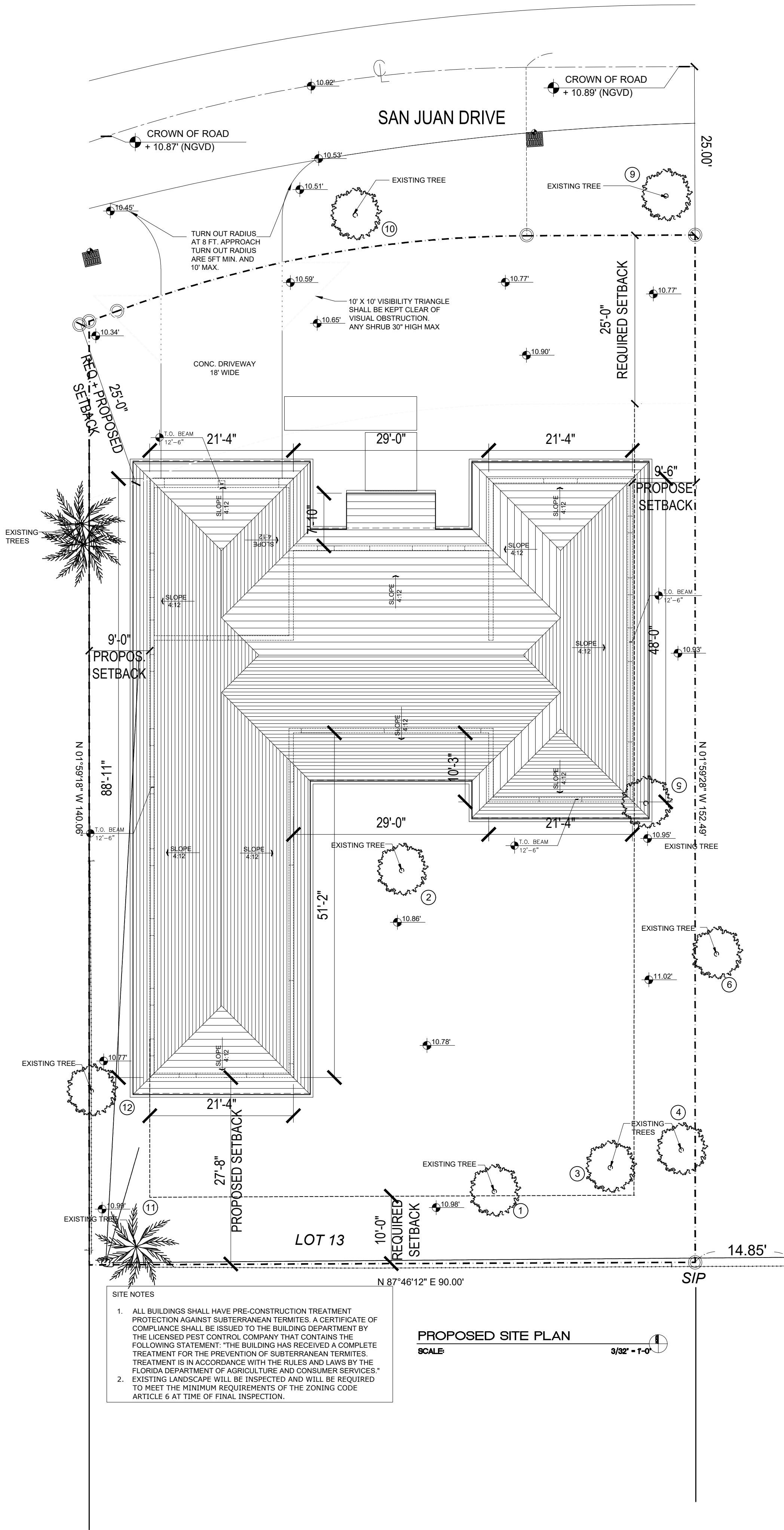
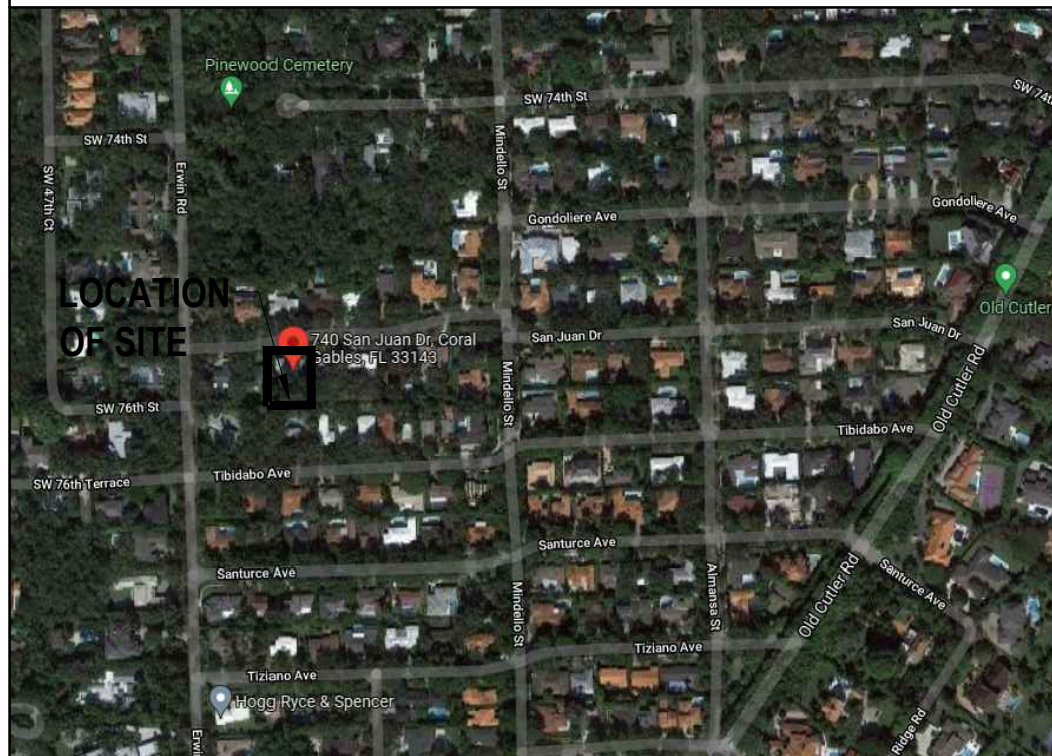
SYMBOL LEGEND

SYMBOL	DESCRIPTION
	8" C.M.U. WALL
	5" PARTITION WALL
	EXISTING WALLS TO BE DEMO
	INCLUDED AREA

SCOPE OF WORK

DEMO OF EXISTING STRUCTURE, NEW CONSTRUCTION OF A NEW SINGLE STORY RESIDENCE, INCLUDING 4 BEDROOMS + DEN TV ROOM AND 2 CAR GARAGE.

LOCATION MAP



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WWW.HAMEDRODRIGUEZ.COM

HAMED RODRIGUEZ ARCHITECTS
AR03201
AK0002004

REV.	DATE	COMMENT

COMPLETE RENOVATION +
ADDITION FOR

QUINONEZ
RESIDENCE

740 SAN JUAN DRIVE,
CORAL GABLES, FL 33143

OWNERSHIP AND USE OF THESE DOCUMENTS
SPECIFICATIONS AS INSTRUMENTS OF ARE AND
SHALL REMAIN THE PROPERTY OF ARCHITECT
WHETHER THE PROJECT THEY MADE FOR IS
EXECUTED OR NOT. THEY NOT BE USED BY THE
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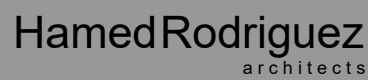
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ISSUE DATE: 09.09.21
PLOT DATE: 09.09.21
SCALE: AS NOTED
DRAWN BY: HR
CHECKED BY: HR

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A1.0



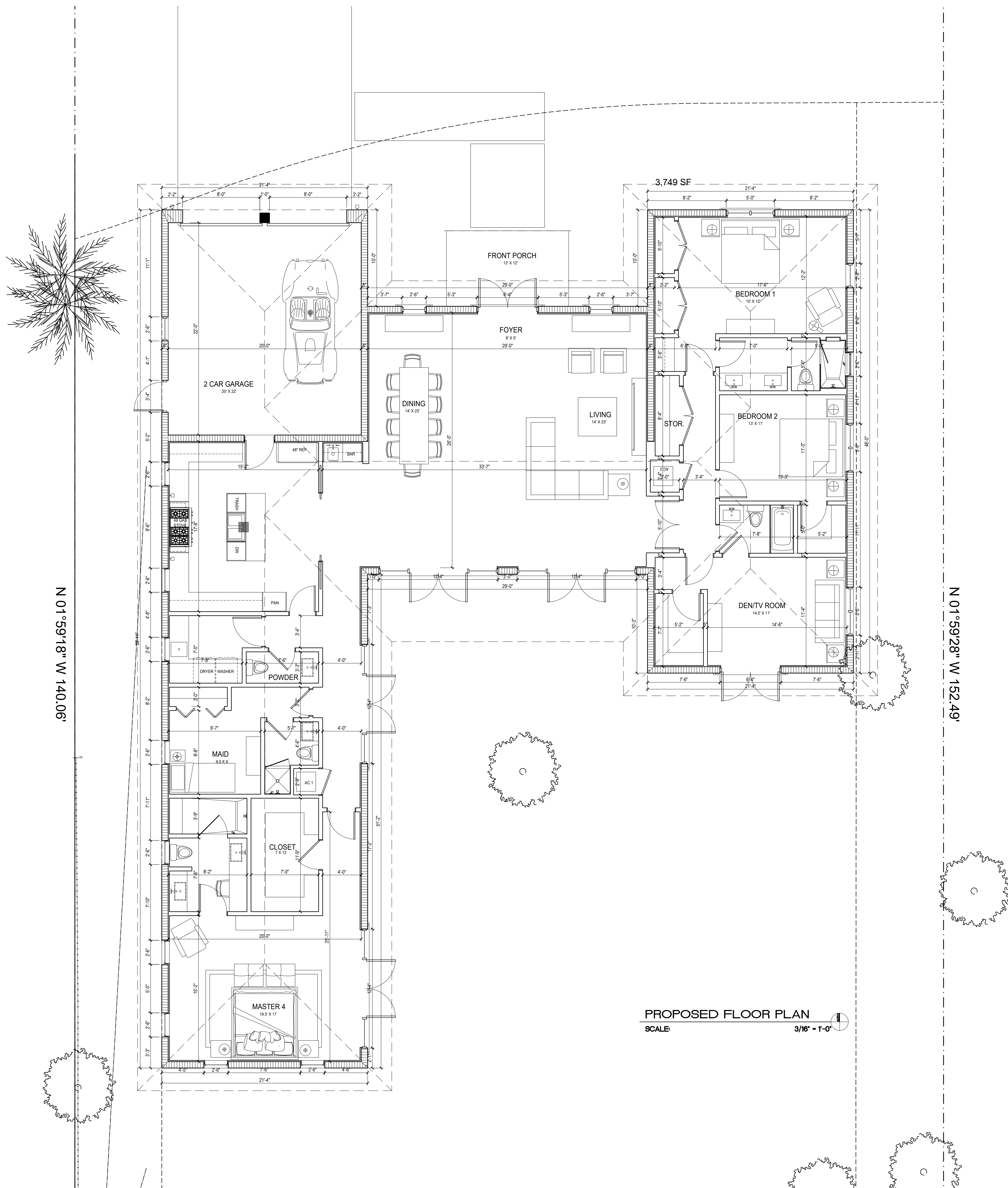
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AR93261
AA26002034

COMPLETE RENOVATION +
ADDITION FOR

740 SAN JUAN DRIVE,
CORAL GABLES, FL 33143

PROJECT NO.:	--
ISSUE DATE:	09.09.21
PLOT DATE:	09.09.21
SCALE:	AS NOTED
DRAWN BY:	HR
CHECKED BY:	HR

A1.1





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AR03201
AK0000034

REV.	DATE	COMMENT

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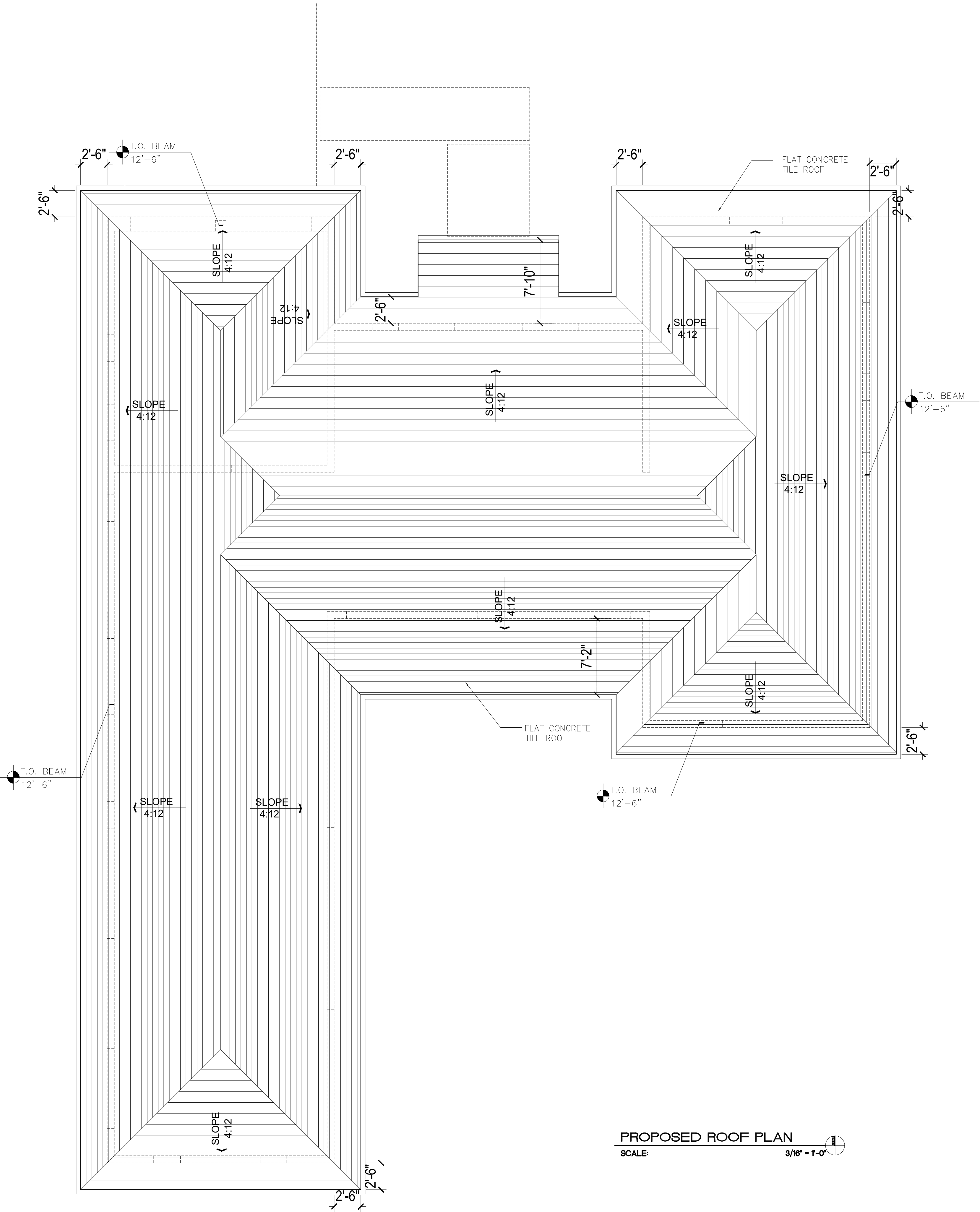
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SCALE:	AS NOTED
DRAWN BY:	HR
CHECKED BY:	HR

SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

A1.2



PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"



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AAS2002034

REV.	DATE	COMMENT

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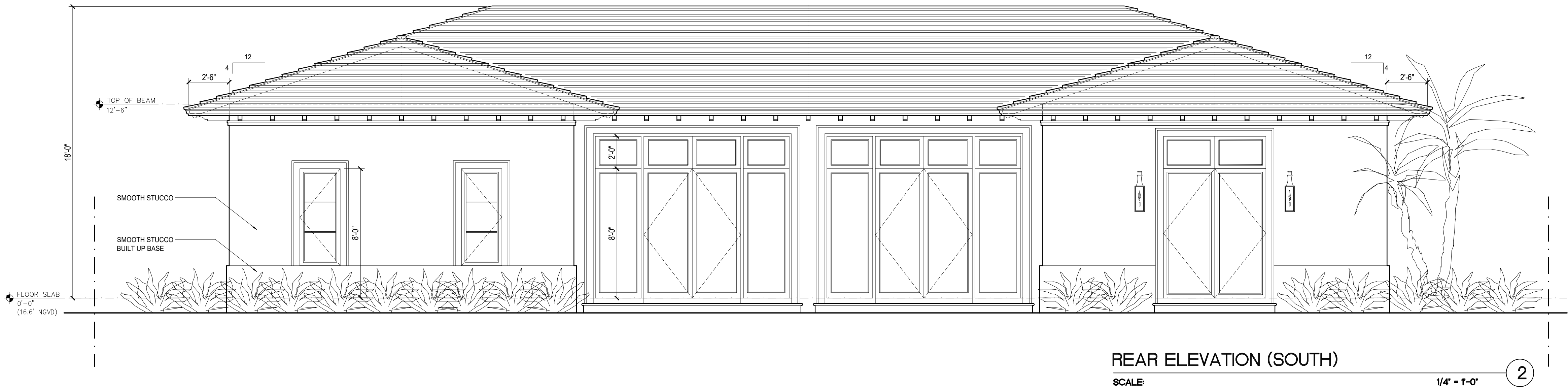
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SCALE:	AS NOTED
DRAWN BY:	HR
CHECKED BY:	HR

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A2.0





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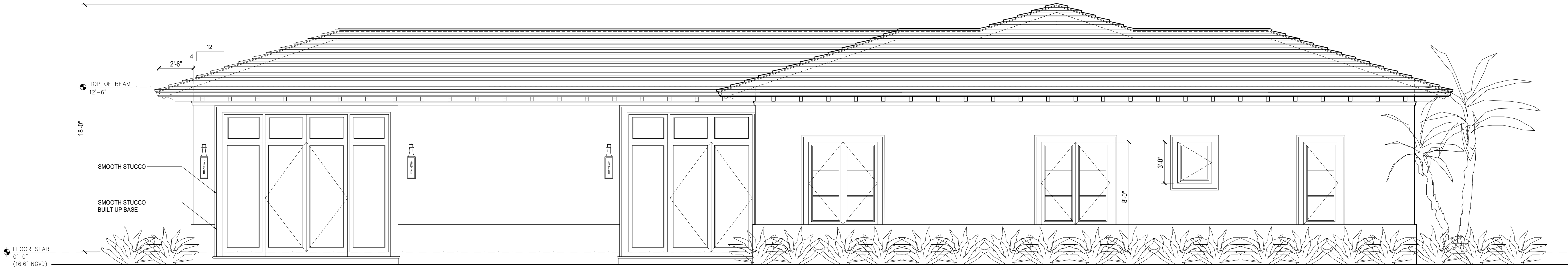
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ELEVATIONS

SHEET NUMBER:

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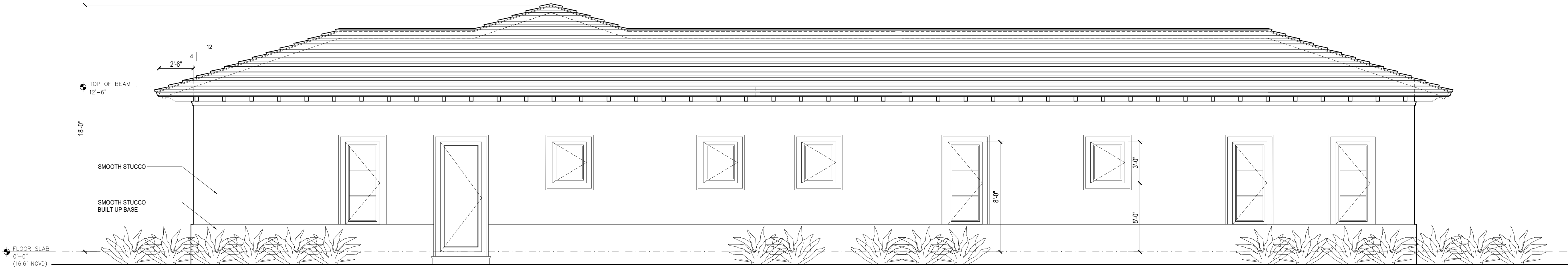


SIDE ELEVATION (EAST)

SCALE:

1/4" = 1'-0"

2



SIDE ELEVATION (WEST)

SCALE:

1/4" = 1'-0"

2