



## City of Coral Gables Planning and Zoning Staff Report

Property: **Starbucks (292 Miracle Mile)**

Applicant: Starbucks Coffee Company

Application: Conditional Use with Site Plan Review

Public Hearing: Planning and Zoning Board

**Date & Time: May 10, 2017; 6:00 – 9:00 p.m.**

Location: City Commission Chambers, City Hall,  
405 Biltmore Way, Coral Gables, Florida 33134

### 1. APPLICATION REQUEST

Application request is for conditional use site plan review to allow a walk-up counter as an accessory use to a restaurant on property zoned Commercial District, which is permitted as a conditional use, on the property located at 292 Miracle Mile. The Resolution under consideration is as follows:

*A Resolution of the City Commission of Coral Gables, Florida granting conditional use approval pursuant to Zoning Code Article 3, "Development Review," Division 4, "Conditional Uses," for a walk-up counter as an accessory use to a restaurant on property zoned Commercial District for the property legally described as the North 70 feet of Lots 1 - 2 and the West 10 feet of the North 70 feet of Lot 3, Block 2, Coral Gables Crafts Section (292 Miracle Mile), Coral Gables, Florida; including required conditions; providing for a repealer provision, providing for a severability clause, and providing for an effective date.*

An application for conditional use site plan review requires review and recommendation by the Planning and Zoning Board at one (1) public hearing, and consideration by the City Commission at one (1) public hearing (Resolution format).

### 2. APPLICATION SUMMARY

Starbucks Coffee Company (hereinafter referred to as the "Applicant") has submitted an application for conditional use with site plan review (hereinafter referred to as the "Application") in order to allow a walk-up counter as an accessory use to a restaurant on property zoned Commercial District, which is permitted as a conditional use, on the property located at 292 Miracle Mile. The application package submitted by the Applicant is provided as Attachment A.

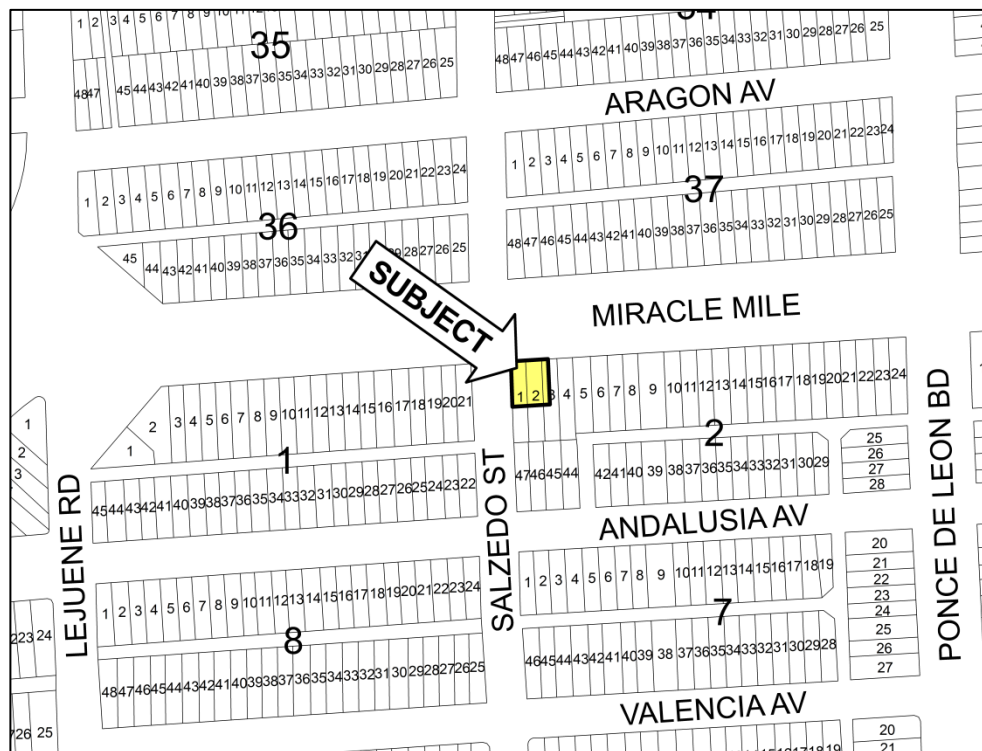
The Applicant is requesting approval for a walk-up counter to serve patrons of a future Starbucks restaurant which will utilize the currently vacant 4,200 square foot space at 292 Miracle Mile. This commercial space was previously occupied by Supercuts within the Miracle Theatre building and is

located on the southeast corner of Miracle Mile and Salzedo Street. Starbucks is in the process of finalizing a change of use from retail to restaurant and is requesting approval to allow the walk-up counter as an accessory use to the restaurant as a permitted conditional use pursuant to Zoning Code Section 4-302.C.9. The change of use does not require public hearing review and approval; however, the walk-up counter does require public hearing review with a recommendation to be provided by the Planning and Zoning Board and City Commission approval as it is a conditional use.

As a part of the conditional use review and approval the Applicant is including within their submittal package (Attachment A) plans for outdoor dining on the newly renovated Miracle Mile streetscape.

The property is legally described as the North 70 feet of Lots 1 - 2 and the West 10 feet of the North 70 feet of Lot 3, Block 2, Coral Gables Crafts Section (292 Miracle Mile), Coral Gables, Florida, and is shown on the following location map and aerial:

Location Map



### Property Designations and Surrounding Uses

The following tables provide the subject property's designations and surrounding land uses:

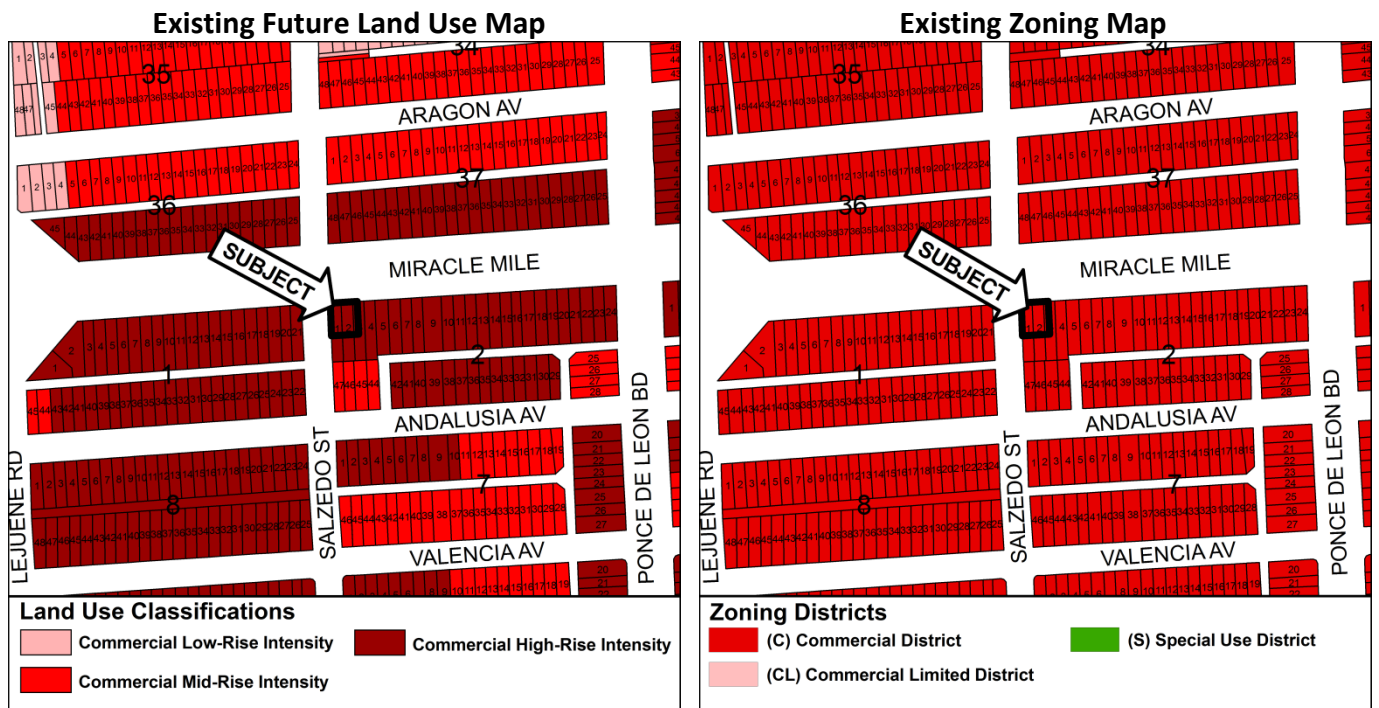
#### Existing Property Designations

Comprehensive Plan Future Land Use Map designation	Commercial, High-Rise Intensity
Zoning Map designation	Commercial (C) District

#### Surrounding Land Uses

Location	Existing Land Uses	CP Designations	Zoning Designations
North	Three (3) story commercial building	Commercial, High-Rise Intensity	Commercial (C) District
South	Two (2) story commercial building (Miracle Theatre)	Commercial, High-Rise Intensity	Commercial (C) District
East	Two (2) story commercial building (Miracle Theatre)	Commercial, High-Rise Intensity	Commercial (C) District
West	One (1) story commercial building	Commercial, High-Rise Intensity	Commercial (C) District

The subject property currently has the existing land use and zoning designations, as illustrated in the following maps:



### City Review Timeline

The submitted application has undergone the following City reviews:

Type of Review	Date
Board of Architects	03.23.17 (deferred)
Historic Preservation Board	N/A
Planning and Zoning Board	05.10.17
City Commission	TBD

### Proposal – Conditional Use Site Plan Review

Zoning Code Section 4-302, “Commercial District (C)” allows for a walk-up counter only as an accessory use to a restaurant as a permitted conditional use on property zoned commercial. Conditional uses require public hearing reviews with a recommendation provided by the Planning and Zoning Board and review and approval granted by the City Commission pursuant to the requirements established in Zoning Code Article 3, “Development Review,” Division 4, “Conditional Uses.”

#### *Board of Architects Review*

The Board of Architects reviewed the proposed plans for the walk-up counter on 03.23.17 and deferred the application with comments at that meeting. As a condition of approval the Application will be required to receive Board of Architects approval prior to proceeding to the City Commission for their approval.

#### *Parking*

The Application is not subject to parking requirements as the proposed change of use is occurring within a building that is located in the Central Business District (CBD) and has a floor area ratio (FAR) of less than 1.25 and pursuant to Zoning Code Section 5-1409.A is not required to provide parking.

### 3. FINDINGS OF FACT

This section of the report presents City Staff’s evaluation of the Application and Findings of Facts. The City’s responsibility is to review the Application for consistency with the City’s Comprehensive Plan (CP) Goals, Objectives and Policies and compliance with the Zoning Code and City Code.

#### Findings of Fact - Conditional Use Site Plan Review

The Applicant’s proposal for conditional use site plan review in order to allow a walk-up counter as an accessory use to a restaurant on property zoned Commercial District, which is permitted as a conditional use, requires review and evaluation pursuant to various sections of the City’s Official Zoning Code. To provide an overview of the purpose and intent of the Conditional Use provisions, Zoning Code Article 3, “Development Review,” Division 4, “Conditional Uses,” Section 3-401, “Purpose and Applicability” provides for the following:



*“The purpose of providing for conditional uses within each zoning district is to recognize that there are uses which may have beneficial effects and serve important public interests, but which may, but not necessarily, have adverse effects on the environment, particularly residential areas, overburden public services, or change the desired character of an area. Individualized review of these uses is necessary due to the potential individual or cumulative impacts that they may have on the surrounding area or neighborhood. The review process allows the imposition of conditions to mitigate identified concerns or to deny the use if concerns cannot be resolved.”*

*Staff’s Findings:* Based upon the Findings of Facts provided herein, Staff finds the Application satisfies the provisions of the Zoning Code for the Conditional Use Site Plan Review for the proposed walk-up counter. Staff review finds that the proposed plans and Staff’s recommended conditions of approval incorporate measures to mitigate potentially negative impacts that could have adverse effects on neighboring properties.

Staff’s responsibility is to review the application in accordance with the criteria provided in Zoning Code Article 3, “Development Review”, Division 4, “Conditional Uses”, Section 3-408, “Standards for review” and provide Findings of Fact regarding the proposed application. Staff has compared the Applicant’s proposal with the review criteria set out in Zoning Code Section 3-408, and found that the application complies with the following standards and criteria:

- A. *“The proposed conditional use is consistent with and furthers the goals, objectives and policies of the Comprehensive Land Use Plan and furthers the purposes of these regulations and other City ordinances and actions designed to implement the Plan.”*

*Staff comments:* As concluded in this Staff report, this Application is “consistent” with the CP’s Goals, Objectives and Policies with the recommended conditions of approval.

- B. *“The available use to which the property may be put is appropriate to the property that is subject to the proposed conditional use and compatible with existing and planned uses in the area”.*

*Staff comments:* A walk-up counter as an accessory use to a restaurant is a permitted conditional use on property zoned Commercial District. The proposed conditional use is compatible with the surrounding uses which are commercial and pedestrian oriented as they are located on Miracle Mile. Staff has included a condition of approval that the walk-up counter shall not interfere with the pedestrian circulation on adjoining sidewalks.

- C. *“The proposed conditional use does not conflict with the needs and character of the neighborhood and the City”.*

*Staff comments:* The proposed walk-up counter will not conflict with other commercial properties located on Miracle Mile and will add to the pedestrian character of the Mile and the newly constructed streetscape. The walk-up counter will not conflict with pedestrian circulation as it is setback five (5) feet from the property line allowing for an uninterrupted pedestrian flow while patrons are ordering.

- D. *“The proposed conditional use will not adversely or unreasonably affect the use of other property in the area.”*

*Staff comments:* The Application will not adversely or unreasonably affect the use of properties in the area and will supplement them by providing additional outdoor dining locations for the public.

- E. *“The proposed use is compatible with the nature, condition and development of adjacent uses, buildings and structures and will not adversely affect the adjacent uses, buildings or structures.”*

*Staff comments:* The proposed use is a permitted conditional use on property zoned Commercial District, which is the Zoning designation of this property. If approved the walk-up counter would add pedestrian activity to the area and supplement the adjacent commercial uses.

- F. *“The parcel proposed for development is adequate in size and shape to accommodate all development features.”*

*Staff comments:* The commercial space is larger than the current space Starbucks occupies at the other end of the block, from which it is relocating, and will more adequately accommodate the proposed development.

- G. *“The nature of the proposed development is not detrimental to the health, safety and general welfare of the community.”*

*Staff comments:* The walk-up counter will not be detrimental to the health, safety and general welfare of the community. The proposed development will be beneficial to the area as it will occupy a currently vacant space and add vitality to the Mile.

- H. *“The design of the proposed driveways, circulation patterns and parking is well defined to promote vehicular and pedestrian circulation.”*

*Staff comments:* The Application will contribute to the pedestrian circulation patterns of the newly improved Miracle Mile streetscape and the proposed walk-up counter is setback from the property line to allow the free flow of pedestrians along Miracle Mile.

- I. *“The proposed conditional use satisfies the concurrency standards of Article 3, Division 13 and will not adversely burden public facilities, including the traffic-carrying capacities of streets, in an unreasonable or disproportionate manner”.*

*Staff comments:* The Application will not adversely impact public facilities as there will be no increase in the overall building square footage.

### Consistency Evaluation of the Comprehensive Plan (CP) Goals, Objectives and Policies

The Planning and Zoning Division has reviewed the CP and finds the following CP Goals, Objectives and Policies are applicable.

Consistent CP Goals & Objectives and Policies are as follows:

Ref. No.	CP Goal, Objective and Policy	Basis for Consistency
1.	<b>Goal FLU-1.</b> Protect, strengthen, and enhance the City of Coral Gables as a vibrant community ensuring that its neighborhoods, business opportunities, shopping, employment centers, cultural activities, historic value, desirable housing, open spaces, and natural resources make the City a very desirable place to work, live and play.	Complies
2.	<b>Objective FLU-1.1.</b> Preserve Coral Gables as a “placemaker” where the balance of existing and future uses is maintained to achieve a high quality living environment by encouraging compatible land uses, restoring and protecting the natural environment, and providing facilities and services which meet or exceed the minimum Level of Service (LOS) standards and meet the social and economic needs of the community through the Comprehensive Plan and Future Land Use Classifications and Map (see FLU-1: Future Land Use Map).	Complies
3.	<b>Policy FLU-1.9.1.</b> Encourage balanced mixed use development in the central business district and adjoining commercial areas to promote pedestrian activity and provide for specific commitments to design excellence and long term economic and cultural vitality.	Complies
4.	<b>Policy FLU-1.9.2.</b> Encourage the detailed planning of downtown, which is defined as the central business district, to establish sound economic, aesthetic and land use principles for effective utilization of both public and private resources.	Complies
5.	<b>Policy FLU-1.11.1.</b> Maintain and enforce effective development and maintenance regulations through site plan review, code enforcement, and design review boards and committees.	Complies
6.	<b>Objective FLU-1.12.</b> The City shall enforce the recently adopted Zoning Code which maintains the high aesthetic community design standards.	Complies
7.	<b>Objective FLU-1.14.</b> The City shall enforce Zoning Code provisions which continue to preserve and improve the character of neighborhoods.	Complies
8.	<b>Policy FLU-1.14.1.</b> The City shall enforce Zoning Code provisions which continue to address the location and extent of residential and non-residential land uses consistent with the Future Land Use Map in order to preserve the character of existing neighborhoods.	Complies
9.	<b>Goal FLU-3.</b> The City as a part of its development review process shall engage public/community participation and collaboration to provide for a transparent development review process.	Complies
10.	<b>Objective FLU-3.1.</b> The City shall continue its efforts to notify stakeholders, residents, property owners and neighborhood associations of pending development reviews to provide transparency within the development process.	Complies

Ref. No.	CP Goal, Objective and Policy	Basis for Consistency
11.	<b>Policy FLU-3.1.1.</b> The Planning Department shall, when necessary, assist in the dissemination of information of applications to surrounding properties with the intent of supporting all the goals, objective and policies of the Comprehensive Plan. Specifically as it relates to ensuring residential areas are protected from potential impacts which may include noise, light, traffic, and vehicular access.	Complies
12.	<b>Goal DES-1.</b> Maintain the City as a livable city, attractive in its setting and dynamic in its urban character.	Complies
13.	<b>Policy DES-1.1.6.</b> Maintain the character of the residential and nonresidential districts, and their peculiar suitability for particular uses.	Complies

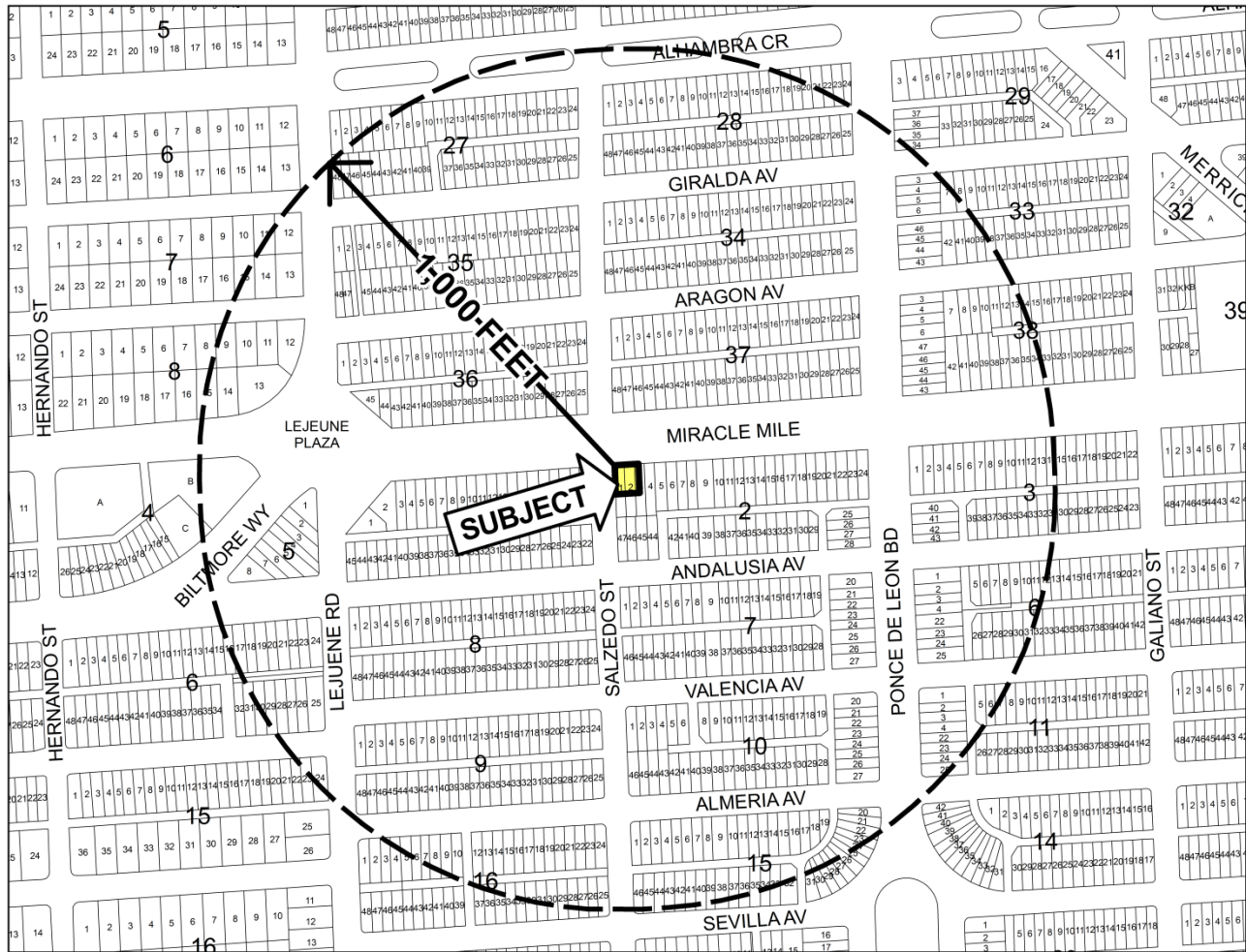
*Staff Comments:* Staff’s determination that this Application is “consistent” with the CP’s goals, objectives and policies that are identified is based upon compliance with conditions of approval recommended by Staff. The conditions of approval included will prevent any potential negative impacts in the surrounding area.

**4. PUBLIC NOTIFICATION**

The Applicant completed the mandatory neighborhood meeting with notification to all property owners within 1,000 feet of the property boundary. A meeting was held by the Applicant with the property owners on 04.26.17.

The Zoning Code requires that a courtesy notification be provided to all property owners within 1,000 feet of the boundary of the property. The notice indicates the following: Application filed; public hearing dates/time/location; where the application files can be reviewed and provides for an opportunity to submit comments. Approximately 261 notices were mailed. A copy of the legal advertisement and courtesy notice are provided as Attachments B and C. A map of the notice radius is as follows:

**Courtesy Notification Radius Map**



The following has been completed to solicit input and provide notice of the application:

**Public Notice**

Type	Date
Public information meeting	04.26.17
Courtesy notification - 1,000 feet	04.28.17
Posting of property	04.28.17
Legal advertisement	04.28.17
Posted agenda on City web page/City Hall	04.28.17
Posted Staff report on City web page	05.05.17

## 5. STAFF RECOMMENDATION

The Planning and Zoning Division based upon the complete Findings of Fact contained within this Report recommends **approval** of the Application with conditions.

### Summary of the Basis for Approval

Consistency with the Comprehensive Plan Goals, Objective and Polices. Staff's support of the application for Conditional Use Site Plan Review in order to allow a walk-up counter as an accessory use to a restaurant on property zoned Commercial District, which is permitted as a conditional use, is based on compliance with the Comprehensive Plan (CP) Goals, Objectives and Policies, Zoning Code and other applicable Codes as enumerated in the complete Findings of Fact presented herein.

### Conditions of Approval

In furtherance of the Comprehensive Plan (CP) Goals, Objectives and Policies, Zoning Code and other applicable City provisions, the recommendation for approval of the Application is subject to the following conditions of approval:

The applicant, its successors or assigns, shall adhere to the following conditions:

1. Board of Architects approval for the building design with the walk-up counter shall be required prior to proceeding to the City Commission for approval.
2. Walk-up counter shall only be permitted to be operated when the rest of the business is in operation, including the interior service counter.
3. The walk-up counter shall not interfere with the pedestrian circulation on adjoining sidewalks, pursuant to Zoning Code Section 5-115.
4. The outdoor dining on public property that is depicted within this Application shall be required to apply for and receive approval, in compliance with the Zoning Code requirements for the Business Improvement Overlay District provided in Zoning Code Section 4-206 and open air dining on public property provided in Zoning Code Section 5-119.B.

## 6. ATTACHMENTS

- A. Applicant's submittal package.
- B. 04.28.17 Legal advertisement published.
- C. 04.28.17 Courtesy notice mailed to all property owners.

Please visit the City's webpage at [www.coralgables.com](http://www.coralgables.com) to view all application materials. The complete application also is on file and available for examination during business hours at the Planning and Zoning Division, 427 Biltmore Way, Suite 201, Coral Gables, Florida, 33134.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Ramon Trias". The signature is fluid and cursive, with a large initial "R" and "T".

Ramon Trias  
Director of Planning and Zoning  
City of Coral Gables, Florida

# **STARBUCKS COFFEE COMPANY**

**Conditional Use Permit Application**

**292 Miracle Mile, Coral Gables, FL**

**Folio No.: 03-4117-005-0280**



**STARBUCKS COFFEE COMPANY**  
**Conditional Use Permit Application**  
**292 Miracle Mile, Coral Gables, FL**  
**Folio No.: 03-4117-005-0280**

<b>Tab</b>	<b>Description</b>
1.	Letter of Intent, dated April 10, 2017
2.	City of Coral Gables Conditional Use Permit Application
3.	Plans

Javier F. Avilón  
Tel 305-350-7202  
Fax 305-351-2275  
javino@bilzin.com

April 10, 2017

**Via Hand Delivery**

Ramon Trias  
Planning and Zoning Director  
Development Services, Planning & Zoning Division  
City of Coral Gables  
427 Biltmore Way, 2nd Floor  
Coral Gables, FL 33134

**Re: Starbucks Coffee Company / Conditional Use Permit Application  
Property Address: 292 Miracle Mile, Coral Gables, Florida  
Folio Number: 03-4117-005-0280**

Dear Mr. Trias:

On behalf of our client, Starbucks Coffee Company ("Applicant" or "Starbucks"), lessee of the property located at 292 Miracle Mile, Coral Gables, Florida ("Property"), enclosed please find the Applicant's request for a conditional use permit pursuant to Section 5-119(A)(8) of the Coral Gables Zoning Code ("Zoning Code") to accommodate a walk-up counter located at the front of the Property on Miracle Mile. The Property is owned by the City of Coral Gables ("City").

Starbucks currently operates a store at 220 Miracle Mile—the first-ever Starbucks in the State of Florida. Starbucks has entered into a lease with the City to relocate the store to the Property, a larger location at the opposite end of the block. Starbucks is proposing to add a walk-up counter along the front of the store bordering Miracle Mile. The Applicant anticipates that the store with the walk-up counter will significantly activate that corner of Miracle Mile, and highlight the City's new streetscape improvements. The walk-up counter has been designed with a keen understanding of its location in order to drive more pedestrian activity and integrate with the newly renovated sidewalk while minimizing impacts to the flow of nearby businesses.

The Property is a vacant retail facility, previously occupied by Supercuts, located on the south-east corner of Miracle Mile and Salzedo Street. The north side of the Property faces Miracle Mile. The Property is 4,200 square feet in size. The Property is zoned Commercial District (C) and designated as Commercial High-Rise Intensity on the Future Land Use Map.

Starbucks is in the process of finalizing the design of a modern and inviting interior layout for the new store. Plans are enclosed which depict the location of the walk-up counter and the exterior layout configuration along Miracle Mile. Additionally, renderings and other materials are included for your review.

### **A. The Conditional Use Permit Request**

Section 5-119(A)(8) specifies that walk-up counters for the purpose of serving patrons require conditional use review and approval pursuant to Article 3, Division 4 of the Zoning Code. Section 3-408 of the Zoning Code provides nine criteria for the Planning and Zoning Board and City Commissions' review of a conditional use application.

The Applicant meets all requirements in Section 3-408 for conditional use approval:

*A. The proposed conditional use is consistent with and furthers the goals, policies and objectives of the Comprehensive Plan and furthers the purposes of these regulations and other City ordinances and actions designed to implement the Plan.*

The walk-up counter on Miracle Mile is consistent with and furthers the goals, policies and objectives of the Comprehensive Plan ("Plan"). The walk-up counter provides a new and convenient option for pedestrians to enjoy Starbucks beverages and food while spending time on a newly beautified portion of Miracle Mile. This creative addition to the traditional Starbucks model comports with Objective FLU-1.9 and Policies FLU-9.1.1 and FLU-9.1.3, which encourage innovation in commercial development that promotes pedestrian activity. In fact, the Miracle Mile Improvement Plan described in FLU-1.9.3 includes a specific provision that encourages a more pedestrian friendly environment with unique shopping and cultural opportunities.

*B. The available use to which the property may be put is appropriate to the property that is subject to the proposed conditional use and compatible with existing and planned uses in the area.*

The walk-up counter is an appropriate use on the Property and consistent with the existing and planned uses in the area. The Property has a large frontage on the corner of Miracle Mile and Salzedo Street with enough space to provide the store entrance and walk-up counter separately. The walk-up counter will be placed directly on Miracle Mile and recessed, where it is surrounded by other businesses. The Property is not bordered by any residential uses and is, instead, aptly placed to accommodate individuals enjoying the shops and restaurants lining both sides of the iconic street.

*C. The proposed conditional use does not conflict with the needs and character of the neighborhood and the City.*

The walk-up counter does not conflict with the needs and character of the neighborhood and the City. The Applicant intends to move the existing Starbucks store to the opposite end of the same block, so the character of the neighborhood will remain essentially unchanged. The walk-up counter will provide additional pedestrian traffic that can only benefit other businesses in the area.

*D. The proposed conditional use will not adversely or unreasonably affect the use of other property in the area.*

The walk-up counter will not adversely or unreasonably affect other property in the area. Rather, the walk-up counter will generate additional pedestrians to the area and provide exposure to the surrounding businesses.

*E. The proposed use is compatible with the nature, condition and development of adjacent uses, buildings and structures and will not adversely affect the adjacent uses, buildings or structures.*

The walk-up counter is compatible with the nature, condition, and development of adjacent uses, buildings, and structures. The adjacent properties are businesses that depend on pedestrians to visit and support their establishments. The walk-up counter will benefit those businesses by encouraging individuals to explore the area.

*F. The parcel proposed for development is adequate in size and shape to accommodate all development features.*

The Property is larger than the current Starbucks location and can more than adequately accommodate both the walk-up counter operation and the coffee counter within the interior Starbucks store.

*G. The nature of the proposed development is not detrimental to the health, safety and general welfare of the community.*

The walk-up counter is not detrimental to the health, safety and general welfare to the community. No hazards are foreseeable by permitting individuals to order Starbucks food or beverage while standing outside the store as opposed to within the store. Furthermore, the current Starbucks store poses no threat to the health, safety, and welfare of the community, therefore the relocated store is similarly appropriate.

*H. The design of the proposed driveways, circulation patterns and parking is well defined to promote vehicular and pedestrian circulation.*

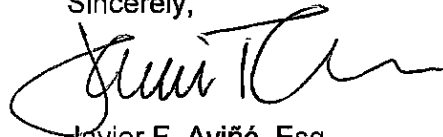
The newly improved Miracle Mile streetscape accommodates pedestrian traffic nicely, making the walk-up counter ideal at the proposed location. The walk-up counter will not intrude outward onto the public sidewalk and will, instead, comprise space within the portion of the Property bordering Miracle Mile. Because the renovated sidewalk is wide on that portion of Miracle Mile, individuals wishing to simply walk past the walk-up counter can easily maneuver around it.

*I. The proposed conditional use satisfies the concurrency standards of Article 3, Division 13 and will not adversely burden public facilities, including the traffic-carrying capacities of streets, in an unreasonable or disproportionate manner.*

The Starbucks relocation and walk-up counter will not adversely burden public facilities. Moreover, the effect on public facilities will not exceed any effect currently derived from the existing Starbucks store, which is not unreasonable or disproportionate to the surrounding area.

Accordingly, we respectfully request your approval of the requested conditional use permit to allow for the walk-up counter. Please do not hesitate to contact me if you have any questions or comments.

Sincerely,



Javier F. Aviño, Esq.

cc: Laurie Rozen  
Donise Brown, Esq.



# City of Coral Gables Planning Division Application

305.460.5211

planning@coralgables.com

www.coralgables.com

## Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- Abandonment and Vacations
- Annexation
- Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- Comprehensive Plan Map Amendment - Small Scale
- Comprehensive Plan Map Amendment - Large Scale
- Comprehensive Plan Text Amendment
- Conditional Use - Administrative Review
- Conditional Use without Site Plan
- Conditional Use with Site Plan
- Development Agreement
- Development of Regional Impact
- Development of Regional Impact - Notice of Proposed Change
- Mixed Use Site Plan
- Planned Area Development Designation and Site Plan
- Planned Area Development Major Amendment
- Restrictive Covenants and/or Easements
- Site Plan
- Separation/Establishment of a Building Site
- Subdivision Review for a Tentative Plat and Variance
- Transfer of Development Rights Receiving Site Plan
- University Campus District Modification to the Adopted Campus Master Plan
- Zoning Code Map Amendment
- Zoning Code Text Amendment
- Other: \_\_\_\_\_

## General information

Street address of the subject property: 292 Miracle Mile, Coral Gables, FL 33134

Property/project name: Starbucks Coffee Company

Legal description: Lot(s) N70FT LOTS 1 & 2 & W10FT OF N70FT LOT 3

Block(s) 2 Section (s) CORAL GABLES CRAFTS SEC PB 10-40

Property owner(s): The City of Coral Gables, c/o Charles Wu, Assltant Director Development Services

Property owner(s) mailing address: 405 Biltmore Way, Coral Gables, FL 33154

Telephone: Business 305-460-5244 Fax \_\_\_\_\_

Other \_\_\_\_\_ Email \_\_\_\_\_ cwu @ coralgables.com



# City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Starbucks Coffee Company/Javler Avino, Esq.

Applicant(s)/agent(s) mailing address: 1450 Brickell Ave, 23rd Floor, Miami, FL 33131

Telephone: Business 305-350-7202 Fax \_\_\_\_\_

Other \_\_\_\_\_ Email javino @ bilzin.com

## Property information

Current land use classification(s): Commercial High-Rise Intensity (150 feet; 3.0 F.A.R.)

Current zoning classification(s): (C) Commercial District

Proposed land use classification(s) (if applicable): \_\_\_\_\_

Proposed zoning classification(s) (if applicable): \_\_\_\_\_

## Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Division Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- Aerial.
- Affidavit providing for property owner's authorization to process application.
- Annexation supporting materials.
- Application fees.
- Application representation and contact information.
- Appraisal.
- Architectural/building elevations.
- Building floor plans.
- Comprehensive Plan text amendment justification.
- Comprehensive Plan analysis.
- Concurrency impact statement.
- Encroachments plan.
- Environmental assessment.
- Historic contextual study and/or historical significance determination.
- Landscape plan.
- Lighting plan.
- Massing model and/or 3D computer model.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Parking study.
- Photographs of property, adjacent uses and/or streetscape.
- Plat.
- Property survey and legal description.



- Property owners list, notification radius map and two sets of labels.
- Public Realm Improvements Plan for mixed use projects.
- Public school preliminary concurrency analysis (residential land use/zoning applications only).
- Sign master plan.
- Site plan and supporting information.
- Statement of use and/or cover letter.
- Streetscape master plan.
- Traffic accumulation assessment.
- Traffic impact statement.
- Traffic impact study.
- Traffic stacking analysis.
- Utilities consent.
- Utilities location plan.
- Vegetation survey.
- Video of the subject property.
- Zoning Analysis ( Preliminary).
- Zoning Code text amendment justification.
- Warranty Deed.
- Other: \_\_\_\_\_

**Application submittal requirements**

1. **Hard copies.** The number of application binders to be submitted shall be determined by Staff at the preapplication meeting. The application shall include all the items identified in the preapplication meeting.
2. **Digital media copies.** Two (2) compact discs (CD ROMs) of the entire application including all the items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 Mb. All discs shall be labeled with the applicant(s) name, project name and date of submittal.

**Applicant/agent/property owner affirmation and consent**

- (I) (We) affirm and certify to all of the following:
1. **Submission of the following:**
    - a. **Warranty deed/tax record as proof of ownership** for all properties considered as a part of the application request; or
    - b. **Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.**
  2. **This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.**
  3. **That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.**
  4. **Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.**





# City of Coral Gables Planning Division Application

5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

Property owner(s) signature(s): <i>Charles K. Wu</i>	Property owner(s) print name: <i>Charles K. Wu Interim Dept. Services Dir.</i>
Property owner(s) signature(s):	Property owner(s) print name:
Property owner(s) signature(s):	Property owner(s) print name:

Address: *407 Biltmore Way, Coral Gables 33134*

Telephone:                      Fax:                      Email: *cwu@coralgables.com*

### NOTARIZATION

STATE OF FLORIDA/COUNTY OF *Dade*  
 The foregoing instrument was acknowledged before me this *28* day of *March* by *Charles Wu*  
 (Signature of Notary Public - State of Florida)

*Virginia Gozqueta*



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_



City of Coral Gables Planning Division Application

Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:
Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:

Address:

Telephone:	Fax:	Email:
------------	------	--------

NOTARIZATION

STATE OF FLORIDA/COUNTY OF  
The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_  
(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)  
 Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_

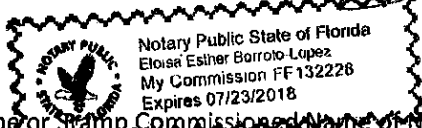
Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: Javier F. Avino, Esq.
--------------------------------------	--

Address: 1450 Bndell Avenue, 23rd Flr.

Telephone: 305-350-7202	Fax:	Email: javino@bizim.com
-------------------------	------	-------------------------

NOTARIZATION

STATE OF FLORIDA/COUNTY OF  
The foregoing instrument was acknowledged before me this 17<sup>th</sup> day of April by Javier F. Avino  
(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)  
 Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_



**CITY OF CORAL GABLES  
LOBBYIST ANNUAL REGISTRATION APPLICATION  
FOR EACH PRINCIPAL REPRESENTED**

REGISTRATION #: \_\_\_\_\_

**HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?**

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

**FOR THIS PURPOSE:** To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

**IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:**

Print Your Name Javier F. Avifó  
LOBBYIST

Print Your Business Name, if applicable Bilzin Sumberg Baena Price & Axelrod LLP

Business Telephone Number 305-350-7202

Business Address 1450 Brickell Avenue, 23 Fl., Miami, FL 33131  
ADDRESS CITY, STATE ZIP CODE

Federal ID#: \_\_\_\_\_

State the extent of any business or professional relationship you have with any current member of the City Commission.  
None

**PRINCIPAL REPRESENTED:**

NAME Starbucks Corporation COMPANY NAME, , IF APPLICABLE \_\_\_\_\_

BUSINESS ADDRESS 95 Merrick Way, Suite 650, Coral Gables, FL TELEPHONE NO.: 305-443-1000

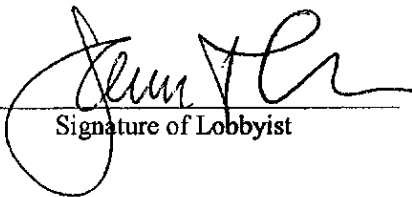
**ANNUAL REPORT:** On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is required to be filed even if there were no expenditures.

**LOBBYIST ISSUE APPLICATION:** Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

**NOTICE OF WITHDRAWAL:** If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

**ANNUAL LOBBYIST REGISTRATION FEE:** This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$150.00 Lobbyist Registration Fee is required.

I Javier F. Aviñó hereby swear or affirm under penalty of perjury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$150.00 Annual Lobbyist Registration Fee.

  
Signature of Lobbyist

STATE OF FLORIDA )  
COUNTY OF DADE )

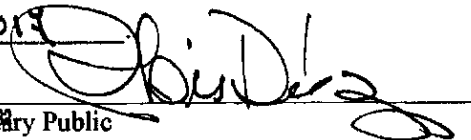
BEFORE ME personally appeared Javier F. Aviñó to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this March 30, 2017

Personally Known  
 Produced ID



IBIS DIAZ  
MY COMMISSION # FFN1882  
Notary Public  
EXPIRES: May 24, 2018  
State of Florida  
Bonded Thru Budget Notary Services



\$150.00 Fee Paid \_\_\_\_\_ Received By \_\_\_\_\_ Date: \_\_\_\_\_

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) \_\_\_\_\_

<b>For Office Use Only</b>	
Data Entry Date: _____, 20____	Entered By: _____

THE FACE OF THIS DOCUMENT HAS A COLORED BACKGROUND ON WHITE PAPER

**BILZIN SUMBERG BAENA PRICE & AXELROD LLP**  
A PARTNERSHIP INCLUDING PROFESSIONAL ASSOCIATIONS  
DISBURSEMENT ACCOUNT  
1450 BRICKELL AVENUE, 23RD FLOOR • MIAMI, FL 33131-3456  
TELEPHONE (305) 374-7590

CITIBANK, N.A. BR #002  
MIAMI, FL 33102  
63-3655/2880

**3061**

CK # 3061

\*\*\*ONE HUNDRED FIFTY AND 00/100 DOLLARS\*\*\*

DATE

AMOUNT

March 31, 2017

\$\$\$150.00

PAY  
TO THE  
ORDER  
OF:

CITY OF CORAL GABLES

DISBURSEMENT ACCOUNT



AUTHORIZED SIGNATURE

RUB AGEI MARK  
FADERS WITH HEAT

THE BACK OF THIS DOCUMENT CONTAINS CHECK SECURITY WATERMARK AND COIN REACTIVE INK

⑈003061⑈ ⑆266086554⑆ 9118594432⑈

**BILZIN SUMBERG BAENA PRICE & AXELROD LLP** 1450 BRICKELL AVENUE, 23RD FLOOR • MIAMI, FL 33131-3456

**3061**

F0001394

CITY OF CORAL GABLES

March 31, 2017

Client.Matter  
73349.84782

Date  
3/31/2017

Description  
Lobbyist Registration fee for Javier F. Avino - PAYEE: CITY OF CORAL GABLES; REQUEST#: \$

150.00

WZ39827-11-16

Security Features Included Details on back



**CITY OF CORAL GABLES  
LOBBYIST  
ISSUE APPLICATION**

**REGISTRATION #:** \_\_\_\_\_

**HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?**

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board, Committee Members, or any City Official or staff.

**FOR THIS PURPOSE:** To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

**IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.**

Print Your Name	Javier F. Aviñó	
	_____	
	LOBBYIST	
Print Your Business Name	Bilzin Sumberg	
	_____	
Business Telephone Number	305-350-7202	
	_____	
Business Address	1450 Brickell Avenue, Suite 2300, Miami, FL	33131
	ADDRESS	CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name: Starbucks Corporation COMPANY NAME: STARBUCKS

Principal Address: 95 Merrick Way, Suite 650, Coral Gables, FL Telephone Number: 305-443-1000

**ISSUE:** Describe in detail, including address, if applicable, of the specific issue on which you will lobby:  
(Separate Application is required for each specific issue)

All land use/zoning matters relating to property located at 292 Miracle Mile, Coral Gables, FL

I Javier F. Aviñó hereby swear or affirm under penalty of per-  
Print Name of Lobbyist  
jury that all the facts contained in this Application are true and that I am aware  
that these requirements are in compliance with the provisions of the City of Coral  
Gables Ordinance No. 2006-11, governing Lobbying.

  
Signature of Lobbyist

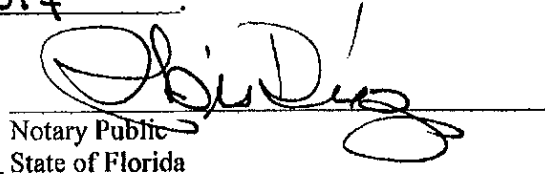
3-30-17  
Date

STATE OF FLORIDA     )  
                                  )  
COUNTY OF DADE     )

BEFORE ME personally appeared Javier F. Aviñó to me well known and known to me to be the person  
described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said  
instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this MARCH 3, 2017.

Personally Known  
 Produced ID

  
Notary Public  
State of Florida



IBIS DIAZ  
MY COMMISSION # FF 111262  
EXPIRES: May 24, 2018  
Bonded Thru Budget Notary Services

For Office Use Only	
Data Entry Date: _____, 20____	Entered By: _____

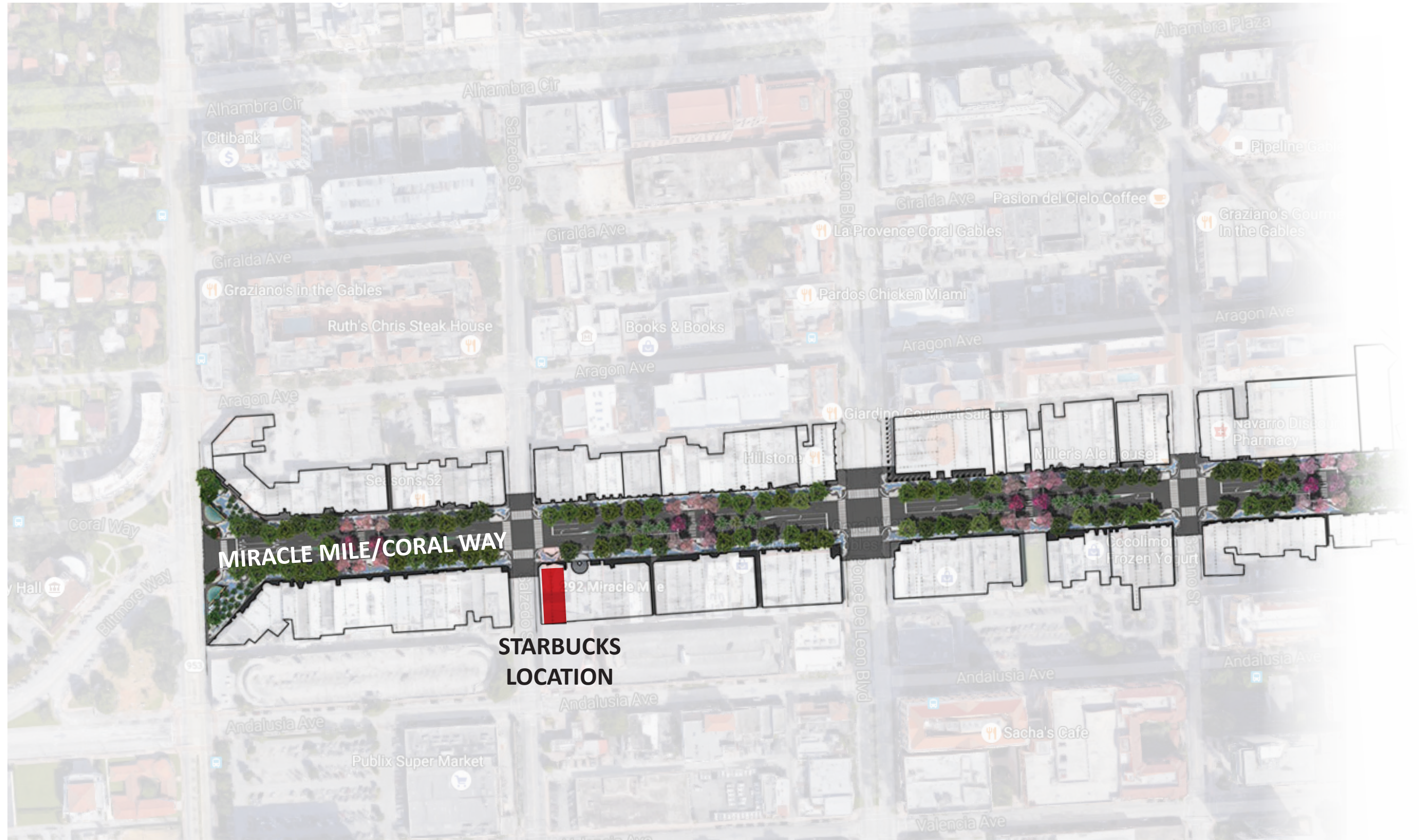
Annual Fees Waived for Not-for-Profit Organization. Please attach documentary proof.

## MIRACLE MILE CUP PRESENTATION

292 MIRACLE MILE  
CORAL GABLES, FL 33134

FLORIDA | Store Design  
Starbucks Coffee Company

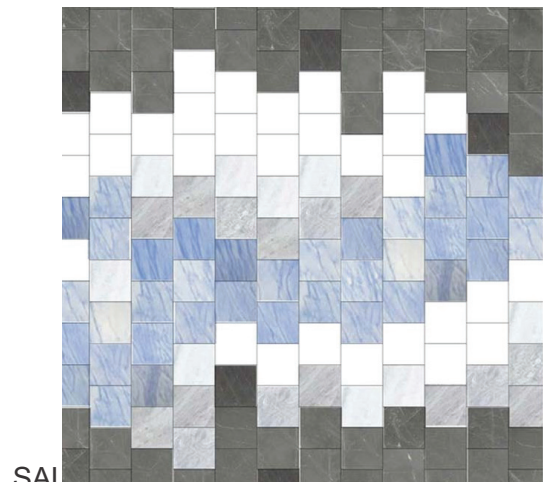




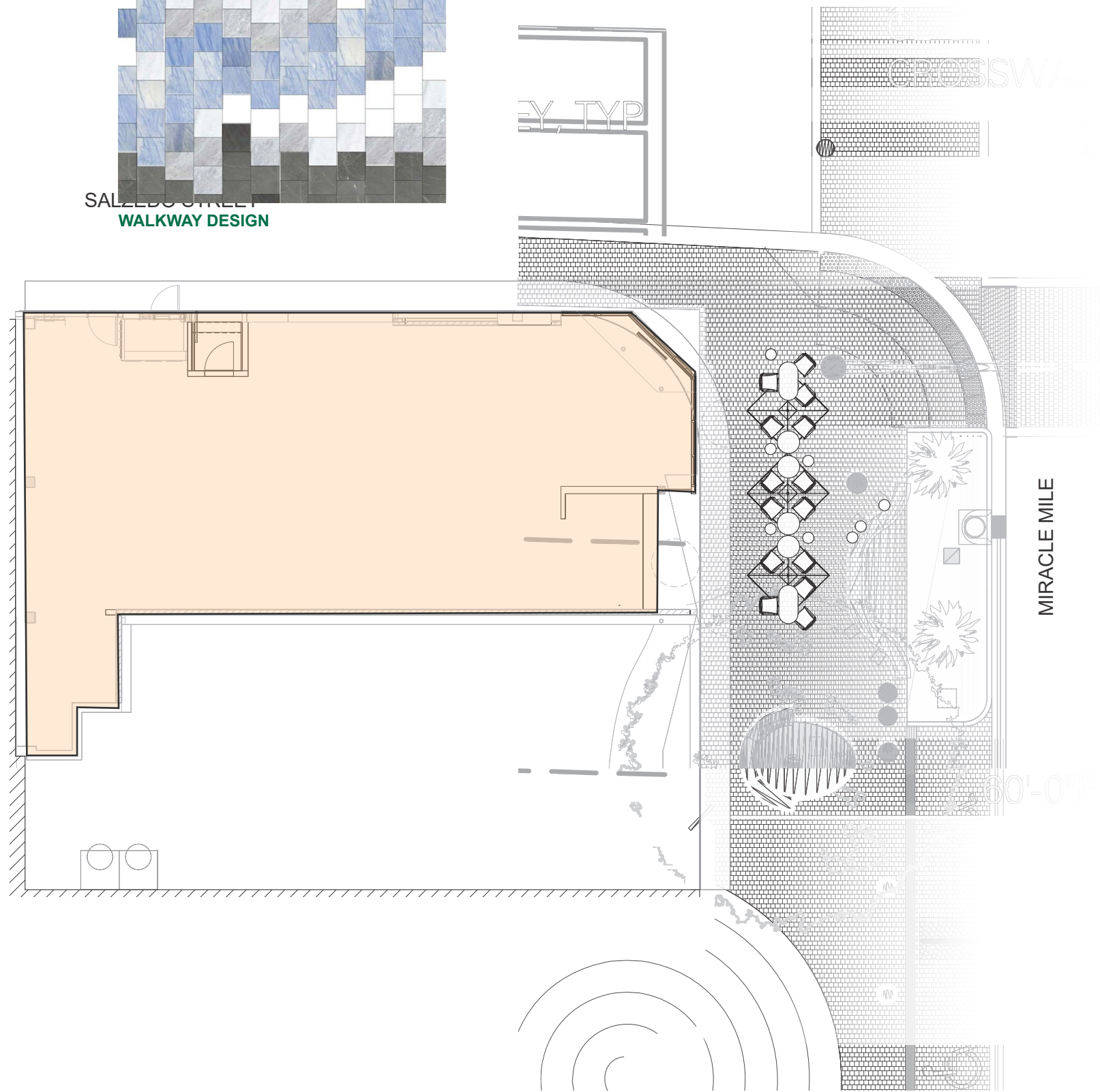
ENLARGED AREA MAP



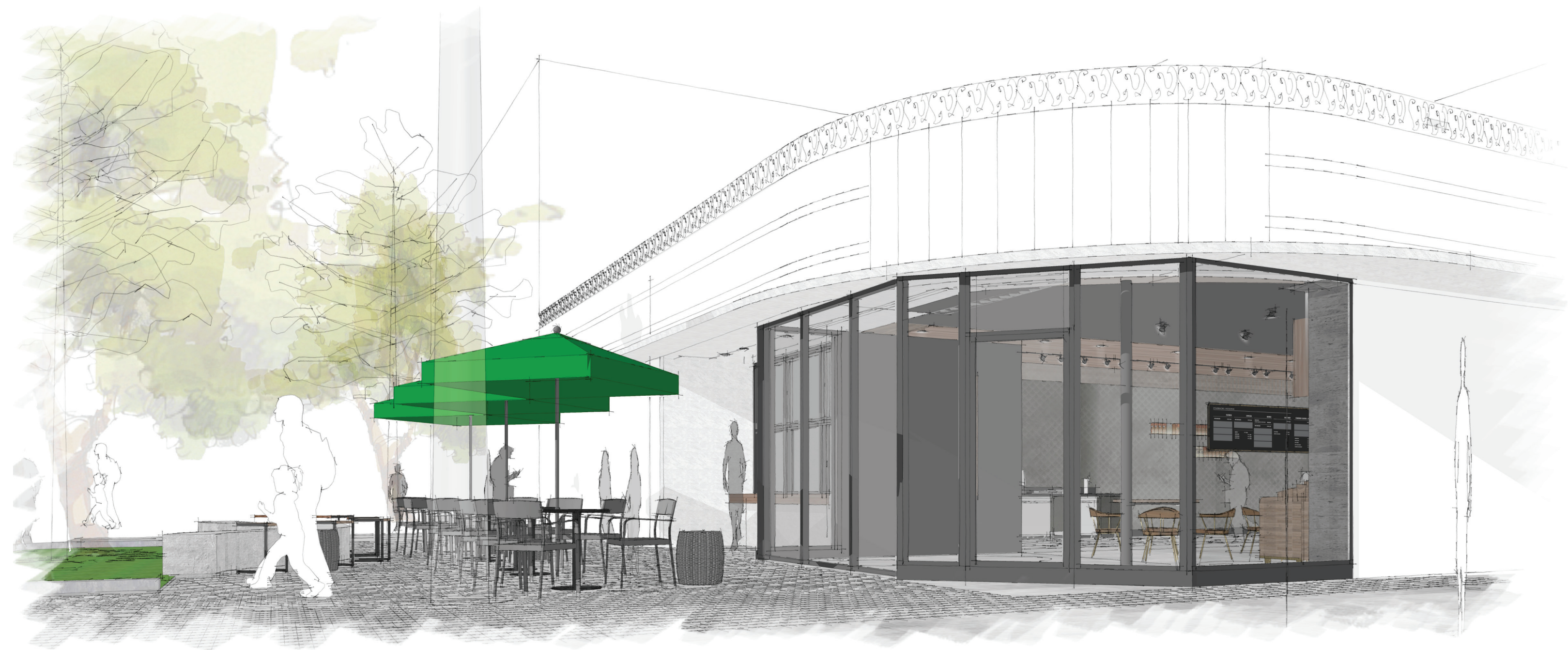




SALLEDO STREET  
WALKWAY DESIGN







**SCHEMATIC DESIGN**

Design Team | Miami Studio

EXTERIOR PERSPECTIVE | EAST VIEW FROM MIRACLE MILE

HIGH PROFILE | 02596 292 MIRACLE MILE | CORAL GABLES | FL. 33134

04/06/2017





SINGLE HUNG WINDOW OPENED



SINGLE HUNG WINDOW CLOSED

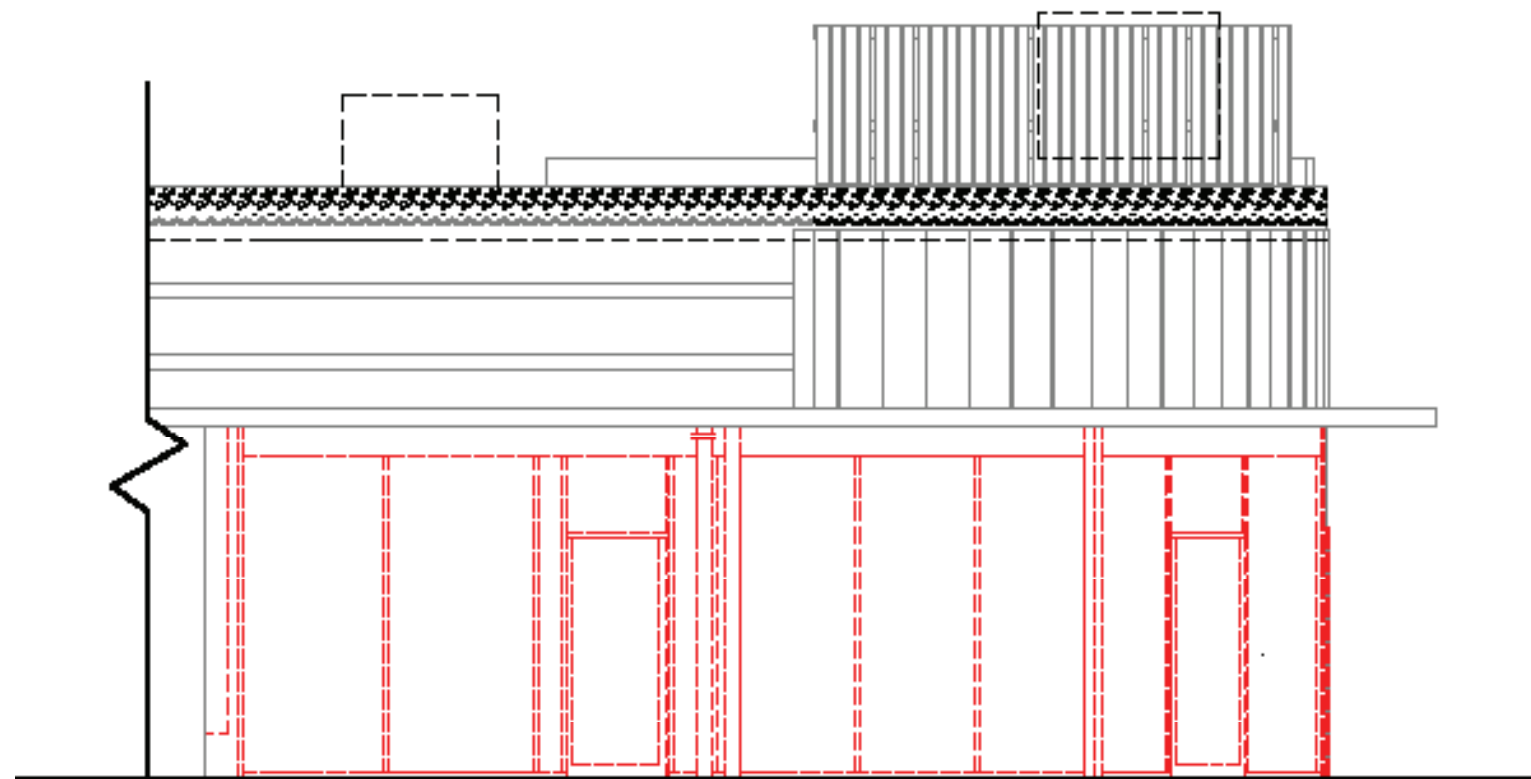
WINDOW EXTERIOR PERSPECTIVES

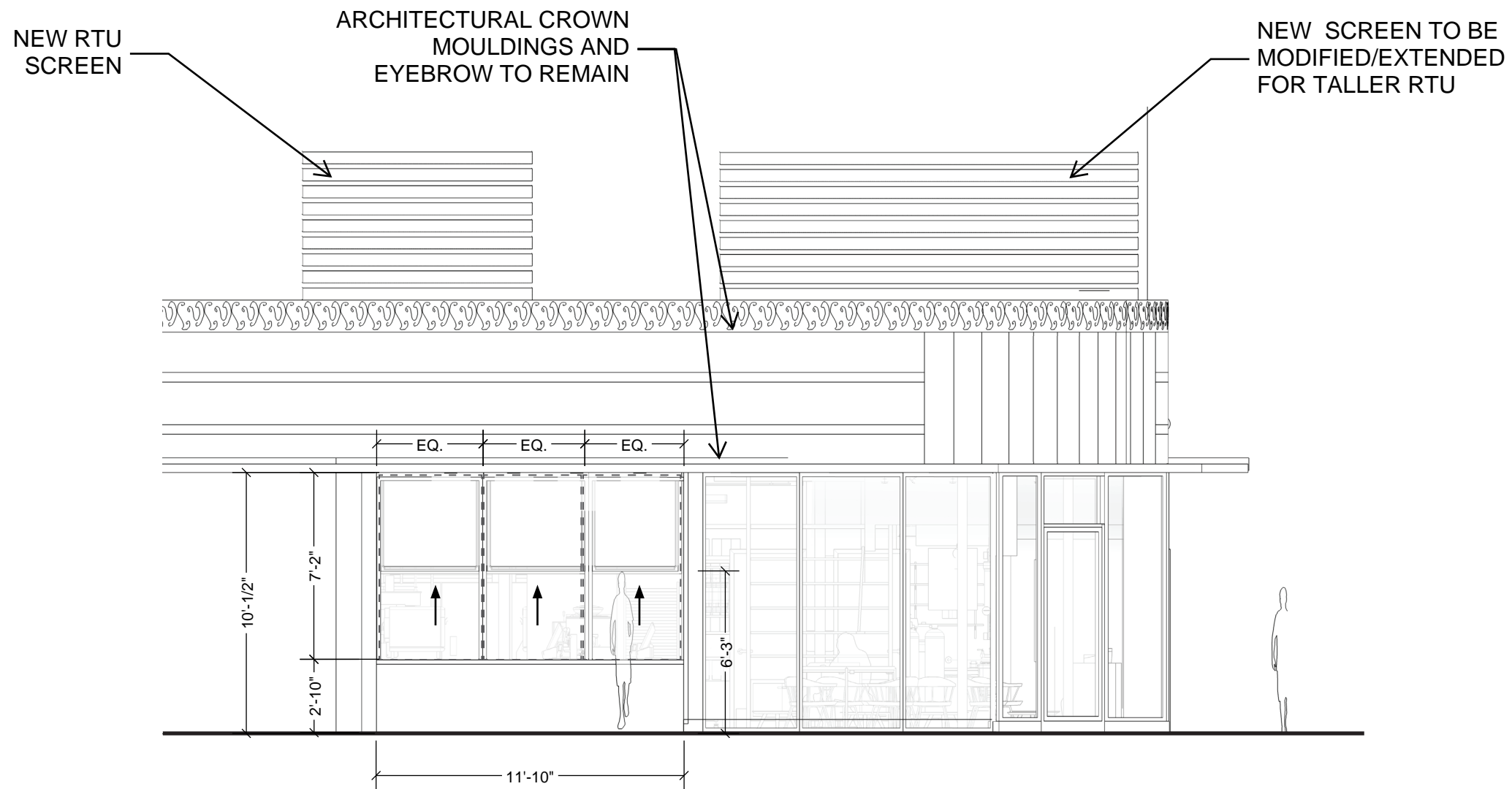
HIGH PROFILE | 02596 292 MIRACLE MILE | CORAL GABLES | FL. 33134















UMBRELLA  
TUCCI TOP: 6' X 6' 10064  
TUCCI BASE: 12139



CHAIRS  
17333  
METAL MESH CAFE CHAIR



ADA TABLE  
CROW WORKS  
METAL AND WOOD



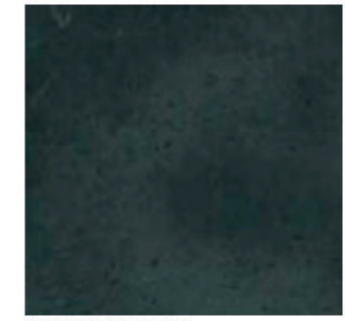
24" ROUND TABLE  
17339  
FLAT BLACK  
POWDERCOATED



TIDELLI  
LINE MARINA  
OTTOMAN  
#87 COFFEE

SW 7006  
Extra White  
Interior / Exterior  
Locator Number: 257-C1

EXTERIOR PAINT  
To Match existing White  
Color or SW7006



STOREFRONT  
Powder Coated Black  
Aluminum



STUCCO  
Santa Barbara Finish  
SW7006

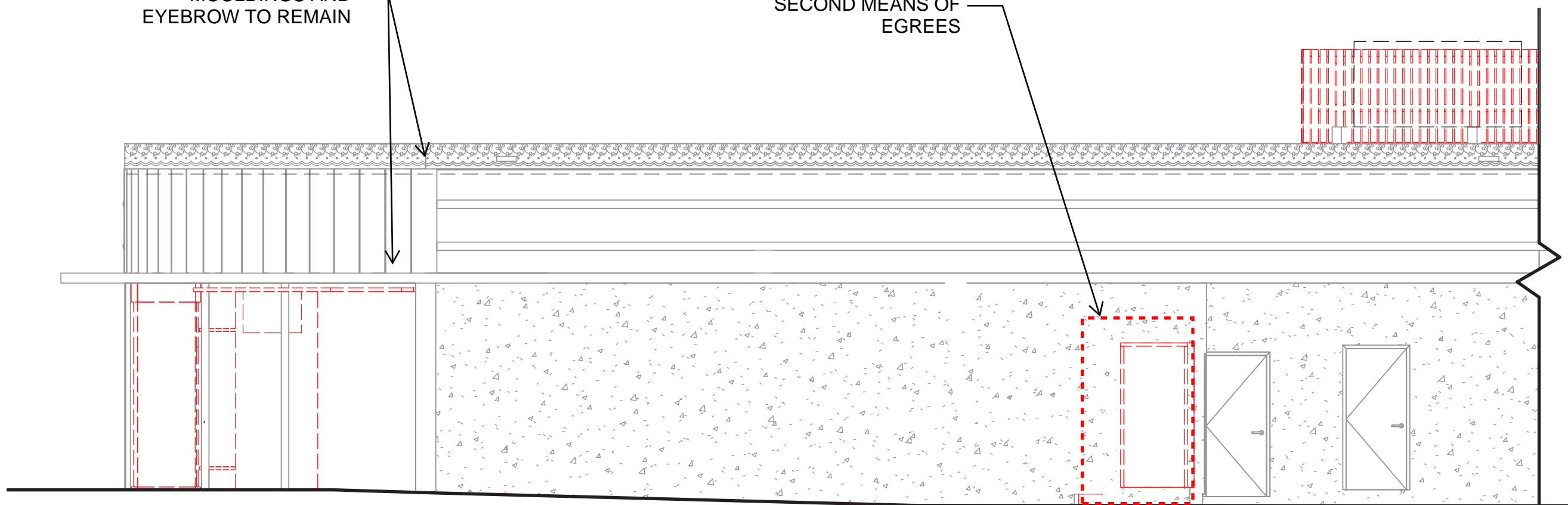






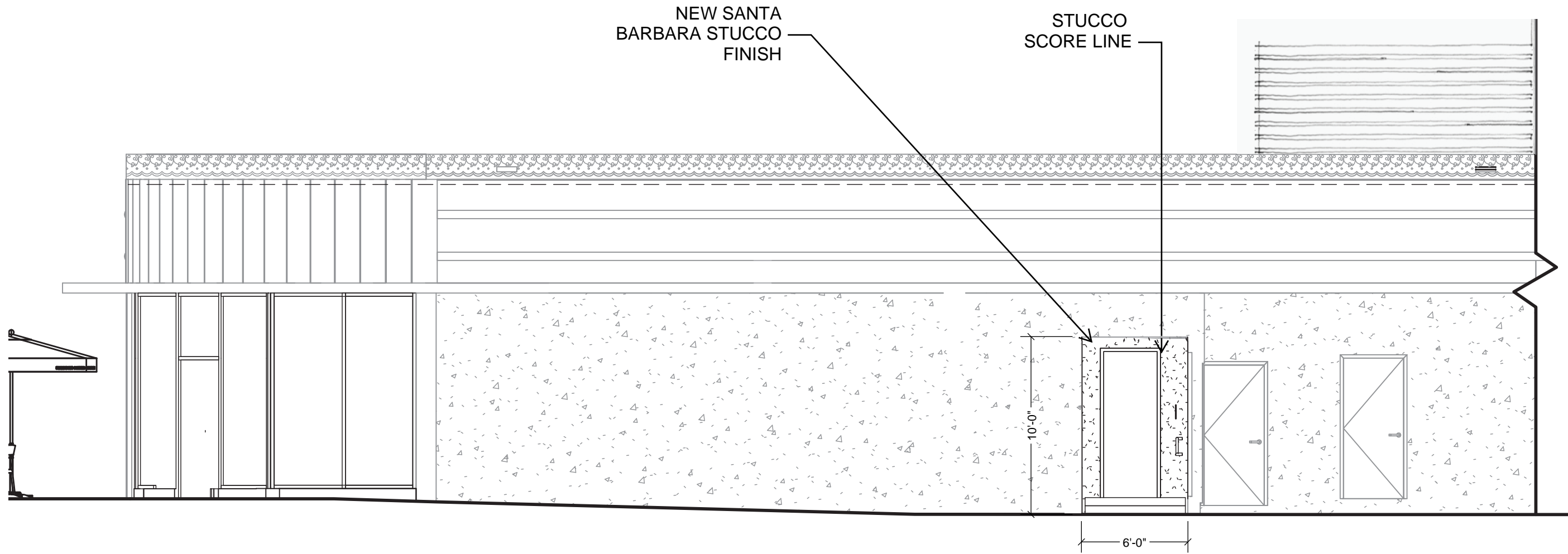
ARCHITECTURAL CROWN  
MOULDINGS AND  
EYEBROW TO REMAIN

NEW OPENING FOR  
SECOND MEANS OF  
EGREES



DOOR TO BE REPLACE  
AND DASHED LINE  
SHOWS NEW OPENING









UMBRELLA  
TUCCI TOP: 6' X 6' 10064  
TUCCI BASE: 12139



CHAIRS  
17333  
METAL MESH CAFE CHAIR



ADA TABLE  
CROW WORKS  
METAL AND WOOD



24" ROUND TABLE  
17339  
FLAT BLACK  
POWDERCOATED



TIDELLI  
LINE MARINA  
OTTOMAN  
#87 COFFEE

SW 7006  
Extra White  
Interior / Exterior  
Locator Number: 257-C1

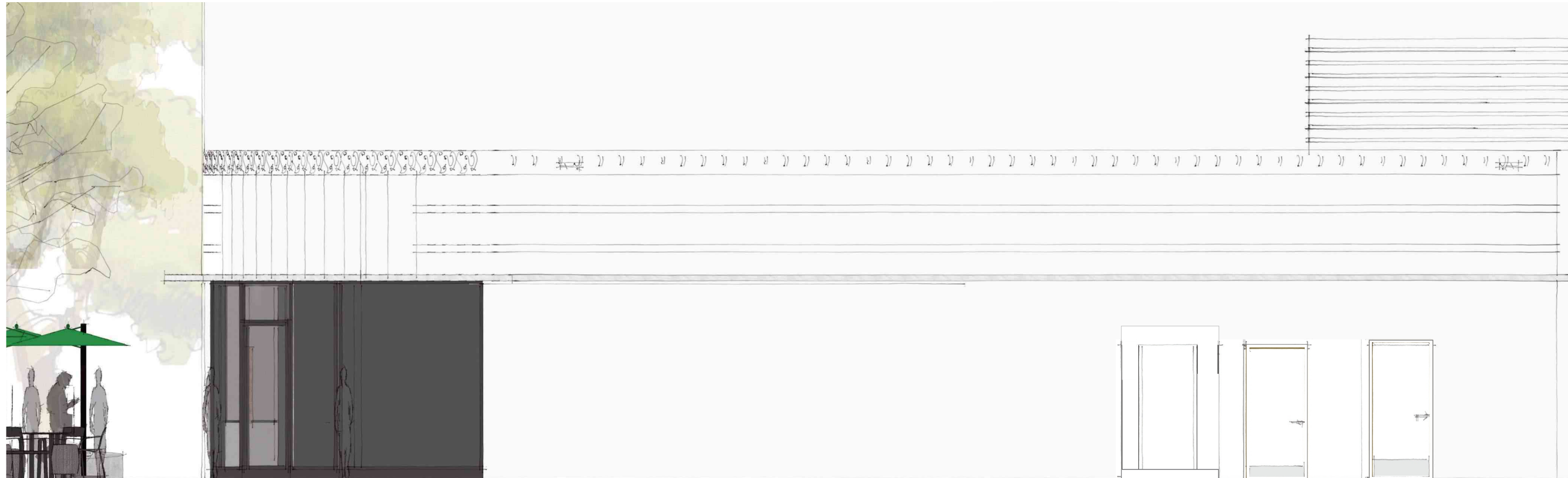
EXTERIOR PAINT  
To Match existing White  
Color or SW7006



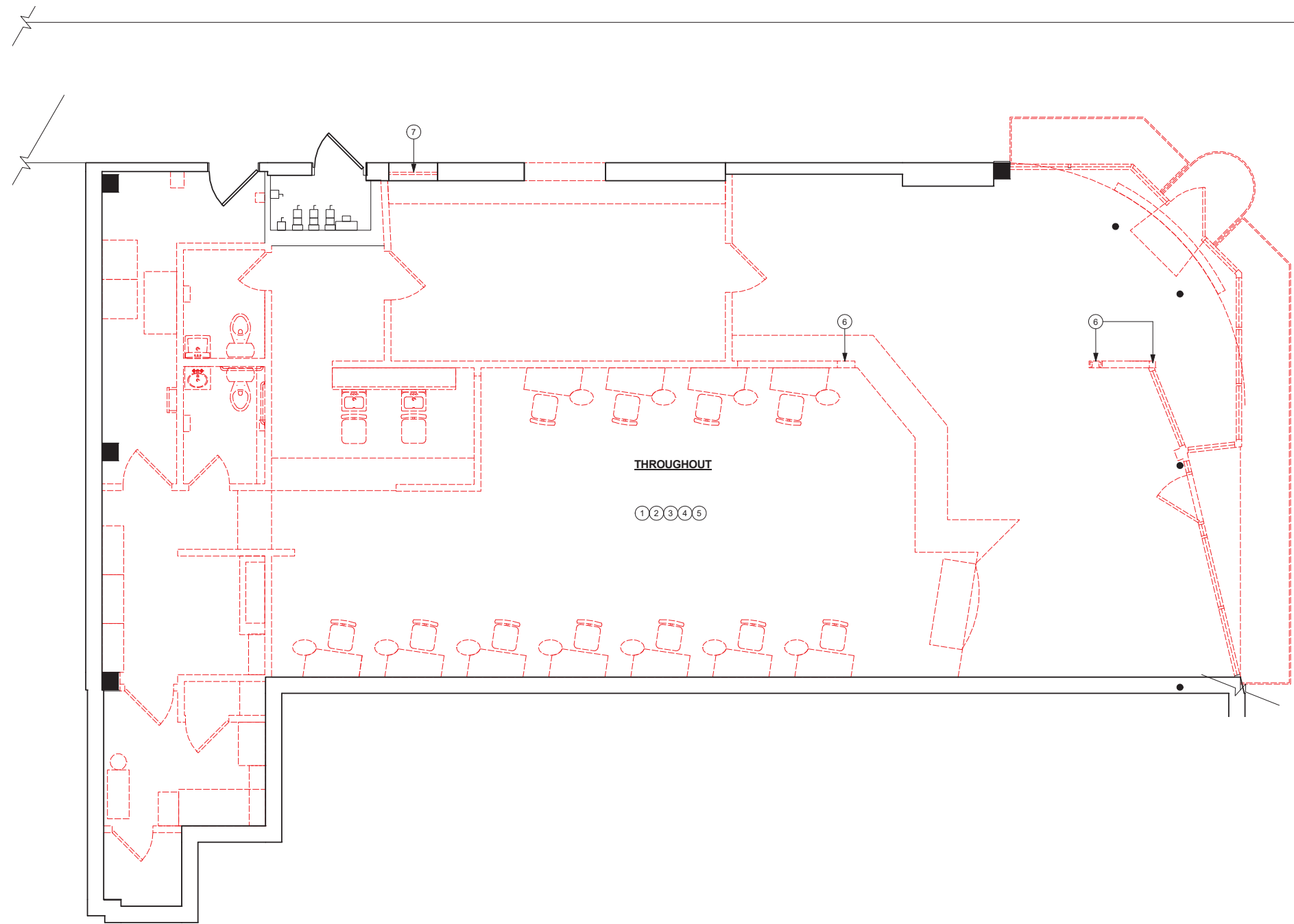
STOREFRONT  
Powder Coated Black  
Aluminum



STUCCO  
Santa Barbara Finish  
SW7006



SALZEDO ST.



MIRACLE MILE



**SCHEMATIC DESIGN**

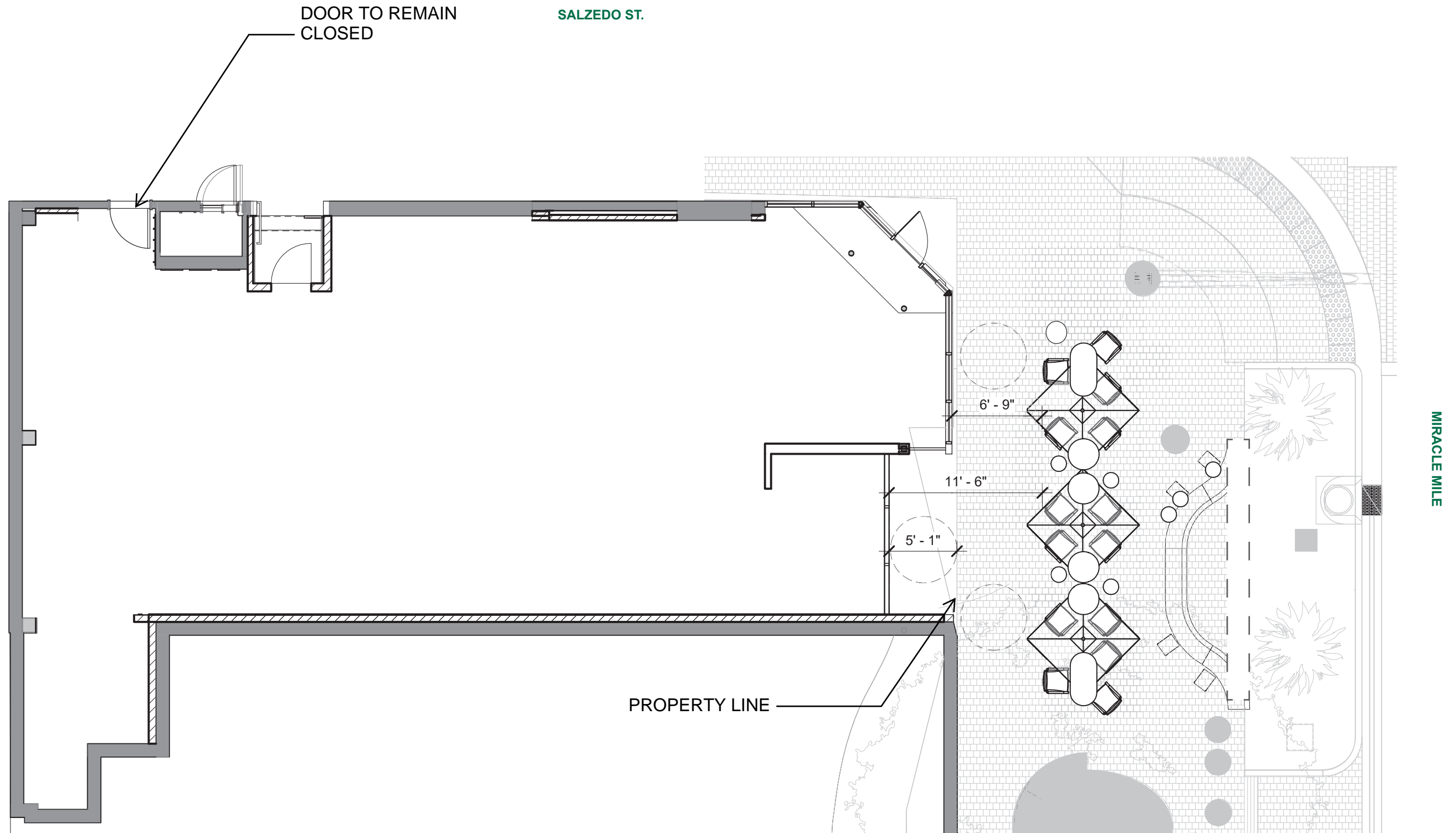
EXISTING FLOOR PLAN | Scale: 1/8": 1'-0"

HIGH PROFILE | 02596 292 MIRACLE MILE | CORAL GABLES | FL. 33134

Design Team | Miami Studio

04/06/2017

14



**MIAMI DAILY BUSINESS REVIEW**

Published Daily except Saturday, Sunday and  
Legal Holidays  
Miami, Miami-Dade County, Florida

STATE OF FLORIDA  
COUNTY OF MIAMI-DADE:

Before the undersigned authority personally appeared OCTELMA V. FERBEYRE, who on oath says that he or she is the VICE PRESIDENT, Legal Notices of the Miami Daily Business Review f/k/a Miami Review, a daily (except Saturday, Sunday and Legal Holidays) newspaper, published at Miami in Miami-Dade County, Florida; that the attached copy of advertisement, being a Legal Advertisement of Notice in the matter of

NOTICE OF PUBLIC HEARING  
CITY OF CORAL GABLES - LOCAL PLANNING AGENCY /  
PLANNING AND ZONING BOARD - MAY 10, 2017

in the XXXX Court,  
was published in said newspaper in the issues of

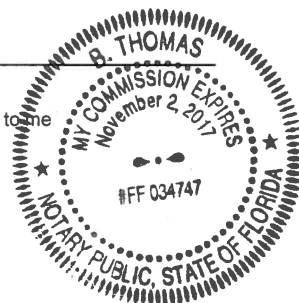
04/28/2017

Affiant further says that the said Miami Daily Business Review is a newspaper published at Miami, in said Miami-Dade County, Florida and that the said newspaper has heretofore been continuously published in said Miami-Dade County, Florida each day (except Saturday, Sunday and Legal Holidays) and has been entered as second class mail matter at the post office in Miami in said Miami-Dade County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he or she has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and subscribed before me this  
28 day of APRIL, A.D. 2017

(SEAL)

OCTELMA V. FERBEYRE personally known to me



**CITY OF CORAL GABLES, FLORIDA  
NOTICE OF PUBLIC HEARING**

CITY PUBLIC HEARING LOCAL PLANNING AGENCY / PLANNING  
AND ZONING BOARD  
DATES/TIMES WEDNESDAY, MAY 10, 2017, 6:00 -  
9:00 P.M.  
LOCATION CITY COMMISSION CHAMBERS, CITY  
HALL, 405 BILTMORE WAY, CORAL  
GABLES, FLORIDA, 33134

PUBLIC NOTICE is hereby given that the City of Coral Gables, Florida, Local Planning Agency (LPA) Planning and Zoning Board (PZB) will conduct Public Hearings on the following:

1. A Resolution of the City Commission of Coral Gables, Florida granting conditional use approval pursuant to Zoning Code Article 3, "Development Review," Division 4, "Conditional Uses," for a walk-up counter as an accessory use to a restaurant on property zoned Commercial District for the property legally described as the North 70 feet of Lots 1 - 2 and the West 10 feet of the North 70 feet of Lot 3, Block 2, Coral Gables Crafts Section (292 Miracle Mile), Coral Gables, Florida; including required conditions and providing for an effective date.  
  
Items 2 thru 4 are related.
2. An Ordinance of the City Commission of Coral Gables, Florida requesting an amendment to the Future Land Use Map of the City of Coral Gables Comprehensive Plan pursuant to Zoning Code Article 3, "Development Review", Division 15, "Comprehensive Plan Text and Map Amendments", and Small Scale amendment procedures (ss. 163.3187, Florida Statutes), from "Residential Multi-Family Low Density" and "Residential Multi-Family Medium Density" to "Commercial Low-Rise Intensity" for Lots 44-48, Block 9 and Lots 1-4, Block 18, Section "K"; and, from "Residential Multi-Family Medium Density" to "Commercial Mid-Rise Intensity" for Lots 5-7, Block 18, Section "K"; and, from "Residential Multi-Family Medium Density" and "Commercial Mid-Rise Intensity" to "Commercial High-Rise Intensity" for Lots 8-12 and 35-41, Block 18, Section "K" (2051 LeJeune Road), Coral Gables, Florida; and, providing for severability, repealer and an effective date.
3. An Ordinance of the City Commission of Coral Gables, Florida requesting a change of zoning pursuant to Zoning Code Article 3, "Development Review", Division 14, "Zoning Code Text and Map Amendments", from Multi-Family 2 District (MF2) to Commercial District (C) for the property legally described as Lots 44-48, Block 9 and Lots 1-12, Block 18, Coral Gables Section "K" (2051 LeJeune Road), Coral Gables, Florida; and providing for severability, repealer and an effective date.

4. An Ordinance of the City Commission of Coral Gables, Florida requesting review of a Planned Area Development (PAD) pursuant to Zoning Code Article 3, "Development Review," Division 5, "Planned Area Development (PAD)," for the proposed project referred to as "Residence Inn by Marriott" on the property legally described as Lots 44-48, Block 9; and, Lots 1-12, Lot 38 less the East 7 feet, Lots 39-48, Block 18, Coral Gables Section "K" (2051 LeJeune Road), Coral Gables, Florida; including required conditions and providing for an effective date. (Legal description on file at the City)
5. A Resolution of the City Commission of Coral Gables, Florida granting site plan approval pursuant to Zoning Code Article 3, "Development Review," Division 4, "Conditional Uses," Section 3-402, "General procedures for conditional uses," for an Amendment to the Village of Merrick Park Site Plan for the development project referred to as "Merrick Park Hotel" on the property legally described as Lots 12-22, Block 6, Industrial Section (4241 Aurora Street), Coral Gables, Florida; including required conditions and providing for an effective date.

All interested parties are invited to attend and participate. Upon recommendation by the Board, the applications will be scheduled for City Commission consideration. Please visit the City webpage at [www.coralgables.com](http://www.coralgables.com) to view information concerning the applications. The complete applications are on file and available for examination during business hours at the Planning and Zoning Division, 427 Biltmore Way, Suite 201, Coral Gables, Florida, 33134. Questions and written comments can be directed to the Planning and Zoning Division at [planning@coralgables.com](mailto:planning@coralgables.com) (FAX: 305.460.5327) or 305.460.5211.


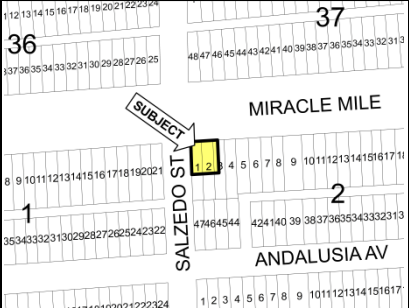
Ramon Trias  
Director of Planning and Zoning  
Planning & Zoning Division  
City of Coral Gables, Florida

Any person, who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, as amended, must register with the City Clerk prior to engaging in lobbying activities before City Staff, Boards, Committees or City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall. If a person decides to appeal any decision made by a Board, Committee or City Commission with respect to any matter considered at a meeting or hearing, that person will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105). Any meeting may be opened and continued and, under certain circumstances, additional legal notice will not be provided. Any person requiring special accommodations in order to attend or participate in the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta (Email: [relejabarrieta@coralgables.com](mailto:relejabarrieta@coralgables.com)), Telephone: 305-722-8686, TTY/TDD: 305-442-1600, at least three (3) working days prior to the meeting. All meetings are telecast live on Coral Gables TV Channel 77.

4/28

17-111/0000219630M



	<p align="center"><b>City of Coral Gables Courtesy Public Hearing Notice</b></p> <p align="center"><b>April 28, 2017</b></p>	
<b>Property:</b>	<b>Starbucks (292 Miracle Mile), Coral Gables, Florida</b>	
<b>Applicant:</b>	<b>Starbucks Coffee Company</b>	
<b>Application:</b>	<b>Conditional Use with Site Plan Review</b>	
<b>Public Hearing - Date/Time/ Location:</b>	<b>Planning and Zoning Board May 10, 2017, 6:00 – 9:00 p.m. City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida, 33134</b>	

**PUBLIC NOTICE** is hereby given that the City of Coral Gables, Florida, Planning and Zoning Board (PZB) will conduct a Public Hearing on May 10, 2017 on the following applications at the Coral Gables City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida.

An application has been submitted by the Starbucks Coffee Company for conditional use site plan review to allow a walk-up counter as an accessory use to a restaurant on property zoned Commercial District, which is permitted as a conditional use, on the property located at 292 Miracle Mile, Coral Gables, Florida. The request requires two (2) public hearings, including review and recommendation by the Planning and Zoning Board, and approval via Resolution by the City Commission.

The Resolution under consideration is as follows:

*A Resolution of the City Commission of Coral Gables, Florida granting conditional use approval pursuant to Zoning Code Article 3, "Development Review," Division 4, "Conditional Uses," for a walk-up counter as an accessory use to a restaurant on property zoned Commercial District for the property legally described as the North 70 feet of Lots 1 - 2 and the West 10 feet of the North 70 feet of Lot 3, Block 2, Coral Gables Crafts Section (292 Miracle Mile), Coral Gables, Florida; including required conditions; providing for a repealer provision, providing for a severability clause, and providing for an effective date.*

All interested parties are invited to attend and participate. Please visit the City webpage at [www.coralgables.com](http://www.coralgables.com) to view information concerning the application. The complete application is on file and available for examination during business hours at the Planning Division, 427 Biltmore Way, Suite 201, Coral Gables, Florida, 33134. Questions and written comments regarding the application can be directed to the Planning and Zoning Division at [planning@coralgables.com](mailto:planning@coralgables.com), Fax: 305.460.5327 or Phone: 305.460.5211. Please forward to other interested parties.

Sincerely,

*City of Coral Gables, Florida*

Any person requiring special accommodations in order to attend or participate in the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta (Email: [relejabarrieta@coralgables.com](mailto:relejabarrieta@coralgables.com), Telephone: 305-722-8686, TTY/TDD: 305-442-1600, at least three (3) working days prior to the meeting. All meetings are telecast live on Coral Gables TV Channel 77.