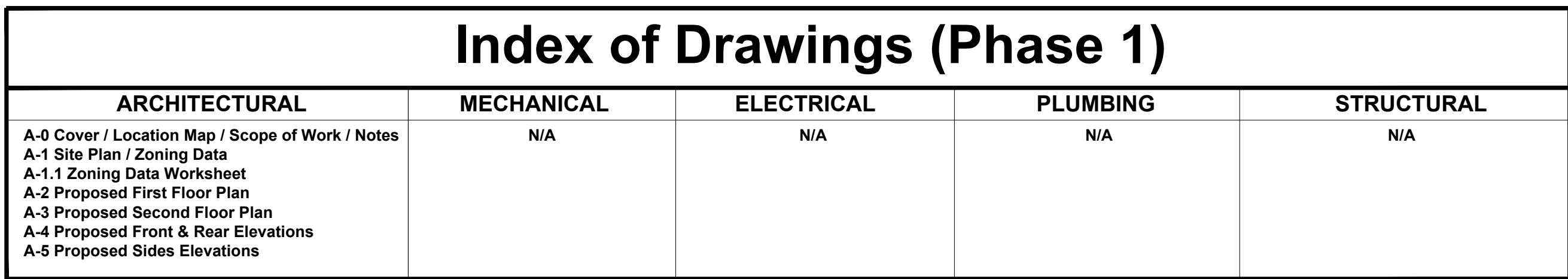


**1325 Coruna Avenue
Coral Gables, Florida. 33156**



SHEET: A-0
OF: 5

APPLICABLE CODES: FLORIDA BUILDING CODE 2020 , 7th EDITION
& LIFE SAFETY COMPLY WITH FLORIDA FIRE PREVENTION CODE 2020
EDITION & NFPA 101 2018 EDITION, NEC 2017

ROOMS AND ENCLOSED SPACES: CLASS "C"

AS PER F.B.C. R30.1 AND R4409.13.5, THE BUILDING SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE "FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." A "CERTIFICATE OF COMPLIANCE" SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT, CONTAINING THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

4" CONCRETE SLAB OVER 6 MIL VISQUEEN ON CLEAN FINE SAND FILL COMPACTED IN 12" LAYERS TO 95% OF THE STANDARD PROTODENSITY TEST. REINFORCED WITH 6" X 6" 10/10 W.W.F. PLACED 1 1/2" FROM TOP OF SLAB (TYPICAL)

ALL DRAINAGE SHALL BE CONTAINED ON PROPERTY AND
SHALL NOT DRAIN ONTO NEIGHBORING PROPERTY

ACCESS GATES, WHEN PROVIDED, SHALL BE SELF-CLOSING AND SHALL COMPLY WITH THE REQUIREMENTS OF F.B.C 2020, 7TH EDITION SECTIONS R4501.17.1.1 THROUGH R4501.17.1.14 AND SHALL BE EQUIPPED WITH A SELF-LATCHING LOCKING DEVICE LOCATED ON THE POOL SIDE OF THE GATE. WHERE THE DEVICE RELEASE IS LOCATED NO LESS THAN 54 INCHES (1372 MM) FROM THE BOTTOM OF THE GATE, THE DEVICE RELEASE MECHANISM MAY BE LOCATED ON EITHER SIDE OF THE GATE AND SO PLACED THAT IT CANNOT BE REACHED BY A YOUNG CHILD OVER THE TOP OR THROUGH ANY OPENING OR GAP FROM THE OUTSIDE. GATES THAT PROVIDE ACCESS TO THE SWIMMING POOL MUST OPEN OUTWARD AWAY FROM THE POOL. THE GATES AND BARRIER SHALL HAVE NO OPENING GREATER THAN 1/2 INCH (12.7 MM) WITHIN 18 INCHES (457 MM) OF THE RELEASE MECHANISM.

GARAGE CEILING (1 Hr)
1/3 FURRING 16" O.C., ONE LAYER 5/8" TYPE X GYPSUM LATH,
5D CEMENT-COATED OR RING-SHANKED NAILS 6" O.C., PAPER
TAPE EMBEDDED IN CEMENTIOUS COMPOUND OVER JOINTS,
EXPOSED NAIL HEADS COVERED WITH COMPOUND AND
PRODUCT APPROVED INSULATION OF FIBERGLASS OR
MINERAL WOOL BATS, OR BLOWN-IN FIBERGLASS, MINERAL
WOOL OR CELLULOSIC INSULATION HAVING A MINIMUM
INSULATING VALUE OF R-11.

DANGER SIGN (INSIDE GARAGE DOOR)
 PROVIDE PERMANENT "DANGER" SIGN TO READ
 DANGER!
 DO NOT OPERATE ENGINES WITH DOOR CLOSED.
 CARBON-MONOXIDE EMISSION IS LETHAL. (LETTERS MUST BE
 NO LESS THAN 1-1/2" IN SIZE)

LOT AREA: 10,850 SQ.FT. (0.25 ACRES)

GROUND COVERAGE ALLOWED (MAIN BUILDING :35%).....3,797.5 SQ.FT.
GROUND COVERAGE PROPOSED (34.87%).....3,784.04 SQ.FT.
(INCLUDE COVERED TERRACE/PORCH & EXT. STEPS)

TOTAL F.A.R. ALLOWED.....4,405 SQ.FT.
TOTAL F.A.R. PROPOSED.....4,227.93 SQ.FT.

1st. FLOOR:.....2,835.07 SQ.FT.
(GARAGE AREA INCLUDED: 523.72 SQ.FT.)
2nd. FLOOR:..... 1,392.86 SQ.FT.

TOTAL ENCLOSED AREA:4,227.93 SQ.FT.

1st. FLOOR:.....2,311.35 SQ.FT.
2nd. FLOOR:..... 1,392.86 SQ.FT.

TOTAL A/C AREA:3,704.21 SQ.FT.

TOTAL OPEN SPACE PROPOSED:.....4,906.18 SQ.FT. (45.21%)

1st.FL. FOOTPRINT
(INCLUDING ATTACHED GARAGE, TERRACE & STAIRS):.....3,804.47 SQ.FT.
DRIVEWAY W/PAVERS:.....1,258.15 SQ.FT.
POOL:.....414.08SQ.FT.
POOL DECK:.....417.12 SQ.FT.
POOL & A/C EQUIPMENT PAD:.....50 SQ.FT.

TOTAL IMPERVIOUS AREA:.....5,943.82 SQ.FT.

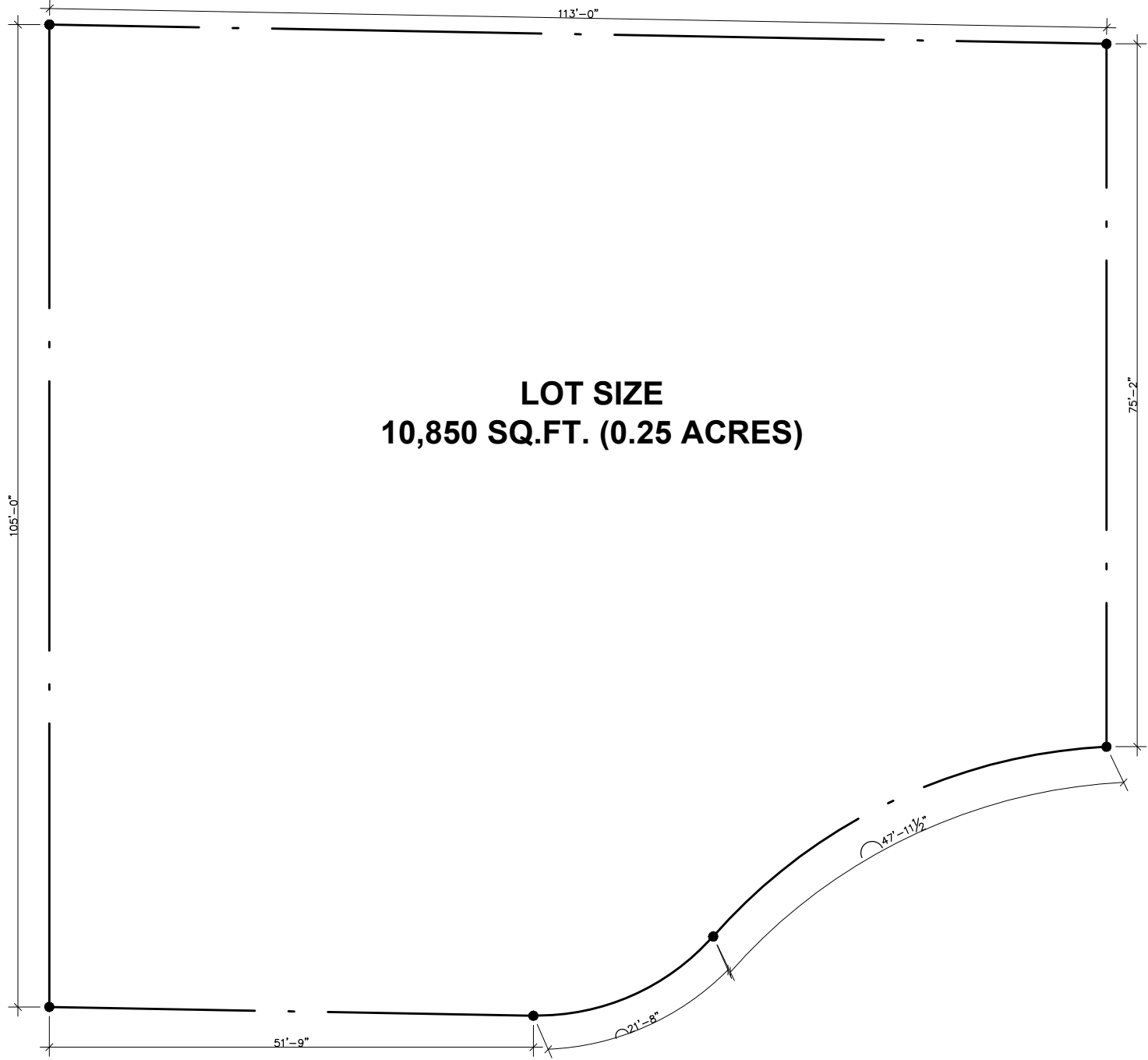
BUILDING HEIGHT	REQUIRED /ALLOWED	PROPOSED
MIN. HEIGHT	2 STORIES 25'-0" FT.	2 STORIES 22'-0" FT.

1. PALM D= 1.5' / H=25' / S=15'
2. TREE D= 1' / H=12' / SP=10'
3. PALM D= 1.5' / H=18' / S=15'
4. PALM D= 2' / H=20' / S=15'
5. TREE D= 1' / H=10' / SP=12'
6. OAK D= 3' / H=20' / SP=30'
7. TREE D= 4' / H=25' / SP=18'
8. PALM D= 1' / H=20' / S=14'
9. PALM D= 1' / H=20' / S=14'
10. PALM D= 1' / H=20' / S=15'
11. PALM D= 3' / H=14' / S=20'

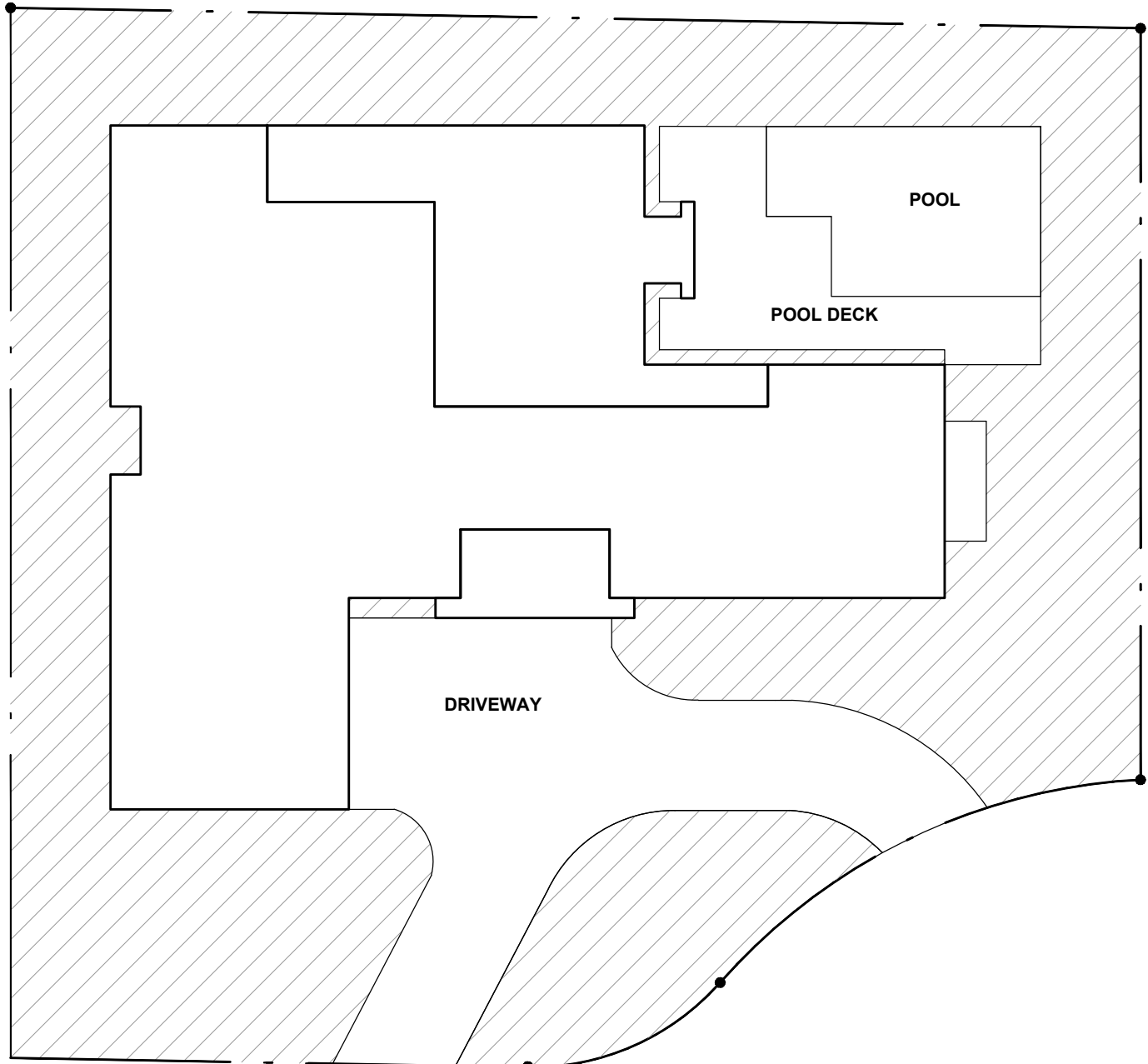
A. ITALIAN CYPRESS
B. LAVENDER SHRUB
C. WHITE MUHLY GRASS
D. ELIJAH BLUE FESCUE
GRASS-ICY BLUE



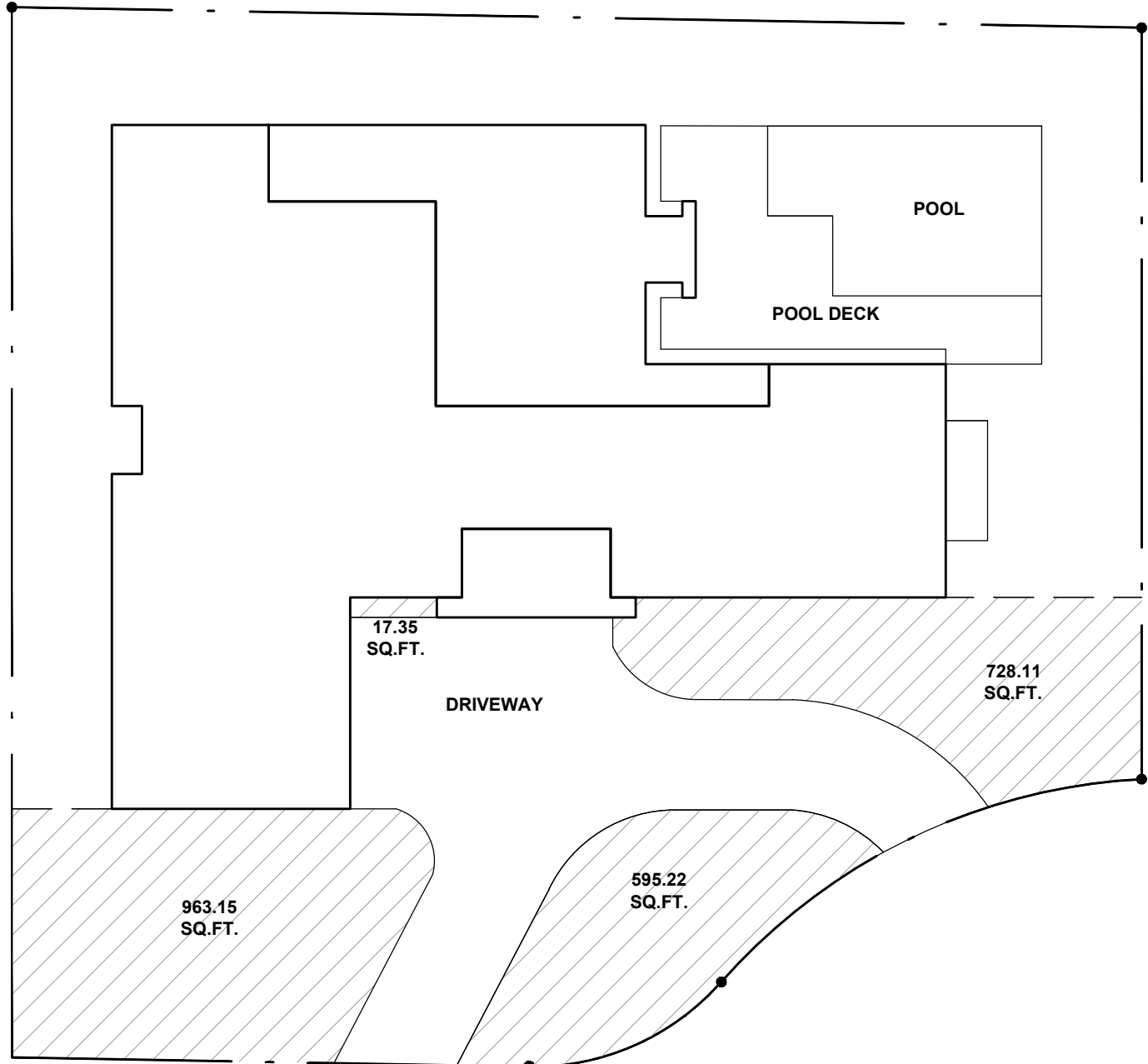
CROWN OF ROAD ELEVATION	LOWEST FLOOR ELEVATION	EXISTING GRADE	RESIDENCE FL. ELEVATION	A/C PAD ELEVATION	GARAGE FL. ELEVATION	LOWEST ADJACENT GRADE (LAG)	HIGHEST ADJACENT GRADE (HAG)
6.03' NGVD	9.15' NGVD	6.09' NGVD	12.00' NGVD	12.00' NGVD	9.67' NGVD	6.5' NGVD	8.65' NGVD



LOT SIZE
N.T.S.



40% LANDSCAPE MIN.
N.T.S.



20% FRONT YARD LANDSCAPE MIN.
N.T.S.

ZONING DATA

SCALE: 1/8"=1'-0"

ADDRESS

1325 CORUNA AVENUE, CORAL GABLES, FLORIDA 33156
FOLIO: 03-5118-005-0400

LEGAL DESCRIPTION

LOT 29, BLOCK 2 OF "AMENDED PLAT OF CORAL BAY SECTION A", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 57, AT PAGE 97, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

BUILDING SETBACK (PPAL. BLDG.)

REQUIRED /ALLOWED PROPOSED

FRONT SETBACK: 25'-0" FT. 25'-0" FT.
(AT CUL-DE SAC CURVE) 15'-0" FT. 21'-4" FT.
REAR SETBACK: 10'-0" FT. 10'-7" FT.
SIDES SETBACK: 10'-0" FT. 10'-0" FT. - 19'-7" FT.

LEGEND



40% MINIMUM LANDSCAPE REQUIREMENT

10,850 SQ.FT. x 40%= 4,340 SQ.FT. MINIMUM REQUIRED

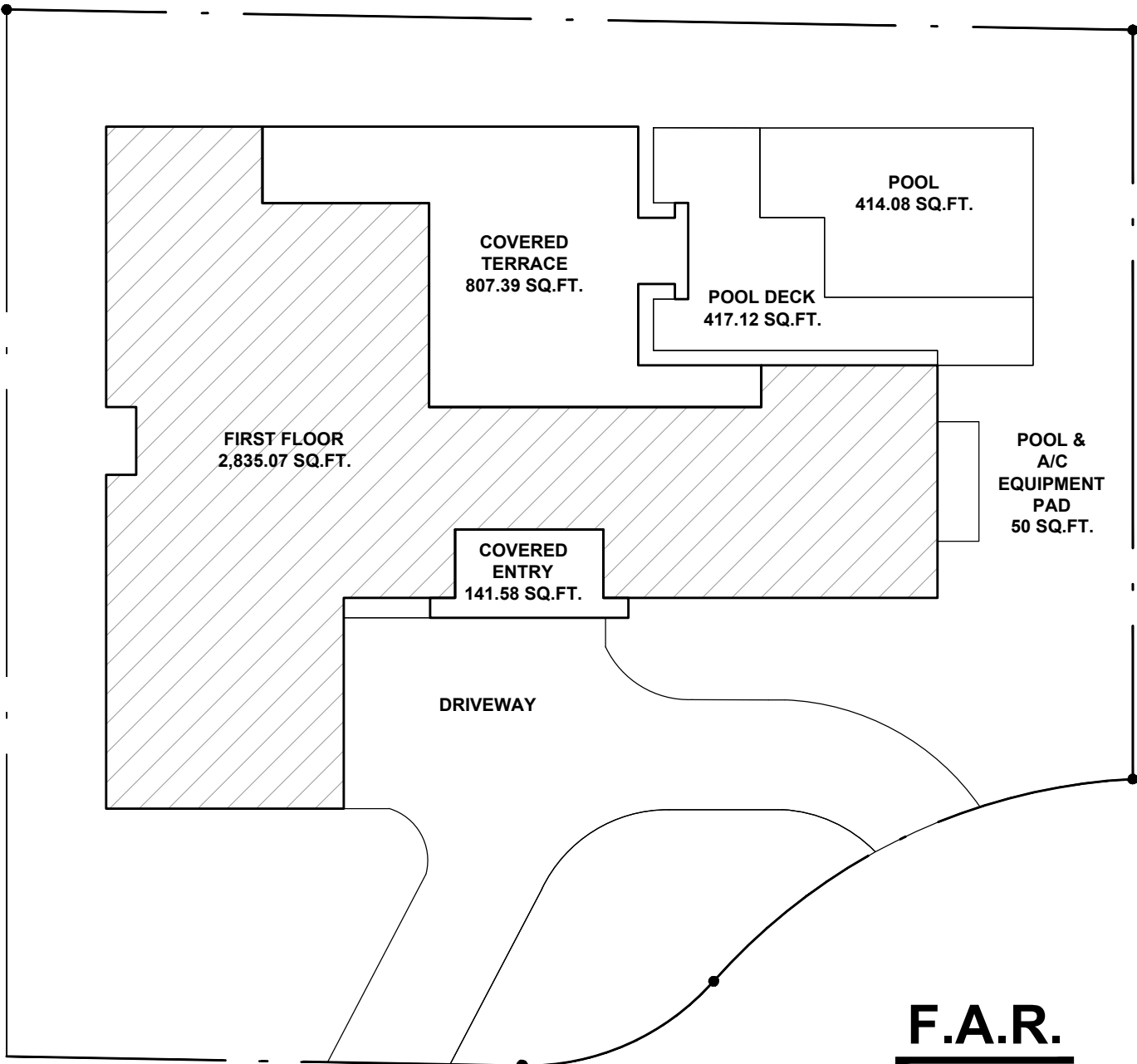
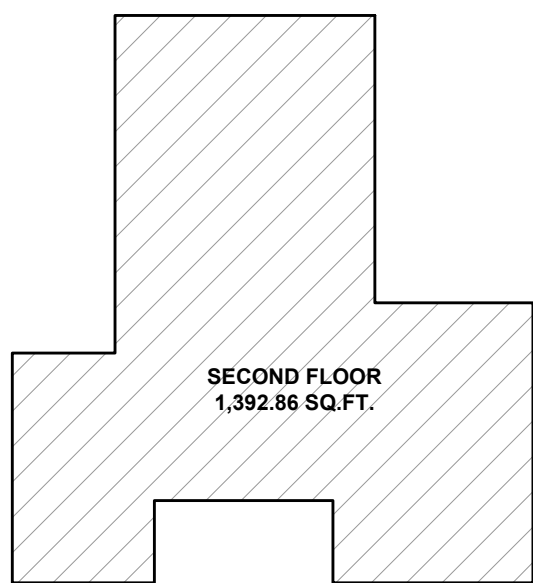
GREEN AREA PROPOSED: 4,948.06 SQ.FT. (45.80%)

20% MINIMUM LANDSCAPE REQUIREMENT

3,391.63 SQ.FT. x 20%= 678.32 SQ.FT. MINIMUM REQUIRED

20% GREEN AREA PROPOSED:

963.15 SQ.FT.
595.22 SQ.FT.
728.11 SQ.FT.
+ 17.35 SQ.FT.
2,303.83 SQ.FT. (68%) PROPOSED



F.A.R.

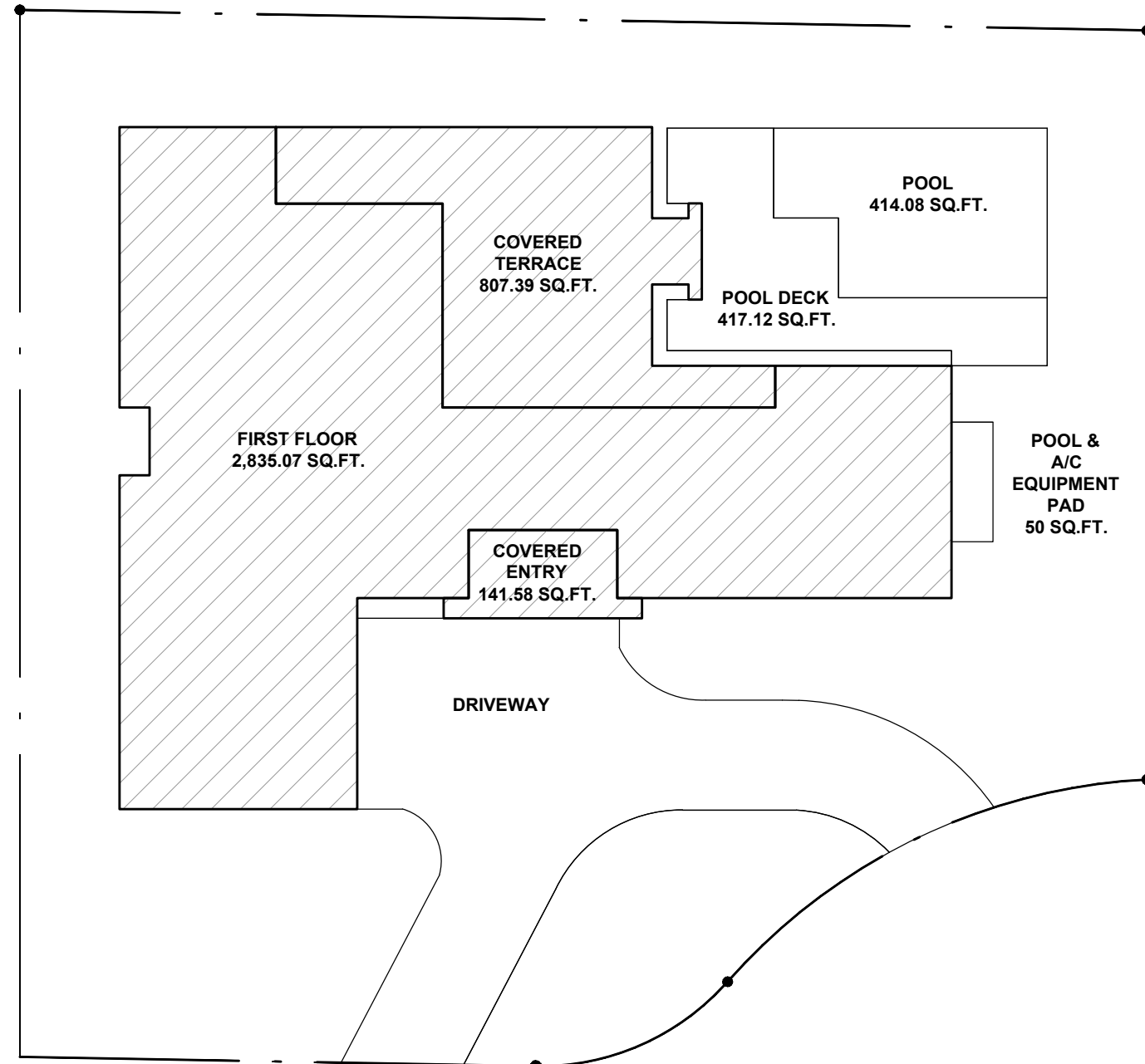
F.A.R.

5,000 x 48%= 2,400
5,000 x 35%= 1,750
5,000 x 30%= 255
MINIMUM ALLOWED = 4,405 SQ.FT.

FIRST FLOOR= 2,835.07 SQ.FT.
SECOND FLOOR= 1,392.86 SQ.FT.
PROPOSED= 4,227.93 SQ.FT.

F.A.R.

N.T.S.



35% GROUND COVERAGE

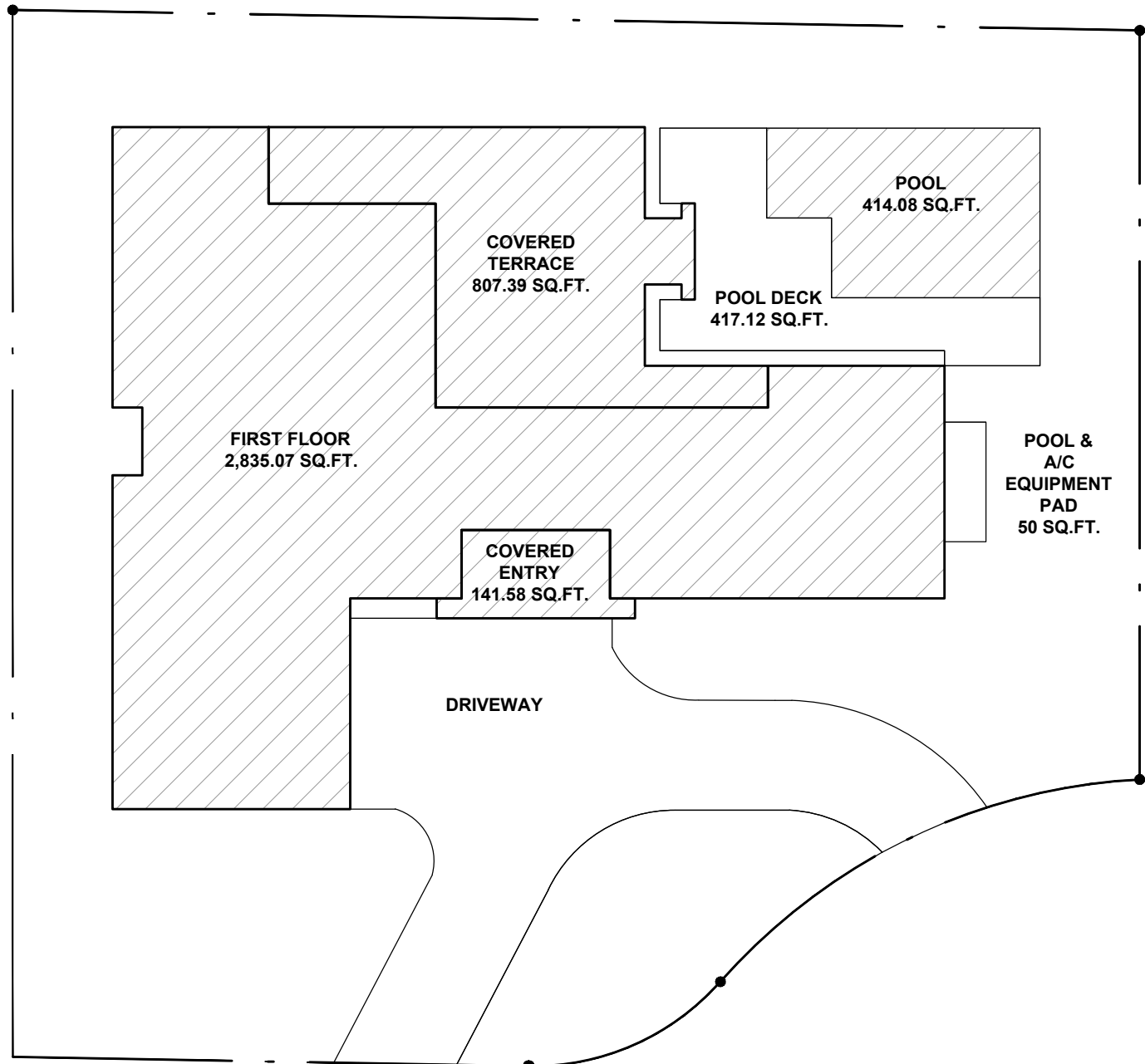
N.T.S.

35% GROUND COVERAGE

10,850 SQ.FT. x 35%= 3,797.5 SQ.FT. ALLOWED

FIRST FLOOR= 2,835.07 SQ.FT.
COVERED TERRACE= 807.39 SQ.FT.
COVERED ENTRY= 141.58 SQ.FT.
PROPOSED= 3,784.04 SQ.FT.

3,797.5 SQ.FT. - 35% ALLOWED
3,784.04 SQ.FT. - 34.87% PROVIDED



45% GROUND COVERAGE

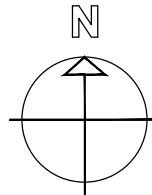
N.T.S.

45% TOTAL AUXILIARY AND/ OR ACCESSORY

10,850 SQ.FT. x 45%= 4,882.5 SQ.FT. ALLOWED

FIRST FLOOR= 2,835.07 SQ.FT.
COVERED TERRACE= 807.39 SQ.FT.
POOL = 414.08 SQ.FT.
COVERED ENTRY= 141.58 SQ.FT.
PROPOSED= 4,198.12 SQ.FT.

4,882.5 SQ.FT. - 45% ALLOWED
4,198.12 SQ.FT. - 38.69% PROVIDED

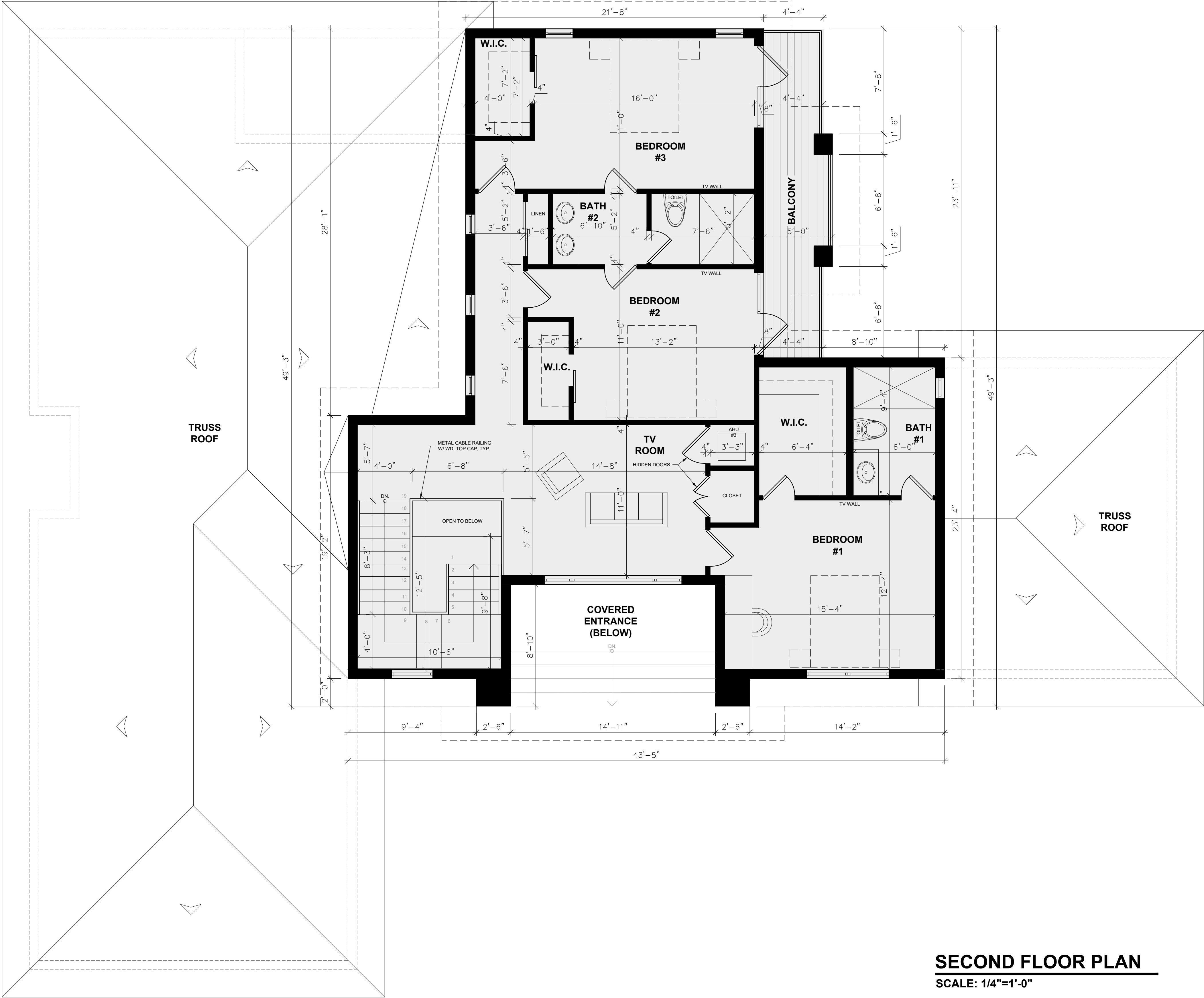


MR. JERRY SANCHEZ RESIDENCE
1325 CORUNA AVENUE, CORAL GABLES, FLORIDA
DAVID J. CABARROCAS / ARCHITECT - AR - 0004356

REVISIONS	DRAWN:	COMM.:
	M.R.	
	CHECKED:	DATE:
		10/28/2021
		(305) 808-9578

169 E. FLAGLER STREET, SUITE 1619
MIAMI, FLORIDA 33131
dcabarrocas@bellsouth.net

SHEET: A-1.1
OF: 5



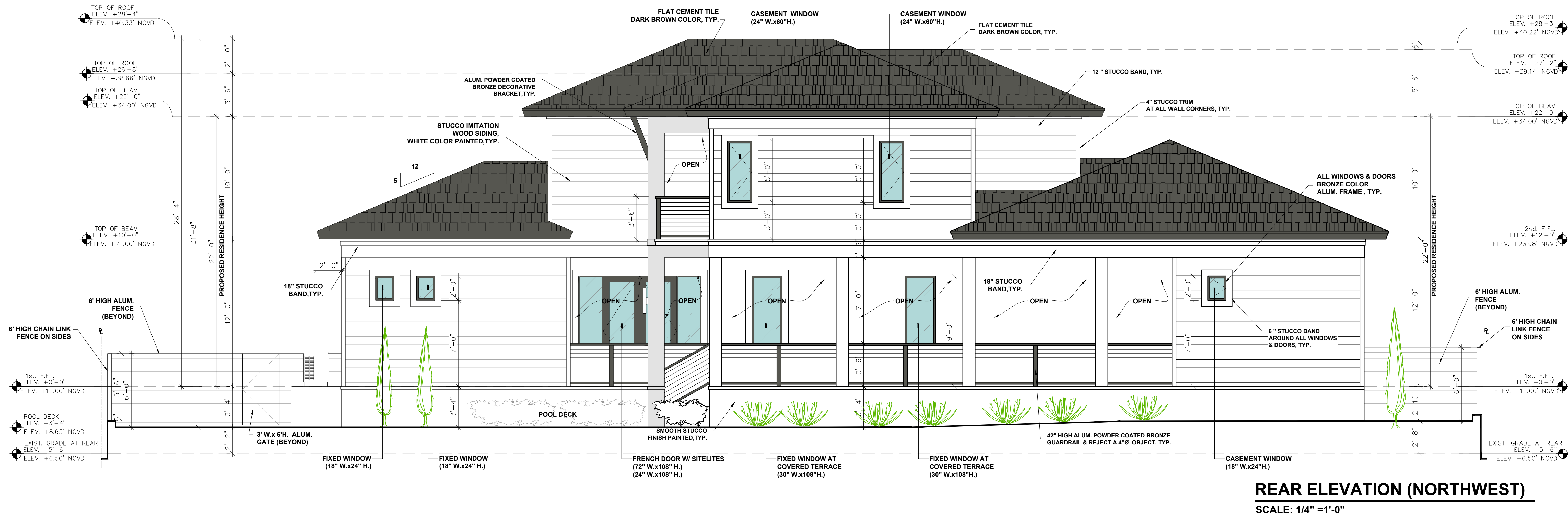
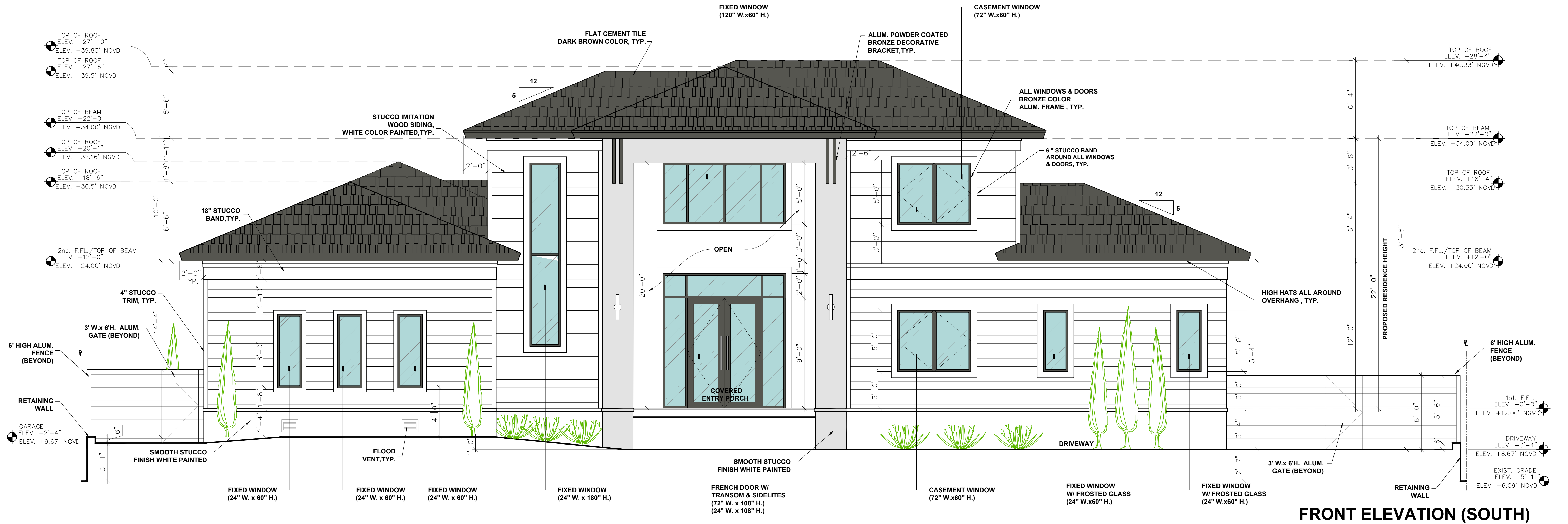
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REVISIONS			
		DRAWN:	COMM.:
		MR	
		CHECKED:	DATE:
			10/28/2021

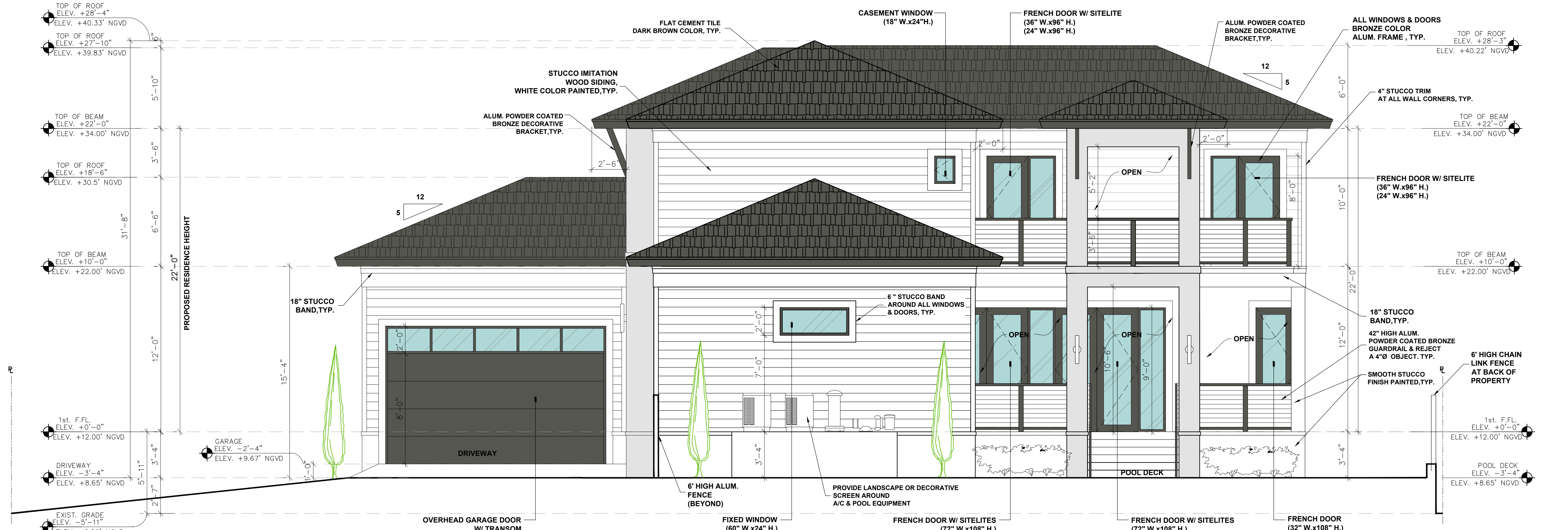
169 E FLAGLER STREET, STE. # 1619
MIAMI, FLORIDA 33131
dcabarcoras@bellsouth.net

(305) 808-9578

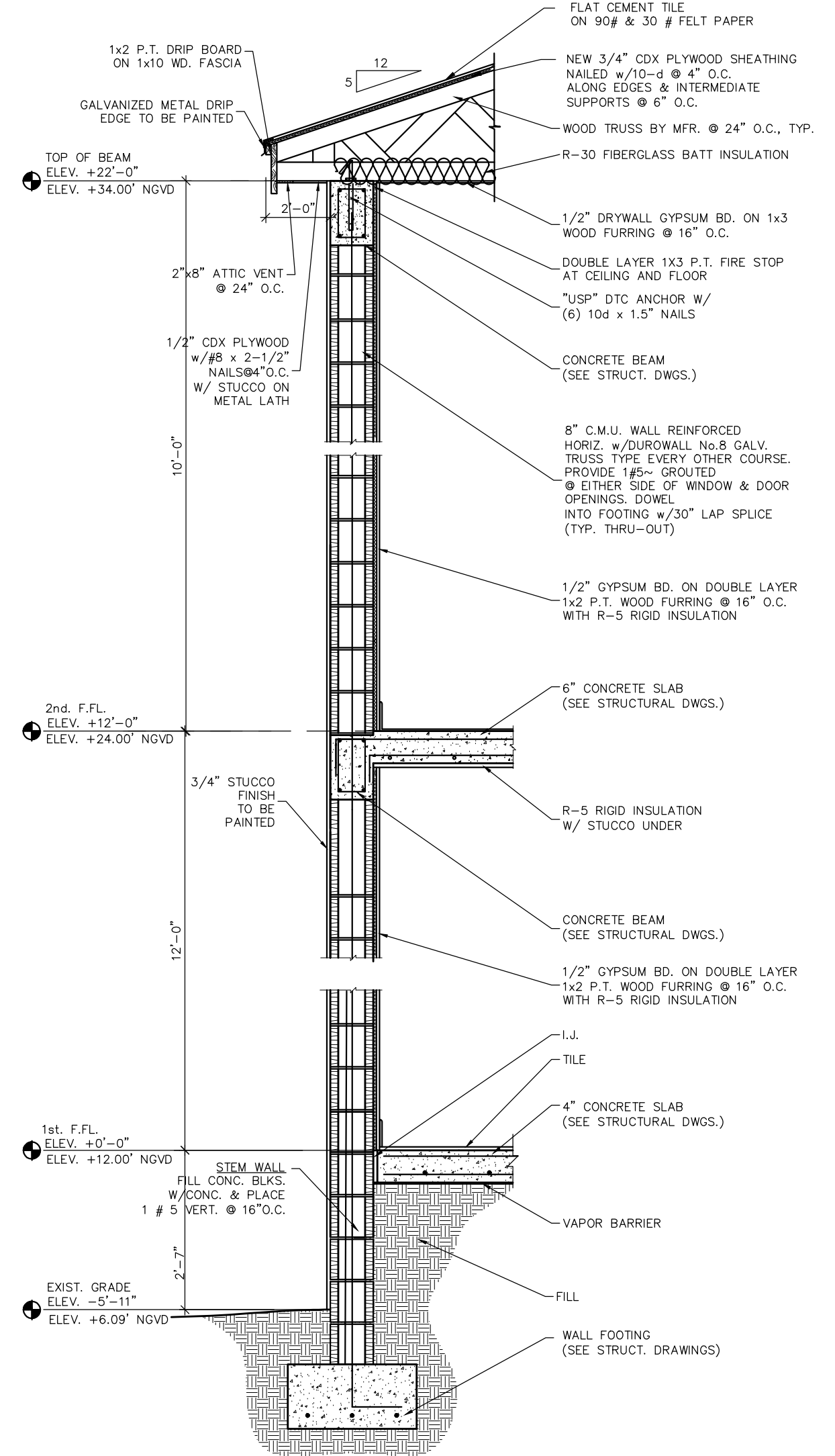
169 E FLAGLER STREET, STE. # 1619 MIAMI, FLORIDA 33131 dcabarrocas@bellsouth.net	(305) 808-9578
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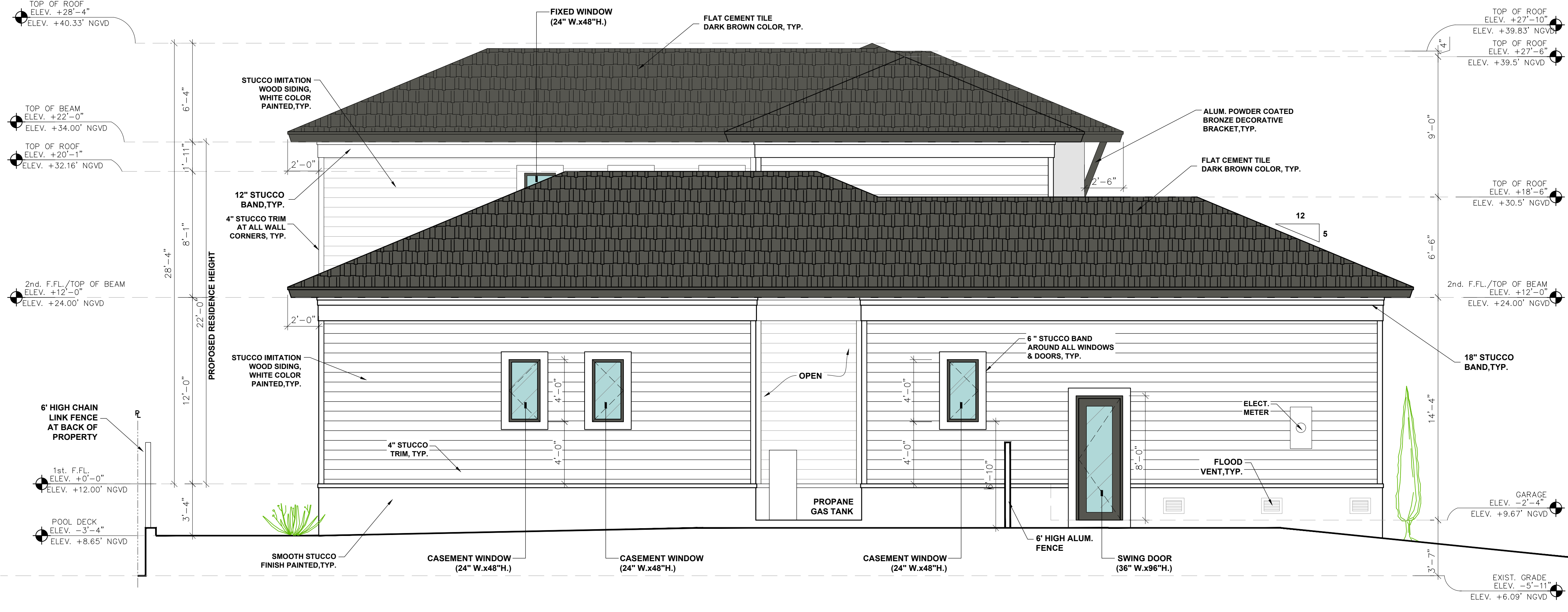
REVISIONS			COMMITTEE	DATE
DRAWN	MR	CHECKED	MR	10/28/2021
			(305) 808-9578	
			169 E FLAGLER STREET, STE. # 1619 MIAMI, FLORIDA 33131 dcabarrocas@bellsouth.net	
			MR. JERRY SANCHEZ RESIDENCE 1325 CORUNA AVENUE, CORAL GABLES, FLORIDA	
			DAVID J. CABARROCAS / ARCHITECT - AR - 0004356	
SHEET:			A-4	
OF:			5	



SIDE ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



TYP. WALL SECTION
SCALE: 1/2" = 1'-0"



SIDE ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

SHEET: OF:	MR. JERRY SANCHEZ RESIDENCE 1325 CORUNA AVENUE, CORAL GABLES, FLORIDA DAVID J. CABARROCAS / ARCHITECT - AR - 0004356	R E V I S I O N S				DRAWN: _____	COMMIT: _____
						MR. _____	
						CHECKED: _____	DATE: 10/28/2021
	A-5 5	169 E FLAGLER STREET, STE. # 1619 MIAMI, FLORIDA 33131 dcabarrocas@bellsouth.net					