

New Residence

1325 Coruna Avenue Coral Gables, Florida. 33156



Index of Drawings (Phase 1)

ARCHITECTURAL	MECHANICAL	ELECTRICAL	PLUMBING	STRUCTURAL
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Project Data

PROJECT SUMMARY

PROJECT CONSIST OF A 2 STORY NEW RESIDENCE

DESCRIPTION OF BUILDING

STORY RESIDENCE: 4 BEDROOMS, 3 FULL BATHROOMS, 2 1/2 BATHROOMS, GRETA ROOM: KITCHEN-DINING-LIVING ROOM OPEN CONCEPT, LAUNDRY ROOM, 2 CAR GARAGE, COVERED TERRACE, ENTRY COVERED PORCH, POOL & POOL DECK

THIS DESIGN IS INSPIRED BY THE BAHAMIAN STYLE THAT IS CHARACTERIZED BY CLAPBOARD-SIDED HOUSES THAT IN THIS PROJECT WILL BE REPRESENTED WITH IMITATION STUCCO WOOD SIDING FINISH PAINTED IN WHITE OR LIGHT COLOR ON ALL EXTERIOR WALLS, PORCHES WITH HIGH CEILINGS, BRACKETS AS DECORATIVE FAÇADE ELEMENTS & CASEMENT & FIXED WINDOWS WITH BRONZE COLOR ALUM. FRAME AND HIP ROOF FINISHED WITH DARK GRAY COLOR CEMENT TILE.

GENERAL NOTES

- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL BUILDING CODES. PERMIT SHALL BE POSTED ON A VISIBLE PLACE AT ALL TIMES. ALL PERMITS UTILITY AND METER CONNECTIONS FEES SHALL BE OBTAINED AND PAID FOR BY DE CONTRACTOR.
- ALL WORKS, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE INTERLUDE IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- ALL WORKS FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.
- CONTRACTORS SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BUILDING AND FAMILIARIZING HIM/HERSELF WITH EXISTING CONDITIONS FACILITIES AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES ON AND OFF SITE, ACCESS ROADS AND OTHER SUPPORTS.
- CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE AS NECESSARY ELECTRICAL, GAS WATER OR ANY OTHER UTILITY LINES ENCOUNTERED AND SHALL COORDINATE THIS WORK WITH ALL LOCAL UTILITY COMPANIES.
- CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS, DISCREPANCIES IN THE DRAWINGS IN THE FIELD PRIOR TO PROCEEDING WITH WORKS OR SHOP FABRICATIONS.
- CONTRACTOR SHALL NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO BUILDING OF ANY DISCREPANCY BETWEEN ARCHITECTURAL, ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS. BID SHALL BE BASED ON THE MOST STRINGENT REQUIREMENT.
- CONTRACTOR IS TO OBTAIN WRITTEN APPROVAL FROM OWNER AND ARCHITECT TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS OR HAZARDOUS EQUIPMENT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY ITEMS DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL DSHA REGULATIONS FOR THE CONSTRUCTIONS AREAS SHALL BE STRICTLY FOLLOWED.
- DISCREPANCIES.
 - IN DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS, THE MORE STRICT REQUIREMENTS WILL APPLY.
 - THE CONTRACTOR SHALL HAVE ALL ITEMS OR DETAILS CLARIFIED WITH THE ARCHITECT PRIOR TO SUBMITTING A BID, OTHERWISE THE ARCHITECT'S INTERPRETATION SHALL BE FINAL.
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT AT ONCE BEFORE PROCEEDING. *DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL BE FOLLOWED.
- ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OF FINISH MATERIALS UNLESS OTHERWISE NOTED ON DRAWINGS.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL, FOR ADDITIONAL REQUIREMENTS.
- ALL WOOD FRAMING, INCLUDING PLYWOOD, WHICH IS CONCEALED WITHIN WALLS OR CEILINGS OR USED FOR SUPPORT OF WALLS AND CEILINGS SHALL MEET CODE REQUIREMENTS, PRESSURE TREATED WOOD SHALL BE USED WHERE IN CONTACT WITH CONCRETE OR MASONRY OR IN CONTACT WITH THE ELEMENTS (EXTERIOR), provide SEPARATION AS NEEDED BETWEEN WOOD AND CONCRETE.
- ALL PIPING TO BE SLEEVED THROUGH SLAB. CONTRACTOR TO FULLY SEAL SPACE AROUND PIPES WITH A 2-HOUR U.L. APPROVED FIRE RESISTIVE "TIE" GLASS FIBER SATING INSULATION AS MANUFACTURED BY U.S. GYPSUM CO. COMPLYING WITH ASST. E-118.
- CONTRACTOR TO SUBMIT A MINIMUM OF FIVE (5) SETS OF COMPLETE SHOPS DRAWINGS OR AS SUBMITTALS FOR APPROVAL BEFORE COMMENCING FABRICATION AND OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED AND REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTAL, AND SO NOTED.
- IN ADDITION TO WALL TYPES SHOWN ON PLANS THE CONTRACTOR SHALL REFER TO THE ROOM FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES.

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- IN ADDITION TO WALL TYPES SHOWN ON PLANS THE CONTRACTOR SHALL REFER TO THE ROOM FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES.
- CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS THE LOCATION OF ALL ACCESS PANELS SO AS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY, MAINTENANCE AND/OR OPERATION OF THE BUILDING SYSTEMS. THE OMISSIONS OF ANY OF ALL ACCESS PANELS DOES NOT RELIEVES THE CONTRACTOR OF THE RESPONSIBILITY FROM PROVIDING AND INSTALLING SUCH PANELS OR DOORS.
- BEFORE INSTALLATION THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES PLUGS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURE.
- ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DIFFERENT MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CAULKING TO MATCH COLORS OF ADJACENT SURFACES. COORDINATE COLORS WITH THE ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE (REFER TO NOTE #9) CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERTY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONTS, FLOORS, CARPETS, WALLS, DOORS, ETC. 22. UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER A COMPLETE SETS OF AS-BUILT ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ALONG WITH THE WRITTEN GUARANTEE, OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHED INSTALLED. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS. INFORMATION SHALL BE REORDERED BY CONTRACTOR AS CONSTRUCTION PROGRESSES.
- BUILDINGS AND STRUCTURES HEREIN PROVIDED FOR UNDER DIVISION 3.4.5.6 AND 7 MEET THE REQUIREMENTS FOR IMPACT RESISTIBILITY, AS REQUIRED BY SECTION 2115 OF THE FLORIDA BUILDING CODE, AND ARE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CONDITION II, TABLE 9 OF THE ASCE 7-98.
- CONTRACTOR TO SUBMIT PRODUCT APPROVAL TO THE BUILDING DEPARTMENT FOR ALL WINDOWS, DOORS, HURRICANE SHUTTERS AND ALL COMPONENTS REQUIRING PRODUCT APPROVAL PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
- ANY DAMAGE TO EXISTING STRUCTURE IN THE CONSTRUCTION OF NEW WORK SHALL BE REPAIRED TO EQUIVALENT OR BETTER THAN ORIGINAL CONDITION AT CONTRACTOR EXPENSE.
- CONTRACTOR SHALL PROVIDE PROPER SAFE GUARD IN COMPLIANCE WITH CODES DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR TO INSTALL BARRIERS AS NECESSARY AND REQUIRED AROUND PERIMETER OF CONSTRUCTION UNITS TO PROTECT THE PUBLIC AND OR ADJACENT PROPERTY.
- COORDINATE ALL DEMOLITION WORK WITH ALL OTHERS TO INSURE WORK WITH PROGRESS WITHOUT INTERRUPTIONS AND MINIMUM DELAYS. COORDINATE AND SCHEDULE THE WORK WITH THE OWNER WHERE POSSIBLE DISTURBANCE MAY OCCUR AND WHERE RELOCATING OF OTHER POTENTIAL DISRUPTIONS OF OWNER'S FUNCTIONS AND SERVICES MAY OCCUR. ALL WORK AFFECTING OWNER'S FUNCTIONS AND ACTIVITIES INCLUDING ACCOMPLISHING WORK BY PHASING WITH OWNER'S APPROVAL.
- IN THE EVENT THAT THE G.C. EFFECTS TO HAVE MORE THAN (1) CONCRETE POUR/DAY THE G.C. WILL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL, FOR ADDITIONAL REQUIREMENTS.
- CONSULT DRAWINGS FOR LOCATIONS OF EXISTING FIXTURES TO BE REMOVED. MAKE REASONABLE MODIFICATIONS TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF THE WORK, WITHOUT EXTRA COST TO THE OWNER.
- ENSURE FULL COORDINATION WITH OTHER TRADES, FURNISH INFORMATION NECESSARY TO IMPACTED TRADES TO ALLOW WORK OF ALL TRADES TO BE EXECUTED SATISFACTORILY AND WITH THE LEAST POSSIBLE INTERFERENCE OR DELAY.
- CORRECT WITHOUT EXTRA COST TO THE OWNER OR MINT CONDOMINIUM ASSOCIATION, PLUMBING OR ELECTRICAL WORK CAUSING INTERFERENCE, UNACCEPTABLE CLEARANCES, OR ACCESSIBILITY PROBLEMS AMONG THE WORK OF PLUMBING, ELECTRICAL, AND OTHER TRADES CAUSED BY LACK OF COORDINATION. REPAIR TO ORIGINAL SOUND CONDITION OR REPLACE MATERIALS DAMAGED DURING DELIVERY, STORAGE, OR INSTALLATION.
- DO NOT CUT, WELD, OR OTHERWISE WEAKEN BUILDING STRUCTURE TO EASE INSTALLATION OF PLUMBING, MECHANICAL OR ELECTRICAL EQUIPMENT AND MATERIALS.

COPYRIGHT 2021 ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF DAVID J. CABARROCAS / ARCHITECT WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO DAVID J. CABARROCAS / ARCHITECT. REPRODUCTIONS OF DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF DAVID J. CABARROCAS / ARCHITECT IS PROHIBITED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

APPLICABLE CODE NOTE
FLORIDA BUILDING CODE 2020, 7th EDITION
FLORIDA BUILDING CODE RESIDENTIAL 2020, 7th EDITION

USE & OCCUPANCY CLASSIFICATION: R1 RESIDENTIAL

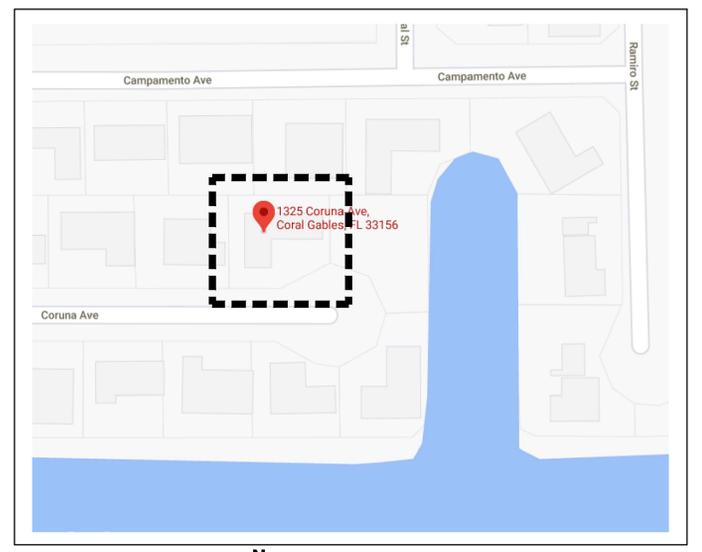
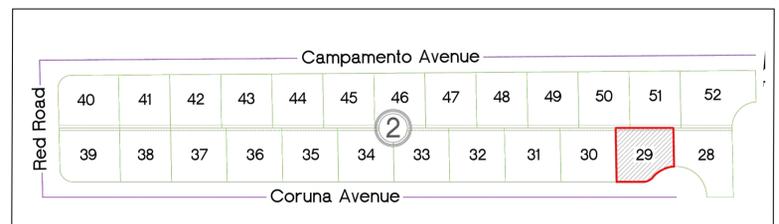
TYPE OF CONSTRUCTION : TYPE III

ADDRESS
1325 CORUNA AVENUE, CORAL GABLES, FLORIDA 33156
FOLIO: 03-5118-005-0400

LEGAL DESCRIPTION
LOT 29, BLOCK 2 OF "AMENDED PLAT OF CORAL BAY SECTION A", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 57, AT PAGE 97, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

ELEVATION INFORMATION (FEMA) ELEV. REF. TO NGVD 1929
FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: 11.00'
DESIGN FLOOD ELEVATION: 12.00'

ZONING DATA
SUB-DIVISION: CORAL BAY SECTION A.A.
PRIMARY ZONE: SINGLE FAMILY (SFR) DISTRICT
PRIMARY LAND USE: RESIDENTIAL- SINGLE FAMILY 1 UNIT
MED. DENSITY (2-5 DU/GROSS ACRE)



COMMITTEE: MR
DRAWN: MR
CHECKED: MR
DATE: 10/28/2021

REVISIONS

165 E. FLAGLER STREET SUITE 1619
MIAMI, FLORIDA 33131
dcabarrocas@jbsouth.net

MR. JERRY SANCHEZ RESIDENCE
1325 CORUNA AVENUE, CORAL GABLES, FLORIDA
DAVID J. CABARROCAS / ARCHITECT - AR - 0004356

SHEET: A-0
OF: 5

APPLICABLE CODE NOTE

APPLICABLE CODES: FLORIDA BUILDING CODE 2020 , 7th EDITION & LIFE SAFETY COMPLY WITH FLORIDA FIRE PREVENTION CODE 2020 EDITION & NFPA 101 2018 EDITION, NEC 2017

INTERIOR WALL AND CEILING FINISH FOR TYPE B OCCUPANCY (NON-SPRINKLER SYSTEM)

ROOMS AND ENCLOSED SPACES: CLASS "C"

TERMITE PROTECTION NOTE

AS PER F.B.C. R30.1 AND R4409.13.5, THE BUILDING SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE "FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." A "CERTIFICATE OF COMPLIANCE" SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT, CONTAINING THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

GROUND FLOOR PLAN NOTE

4" CONCRETE SLAB OVER 6 MIL VISQUEEN ON CLEAN FINE SAND FILL COMPACTED IN 12" LAYERS TO 95% OF THE STANDARD PROTOR DENSITY TEST. REINFORCED WITH 6" X 6" 10/10 W.W.F. PLACED 1 1/2" FROM TOP O SLAB (TYPICAL)

DRAINAGE NOTE

ALL DRAINAGE SHALL BE CONTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBORING PROPERTY

SWIMMING POOL SAFETY BARRIER NOTE

ACCESS GATES, WHEN PROVIDED, SHALL BE SELF-CLOSING AND SHALL COMPLY WITH THE REQUIREMENTS OF F.B.C 2020, 7TH EDITION SECTIONS R4501.17.1.1 THROUGH R4501.17.1.14 AND SHALL BE EQUIPPED WITH A SELF-LATCHING LOCKING DEVICE LOCATED ON THE POOL SIDE OF THE GATE. WHERE THE DEVICE RELEASE IS LOCATED NO LESS THAN 54 INCHES (1372 MM) FROM THE BOTTOM OF THE GATE, THE DEVICE RELEASE MECHANISM MAY BE LOCATED ON EITHER SIDE OF THE GATE AND SO PLACED THAT IT CANNOT BE REACHED BY A YOUNG CHILD OVER THE TOP OR THROUGH ANY OPENING OR GAP FROM THE OUTSIDE. GATES THAT PROVIDE ACCESS TO THE SWIMMING POOL MUST OPEN OUTWARD AWAY FROM THE POOL. THE GATES AND BARRIER SHALL HAVE NO OPENING GREATER THAN 1/2 INCH (12.7 MM) WITHIN 18 INCHES (457 MM) OF THE RELEASE MECHANISM.

GARAGE NOTES

GARAGE CEILING (1 Hr)
1x3 FURRING 16" O.C., ONE LAYER 5/8" TYPE X GYPSUM LATH, 5D CEMENT-COATED OR RING-SHANKED NAILS 6" O.C., PAPER TAPE EMBEDDED IN CEMENTIOUS COMPOUND OVER JOINTS, EXPOSED NAIL HEADS COVERED WITH COMPOUND AND PRODUCT APPROVED INSULATION OF FIBERGLASS OR MINERAL WOOL BATS, OR BLOWN-IN FIBERGLASS, MINERAL WOOL OR CELLULOSIC INSULATION HAVING A MINIMUM INSULATING VALUE OF R-11.

DANGER SIGN (INSIDE GARAGE DOOR)
PROVIDE PERMANENT "DANGER" SIGN TO READ DANGER!
DO NOT OPERATE ENGINES WITH DOOR CLOSED.
CARBON-MONOXIDE EMISSION IS LETHAL. (LETTERS MUST BE NO LESS THAN 1-1/2" IN SIZE)

LOT OCCUPATION

LOT AREA: 10,850 SQ.FT. (0.25 ACRES)

GROUND COVERAGE ALLOWED (MAIN BUILDING :35%).....3,797.5 SQ.FT.
GROUND COVERAGE PROPOSED (34.87%).....3,784.04 SQ.FT. (INCLUDE COVERED TERRACE/PORCH & EXT. STEPS)

TOTAL F.A.R. ALLOWED.....4.405 SQ.FT.
TOTAL F.A.R. PROPOSED.....4,227.93 SQ.FT.

ENCLOSED AREA:

1st. FLOOR:.....2,835.07 SQ.FT. (GARAGE AREA INCLUDED: 523.72 SQ.FT.)
2nd. FLOOR:.....1,392.86 SQ.FT.

TOTAL ENCLOSED AREA:4,227.93 SQ.FT.

A/C AREA:

1st. FLOOR:.....2,311.35 SQ.FT.
2nd. FLOOR:.....1,392.86 SQ.FT.

TOTAL A/C AREA:3,704.21 SQ.FT.

IMPERVIOUS COVERAGE / OPEN SPACE

TOTAL OPEN SPACE PROPOSED:.....4,906.18 SQ.FT. (45.21%)

1st.FL. FOOTPRINT (INCLUDING ATTACHED GARAGE, TERRACE & STAIRS):.....3,804.47 SQ.FT.
DRIVEWAY W/PAVERS:.....1,258.15 SQ.FT.
POOL:.....414.08 SQ.FT.
POOL DECK:.....417.12 SQ.FT.
POOL & A/C EQUIPMENT PAD:......50 SQ.FT.

TOTAL IMPERVIOUS AREA:.....5,943.82 SQ.FT.

BUILDING SETBACK (PPAL. BLDG.)

	REQUIRED /ALLOWED	PROPOSED
FRONT SETBACK:	25'-0" FT.	25'-0" FT.
REAR SETBACK:	15'-0" FT. (AT CUL-DE SAC CURVE)	21'-4" FT.
SIDES SETBACK:	10'-0" FT.	10'-7" FT.
SIDES SETBACK:	10'-0" FT.	10'-0" FT. - 19'-7" FT.

BUILDING HEIGHT

	REQUIRED /ALLOWED	PROPOSED
MIN. HEIGHT	2 STORIES 25'-0" FT.	2 STORIES 22'-0" FT.

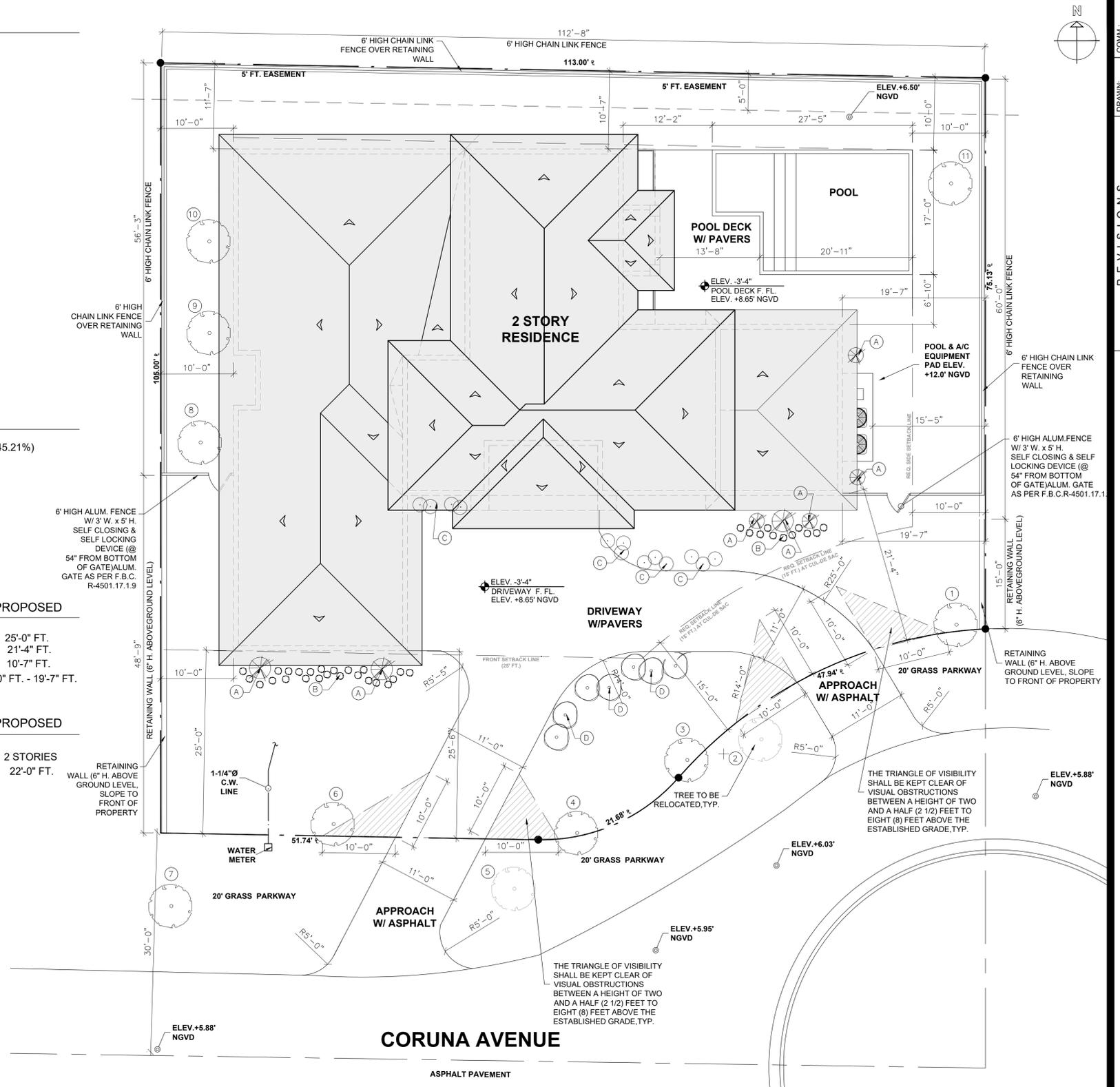
	REQUIRED /ALLOWED	PROPOSED
MAX. LAWN AREA:	4,340 SQ.FT. (40%)	4906.18 SQ.FT. (45.21%)

EXISTING TREE LEGEND

- PALM D= 1.5' / H=25' / S=15'
- TREE D= 1' / H=12' / SP=10'
- PALM D= 1.5' / H=18' / S=15'
- PALM D= 2' / H=20' / S=15'
- TREE D= 1' / H=10' / SP=12'
- OAK D= 3' / H=20' / SP=30'
- TREE D= 4' / H=25' / SP=18'
- PALM D= 1' / H=20' / S=14'
- PALM D= 1' / H=20' / S=14'
- PALM D= 1' / H=20' / S=15'
- PALM D= 1' / H=20' / S=15'
- PALM D= 3' / H=14' / S=20'

NEW TREE LEGEND

- ITALIAN CYPRESS
- LAVENDER SHRUB
- WHITE MUHLY GRASS
- ELIJAH BLUE FESCUE
- GRASS-ICY BLUE



ELEVATION DATA

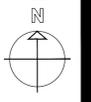
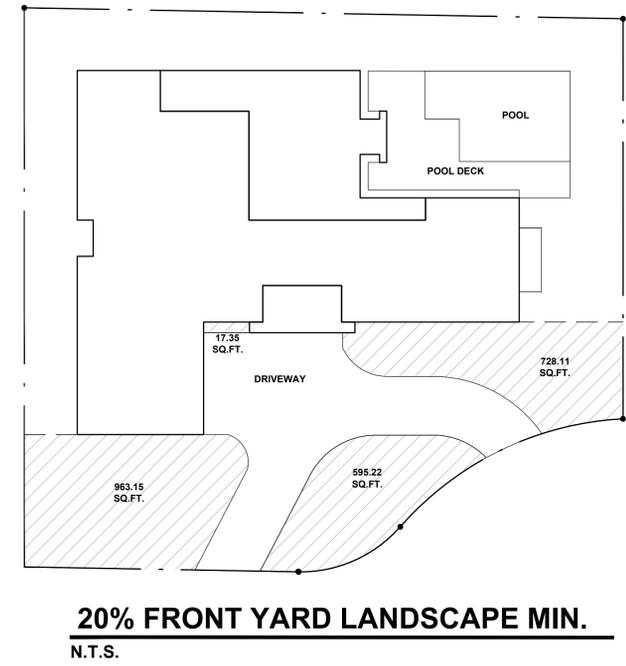
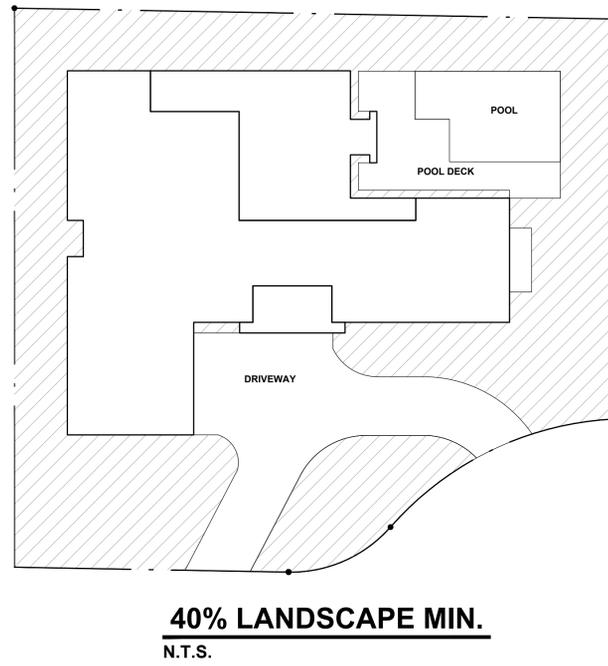
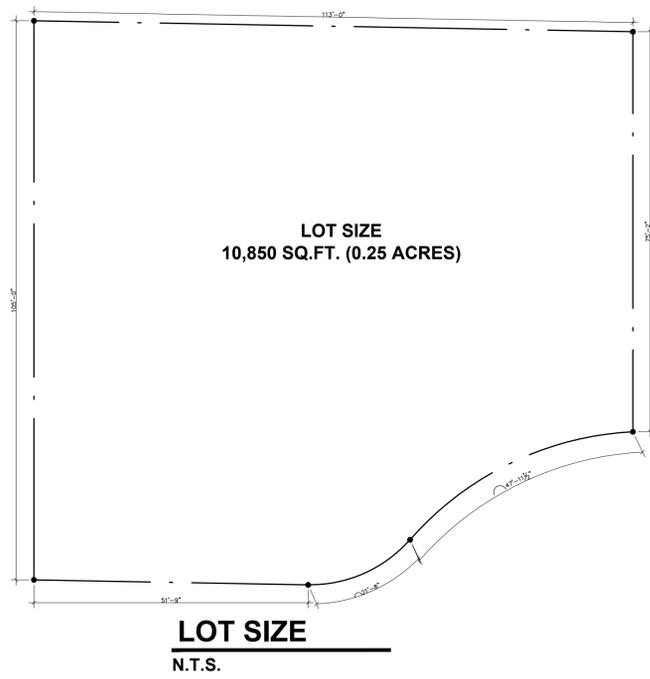
CROWN OF ROAD ELEVATION	LOWEST FLOOR ELEVATION	EXISTING GRADE	RESIDENCE FL. ELEVATION	A/C PAD ELEVATION	GARAGE FL. ELEVATION	LOWEST ADJACENT GRADE (LAG)	HIGHEST ADJACENT GRADE (HAG)
6.03' NGVD	9.15' NGVD	6.09' NGVD	12.00' NGVD	12.00' NGVD	9.67' NGVD	6.5' NGVD	8.65' NGVD

SITE PLAN

SCALE: 1/8"=1'-0"

COMMITTEE:	
DRAWN:	M.R.
CHECKED:	10/28/2021
DATE:	
PROJECT:	169 E. FLAGLER STREET, SUITE 1619 MIAMI, FLORIDA 33131
CONTACT:	(305) 808-9578 dcaibarrocas@bellsouth.net

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ZONING DATA

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ADDRESS

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LEGAL DESCRIPTION

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BUILDING SETBACK (PPAL. BLDG.)	REQUIRED /ALLOWED	PROPOSED
FRONT SETBACK:	25'-0" FT.	25'-0" FT.
(AT CUL-DE SAC CURVE)	15'-0" FT.	21'-4" FT.
REAR SETBACK:	10'-0" FT.	10'-7" FT.
SIDES SETBACK:	10'-0" FT.	10'-0" FT. - 19'-7" FT.

LEGEND

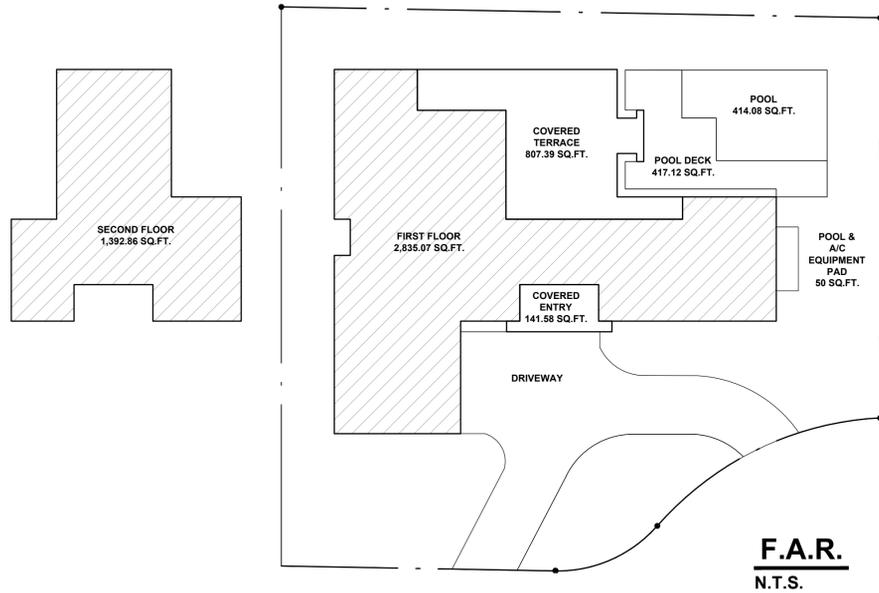


40% MINIMUM LANDSCAPE REQUIREMENT

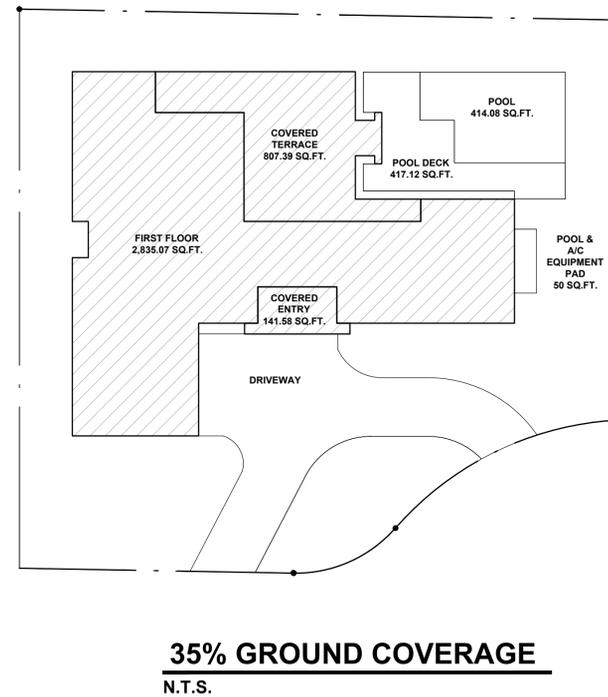
10,850 SQ.FT. x 40%= 4,340 SQ.FT. MINIMUM REQUIRED
GREEN AREA PROPOSED: 4,948.06 SQ.FT. (45.60%)

20% MINIMUM LANDSCAPE REQUIREMENT

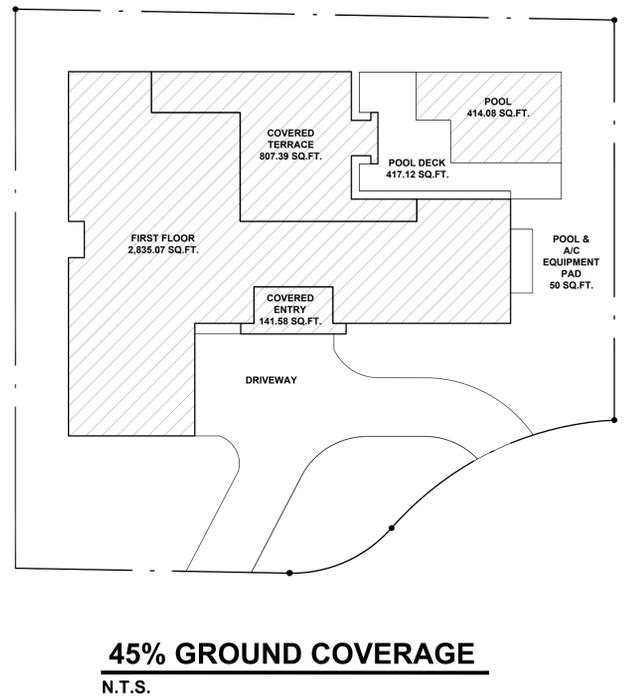
3,391.63 SQ.FT. x 20%= 678.32 SQ.FT. MINIMUM REQUIRED
20% GREEN AREA PROPOSED:
963.15 SQ.FT.
595.22 SQ.FT.
728.11 SQ.FT.
+ 17.35 SQ.FT.
2,303.83 SQ.FT. (68%) PROPOSED



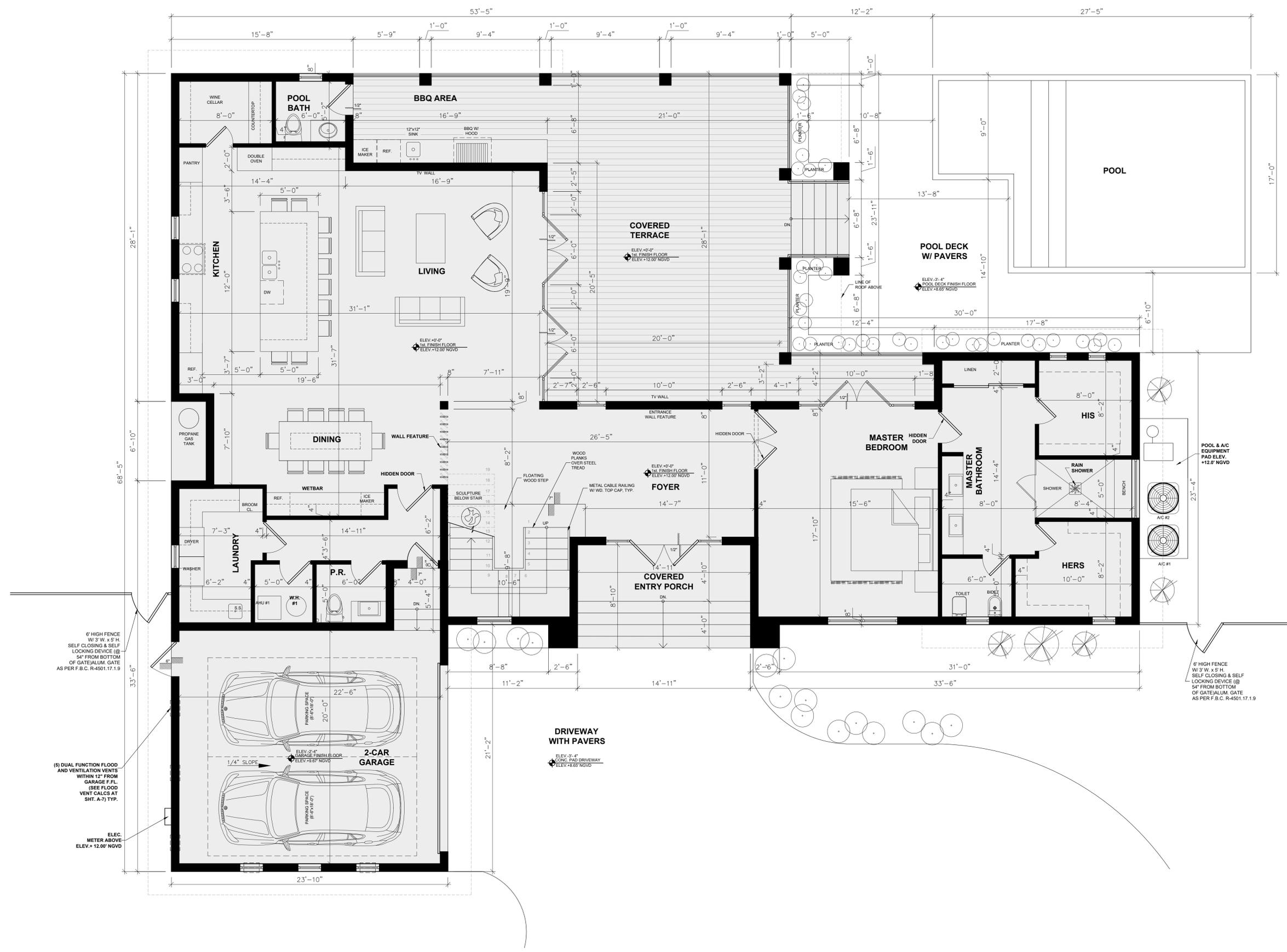
F.A.R.
F.A.R.
5,000 x 48%= 2,400
5,000 x 35%= 1,750
5,000 x 30%= 255
MINIMUM ALLOWED = 4,405 SQ.FT.
FIRST FLOOR= 2,835.07 SQ.FT.
SECOND FLOOR= 1,392.86 SQ.FT.
PROPOSED= 4,227.93 SQ.FT.



35% GROUND COVERAGE
10,850 SQ.FT. x 35%= 3,797.5 SQ.FT. ALLOWED
FIRST FLOOR= 2,835.07 SQ.FT.
COVERED TERRACE= 807.39 SQ.FT.
COVERED ENTRY= 141.58 SQ.FT.
PROPOSED= 3,784.04 SQ.FT.
3,797.5 SQ.FT. - 35% ALLOWED
3,784.04 SQ.FT. - 34.87% PROVIDED



45% TOTAL AUXILIARY AND/ OR ACCESSORY
10,850 SQ.FT. x 45%= 4,882.5 SQ.FT. ALLOWED
FIRST FLOOR= 2,835.07 SQ.FT.
COVERED TERRACE= 807.39 SQ.FT.
POOL = 414.08 SQ.FT.
COVERED ENTRY= 141.58 SQ.FT.
PROPOSED= 4,198.12 SQ.FT.
4,882.5 SQ.FT. - 45% ALLOWED
4,198.12 SQ.FT. - 38.69% PROVIDED

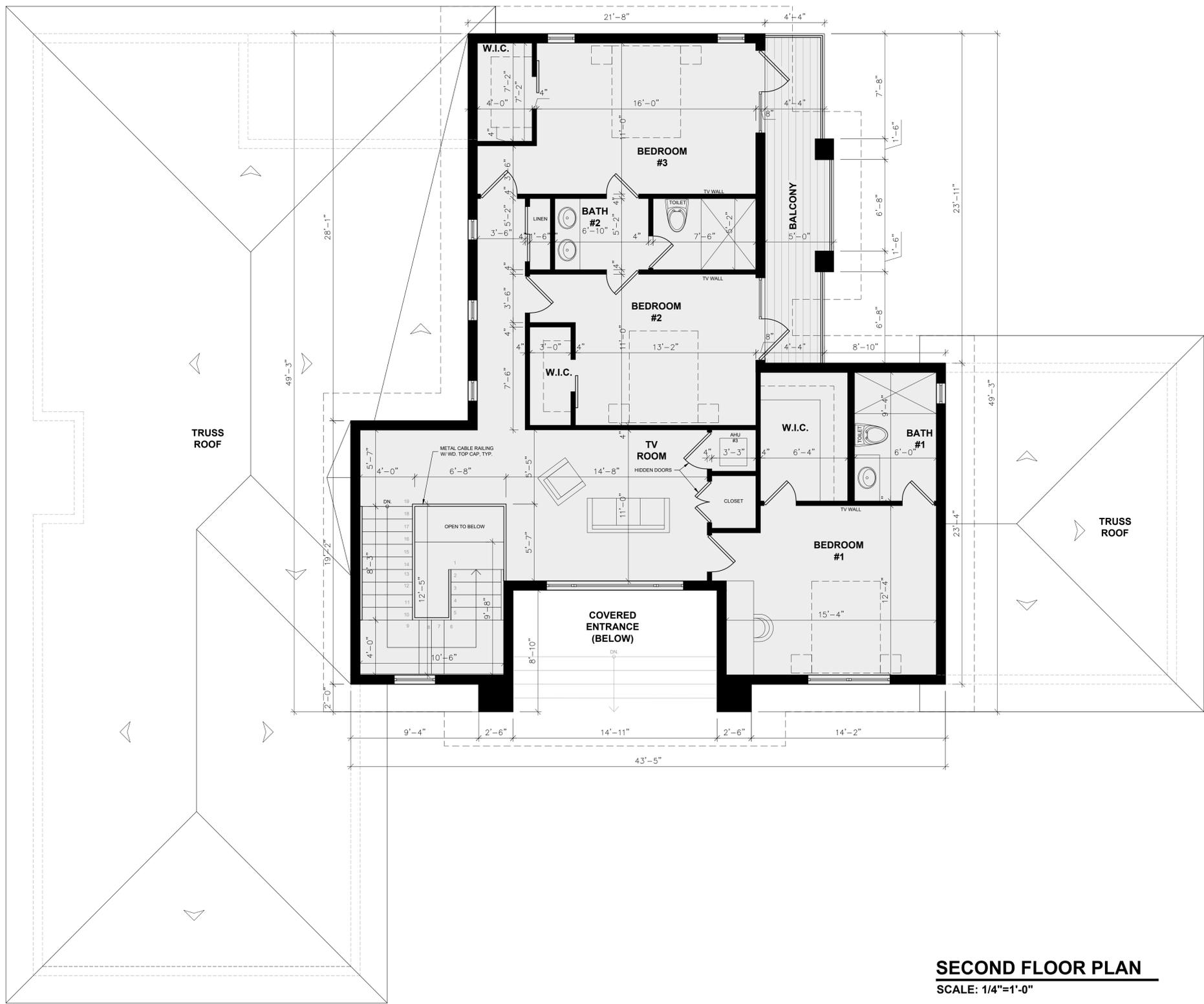


COMMITTEE:	MR
CHECKED:	DATE: 10/28/2021
REVISIONS	
169 E. FLAGLER STREET, SUITE 1619 MIAMI, FLORIDA 33131 dcabarrocas@bellsouth.net	
(305) 808-9578	

MR. JERRY SANCHEZ RESIDENCE
1325 CORUNA AVENUE, CORAL GABLES, FLORIDA
DAVID J. CABARROCAS / ARCHITECT - AR - 0004356

SHEET: A-2
OF: 5

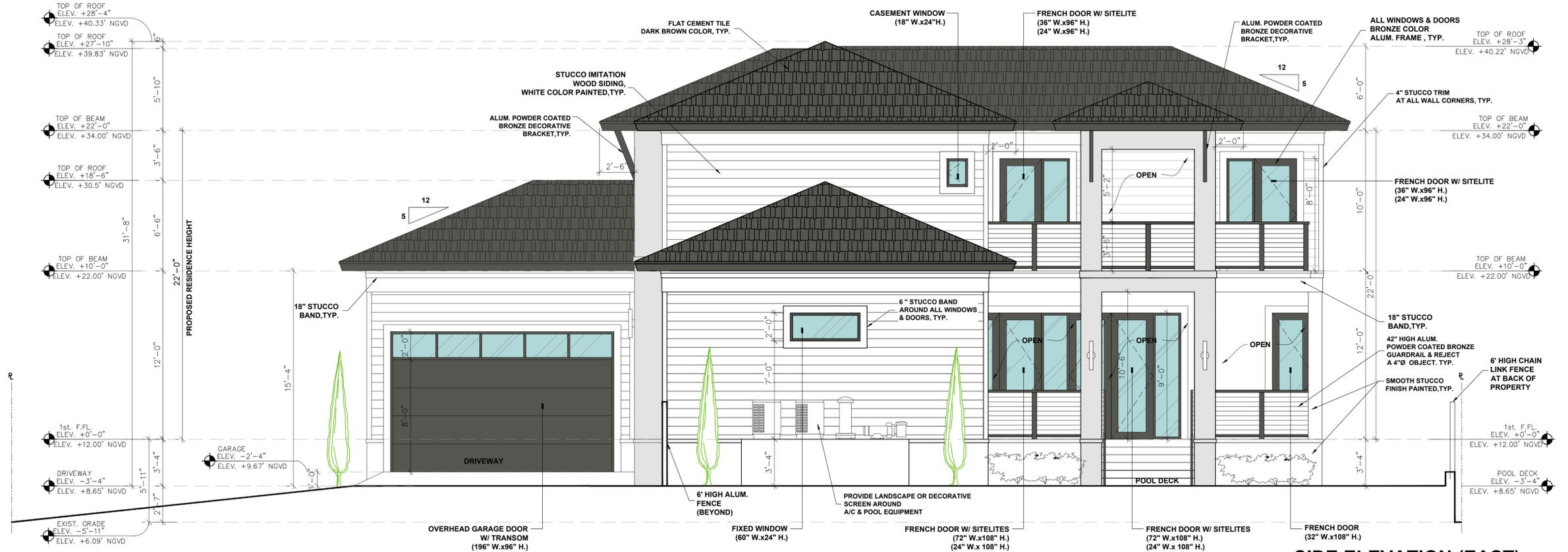
FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



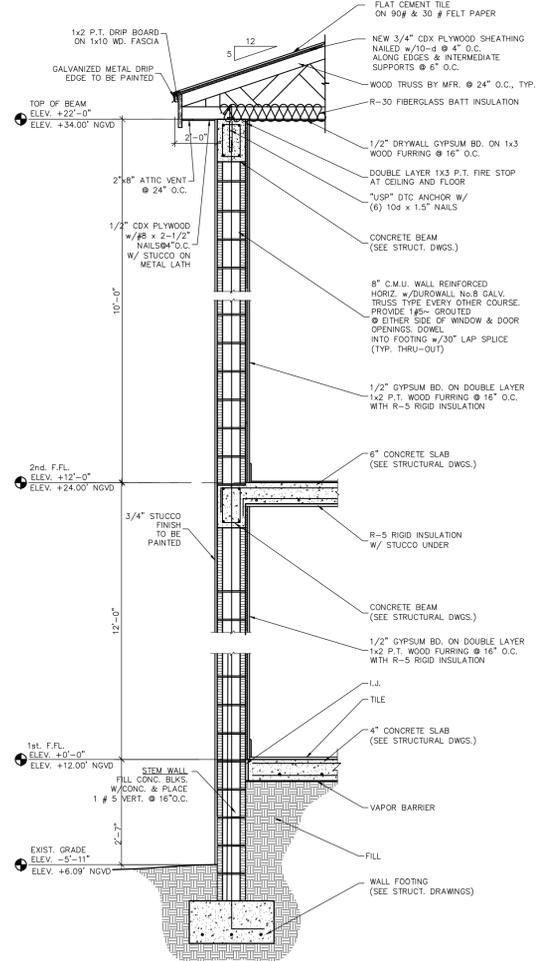
SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

REVISIONS	DATE	BY	DESCRIPTION

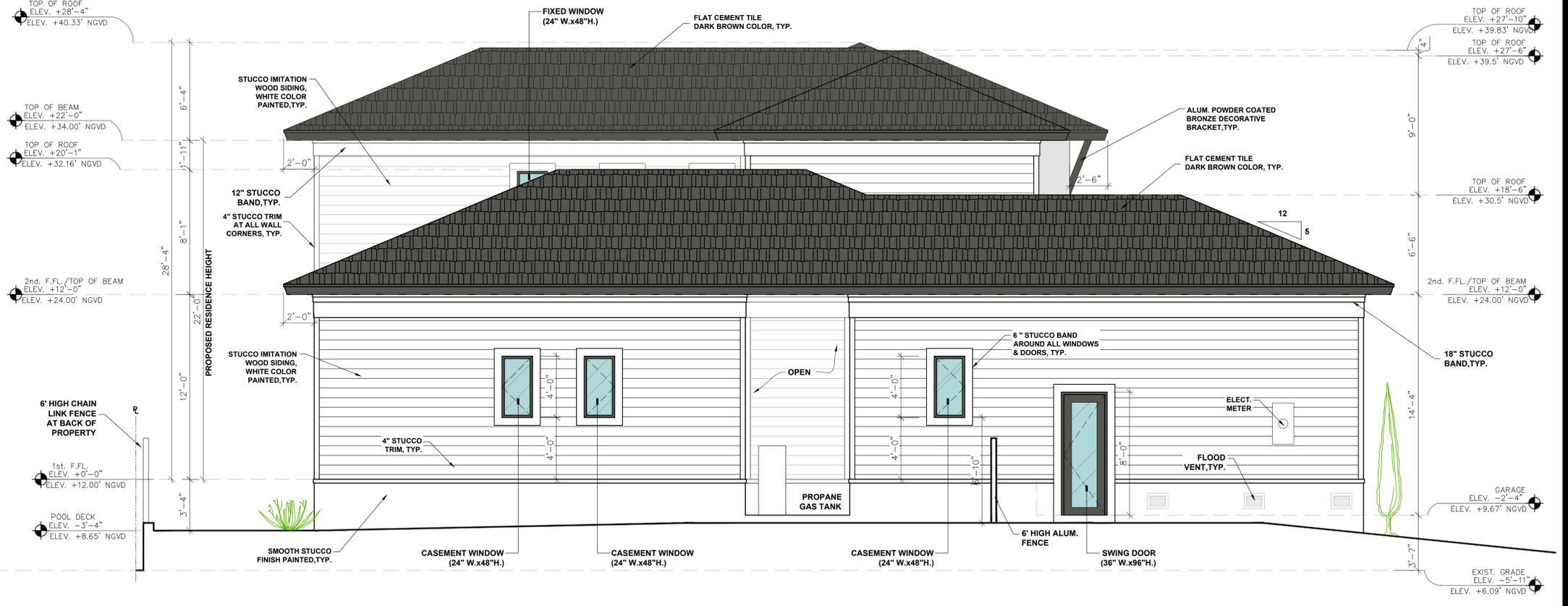
MR. JERRY SANCHEZ RESIDENCE
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SIDE ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



TYP. WALL SECTION
SCALE: 1/2" = 1'-0"



SIDE ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

COMMITTEE:	DATE:	10/28/2021
DRAWN:	MR:	
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REVISIONS		
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MR. JERRY SANCHEZ RESIDENCE 1325 CORUNA AVENUE, CORAL GABLES, FLORIDA		
DAVID J. CABARROCAS / ARCHITECT - AR - 0004356		
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