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GIRALDA COMPLEX

2222 PONCE DE LEON, CORAL GABLES, FLORIDA 33134

RIGHT OF WAY ENCROACHMENT
SUBMITTAL 05.04.10

DEVELOPER

Giralda Complex LLC.-

2222 Ponce De Leon Blvd. Suite # 150

Coral Gables, Florida 33134

Ph: (305) 442 6472 Fax: (305) 442 6474

ENCROACHMENT PLAN - NOT FOR CONSTRUCTION

Fullerton Diaz
ARCHITECTS
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PROJECT NUMBER: 20428.00

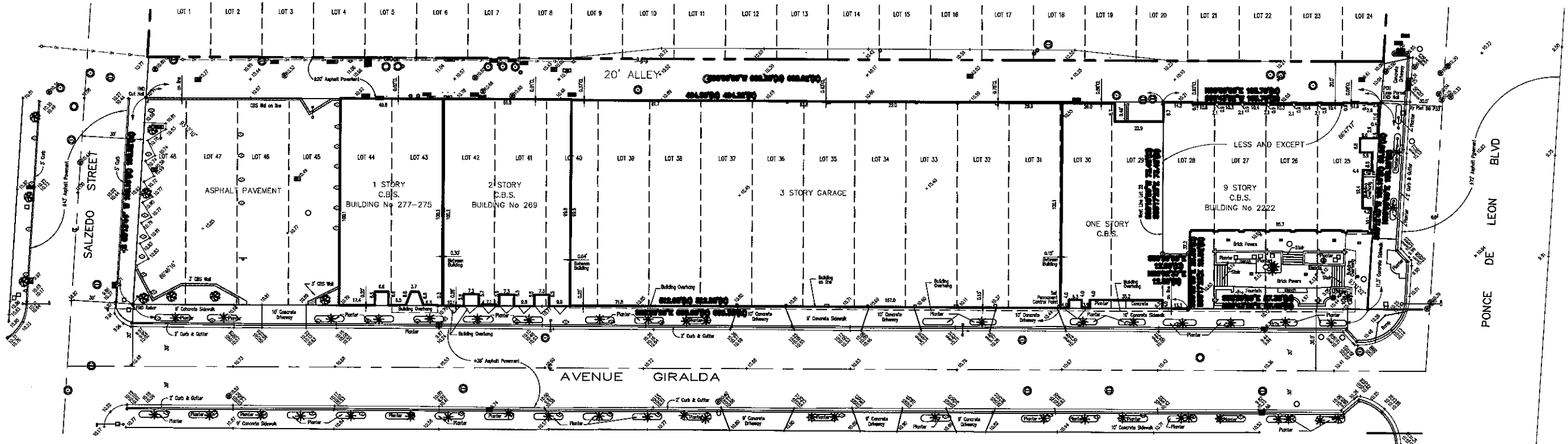
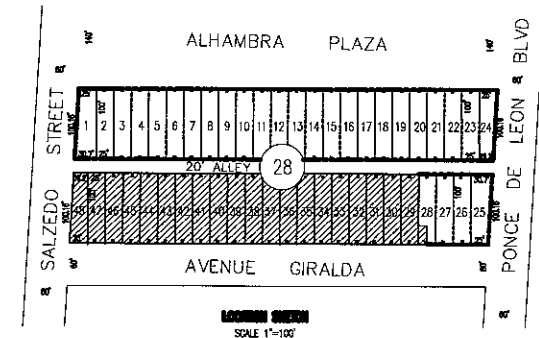
REGISTRATION: AA C000597

JOHN P. FULLERTON - AR 4347
JULIO S. DIAZ - AR 7902

Fullerton Diaz
5/19/10

SHEET NUMBER:

SKETCH OF BOUNDARY SURVEY



LEGAL DESCRIPTION

Lots 25 through 48, Block 28, of Coral Gables Section "K" according to the Plat thereof as recorded in Plat Book 6, Page 33, of the Public Records of Dade County, Florida, LESS AND EXCEPT

Lots 25 through 27, and a portion of Lot 28, in Block 28, CORAL GABLES SECTION "K", according to the plat thereof, as recorded in Plat Book 8 of Page 33 of the Public Records of Miami (Dade County, Florida, being more particularly described as follows:

Commence Northeast corner of said Lot 25 in Block 28, thence South 88°43'52" West along the north line of said Lots 25, 26, 27 and 28, for 105.70 feet to the Northwest corner of said Lot 28, thence South 03°17'23" East along the West line of said Lot 28, for 72.48 feet, thence North 88°42'37" East departing said West line, for 12.50 feet; thence South 03°17'23" East along a line lying 12.50 feet east of and parallel to said West line of lot 28, thence North 88°43'52" East for 87.45 feet along the South line of said Lots 25, 26, 27 and 28, for 87.45 feet to the Southeast corner of said Lot 25, thence North 00°00'00" East along the East line of said Lot 25, for 100.20 feet to the Point of Beginning.

SYMBOLS

- Catch Basin
- Drain
- Manhole Drainage
- Center Line
- Water Meter
- Water Valve
- Wire Pull Box
- Concrete Light Pole
- Cleanout
- Guard Post
- Parking Meter
- Manhole Unmarked
- Unknown Valve
- Manhole Sanitary
- Manhole Telephone
- Manhole Septic
- Single Sign Support
- Monetary Well
- Wire Pull Box
- Street Light Pole
- Palm Tree
- Signal Mast ARM
- Fire Hydrant
- Manhole Electric

SURVEYOR'S NOTES

Legal Description provided by the client.

This Survey represents a "Boundary Survey" of Lots 25 through 48 inclusive, Block 28 of said Coral Gables Section "K".

Bearings are based on an assumed meridian, where the center line of NE Avenue Giralda bears S 89°50'09"E.

Only the surface indications of the underground utilities have been located in the field. The Surveyor has performed no subsurface investigation or determined the location of location of underground utilities. It should be noted that there might be other underground utilities in addition to those evidenced by the visible appearances shown on this sketch. The owner or his agent should verify all utility locations with the appropriate utility provider before using.

Elevations are referred to N.G.V. Datum (1929). Elevations are based on City of Coral Gables Benchmark, the same being a 10' nail and brass washer stamped #404 located at the NE corner of intersection of NE Avenue Giralda and NE Salzedo Street. Elevation 10.65 feet.

RECORDS OF THE CITY

The National Flood Insurance Rate Map for Florida, Community Panel No. 18250 0193, 4, FIRM Date 03/02/84, and Renewed with an effective date of 07/17/85, published by the United States Department of Housing and Urban Development, delineates the herein described land to be situated within Zones "X", Base Flood Elevation, N/A.

Rights of Way as shown are based on the recorded Plat, Right of Way Bonds, record descriptions and information obtained from the City of Coral Gables Public Works Department. The City of Coral Gables Public Works Department indicates that the Streets, Avenues, Roadways and Alley as shown herein have been dedicated to the Public Right of Way locations reported by the information obtained from the Public Works Department has not been abstracted nor is the information warranted by the City of Coral Gables. The Records Plat of Coral Gables Section "K" do not contain a dedication statement. Right of Way should be verified by the appropriate agency prior to design and/or construction.

Any notations of occupation and/or use of the described parcel for Right-of-Way, Egress or Express is shown on this survey drawing. However, this survey does not support to reflect any recorded easements or Right-of-Way other than shown on the recorded plat or stated in the legal description as it appears on this drawing.

Only the surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appearances as shown on this sketch. Underground utilities references based on limited information provided by the utility company, owner or his agent should verify all utility locations with the appropriate utility provider before using. No underground footings were located.

This sketch shown hereon in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be accepted in authority by any other graphic or digital format of this Survey. This map is intended to be displayed at a scale of 1"=20' or smaller. At the maximum intended display scale the survey and sketch's positional accuracy value occupies 1/20" on the display.

CONVEYANCE CERTIFICATE

We hereby certify that to the best of our knowledge and belief this "BOUNDARY SURVEY" and the survey on which it is based of the herein described property is true and correct to the best of our knowledge and belief a recently surveyed and plotted under our direction, class that there are no whole encroachments other than those shown. I further certify that this Survey meets the Minimum Technical Standards set forth by the Florida Board of Professional Surveyors and Mappers pursuant to Chapter 61C07-5, Florida Administrative Code, under authority of Chapter 472.027, Florida Statutes.

E.R. BROWNELL & ASSOCIATES, INC.

Thomas Brownell
Executive Vice President
Professional Land Surveyor #2891
State of Florida

Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.



Prepared For:

JEFFREY LEHRMAN

Miami, FL

E.R. Brownell & Assoc., Inc.

CONSULTING ENGINEERS PLANNERS SURVEYORS & MAPPERS
3182 Coral Way
305.444.3311
Miami, Florida, 33145
305.444.2034 (FAX)

Professional Land Surveyor & Mapper No. 2891	Drawn by: ALR	Ref.:	Sheet: 1 OF 1
Certificate of Authorization No.	Des. by: ALR	J.N. 58796	F.B. FILE
State of Florida	Chk. by: TB	Scale: 1"=20'	Date: 10/06/05
			Slk. No. LS-2579A

PROPERTY CORNERS NOT RECOVERY AT THIS TIME

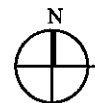
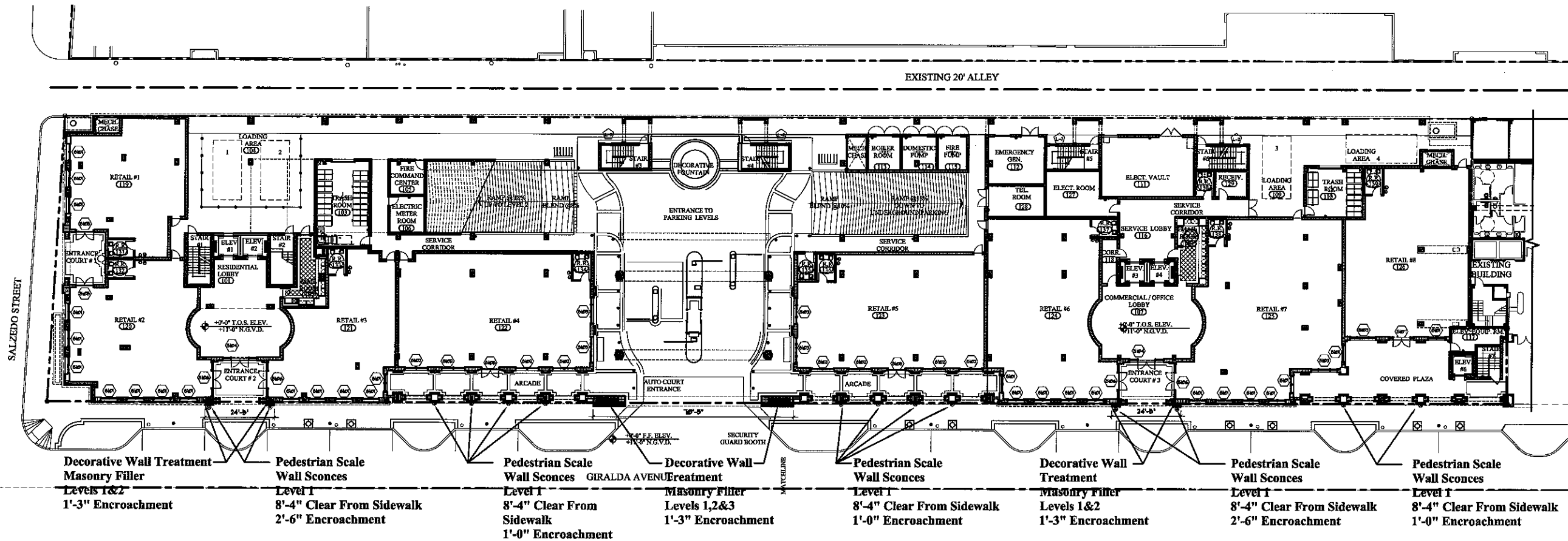
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NOTE:

ENCROACHMENTS WILL BE BUILT AS MASONRY FILLERS AND/OR STONE AND PRECAST APPLIED VENEERS. THERE WILL NOT BE ANY VERTICAL STRUCTURAL ENCROACHMENT INTO THE RIGHT OF WAY AT ANY POINT IN THE PROPERTY.

GIRALDA COMPLEX - ENCROACHMENT TABLE

Level	Façade	Item	Quantity	Encroachment	Comments
1	South	Wall Sconce	4	2'-6"	8'-4" above sidewalk
	South	Wall Sconce	10	1'-0"	8'-4" above sidewalk
	South	Wall Treatmet	6	1'-3"	decorative masonry filler
2	South	Wall Treatmet	3	1'-1 1/2"	decorative masonry filler
3	South	Wall Treatmet	1	1'-1 1/2"	decorative masonry filler
4	South	Decorative Cornice	1	2'-6"	
	West	Decorative Cornice	1	8 1/2"	
	North	Decorative Cornice	1	1'-6 5/8"	
5	South	Decorative Cornice	2	1'-6 5/8"	
	South	Decorative Cornice	1	1'-4"	
6	South	Decorative Pier Cap	2	2'-4"	pool deck level



LEVEL 1 - ENC PLAN

SCALE 1" = 20'-0"

RIGHT OF WAY ENCROACHMENT

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NO.	DESCRIPTION	DATE
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PROJECT NUMBER: 20426.00

REGISTRATION: AA C000597

☐ JOHN P. FULLERTON - AR 4347
☐ JULIO S. DIAZ - AR 7802

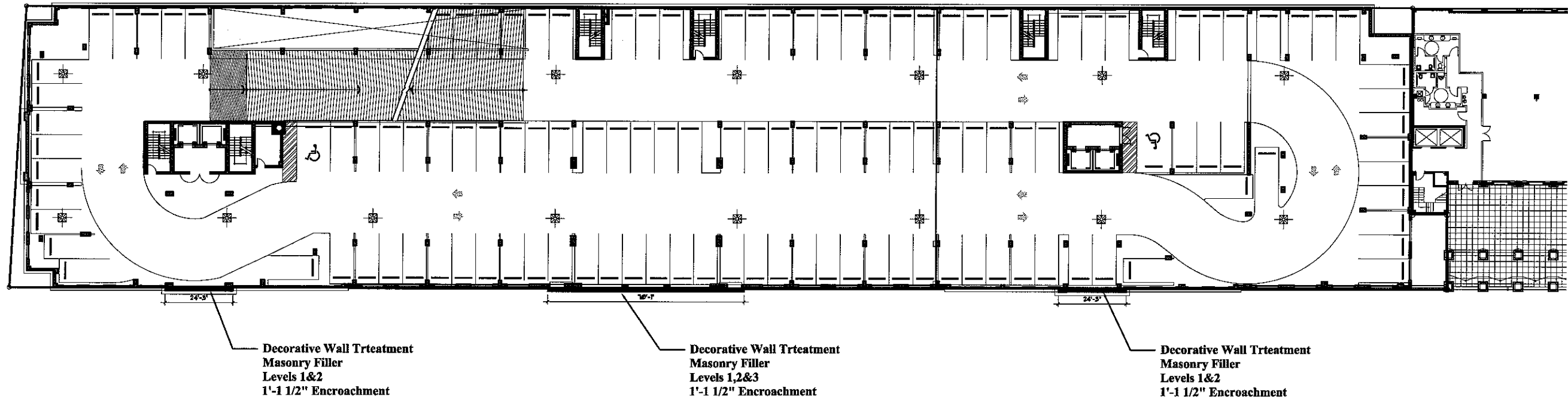
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NOTE:

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WAY AT ANY POINT IN THE PROPERTY.



LEVEL 2 - ENC PLAN
SCALE 1" = 20'-0" RIGHT OF WAY ENCROACHMENT

ENCROACHMENT PLAN - NOT FOR CONSTRUCTION

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☐ JOHN P. FULLERTON - AR 4347
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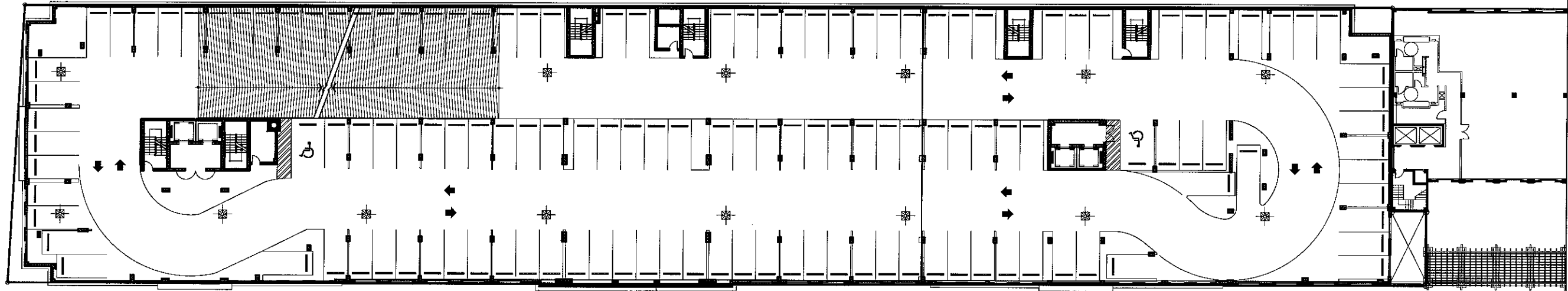
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Decorative Wall Treatment
Masonry Filler
Levels 1,2&3
1'-1 1/2" Encroachment



LEVEL 3 - ENC PLAN

SCALE 1" = 20'-0"

RIGHT OF WAY ENCROACHMENT

ENCROACHMENT PLAN - NOT FOR CONSTRUCTION

THE GIRALDA COMPLEX
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NO.	DESCRIPTION	DATE
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PROJECT NUMBER: 20426.00

REGISTRATION: AA C000597

☐ JOHN P. FULLERTON - AR 4347
☐ JULIO S. DIAZ - AR 7902

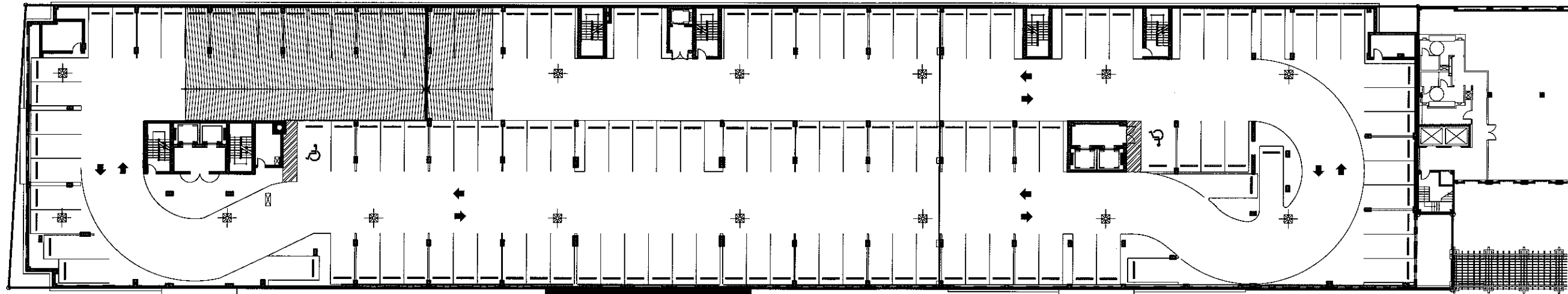
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Decorative Cornice
Level 4
2'-6" Encroachment



LEVEL 4 - ENC PLAN

SCALE 1" = 20'-0"

RIGHT OF WAY ENCROACHMENT

ENCROACHMENT PLAN - NOT FOR CONSTRUCTION

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 **Fullerton Design**
A R C H I T E C T S

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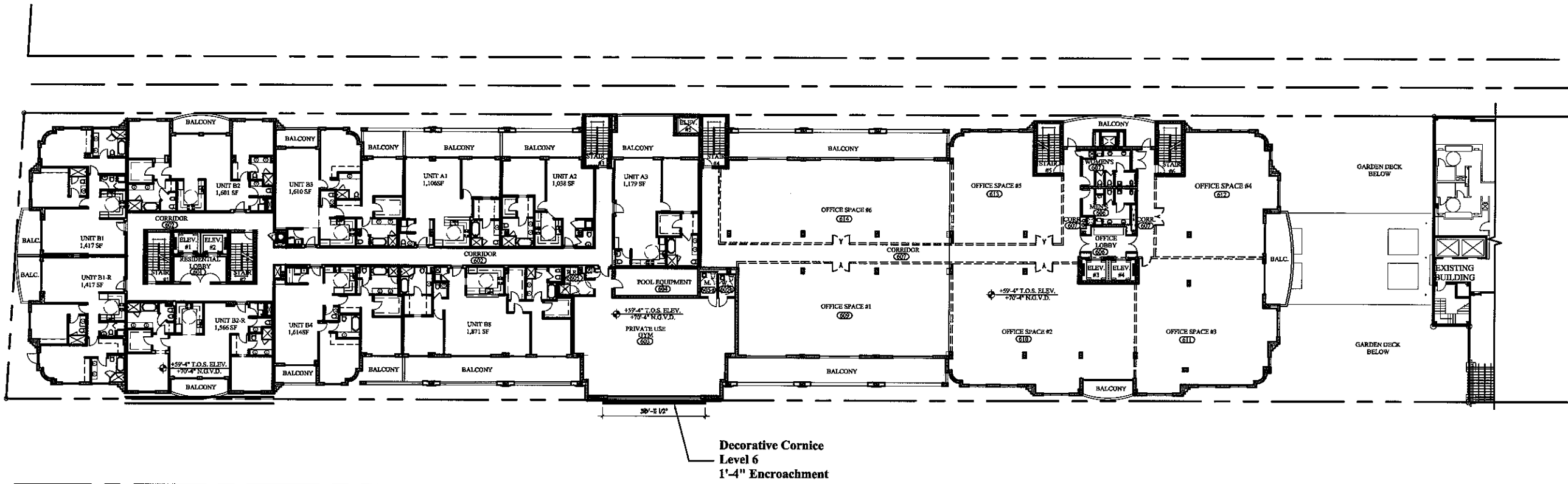
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LEVEL 6 - ENC PLAN
SCALE 1" = 20'-0" RIGHT OF WAY ENCROACHMENT

ENCROACHMENT PLAN - NOT FOR CONSTRUCTION



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ARCHITECTS

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j.s.lopez@giraldia.com

NO.	PERMIT SET	DATE
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PROJECT NUMBER: 20426.00

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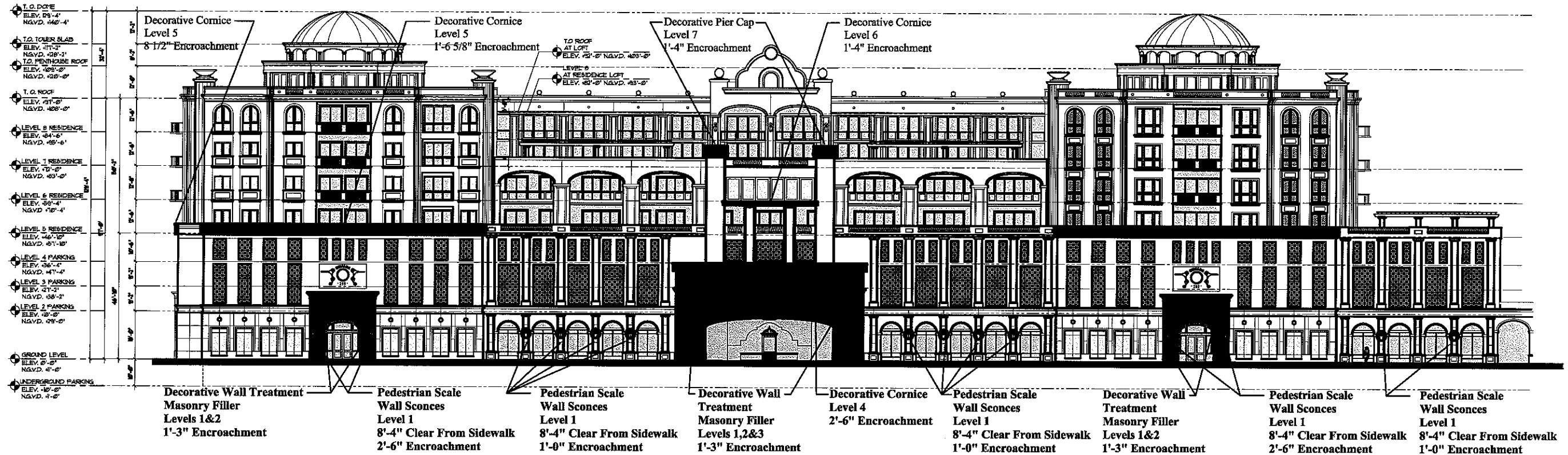
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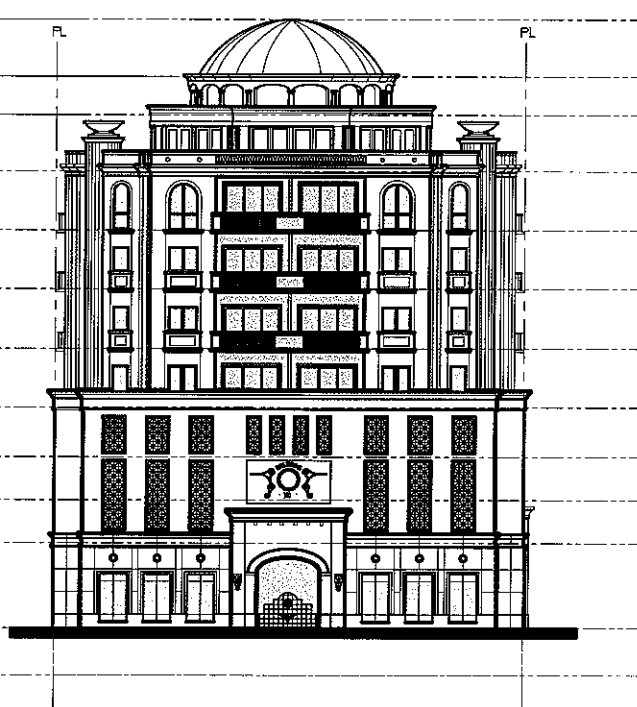
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SOUTH ELEVATION - ENC

SCALE: 1"=20'-0"

RIGHT OF WAY ENCROACHMENT



WEST ELEVATION - ENC

SCALE: 1"=20'-0"

RIGHT OF WAY ENCROACHMENT

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2222 PONCE DE LEON BLVD.
CORAL GABLES, FLORIDA 33134

Fullerton Diaz
ARCHITECTS
386 Allene Avenue | Coral Gables, FL 33148 | 305.442.4200 (T) | 305.444.8866
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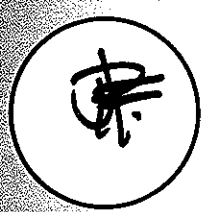
DEVELOPER
Giralda Complex LLC
2222 Ponce De Leon Blvd, Suite # 500
Coral Gables, Florida 33135
Tel: (305) 442-4200 Fax: (305) 444-8866
E-Mail: jfullerondiaz@fullerondiaz.com

NO.	DESCRIPTION	DATE
1	PERMIT SET	02.06.07
2	DRAWING HISTORY:	

PROJECT NUMBER: 20426.00

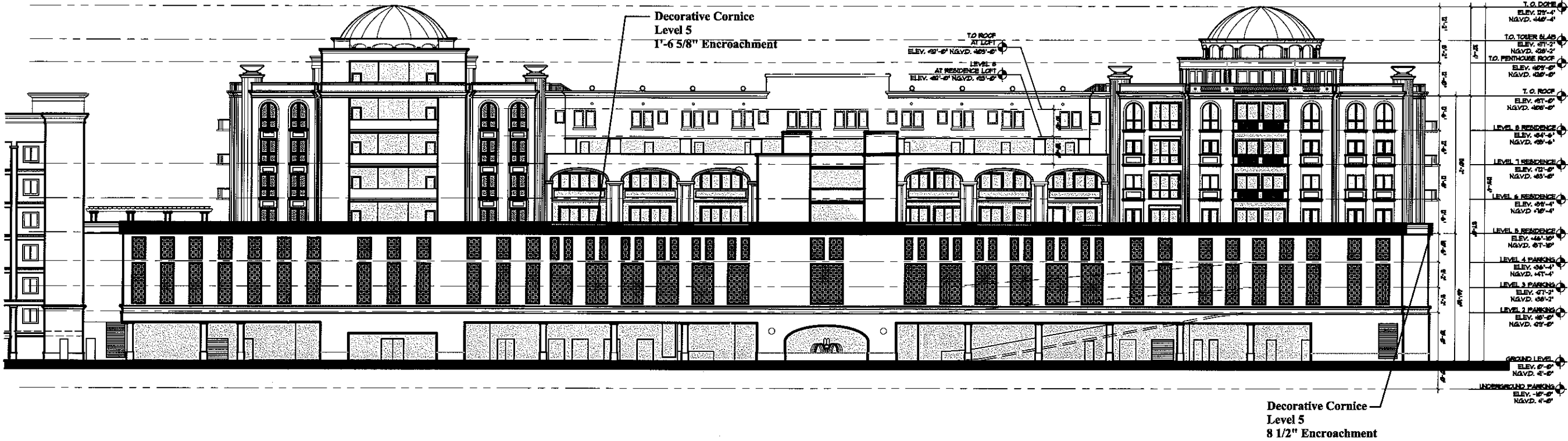
REGISTRATION: AA C000597

☐ JOHN P. FULLERTON - AR 4347
☐ JULIO S. DIAZ - AR 7902



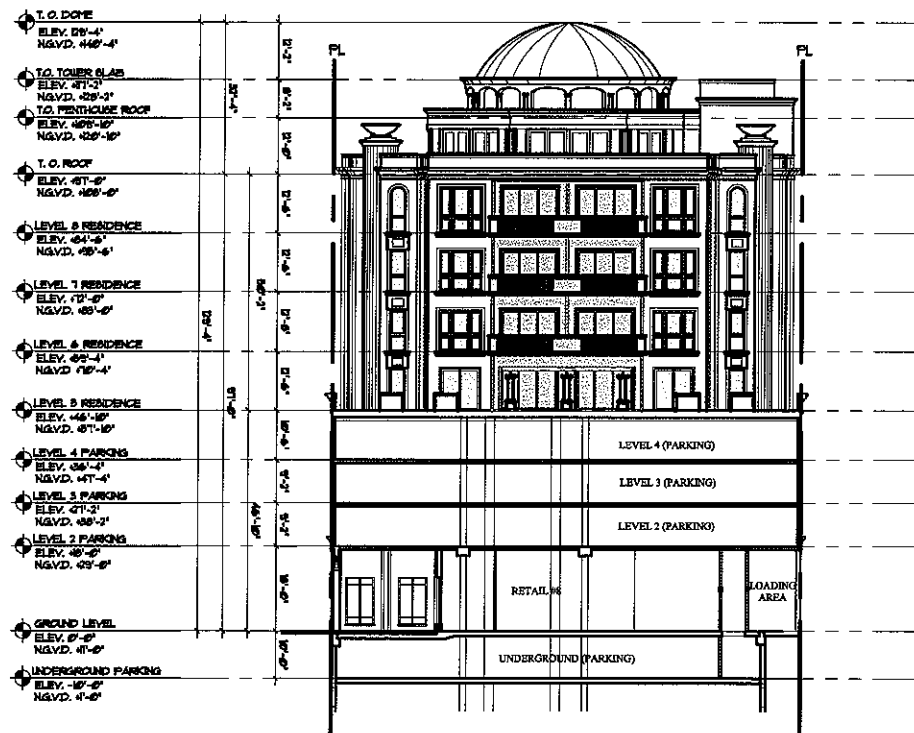
SHEET NUMBER:

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NORTH ELEVATION - ENC

SCALE: 1"=20'-0" RIGHT OF WAY ENCROACHMENT



EAST ELEVATION - ENC

SCALE: 1"=20'-0" RIGHT OF WAY ENCROACHMENT

NOTE:

ENCROACHMENTS WILL BE BUILT AS MASONRY FILLERS AND/OR STONE AND PRECAST APPLIED VENEERS. THERE WILL NOT BE ANY VERTICAL STRUCTURAL ENCROACHMENT INTO THE RIGHT OF WAY AT ANY POINT IN THE PROPERTY.

ENCROACHMENT PLAN - NOT FOR CONSTRUCTION

Fullerton Diaz
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THE GIRALDA COMPLEX
2222 PONCE DE LEON BLVD.
CORAL GABLES, FLORIDA 33134

DEVELOPER
Giralda Complex LLC
c/o Jeffrey S. Lohman Inc.
2222 Ponce De Leon Blvd, Suite # 500
Coral Gables, Florida 33135
Ph: (305) 440-4447 Fax: (305) 440-4440
Email: jsl@gsllc.com

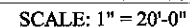
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PROJECT NUMBER: 20426.00

REGISTRATION: AA C000597

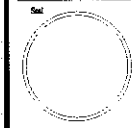
☐ JOHN P. FULLERTON - AR 4347
☐ JULIO S. DIAZ - AR 7902

5/19/10
SHEET NUMBER:



08-30-09
REV:09-15-09

MARIANO CORRAL
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Civil/Storm Drainage
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mcorral@earthlink.net



MARIANO CORRAL, LANDSCAPE ARCHITECT AND PLANNER

THE GIRALDA COMPLEX

2222 PONCE DE LEON BOULEVARD
CITY OF CORAL GABLES, FLORIDA

Scale: 1/8" = 1'-0"

Date: 11-08-07

Project Designer: MC

Drawn By: MC

Checked By: MC

Job Number: 0404-0001

Submitter: N/A

File: 11-08-07

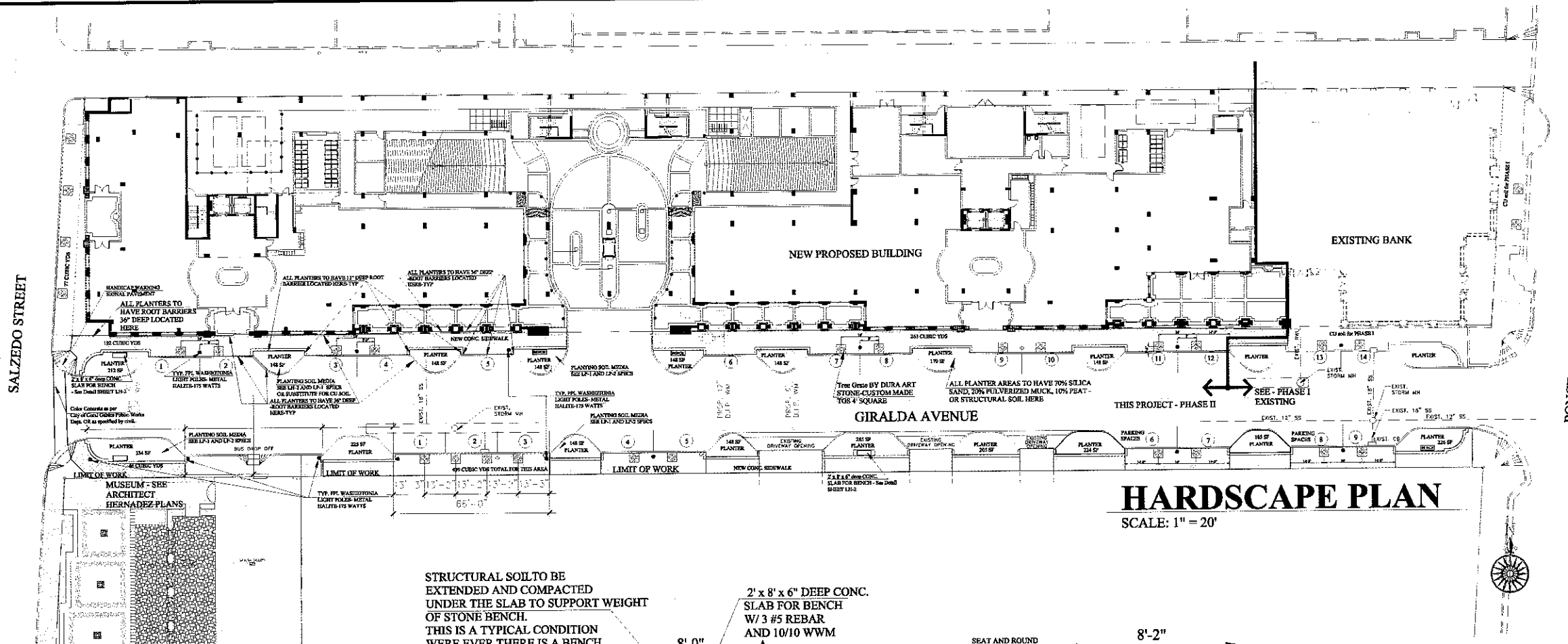
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Revision:

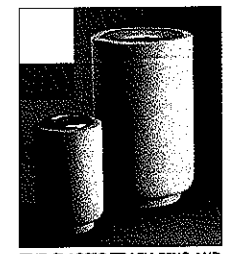
Rev. Description Date

Sheet Number

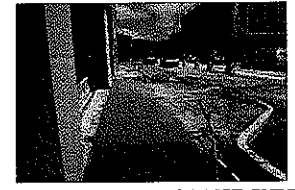
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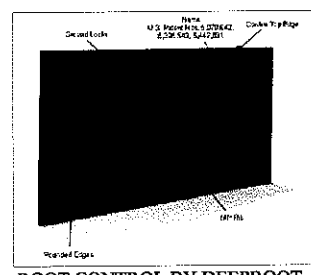
DETAILS



THE CLASSIC TRASH BINS AND ASH URNS BY DURA ART STONE MODEL NUMBER TR-B ROUND TRASH RECEPTABLE AND AU-ROUND ASH URN PHONE#-1-800-232-0332



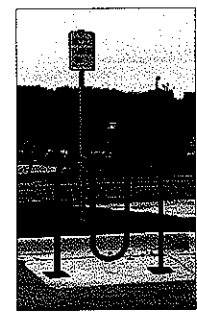
ROOT BARRIER AGAINST CURB AND BUILDING W/ STRUCTURAL SOIL. THIS IS A DIFFERENT TYPE OF ROOT BARRIER. USE THE ONE SPECIFIED. THIS PHOTO IS FOR ILLUSTRATION PURPOSE.



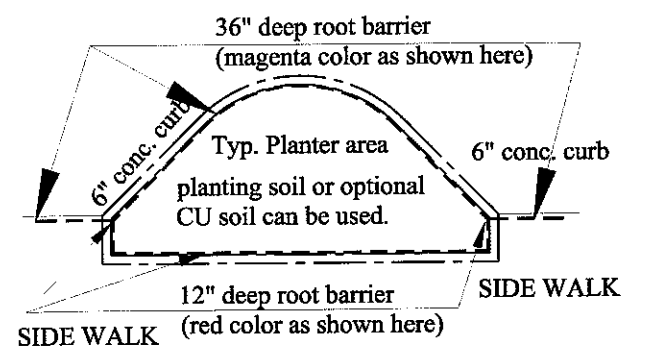
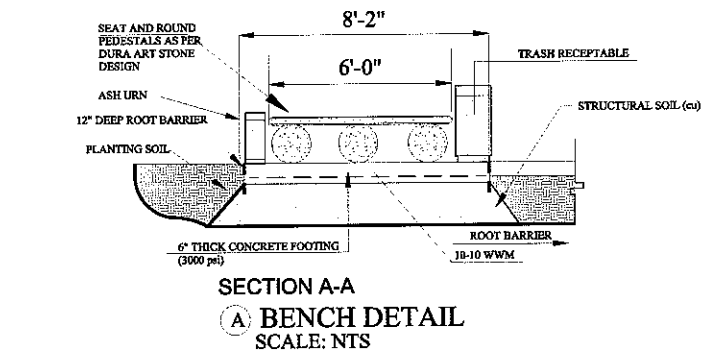
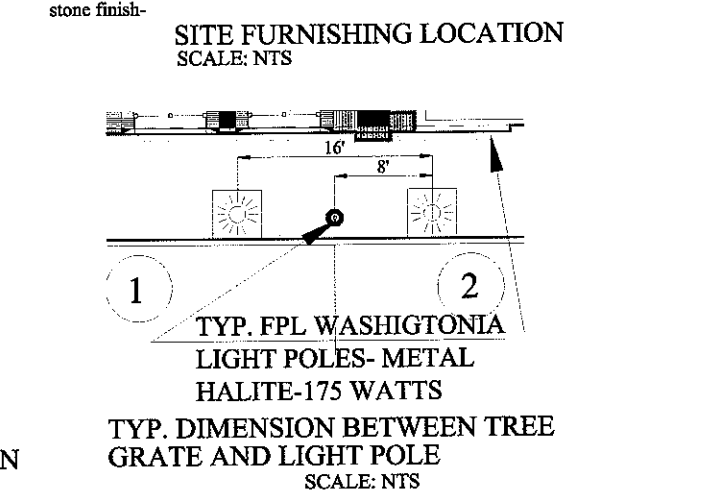
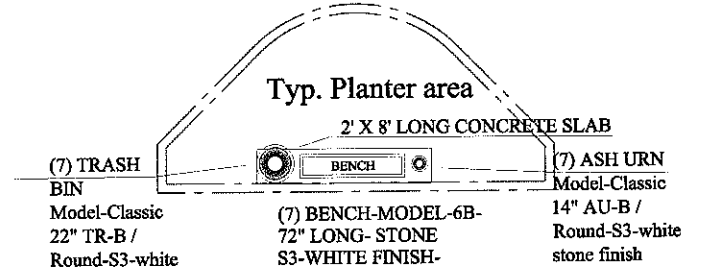
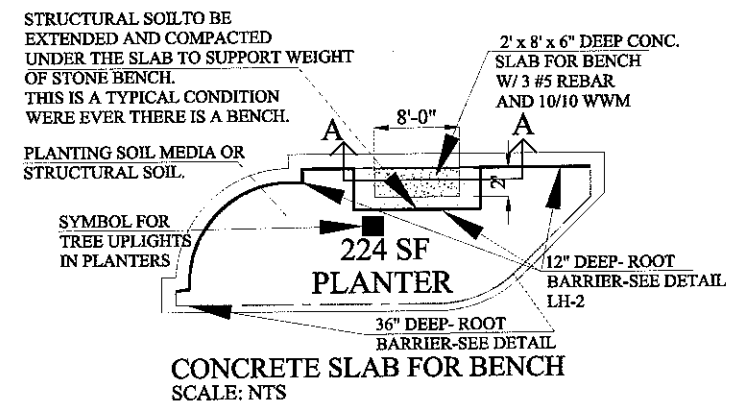
ROOT CONTROL BY DEEPROOT 1-800-458-7668 OR 415-781-9700



95% COMPACTION FOR CONCRETE SIDEWALK INSTALLATION



BIKE RACK-SEE SEE-ARCHITECT PLAN

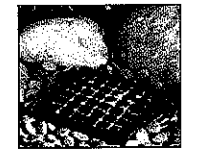


All planters will have this condition applied as to Root Barrier installation.
Note: 12" barrier inside planter and the 36" on the perimeter of planter or along side of street.
See section on sheet LH-2

ROOT BARRIER TYP. LOCATION
SCALE: NTS



175 WATT METAL HALITE WITH TYPICAL LENS



KIM Tree Uplight-150 WATT c54 for each planter with a tree. see electrical plans OR EQUAL- SUBMIT SHOP DRAWINGS FOR APPROVAL



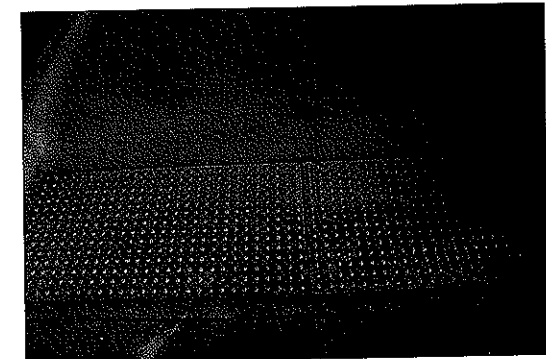
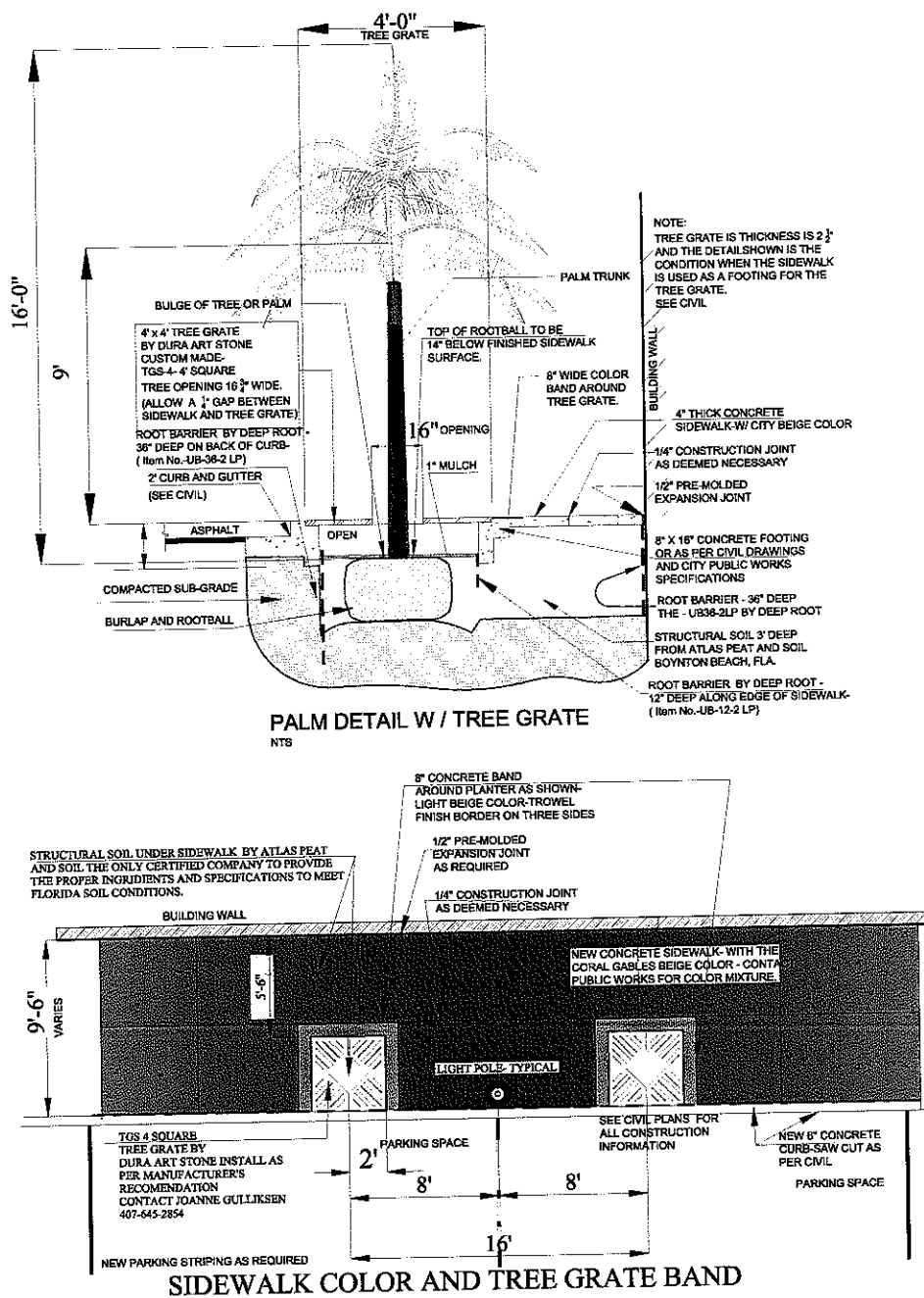
DURA ART STONE BENCH INSTALL A STRAIGHT BENCH

PHASE II SQ. FT: 49,757 SF
TOTAL SQ. FT. OF TOTAL OPEN SPACE =5188 SQ.FT.
384 SQ. FT OF TREE GRATES
3250 SQ. FT OF R/W PLANTERS
1354 SQ.FT AT POOL DECK
200 SQ.FT AT 5TH LEVEL PLANTERS

REV:04-30-10

08-30-09
REV:09-15-09

DETAILS



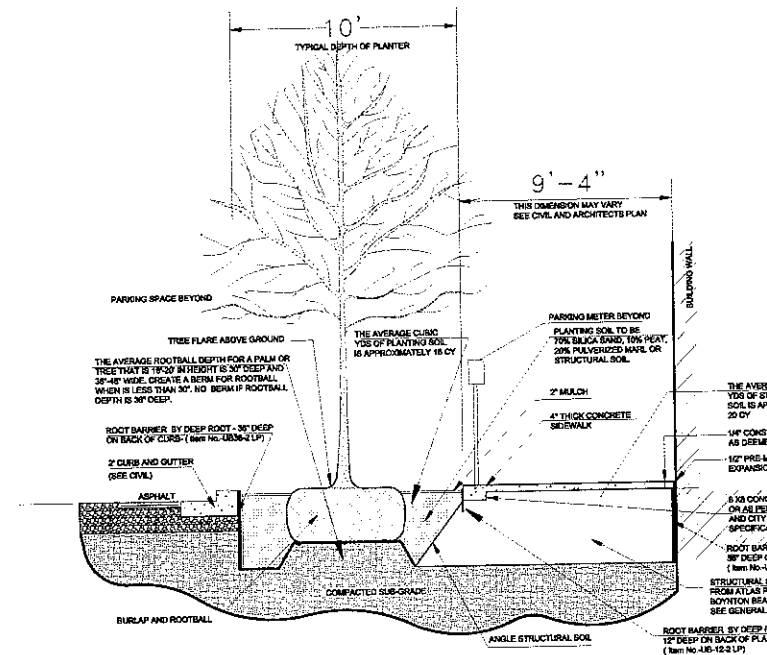
HANDICAP PAVEMENT WARNING SIGNAL AT EACH STREET CORNER AND WHERE EVER THERE IS A RAMP OR AUTO AND PEDESTRIAN CROSSING OR CONFLICT, or AS PER CITY OF CORAL GABLES SUGGESTIONS.

General Notes and Instructions:

Attention: Owner, General Contractor, City Reviewer, Landscape Contractor and any individual involved in this project:

The notes below are **unconditional** and there shall be no excuses that it has not been read or overlooked or followed.

- The Plans are copyrighted and it is the ownership of Mariano Corral, Landscape Architect for all the designs shown. Therefore, no copy or reproduction shall be made without his approval. By doing so, the individual or entity shall be liable and subjected to penalties, fines and punitive damages to the full extent of the law.
- All photographs are the property of Mariano Corral Landscape Architect. Any reproduction, or use without his consent shall be prohibited, doing so will be subjected to penalties and fines as to the full extent of the law.
- These drawings are for the sole purpose of this project. In the event it is used on another development without the knowledge of Landscape Architect, the contractor/owner shall be liable for fines, penalties and punitive damages to the full extent of the law.
- GENERAL CONTRACTOR WHEN SELECTING LANDSCAPE CONTRACTOR (LC) SHALL HAVE HIM OR HER UNDER CONTRACT ONE YEAR BEFORE PROJECT COMPLETION. THIS MEANS THAT IF A RETAINER TO LC IS NECESSARY THEN MAKE IT HAPPEN. THIS WILL INSURE THAT THE LANDSCAPE CONTRACTOR CAN BEGIN ACQUIRING THE PLANT MATERIALS AHEAD OF TIME AND WILL MEET THE SPECIFIED PLANT HEIGHT AND SPECIFICATIONS. THERE SHALL BE NO EXCUSES THAT THE PLANT SPECIFIED CAN NOT BE OBTAIN, AND THEREFORE REQUIRES A SUBSTITUTION. IF ANOTHER PLANT IS INSTALLED THAN SPECIFIED, IT WILL BE REMOVED. CONTRACTOR A SUBSTITUTION. THIS WILL NOT HAPPEN. I WILL GIVE NO LANDSCAPE CONTRACTOR A SUBSTITUTION. AND YOU WILL NOT RECEIVE CERTIFICATE OF COMPLETION OR OCCUPANCY UNTIL WORK IS COMPLETED TO MY SATISFACTION. I CAN NOT MAKE IT ANY CLEARER IN PLAIN ENGLISH THAN AS STATED HERE.**
- General Contractor at his own discretion (it is recommended) shall call for a meeting with Landscape Contractor and Landscape Architect to meet and discuss any procedures prior, during and final installation of work.
- General Contractor at his own discretion, (it is recommended) shall call Landscape Architect to make site observations in overseeing if Landscape Contractor has followed the plans, quality of plant materials, and proper installation procedures, to insure approval inspections from City and for approval of payments to Landscape Contractor.
- General contractor and Landscape Contractor do not have the right nor permission to change anything from Landscape Architectural plans as approved and submitted to the City.
- In the event Value Engineering is performed by Landscape Contractor, as directed by General Contractor without the approval, consent or knowledge of the Landscape Architect, Landscape Architect shall no longer ASSUME ANY TYPE OF RESPONSIBILITY, and it will become the responsibility of parties involved to provide the City, all revisions or as-built drawings, and obtain their approval for such changes.
- In the event another Landscape Architect or Landscape Designer is called to make such revisions without the knowledge or consent of Mariano Corral Landscape Architect, the Landscape Architect or Designer shall also be liable to the full extent of the Law for tampering.
- All CAD Files, PDF files supplied to Architect or any engineer shall not be copied or used for any other project. Landscape CAD Files, photographs, and any other information on plans are the property of the Landscape Architect Mariano Corral, and shall not be furnished to any entity without the consent of Mariano Corral, Landscape Architect.
- During Design Review and for the permit process. If county reviewer has an issue with the plant materials, Landscape Contractor, nor expediter, SHALL NOT HAVE THE RIGHT TO NEGOTIATE WITH THE COUNTY OR CITY. The County or City shall point out deficiencies and/or areas where CODES were not met, so that the Landscape Architect can make corrections and/or decide what action to take. No City or County Reviewer has the right to decide for the Landscape Architect the type of plant materials to use, unless it is specifically and unconditionally specified in the codes (ie: Street Tree requirements for certain sections of City Master Plan). The Landscape Architect is the sole unconditional responsible individual and qualified to make the final decision as to what is appropriate on Copyrighted and sealed plans.
- If County or City Inspector/ reviewer has an issue with the choice of plant materials, rejection with no explanation is not sufficient to disapprove a plan. An explanation from reviewer will be fully welcomed so that the Landscape Architect can respond accordingly if found reviewer has made a wrong decision or interpreted the plans incorrectly. If county reviewer insist in suggesting to use a specified plant material which the Landscape architect deems inappropriate as to type and location, or cause a hazard to the public and welfare of the public, and can not come to an agreement, and reviewer will not approve plans until changes have been reflected, the Landscape Architect must receive a Certified Hold Harmless letter from County / City reviewer so as to not place Landscape Architect Professional Liability insurance in jeopardy.
- All plant materials to be Florida #1 or better as set by the State of Florida Grades and Standards 1998.
- Before commencing installation, it is recommended that the Landscape Contractor visit site and become familiarized with the site.
- Contractor shall have all utilities identified and carefully located for the safety, welfare of his workers as well as the general public. **Contact Sunshine State One-Call of Florida, Inc. 1-800-432-4770 - 48 hours before installation.**
- Contractor shall have all utilities identified and carefully located for the safety, welfare of his workers as well as the general public.
- During installation Landscape Contractor shall make all possible intent to secure area of work from the public for their safety and welfare.
- Landscape Contractor must obtain all necessary permits prior to beginning installation.** Any existing trees that must be removed or transplanted must first receive approval by The Department of Environmental Resource Management (DERM).
- All existing Trees to remain shall be barricaded (if space is allowed) to the tree canopy drip line to prevent damage to the tree or palm during construction. A red color Vinyl fence 5' high, with 2 x4 posts for anchoring can be used. Careful care for tree trunks shall be taken.
- Landscape Contractor must provide documentation that any Coconut Palm Trees to be installed are numbered and certified as being free of disease and must be provided to the Planning and zoning department when seeking a permit for installation of plant materials and a copy sent to Landscape Architect for his records.**
- Landscape Contractor:** Documentation that all newly proposed / installed Sabal palmetto utilized on site have come from a government approved donor site or were grown from seed at a registered Florida nursery. This documentation shall be provided to the City Planning Department. (This is not applicable to Sabal Palms relocated within property.) A copy must be sent to Landscape Architect for his records
- Landscape Contractor or Owners representative shall provide to City a schedule for the timely removal of tree and palm guying.** This should be accomplished within a 12 month period after installation, and should NOT exceed the 12 month period.
- All lime rock within planting areas shall be removed to a depth of 3' feet. Replace material with specified planting soil, as per section 15 below.
- All lime rock, asphalt or debris within parking islands, corner parking islands, and entry islands, shall be removed to a depth of 3 feet. In the event a refurbishing or establishing a new parking island with the use of extruded curves over an existing asphalt parking lot, the same will apply as to removal of asphalt and lime rock as stated above and the use of proper planting soil as per Section 15.
- NO PLANTS SHALL BE PLANTED ON TOP OF ROOT BALL.**
- All planting beds on site shall be composed of 70% silica sand, 20% good clean pulverized black soil. Soil shall be thoroughly mix and delivered on site free of debris and rocks. Soil shall be fumigated prior to mixing for any insects, contamination or weeds and follow method as approved by the EPA and Nursery Growers Association. Soil shall have a 72 hour waiting period.



FERTILIZER TO USE AT TIME OF INSTALLATION:

Because some Landscape Contractors have the tendency to purchase fertilizers from sources that are NOT compatible or consistent to the FNGA and the University of Florida Agricultural Extension Services recommendations (to save money), it is therefore mandatory that all fertilizers to be used on **my projects** will be purchased from a qualified supplier AS LONG AS IT IS THE SAME PRODUCT AND SPECIFICATIONS DESCRIBE BELOW:

The recommended type of fertilizer to be used on all newly installed plant materials is PALM SPECIAL # 9836. This is an 8-2-12 (nitrogen, potassium, and minor elements) for all Trees, Palms, shrubs and groundcovers. It can be obtained from ATLANTIC FERTILIZER IN HOMESTEAD, FL. 18375 SW 260th Street. Contact Patrick Coyle at (305) 986-0671. Landscape Contractor shall use 1 pound per tree, and a hand full or 3 tablespoons per shrub for all and each shrub and groundcover. Palm trees shall receive 2 lbs of fertilizer per palm tree. Fertilizer shall be placed on top of root ball and 2" inches away from trunk. **Mulch** will not be acceptable, however, slow release tablet fertilizers can be used at time of planting if Palm Special is not available and installation of materials is on a sandy loam VS rock-limestone condition.

MAINTENANCE AFTER INSTALLATION:

- It is recommended that all trees, palms, shrubs and groundcovers to be fertilize 4 times a year. By using Palm Special at a rate of 1 pound per 100 square feet, will at least insure that the plants are receiving the proper nutrients. On Palm trees in poor sandy soil a fertilizer with 2:1:3:1: (N-P-K-Mg) will provide the important nutrients. See recommended application by manufacturer.
- All lawn areas marked on plans as "SOD or LAWN" shall be St. Augustine PALMETTO solid and, unless otherwise noted on plans. Prior to installation of the sod, the area shall be mowed clean of rocks and debris. A 2" topping of the approve soil mix or 70% sand 30% black clean soil thoroughly mix, shall be installed, and graded correctly. Water newly installed sod for a period of 2 months or until the irrigation-system is fully operable. Water every day for a week, and 3 times a week after, until sod has established itself, for a period of 10-15 minutes per zone. (Do not over water). In the event St. Augustine will be planted in the months of October through December, it is best to Winterize by using and preconditioning the sod for cold weather with 3-1-2 or 4-1-2 fertilizer, before grass goes dormant. The newly installed sod shall be fertilized immediately with Palm Special # 9836 and be spread through out lawn areas at a rate of 10 pounds per 1,000 square feet, (1 lb / 100 square feet).
 - Any discrepancies or questions shall be made to the attention of the Landscape Architect. Landscape contractor shall not assume anything. Any missing information shall be the responsibility of the contractor to contact Landscape Architect.
 - Landscape architect will put forth his best effort to help contractor with any questions or information he/she requests.
 - Any material installed which are not on plans or approved by LA, contractor shall assume the responsibility for the costs and removal of materials at no extra charge or compensation to the owner/ developer.
 - Landscape contractor must work with a set of drawings with the signature and seal of the landscape architect. Any plans without seal may be deem incorrect and not up to date plans.
 - General contractor shall have on site- one set of landscape plans at all times for review by the City Inspector and Landscape Architect when he makes periodically site visits for inspections. Plans shall be clean and place in an area away from nature weather elements.
 - All beds shall be finish with either 3" of Eucalyptus shredded mulch, pine straw or as specified on plans. **Red mulch will NOT be approved. Cypress Bark Mulch will not be approved.** Mulch shall not be installed any closer to tree trunk than 4". Mulch shall have more than 1/2" to 1" thickness over root ball. No berm mulching will be permitted.
 - It is recommended that all trees planted shall be set 3-4" above finished grade.
 - General contractor is to provide final rough grading on site clean of debris and rocks prior to landscape contractor installation of plant material, and any fine grading that is under his contract.
 - CLEAN-UP: Landscape Contractor shall remove all planting canisters, wood, plastics, tapes, rebars, excess soil, or any debris after completion of installation. A clean finished product must be delivered to owner/ client.**
 - All Planting areas to be 100% irrigated, with 100% coverage- (head to head overlap).
 - All irrigation lines shall be placed on the perimeter of all planting beds and/or planters to allowed specified plantings.
 - Separate water meters, backflow preventor, rain sensor, and controller shall be installed. Coordinate with electrical / mechanical engineer for location.
 - All Fire building backflow preventor shall be screen as per City Codes. In the event such information is not supplied to Landscape Architect, it is the responsibility of Landscape Contractor to contact LA for the type, quantity, and specs of plant material to be installed, so that LA can inform City and before receiving Certificate of Occupancy (CO) from City.
 - Landscape contractor is to guarantee all plant materials for A PERIOD OF one year after completion of installation. He will be responsible for watering for at least 3 months or until irrigation system is fully operable.
 - Where as a City URBAN Street improvements Landscape codes calls for the use of Structural Soil then the following will apply: All **Structural Soil** (CU) shall be obtain from Atlas Peat and Soil, Boynton Beach, Florida, the only certified agency in the State. Contact Fred Marrero 1-561-734-7300. General contractor is to obtain a **certificate** from Atlas Peat and Soil and **America Company** that structural soil has been delivered on site, and a copy must be sent to Landscape Architect for his record, as well as to City Landscape Architect. Contractor is to **unconditionally have on site and posted said certificate** for the inspection by City or County inspectors. If no certificate is shown, it will be assumed that structural soil has not been delivered and contractor bares the responsibility to remove any and all soil installed at his/ her expense.
 - A CIVIL ENGINEER SHALL ADJUST ALL SWALE AREAS AS DEEM NECESSARY FOR DRAINAGE.
 - All final grading shall be done with a surveyor's instrument to assure proper heights and make any necessary adjustments to insure that all water will remain on site.

MARIANO CORRAL, LANDSCAPE ARCHITECT AND PLANNER

THE GIRALDA COMPLEX

2222 PONCE DE LEON BOULEVARD
CITY OF CORAL GABLES, FLORIDA

Scale: AS SHOWN
Date: 11-20-03
Project: 04-30-10
Drawn By: JH
Checked By: JH
Job Number: 04-30-10
Submitted: 11-20-03
File: 04-30-10
Drawing Title:

Revisions
No. Description Date

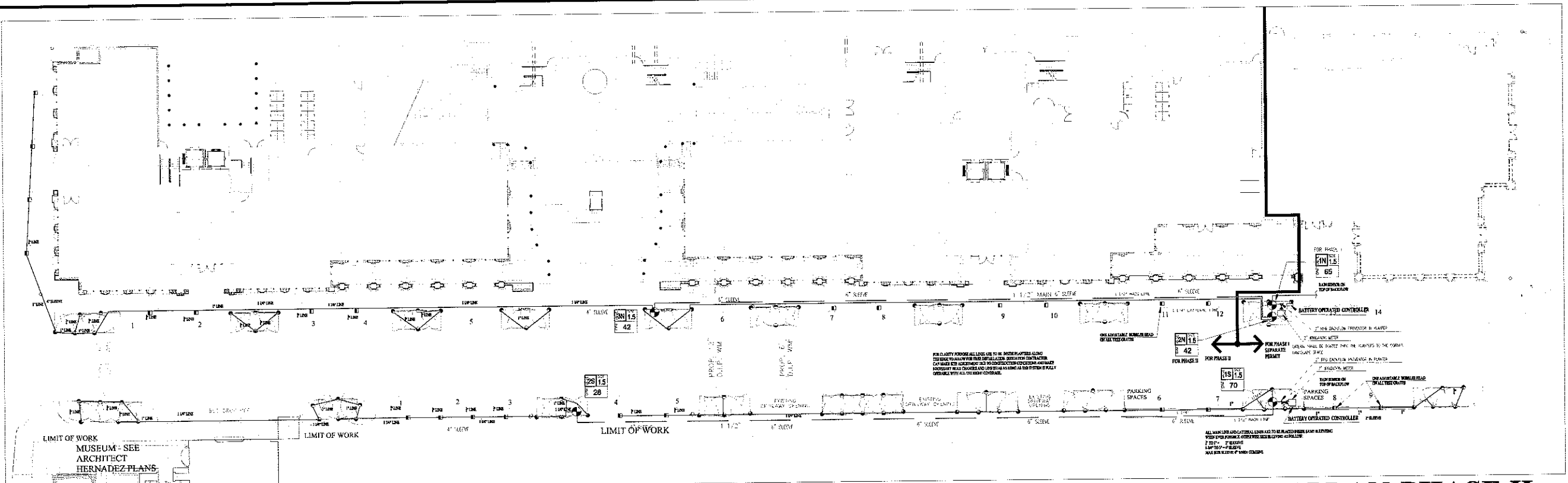
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LH-2

REV:04-30-10

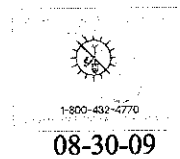
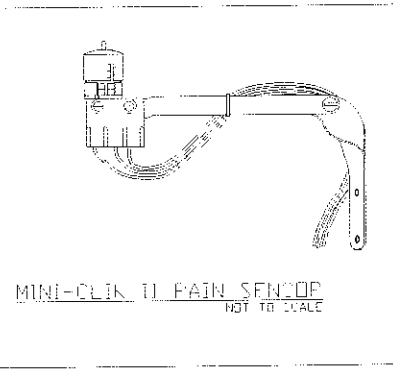
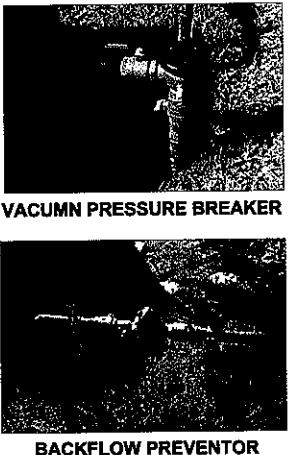
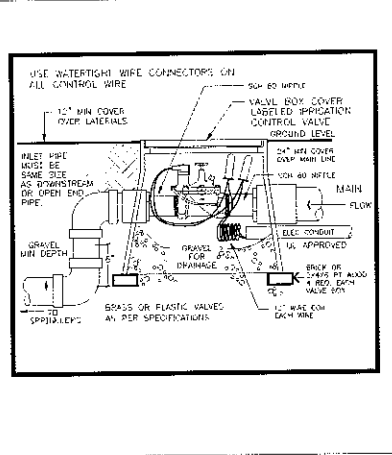
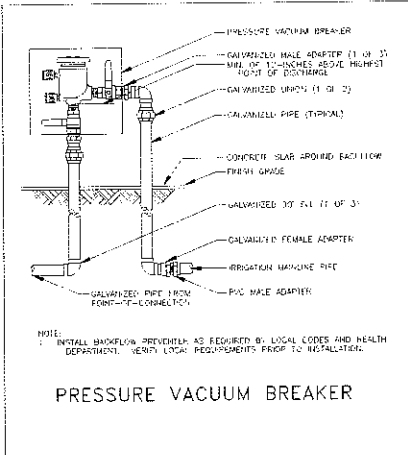
08-30-09
REV:09-15-09

IR-1



SITE IRRIGATION PLAN-PHASE II SCALE: 1/16" = 1'-0"

- IRRIGATION KEY**
- PAINTED 100' of 1/2" or 3/4" Spray Head Series 15 Nozzles unless otherwise specified
 - Series 15 Nozzles
 - Series 8 Nozzles
 - Drink Heads
 - VARIABLE SPR. Nozzle
 - EST. End Cap Nozzle
 - EST. Center Strip Nozzle
 - 24V ELECTRIC CONTROL VALVE Size as shown
 - PIPE IRRIGATION MAIN LINE
 - PIPE LINE IN PE SLEEVE
 - Arrow - Size as shown or 1" larger than line size shown



08-25-08 r
 REV:09-20-08
 REV:08-30-09
 REV:04-30-10

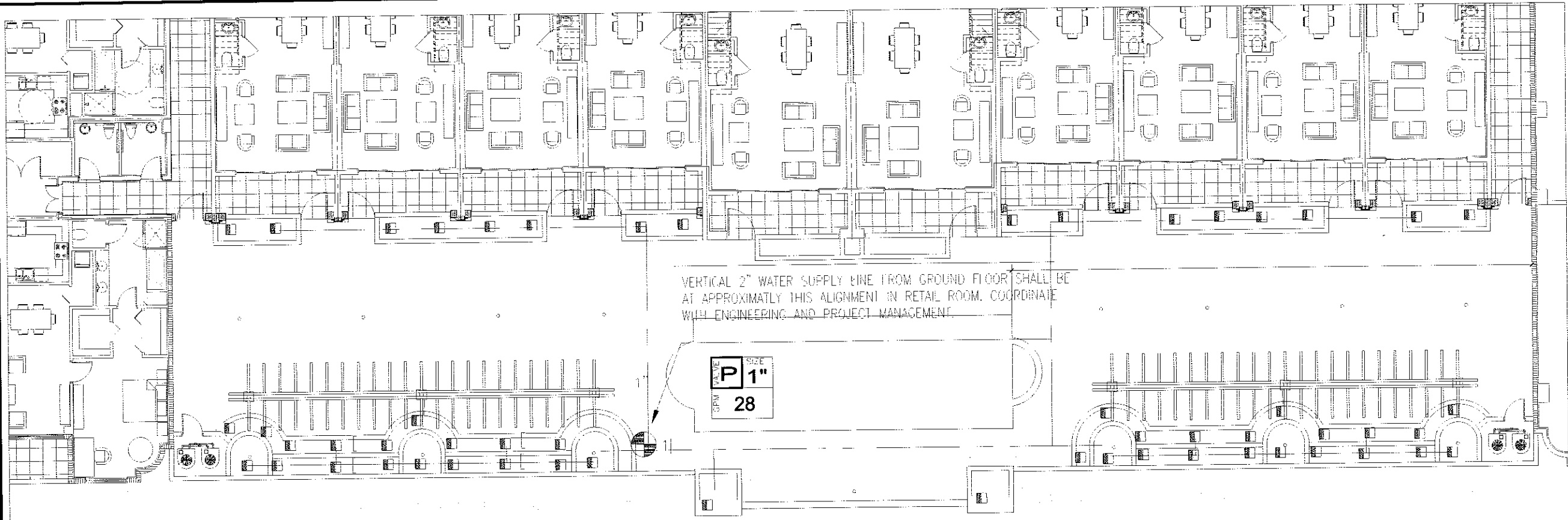
MARIANO CORRAL
 LANDSCAPE ARCHITECTURE
 300 SW 10th Avenue
 Miami, FL 33130
 Tel: (305) 551-1542
 Fax: (305) 551-1542
 mcorral@macorral.com

THE GIRALDA COMPLEX
 2222 PONCE DE LEON BOULEVARD
 CITY OF CORAL GABLES, FLORIDA

Scale: AS SHOWN
 Date: 08-30-09
 Project Designer: MC
 Drawn By: MC
 Checked By: MC
 Job Number: 08-30-09
 Submitted: 08-30-09
 File: 08-30-09
 Drawing Title: IRRIGATION

Product:
 No. Description Exp.
 08-30-09

Drawing Number:
IR-1



IF WATER PRESSURE AT STREET LEVEL IS MAINTAINED AT 60 PSI OR GREATER, THE POOL ELEVATION WILL OPERATE WITHOUT THE NECESSITY OF A BOOSTER PUMP. IF THE SYSTEM DOES NOT OPERATE PROPERLY, THEN A 2HP BOOSTER PUMP SHALL BE INSTALLED IN THE POOL MECHANICAL SPACE.

POOL IRRIGATION PLAN 1

SCALE: 1/16" = 1'-0"

IRRIGATION KEY

- RAINBIRD 1806 5' Pop-up Spray Heads Series 10 Nozzles unless otherwise specified
- Series 15 Nozzles
- Series 8 Nozzles
- Shrub Heads
- VARIABLE APC Nozzle
- EST End Strip Nozzle
- EST Center Band Nozzle
- 24V ELECTRIC CONTROL VALVE (See also shown)
- PVC IRRIGATION MAIN LINE
- PVC LINE IN PIPE SLEEVE
- Sleeve - Size as shown or if longer than PVC size shown

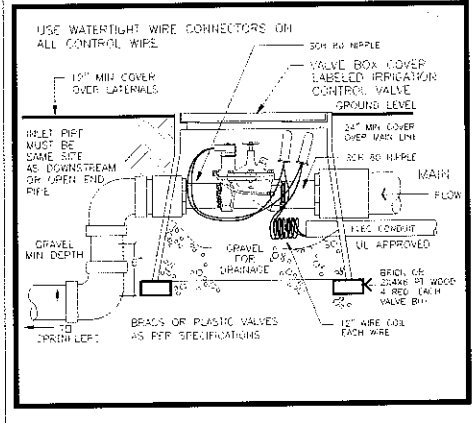
ALL HEADS ARE RAINBIRD SHRUB HEADS WITH #8 SERIES NOZZLES

ALL PVC PIPE INSIDE PLANTERS IS 3/4" PIPE

PIPE SHOWN AS BROKEN LINE, SHALL BE HUNG TO THE BOTTOM OF THE POOL DECK SLAB. SEE STRUCTURAL ENGINEER FOR METHOD OF HANGING PIPE TO DECK. WRAP PIPE TO PREVENT PVC FROM BEING IN CONTACT WITH METAL. USE CPVC PIPE OR AS PER CODE. PENETRATE THE PLANTER VERTICALLY FROM POOL MECHANICAL AREA. SEE STRUCTURAL DRAWINGS FOR METHOD OF WATER PROOFING ALL PENETRATIONS.

INSTALL 2HP BOOSTER PUMP () IN POOL MECHANICAL ROOM. THIS PUMP SHALL BE STARTED BY THE IRRIGATION TIME CLOCK AND SHALL ONLY BE IN OPERATION WHEN IRRIGATION IS SCHEDULED. USE PRESSURE REGULATING IRRIGATION CONTROL VALVE.

INSTALL RAINBIRD ESP MODULAR CONTROLLER IN POOL MECHANICAL SPACE. INSTALL CONTROL VALVE IN POOL MECHANICAL SPACE UNDER THE POOL DECK.



IRRIGATION SPECIFICATION

GENERAL NOTES:
Irrigation plans are schematic in nature. All valves and pipes shall be located in landscape areas, except as modifying coverings. Some sprinkler main and control valves are shown in paved areas for clarity. They shall be installed at the edges of landscape spaces. ALL PIPES UNDER PAVING SHALL BE SLEEVED. All material shall be new. It is the contractor's responsibility to supply all material, equipment and labor to install a complete, operational, system as shown on this plan. Permits and code compliance is the responsibility of the contractor. If there are changes in the site plan, it is the contractor's responsibility to notify the architect so that the irrigation system can be properly modified to accommodate the site modification. It is the contractor's responsibility to see that the system is finally adjusted to have full coverage with no overwatering or underwatering and that all heads are set to proper height and vertical with the final grade. Turn pressure or flow regulation, on valves, down to lowest possible operational setting to prevent misting of spray heads. Any conditions not shown in the drawings, shall be provided by the contractor as shop drawings, prior to installation. Shop drawings shall be submitted for approval to the Owner's representative. Any changes shall be submitted in writing and approval shall be in writing prior to installation. As-built drawings prepared by the contractor shall be turned over to the Owner prior to final acceptance. GPS coordinates for all valves and changes of direction on the main line shall be part of the As-built drawings. Submittals for all irrigation equipment being used on this project shall be submitted by the contractor. Approval of the equipment in these submittals, in writing, shall be required prior to equipment being brought to the job site.

SITE CONDITIONS:
Care must be taken not to damage any underground utilities or existing irrigation systems. Repair of damages will be the responsibility of the irrigation contractor. See owners representative for details. Safety on the job is the responsibility of the irrigation contractor. It is the responsibility of the irrigation contractor to see that surface drainage is NOT modified by his work. All rock that is brought to the surface by the trenching operation is to be removed from the site by the irrigation contractor. Irrigation in undisturbed landscape areas shall be required and restored to working condition.

SYSTEM DESCRIPTION:
This is an automatic irrigation system. Water supply is a 2" City water meter with Reduced Pressure Backflow device installed or (as per code) Water to 4th floor pool deck shall be a new 2" PVC Schedule 40, under the sidewalk on the West side of the building - approx alignment shown on the plan. Then the line goes vertical to the pool deck level. The pool equipment room is the location for the controller and booster pump - if the contractor finds that the actual pressure in the City main line is not sufficient to operate the sprinklers at the pool deck level. The ground level and the pool deck level each have their own control valves and a time clock for each level.

SYSTEM PIPE:
All pipe shall be Class 200 PVC or heavier. System main from backflow preventer to rear end of building shall be PVC Schedule 40. Vertical pipe to pool deck shall also be schedule 40 PVC and to conform to code.

Lateral between planters, shown as broken line - shall be PVC lines sleeved within a PE sleeve to prevent concrete to come in contact with the PVC water lines.

For all irrigation lines, Solvent weld fittings and pipe ends shall be cleaned with an all purpose PVC pipe cleaner prior to applying glue. Male shall have a minimum 24" of cover. All other pipe, lateral, etc. shall have a minimum 12" of cover. Backfill shall be free of debris and sharp objects. No rock larger than 3/4" shall be in contact with PVC pipe anywhere. All pipe above ground shall be galvanized, copper, bronze or ductile iron, and shall be painted with a flat black epoxy water proof paint.

1. Assembly for Solvent Weld PVC pipe.
a. Cut square with PVC cutter, and deburr the cut prior to assembly.
b. Clean PVC pipe with PVC cleaner prior to assembly.
c. Use gray, heavy bodied, slow drying, high strength glue.
d. Keep out of service for the length of time as specified by the Manufacturer of the PVC glue.

The method of suspending pipe below the pool deck and the method of waterproofing the vertical penetrations into the planters from the pool mechanical space shall be specified by others and shall in all cases, meet code requirements. Wrap PVC lines so that they do not come in contact with metal hangers.

SLEEVES:
All pipe under paving (walks and drives etc.) shall be sleeved with Sch 40 PVC pipe. Sleeves shall extend beyond the edge of pavement and shall be sealed. The water line shall be installed in sleeve prior to installation of the sleeve. Cap ends of water line during construction to prevent debris from entering. Sleeves under roads shall have a minimum cover of 18 inches.

CONTROLLERS: (2)
Rainbird ESP LX modular to operate 2 sections at ground level and one section on the pool deck. Controller shall be located (description). Grounding shall be equal to - or better than the manufacturer's recommendation. It shall also comply with the National Electrical Code. Both of these requirements pertain to the building or supply line for grounding purposes. UL approved Ground Rod shall be utilized unless otherwise specified, or if the minimum resistance reading cannot be made.

RAIN SHUT OFF DEVICE:
Install a rain shut off device out of the range of the sprinklers as per State DGR requirements. Submit manufacturers equipment sheet prior to installation of any such device.

ELECTRIC CONTROL VALVES:
Rainbird PGA 24V electric control valves. All valves shall be located in 16"x 12" rectangular Canon 14199 valve boxes or larger, and installed as per details. Control Valve shall be rated at 200 PSI or higher. Use bottom inlet whenever possible.

CONTROL WIRE:
Control wire shall be UL approved, solid core, PE or PVC covered irrigation control wire. SIZE: Use a minimum of 14 gage control and 12 gage bond wire. All splices and connections shall be made at pull boxes or valve boxes (No field splices) All splices shall be made with 3m brand DEW Direct Burial Splice Kit or the 2 pack epoxy splice kit. All wire to be encased in UL approved PVC conduit. All wire to be brought back to controller. Wire pull boxes shall be 10" round Azulex or other approved boxes. Wire which is not rated for direct burial shall be installed in water tight conduit with water tight junction boxes.

WATER SOURCE:
2" City water meter

PUMP STATION:
2 HP booster pump in pool mechanical space (if required).

SPRINKLERS:
All sprinklers shall be the type referred to in the Sprinkler Key and shall be attached to the lateral with flexible line (swing pipe)

1. Spray heads shall be Rainbird 1806, 6" pop up heads with series 10 nozzles, unless otherwise specified in these drawings.

All sprinklers on the pool deck are shrub adapters with #8 nozzles installed. Nozzle height shall be approximately 6-8 inches above planting soil.

MAINTENANCE:
It is the contractors responsibility to maintain the system, repairing leaks, repairing broken heads, adjusting sprinkler heads, flushing system, etc. until final acceptance by the Owner. Contractor shall instruct Owners maintenance personnel as to maintenance requirements for this irrigation system.

AS-BUILT DRAWINGS:
Contractor shall provide "as-built" drawings showing all changes. All valves and changes of direction on the main line shall have GPS coordinates noted on the as-built drawings. Controller program shall be part of this submittal.

GUARANTEE:
The entire system shall be guaranteed for a period of one year from the time of final acceptance. All manufacturers written warranties and guarantees, as well as "as-built" drawings, maintenance and operational information, shall be turned over to the Owner prior to, and is a condition of final acceptance. Guarantee period shall not commence until all of the documents have been turned over to the Owners representative.

NOTE:
ALL DRAWINGS ARE IN SCHEMATIC NATURE. IRRIGATION CONTRACTOR MAY SUBSTITUTE OR MAKE CHANGES TO MAKE SURE SYSTEM WILL OPERATE CORRECTLY, AND MEETS CITY CODES. IRRIGATION CONTRACTOR WILL BE FULLY RESPONSIBLE FOR PROPER INSTALLATION AND OBTAINING ALL PERMITS.

MARIANO CORRAL, LANDSCAPE ARCHITECT AND PLANNER

THE GIRALDA COMPLEX

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Revisions		
No.	Description	Date

Sheet Number