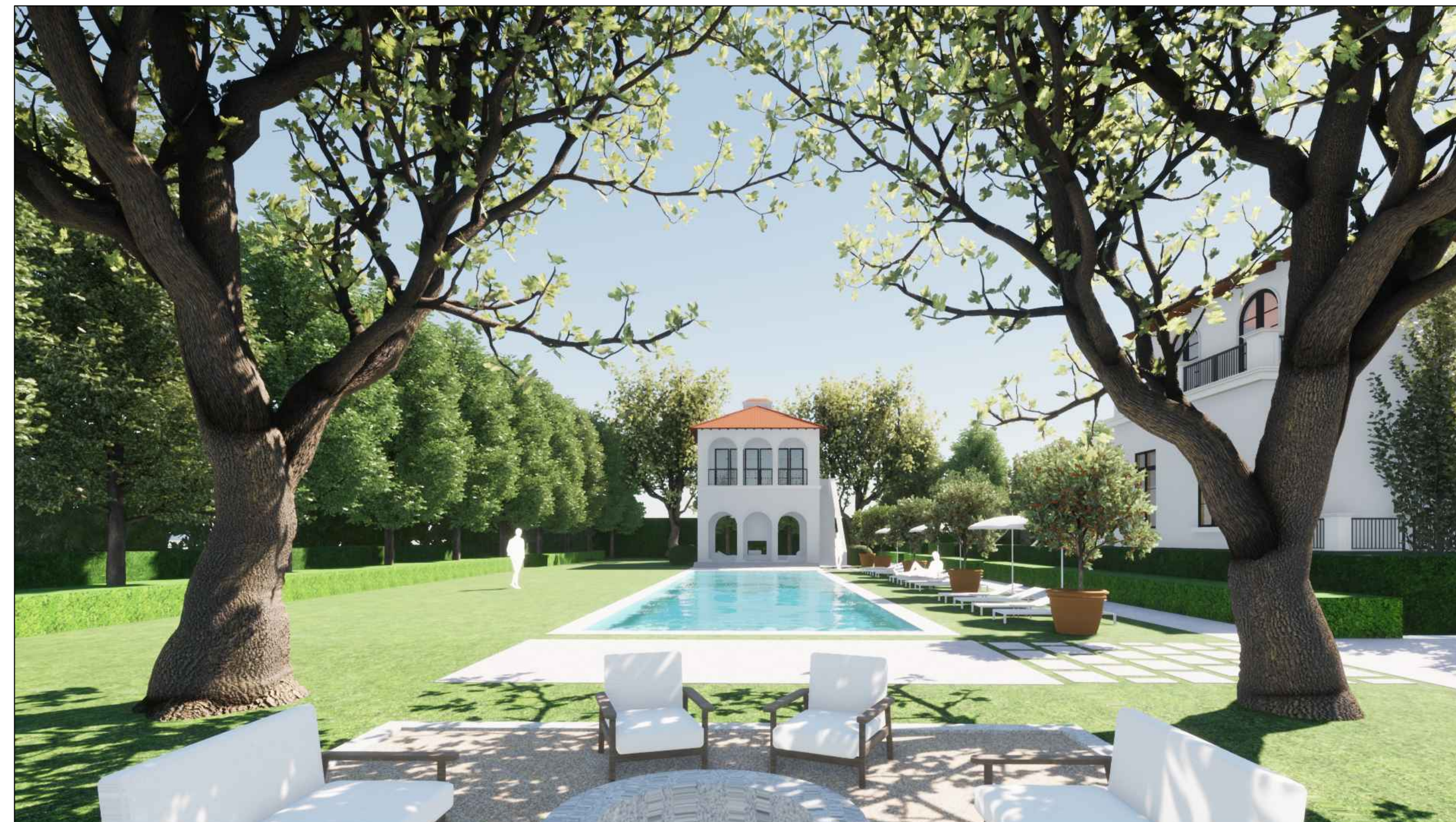


LOPEZ RESIDENCE

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156



STUDIO ANDA
WWW.STUDIOANDA.COM

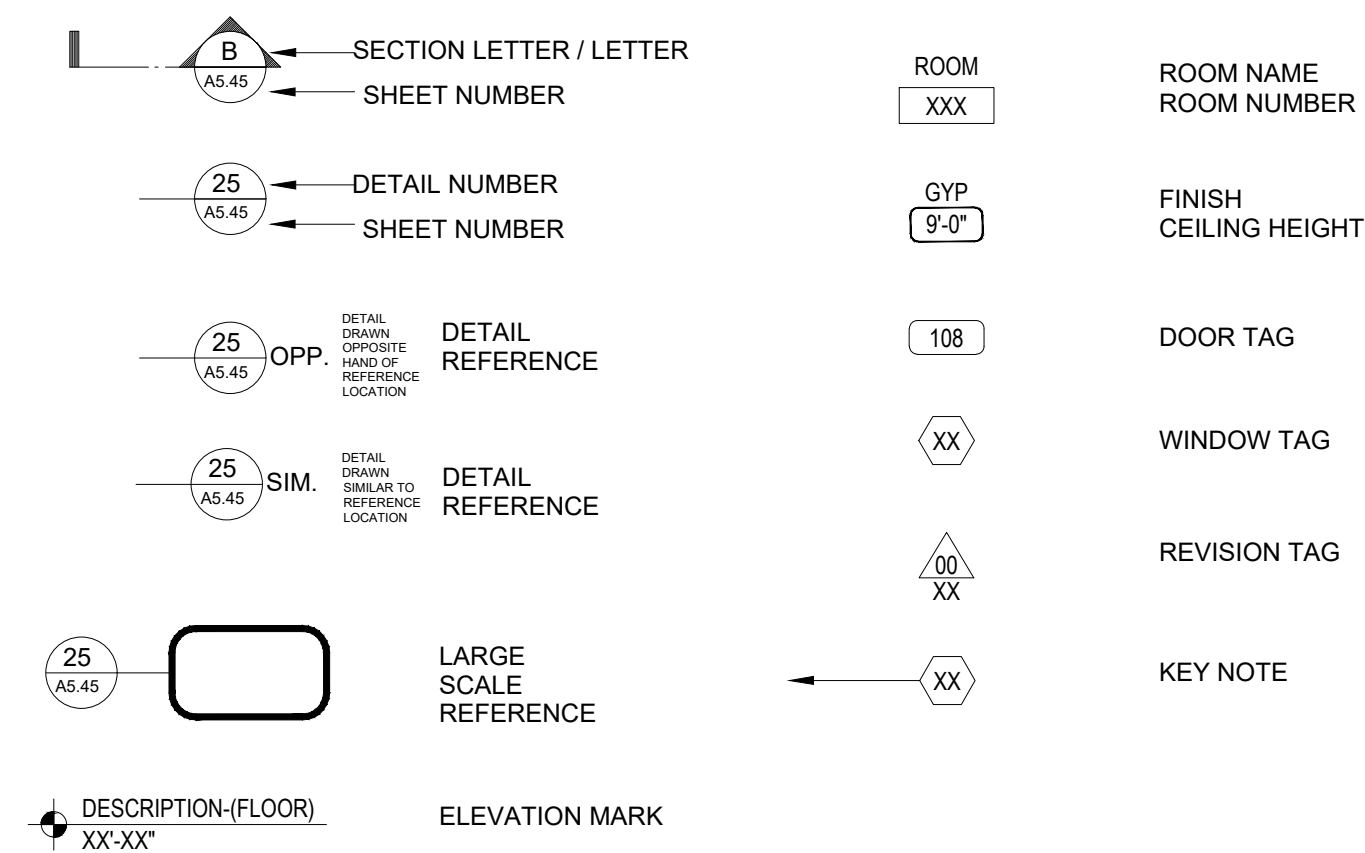
ARCHITECTURE SHEET INDEX

GENERAL

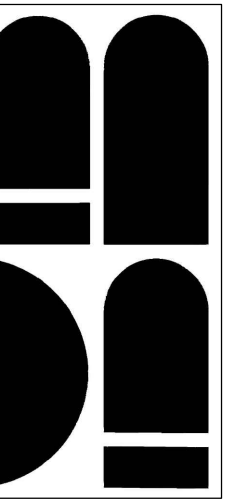
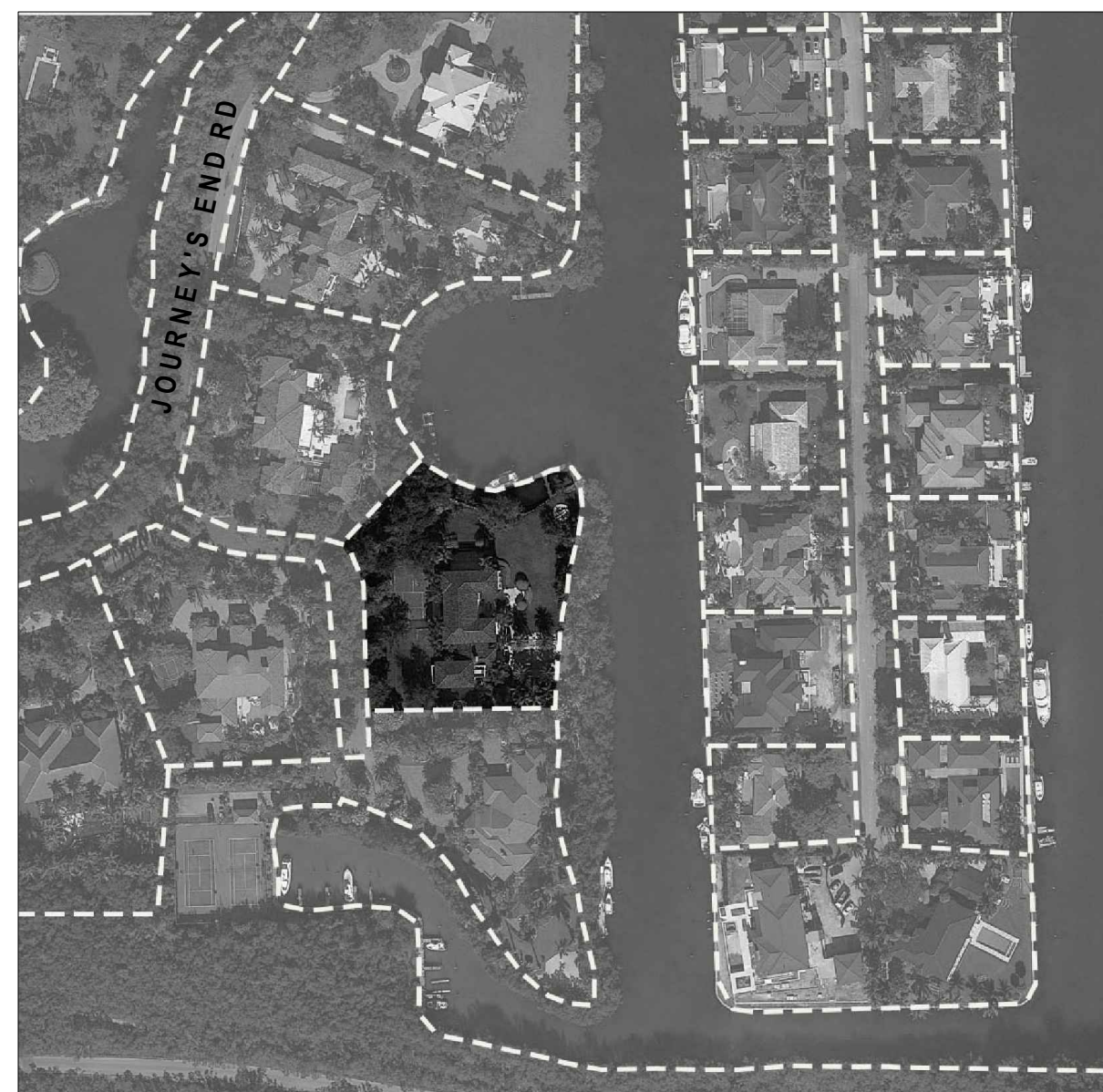
A001	INDEX AND DATA
A002	CONTEXT AND EXISTING PHOTOS
A004	SURVEY
A005	TREE SURVEY
AR200	EXISTING ELEVATIONS
AR201	EXISTING ELEVATIONS
A100	SITE PLAN
A101	FIRST FLOOR PLAN
A200	PROPOSED ELEVATIONS
A201	PROPOSED ELEVATIONS
A110	ENLARGED FLOOR PLANS - SERVICE
A210	ENLARGED ELEVATIONS - SERVICE
A110b	ENLARGED FLOOR PLANS - GUESTHOUSE
A210b	ENLARGED ELEVATIONS - GUESTHOUSE



GRAPHICAL SYMBOLS



LOCATION:



TUDIO ANDA

PROJECT TITLE:

LOPEZ RESIDENCE

PROJECT LOCATION:

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):

ARCHITECT: _____

ANA GUARACAO SERRANO
LIC#: AB100664

1800 N BAYSHORE DR #402,

MIAMI, FL 33132
 TEL. (314) 799-7454

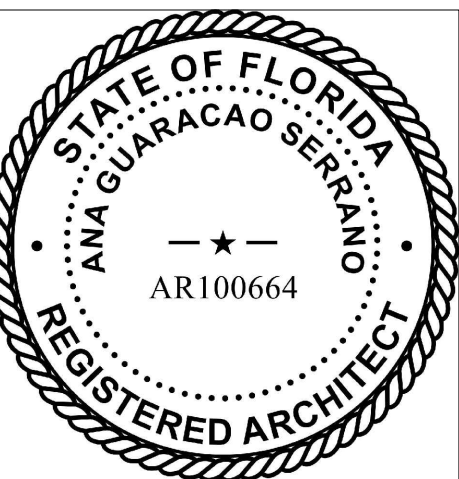
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



02	01/14/2021	REVISION 2
01	09/24/2020	REVISION 1
	08/10/2020	B.O.A
NO.	DATE	DESCRIPTION
SHEET ISSUE/ REVISION LOG		

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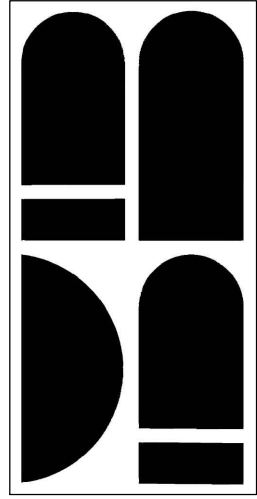
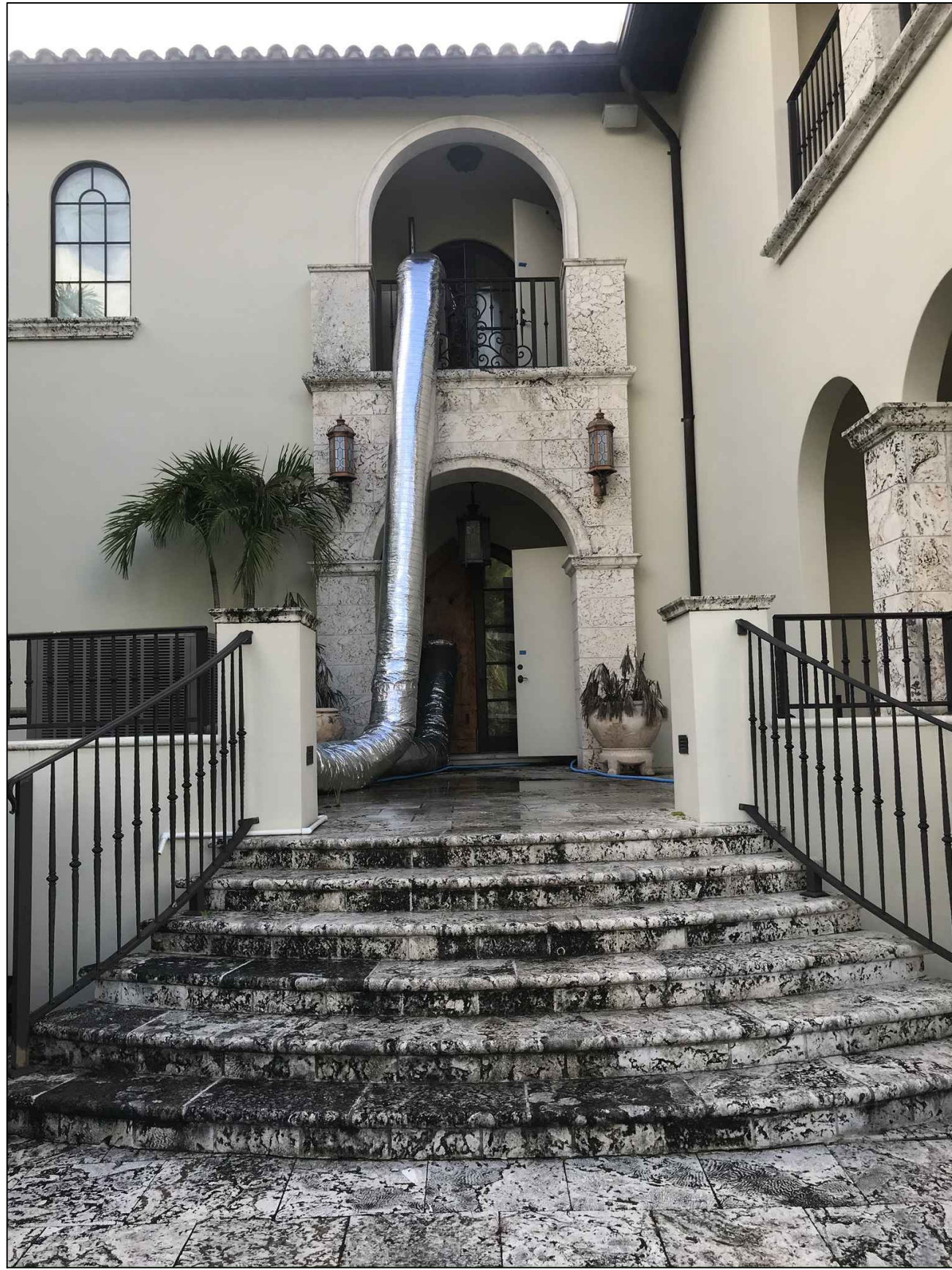
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PRINT DATE: 7/19/20	SCALE:

DRAWING TITLE:

INDEX & DATA

SHEET NO.

A001



STUDIO ANDA

PROJECT TITLE:

LOPEZ RESIDENCE

PROJECT LOCATION:

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):

ANTHONY M. LOPEZ

ARCHITECT:

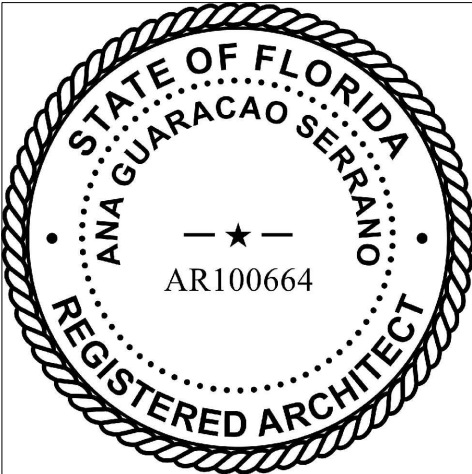
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



01/14/2021 REVISION 2

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08/10/2020 B.O.A

NO. DATE DESCRIPTION

SHEET ISSUE/ REVISION LOG

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"In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 6th Edition (2017)." /

PROJECT ID:

1003

DRAWN BY:

AR/AG

PRINT DATE:

7/19/20

SCALE:

DRAWING TITLE:

CONTEXT IMAGES

SHEET NO.

A002



A004

[illegible]

ASPHALT CONCRETE PAVERS BUILDING TILES WOOD COVER KEYSTONE TILES

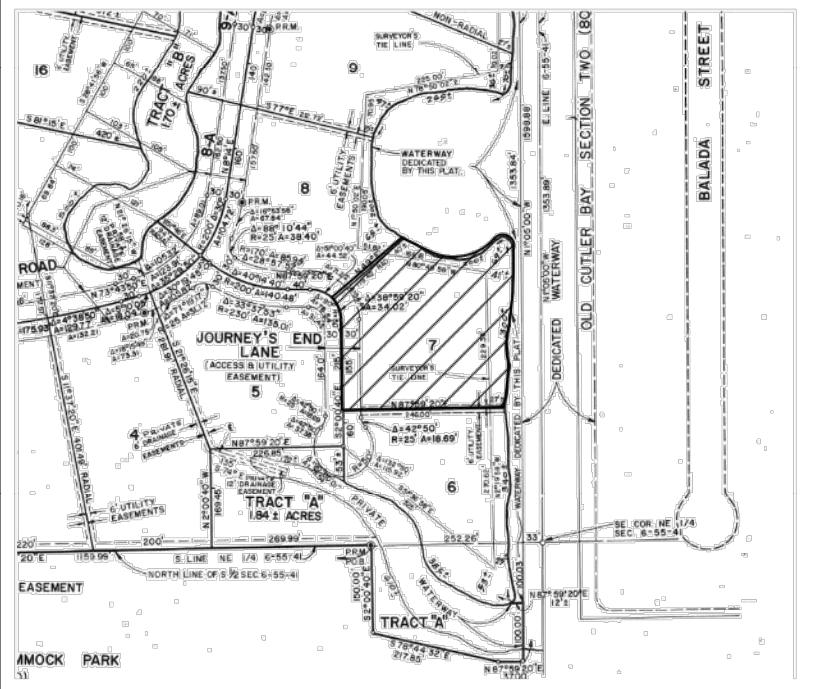
Juan A. Suarez
 Digitally signed by Juan A. Suarez
 DN: cn=Juan A. Suarez, o=Suarez
 Surveying and Mapping, Inc.,
 ou=Professional Surveyor and
 Mapper Lic. 6220,
 email=suarezsurveying@gmail.com,
 c=US
 2019.06.13 11:14:01 -0400
PROFESSIONAL SURVEYOR & MAPPER
STATE OF FLORIDA LIC # 6220

MAP OF BOUNDARY, TOPOGRAPHIC AND TREE SURVEY



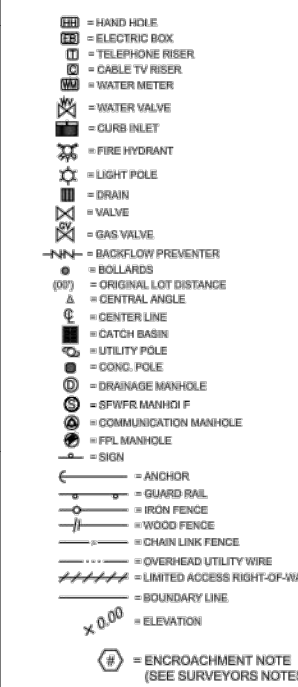
suarez surveying & mapping, inc.
15190 SW 136th Street, Suite 20, Miami, Florida 33196
Tel: 305.596.1799 Fax: 305.596.1886
www.suarezsurveying.com

PLAT IMAGE:
NOT TO SCALE

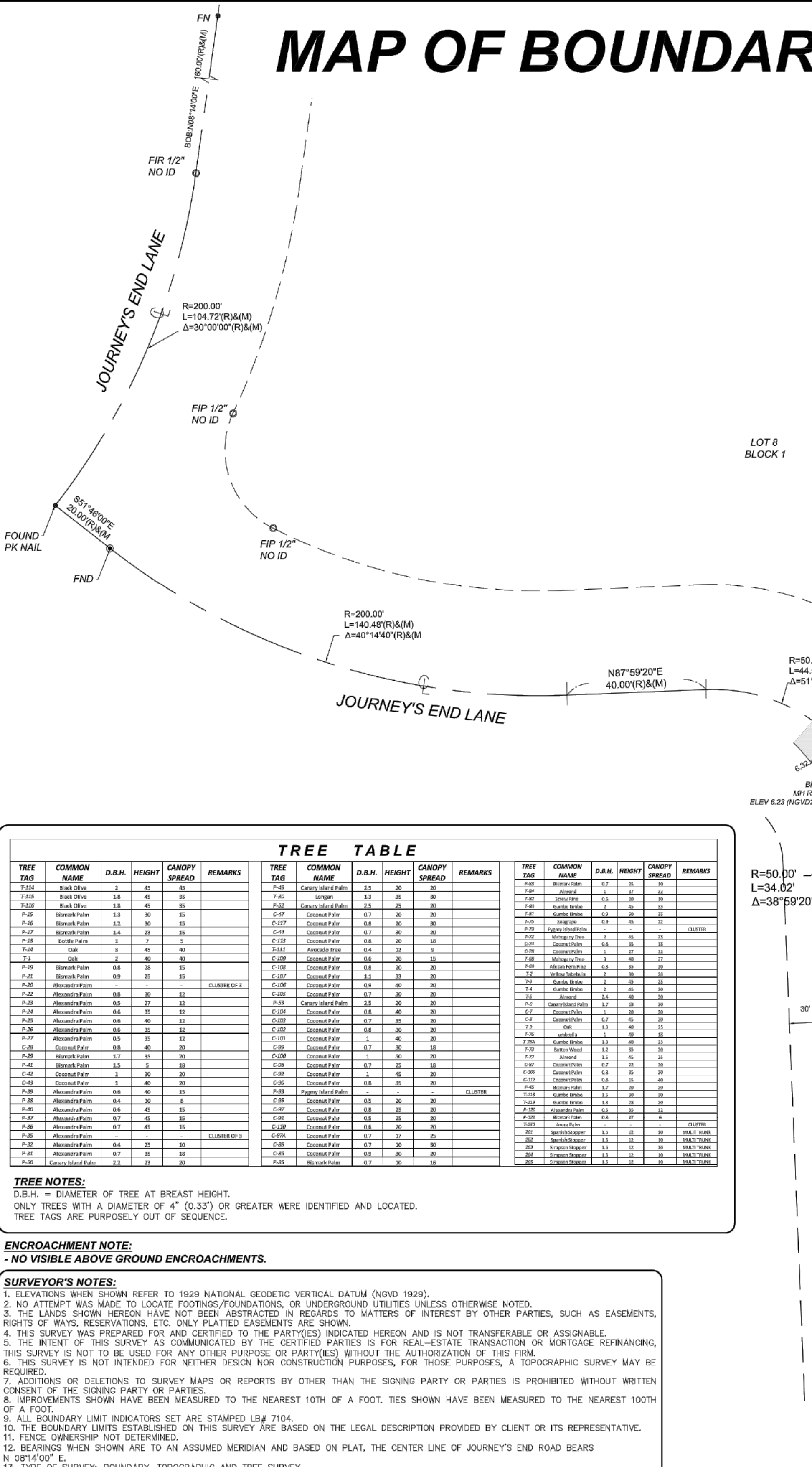


LEGEND
ABBREVIATIONS:
A = ARC DISTANCE
AC = AIR CONDITIONER PAD
BCR = BROWARD COUNTY RECORDS
BLDG = BUILDING
BM = BENCH MARK
BOB = BASIS OF BEARINGS
CBS = CONCRETE BLOCK & STUCCO
C = CALCULATED
CB = CATCH BASIN
CBR = CHORD BEARING
C&G = CURB & GUTTER
CLF = CHAIN LINK FENCE
COL = COLUMN
CONC = CONCRETE
DE = DRAINAGE EASEMENT
DME = DRAINAGE & MAINTENANCE EASEMENT
DW = DRIVE-WAY
EB = ELECTRIC BOX
ENC = ENCROACHMENT
EP = EDGE OF PAVEMENT
EW = EDGE OF WATER
FDH = FOUND DRILL HOLE
FF = FINISHED FLOOR ELEVATION
FIP = FOUND IRON PIPE
FIR = FOUND IRON ROD
FN = FOUND NAIL (NO ID)
FND = FOUND NAIL (NO ID)
FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD
LE = LANDSCAPE EASEMENT
LME = LAKE MAINTENANCE EASEMENT
M = MEASURED
MCHM = MIAMI-DADE COUNTY RECORDS
MH = MAN HOLE
ML = MONUMENT LINE
ORB = OFFICIAL RECORDS BOOK
OS = OFF-SET
PI = PLAT
PBC = PALM BEACH COUNTY
PB = PLAT BOOK
PC = POINT OF CURVATURE
PCCP = PERMANENT CONTROL POINT
PE = POOL EQUIPMENT PAD
PF = PAGE
PI = POINT OF INTERSECTION
PK = PARTIAL KABEL (SURVEY NAIL)
PL = PLANTER
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PT = POINT OF TANGENCY
R = RADIUS DISTANCE
R = RECORD
R/W = RIGHT OF WAY
RES = RESIDENCE
SIP = SET IRON PIPE
SND = SET NAIL & DISK (PI)
STL = SURVEY TIE LINE
SWK = SIDEWALK
(TYP) = TYPICAL
UB = UTILITY BOX
UE = UTILITY EASEMENT
WFF = WOOD FENCE
WMDE = WALL MAINTENANCE DRAINAGE EASEMENT

SYMBOLS:



SURFACE:



TREE TABLE									
TREE TAG	COMMON NAME	D.B.H.	HEIGHT	CANOPY SPREAD	REMARKS	TREE TAG	COMMON NAME	D.B.H.	HEIGHT
T-101	Black Olive	1.8	45	35		P-101	Century Island Palm	2.5	25
T-102	Black Olive	1.8	45	35		P-102	Century Island Palm	2.5	25
T-103	Black Olive	1.8	45	35		P-103	Century Island Palm	2.5	25
P-104	Browns Palm	1.3	30	15		C-104	Coconut Palm	0.7	20
P-105	Browns Palm	1.3	30	15		C-105	Coconut Palm	0.8	20
P-106	Browns Palm	1.3	30	15		C-106	Coconut Palm	0.8	20
P-107	Browns Palm	1.3	30	15		C-107	Coconut Palm	0.8	20
P-108	Browns Palm	1.3	30	15		C-108	Coconut Palm	0.8	20
P-109	Browns Palm	1.3	30	15		C-109	Coconut Palm	0.8	20
P-110	Browns Palm	1.3	30	15		C-110	Coconut Palm	0.8	20
P-111	Browns Palm	1.3	30	15		C-111	Coconut Palm	0.8	20
P-112	Browns Palm	1.3	30	15		C-112	Coconut Palm	0.8	20
P-113	Browns Palm	1.3	30	15		C-113	Coconut Palm	0.8	20
P-114	Browns Palm	1.3	30	15		C-114	Coconut Palm	0.8	20
P-115	Browns Palm	1.3	30	15		C-115	Coconut Palm	0.8	20
P-116	Browns Palm	1.3	30	15		C-116	Coconut Palm	0.8	20
P-117	Browns Palm	1.3	30	15		C-117	Coconut Palm	0.8	20
P-118	Browns Palm	1.3	30	15		C-118	Coconut Palm	0.8	20
P-119	Browns Palm	1.3	30	15		C-119	Coconut Palm	0.8	20
P-120	Browns Palm	1.3	30	15		C-120	Coconut Palm	0.8	20
P-121	Browns Palm	1.3	30	15		C-121	Coconut Palm	0.8	20
P-122	Browns Palm	1.3	30	15		C-122	Coconut Palm	0.8	20
P-123	Browns Palm	1.3	30	15		C-123	Coconut Palm	0.8	20
P-124	Browns Palm	1.3	30	15		C-124	Coconut Palm	0.8	20
P-125	Browns Palm	1.3	30	15		C-125	Coconut Palm	0.8	20
P-126	Browns Palm	1.3	30	15		C-126	Coconut Palm	0.8	20
P-127	Browns Palm	1.3	30	15		C-127	Coconut Palm	0.8	20
P-128	Browns Palm	1.3	30	15		C-128	Coconut Palm	0.8	20
P-129	Browns Palm	1.3	30	15		C-129	Coconut Palm	0.8	20
P-130	Browns Palm	1.3	30	15		C-130	Coconut Palm	0.8	20
P-131	Browns Palm	1.3	30	15		C-131	Coconut Palm	0.8	20
P-132	Browns Palm	1.3	30	15		C-132	Coconut Palm	0.8	20
P-133	Browns Palm	1.3	30	15		C-133	Coconut Palm	0.8	20
P-134	Browns Palm	1.3	30	15		C-134	Coconut Palm	0.8	20
P-135	Browns Palm	1.3	30	15		C-135	Coconut Palm	0.8	20
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P-138	Browns Palm	1.3	30	15		C-138	Coconut Palm	0.8	20
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P-140	Browns Palm	1.3	30	15		C-140	Coconut Palm	0.8	20
P-141	Browns Palm	1.3	30	15		C-141	Coconut Palm	0.8	20
P-142	Browns Palm	1.3	30	15		C-142	Coconut Palm	0.8	20
P-143	Browns Palm	1.3	30	15		C-143	Coconut Palm	0.8	20
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P-146	Browns Palm	1.3	30	15		C-146	Coconut Palm	0.8	20
P-147	Browns Palm	1.3	30	15		C-147	Coconut Palm	0.8	20
P-148	Browns Palm	1.3	30	15		C-148	Coconut Palm	0.8	20
P-149	Browns Palm	1.3	30	15		C-149	Coconut Palm	0.8	20
P-150	Browns Palm	1.3	30	15		C-150	Coconut Palm	0.8	20

TREE NOTES:
D.B.H. = DIAMETER OF TREE AT BREAST HEIGHT.
ONLY TREES WITH A DIAMETER OF 4" (0.33") OR GREATER WERE IDENTIFIED AND LOCATED.
TREE TAGS ARE PURPOSELY OUT OF SEQUENCE.

ENCROACHMENT NOTE:
- NO VISIBLE ABOVE GROUND ENCROACHMENTS.

SURVEYOR'S NOTES:
1. ELEVATIONS WHEN SHOWN REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
2. NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
3. THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.
4. THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE.
5. THE INTENT OF THIS SURVEY AS COMMUNICATED BY THE CERTIFIED PARTIES IS FOR REAL-ESTATE TRANSACTION OR MORTGAGE REFINANCING.
6. THIS SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSE OR PARTY(IES) WITHOUT THE AUTHORIZATION OF THIS FIRM.
7. THIS SURVEY IS NOT INTENDED FOR NEITHER DESIGN NOR CONSTRUCTION PURPOSES, FOR THOSE PURPOSES, A TOPOGRAPHIC SURVEY MAY BE REQUIRED.
8. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
9. ALL BOUNDARY LIMIT INDICATORS SET ARE STAMPED LB# 7104.
10. THE BOUNDARY LIMITS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL DESCRIPTION PROVIDED BY CLIENT OR ITS REPRESENTATIVE.
11. FENCE OWNERSHIP NOT DETERMINED.
12. BEARINGS WHEN SHOWN ARE TO AN ASSUMED MERIDIAN AND BASED ON PLAT, THE CENTER LINE OF JOURNEY'S END ROAD BEARS N 08°14'00" E.
13. TYPE OF SURVEY: BOUNDARY, TOPOGRAPHIC AND TREE SURVEY

DATE OF SURVEY:
06/05/2019
JOB #: 190529157
FILE #: E-2310
PROJECT NAME:
SURREYS 2019
CAD FILE(R): LOPEZ
PARTY CHIEF: JUAN
SHEET 1 OF 1

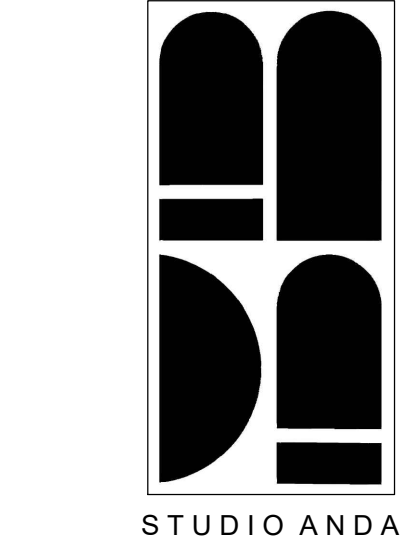
CERTIFIED TO:
ANTHONY M. LOPEZ
06/23/21 UPDATED TREE SURVEY ONLY JOB #210533151
08/04/20 UPDATED TO TOPOGRAPHIC AND TREE SURVEY
JOB #200530994
REVISIONS:

PROPERTY ADDRESS:
9501 JOURNEY'S END LANE, CORAL GABLES, FLORIDA 33156

LEGAL DESCRIPTION:
LOT 7, BLOCK 1, JOURNEY'S END ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 100, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:
BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY REVISED ON 09/11/09 AND INDEX MAP REVISED ON 09/11/09 THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE AE BASE FLOOD ELEVATION 11 COMMUNITY NAME & NUMBER CITY OF CORAL GABLES 120639 MAP & PANEL NUMBER 12086C0467 SUFFIX L

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTE.
Authentic Copies of this Survey shall bear the Original Signature and Raised Seal of the Attesting Registered Surveyor and Mapper
Juan A. Suarez,
License No. L56220
JUAN A. SUAREZ
PROFESSIONAL SURVEYOR & MAPPER
STATE OF FLORIDA LIC. # 6220



PROJECT TITLE:
LOPEZ RESIDENCE

PROJECT LOCATION:
9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):
ANTHONY M. LOPEZ

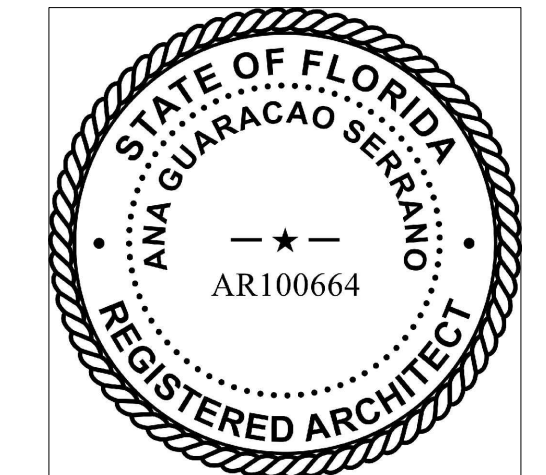
ARCHITECT:
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



NO.	DATE	DESCRIPTION
02	01/14/2021	REVISION 2
01	09/24/2020	REVISION 1
	08/10/2020	B.O.A

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"In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 6th Edition (2017).

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DRAWN BY: AR/AG

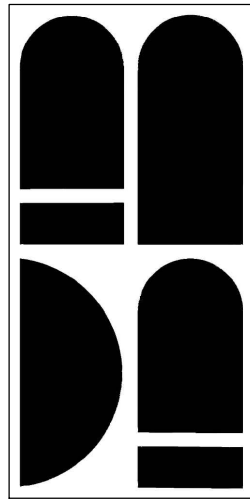
PRINT DATE: 7/19/20
SCALE:

DRAWING TITLE:

TREE SURVEY

SHEET NO.

A004



STUDIO ANDA

PROJECT TITLE:

LOPEZ RESIDENCE

PROJECT LOCATION:

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):

ANTHONY M. LOPEZ

ARCHITECT:

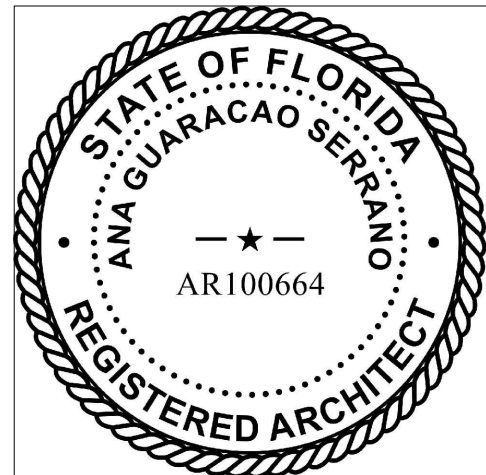
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



EXISTING SOUTH ELEVATION

Scale: 3/16" = 1'-0"

2



EXISTING EAST ELEVATION

Scale: 3/16" = 1'-0"

1



02 01/14/2021 REVISION 2

01 09/24/2020 REVISION 1

08/10/2020 B.O.A

NO. DATE DESCRIPTION

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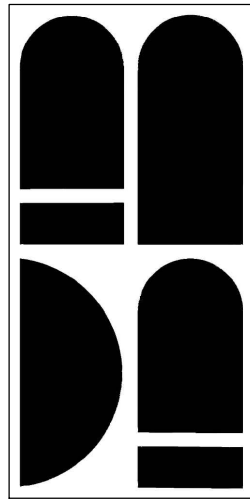
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DRAWN BY: AR/AG

PRINT DATE: 7/19/20
SCALE: 3/16"-1'-0"

DRAWING TITLE:
EXISTING
ELEVATIONS

SHEET NO.

AR-200



STUDIO ANDA

PROJECT TITLE:

LOPEZ RESIDENCE

PROJECT LOCATION:

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):

ANTHONY M. LOPEZ

ARCHITECT:

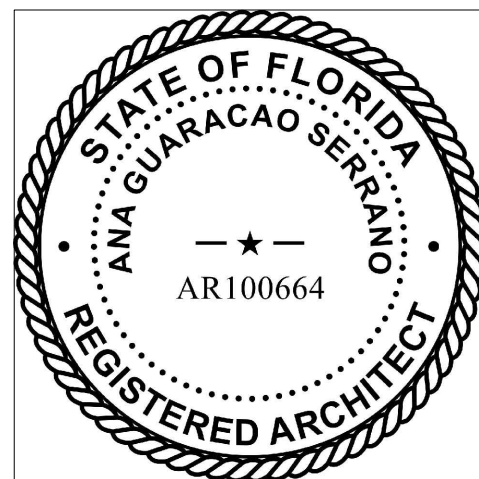
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



02	01/14/2021	REVISION 2
01	09/24/2020	REVISION 1
	08/10/2020	B.O.A
NO.	DATE	DESCRIPTION
SHEET ISSUE/ REVISION LOG		

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*In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with F.B.C. 6th Edition (2017).

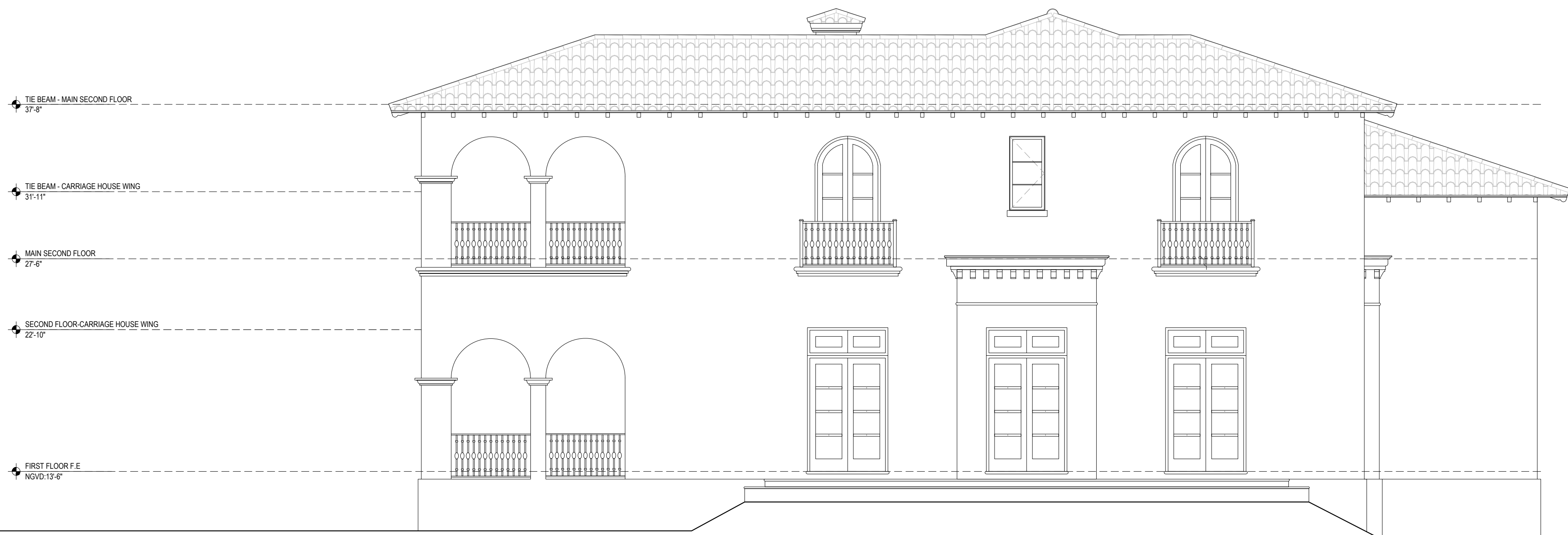
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1003	AR/AG
PRINT DATE:	SCALE:
7/19/20	3/16"-1'-0"

DRAWING TITLE:

EXISTING
ELEVATIONS

SHEET NO.

AR-201



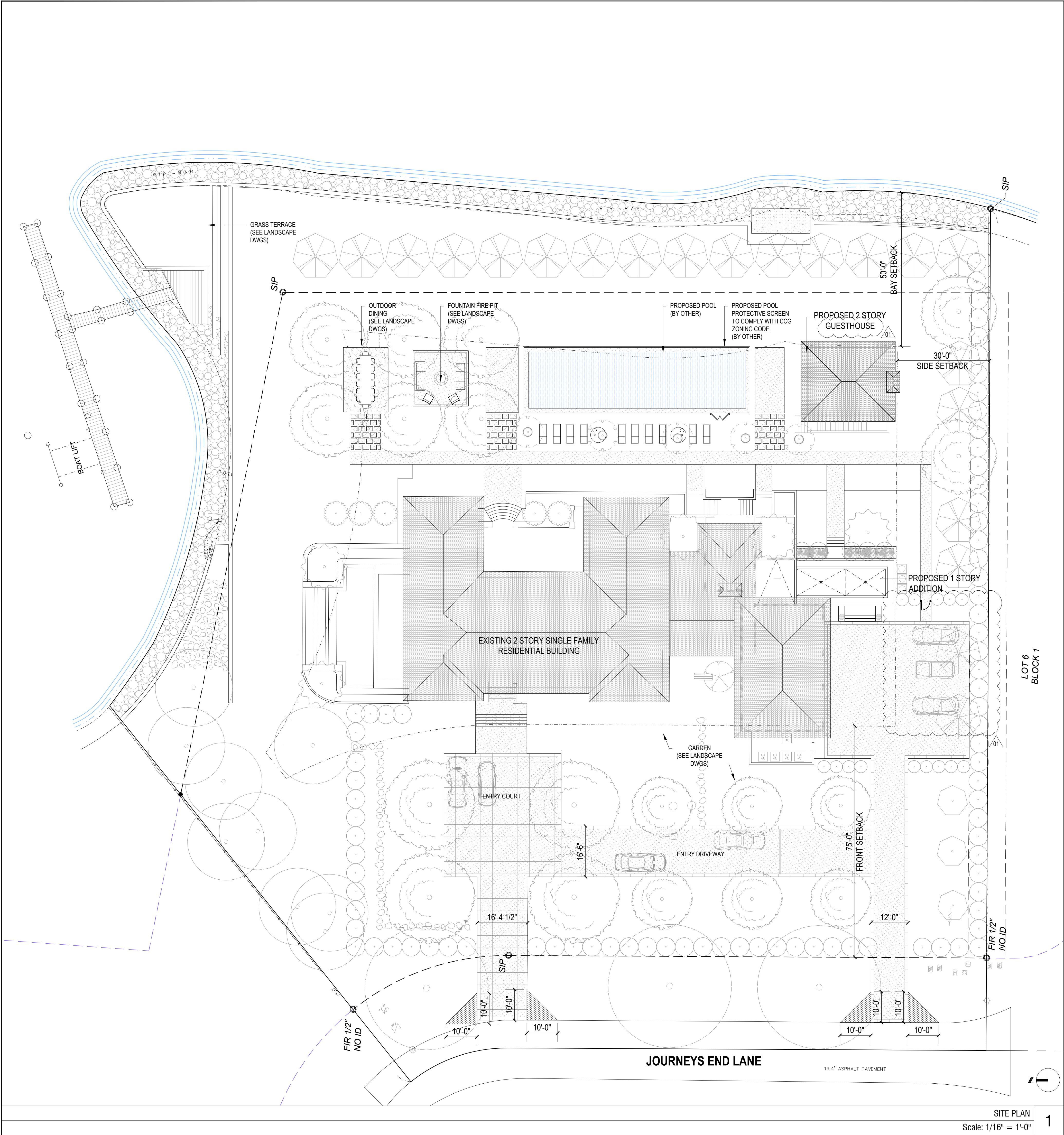
EXISTING NORTH ELEVATION
Scale: 3/16" = 1'-0"

2



EXISTING WEST ELEVATION
Scale: 3/16" = 1'-0"

1



PROJECT & ZONING DATA

SITE INFORMATION:		
TYPE	:	SFR
FOLIO NUMBER	:	03-5106-022-0070
LOT AREA	:	92,452 Sq.Ft
LEGAL DESCRIPTION	:	JOURNEY'S END ESTS PB 100-40 LOT 7 BLK 1 & PROP INT IN & TO COMMON ELEMENTS NOT SEPARATELY ASSESSED LOT SIZE IRREGULAR 92452 SQFT OR 15136-657 0891 4
FEMA FIRM ZONE	:	AE-BASE FLOOD ELEVATION 11'-0"

GROUND COVERAGE:	MAX ALLOWED	PROPOSED
MAIN STRUCTURE	:25% (23,113 Sq.Ft)	: 6,947 Sq.Ft.
AUX. STRUCTURE	:5% (4,622 Sq.Ft)	: 1,939 Sq.Ft.
GUEST HOUSE	:10% OF MAIN(694 Sq.Ft)	: 654 Sq.Ft.

MAX F.A.R.	MAX ALLOWED
48% OF 5,000	: 2,400 Sq. Ft
35% OF NEXT 5,000	: 1,750 Sq. Ft
30% OF REMAINING	:24,735 Sq. Ft
TOTAL	=28,885 Sq. Ft Max

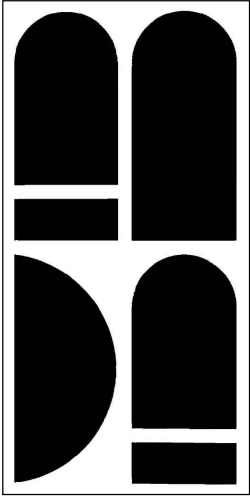
F.A.R PROPOSED	PROPOSED
EXISTING	:16,456 Sq. Ft.
SERVICE WING	: 570 Sq. Ft.
GUEST HOUSE	: 400 Sq. Ft.
TOTAL	:17,426 Sq.Ft.

LANDSCAPE OPEN SPACE	MIN. REQUIRED	PROPOSED
40% OF BUILDING SITE	:36,980 Sq. Ft	: 68,492 Sq.FT (74%)

BUILDING HEIGHT:	MAX ALLOWED	MAX PROPOSED
	:25' (TO EAVE)	:24' (TO EAVE)

MAIN BUILDING SETBACKS:	REQUIRED	PROPOSED
FRONT	:75'	:75'
SIDE	:30'	:30'
WATER	:50'	:50'

- NOTES:
- REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE DETAILS
 - ALL RAINWATER MUST BE RETAINED WITHIN PRIVATE PROPERTY.
 - ALL REQUIREMENTS FOR LANDSCAPE AS LISTED IN ZONING CODE ARTICLE 5, DIVISION 11 WILL BE COMPLIED WITH.
 - ALL POOL GATES ARE SELF CLOSING AND SELF LATCHING



STUDIO ANDRA

PROJECT TITLE:
LOPEZ RESIDENCE

PROJECT LOCATION:
9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):
ANTHONY M. LOPEZ

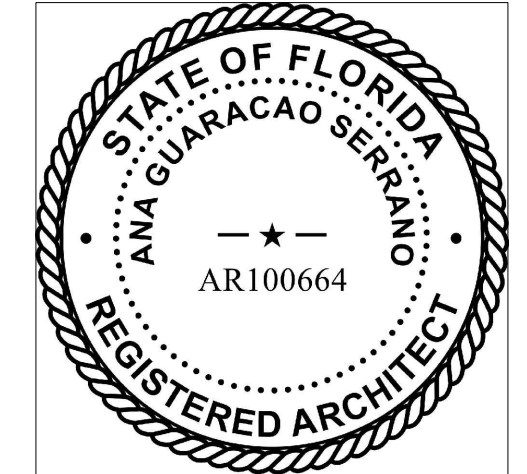
ARCHITECT:
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



02	01/14/2021	REVISION 2
01	09/24/2020	REVISION 1
	08/10/2020	B.O.A
NO.	DATE	DESCRIPTION
SHEET ISSUE/ REVISION LOG		

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PROJECT ID:	DRAWN BY:
1003	AR/AG

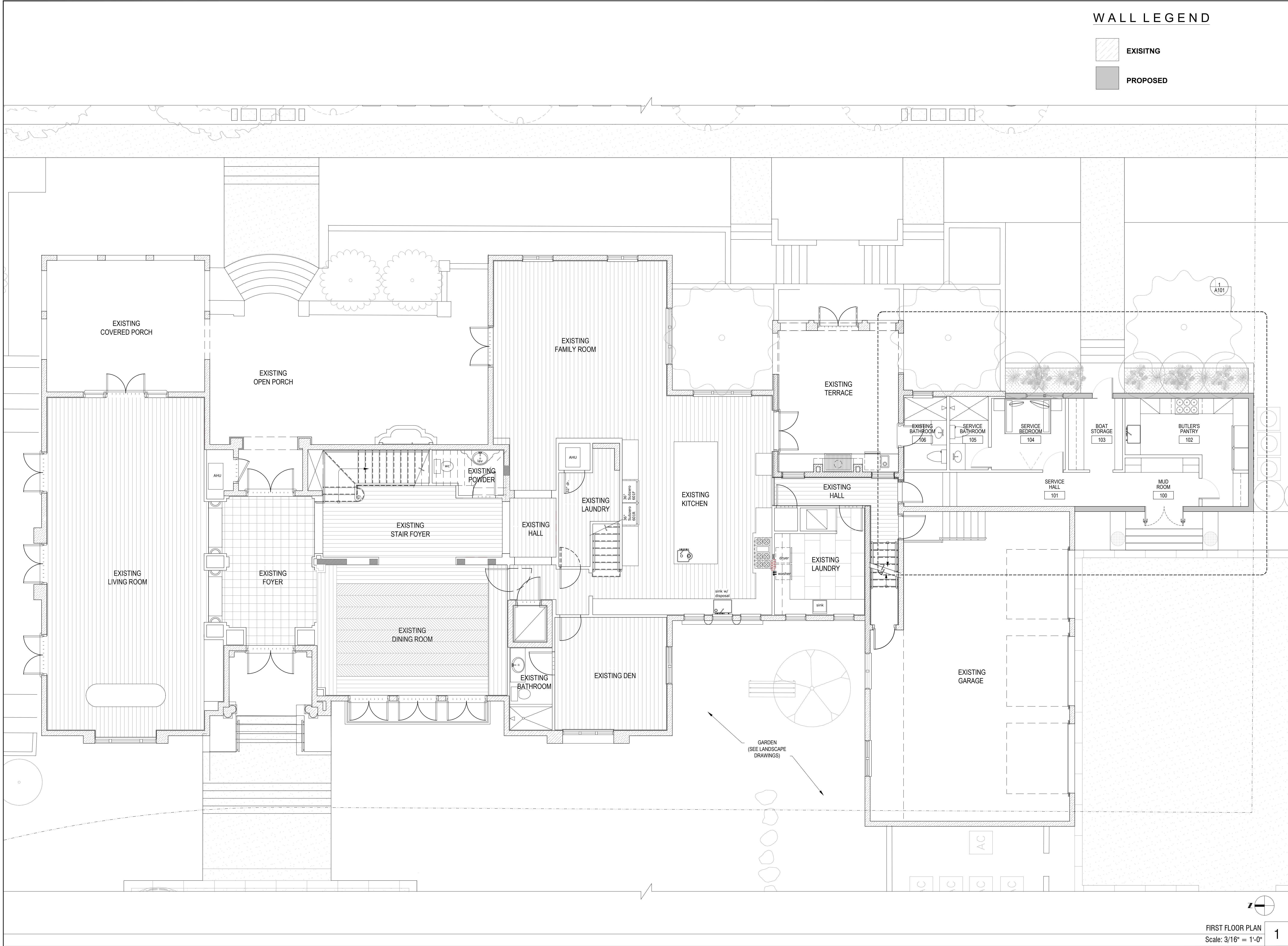
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7/19/20	3/16"-1'-0"

DRAWING TITLE:

SITE PLAN

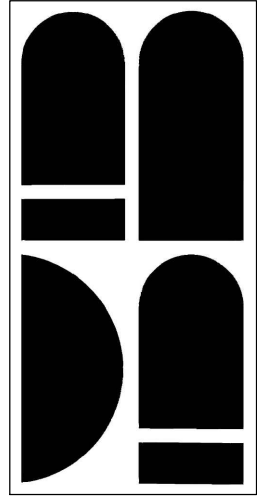
SHEET NO.

A-100



WALL LEGEND

- EXISTING
- PROPOSED



STUDIO ANDA

PROJECT TITLE:

LOPEZ RESIDENCE

PROJECT LOCATION:

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):

ANTHONY M. LOPEZ

ARCHITECT:

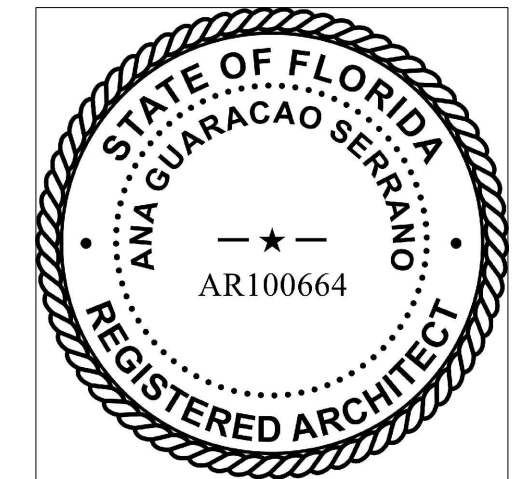
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



02	01/14/2021	REVISION 2
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1003	AR/AG
PRINT DATE:	SCALE:
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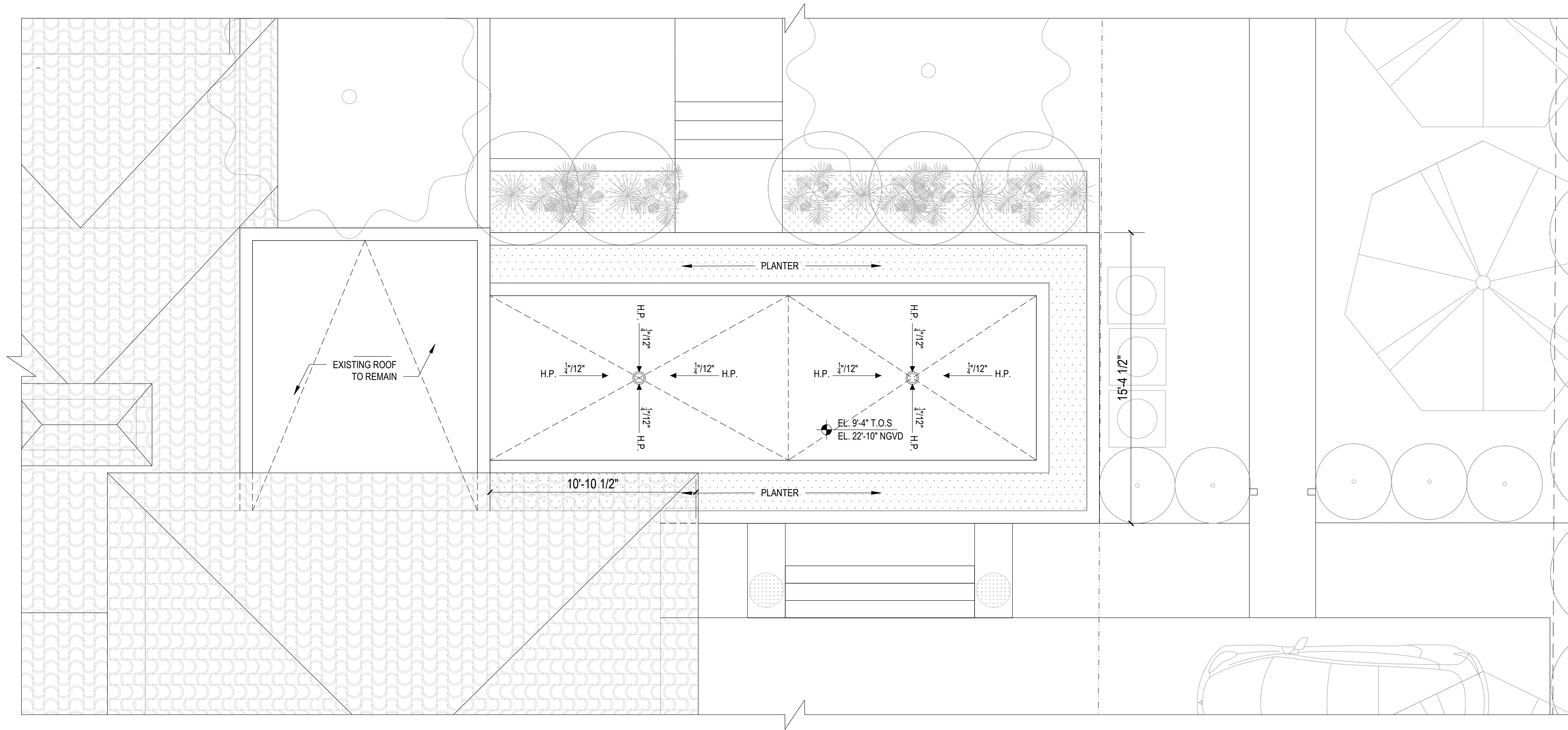
FIRST
FLOOR PLAN

SHEET NO.

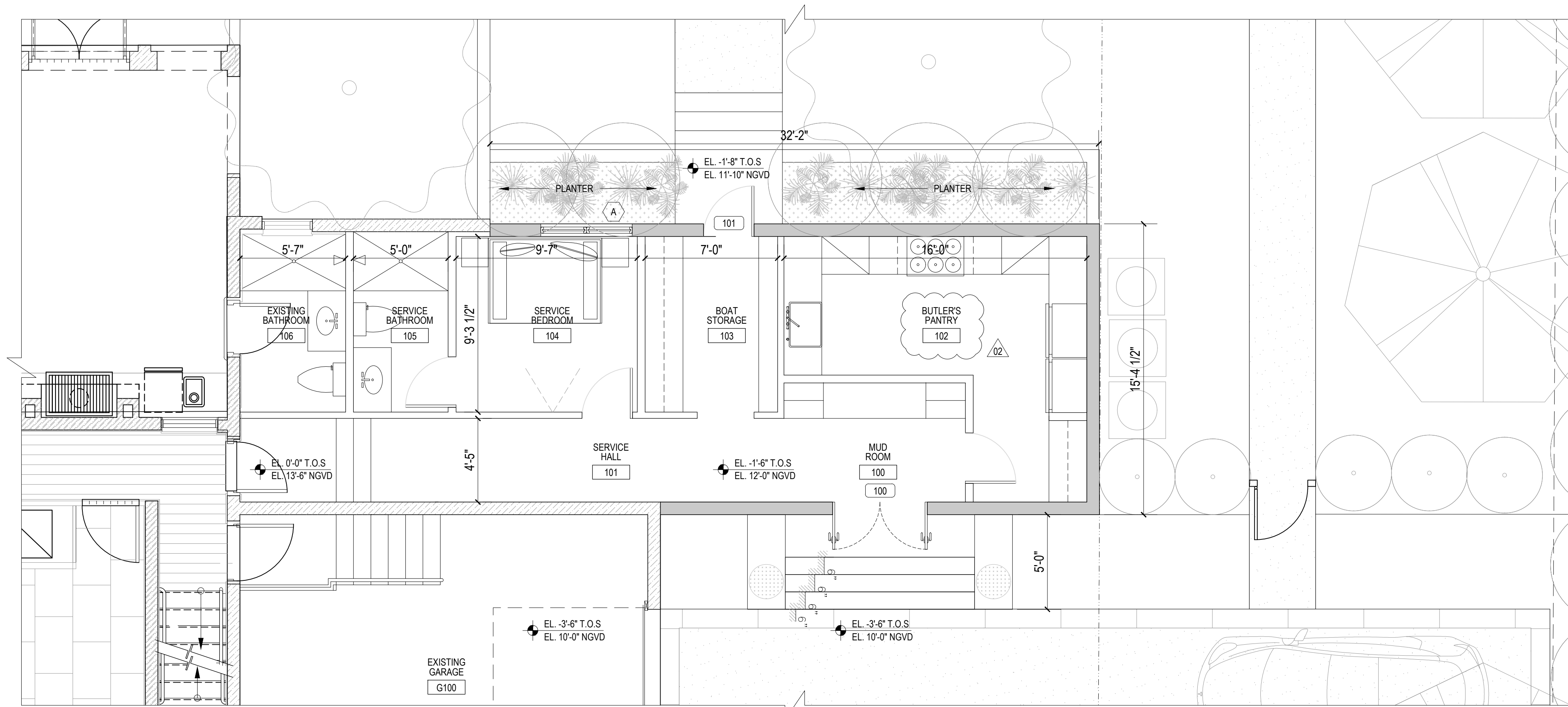
A-101

FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"

1

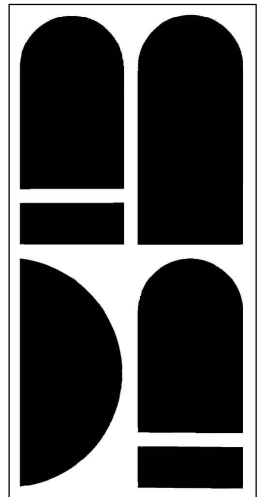
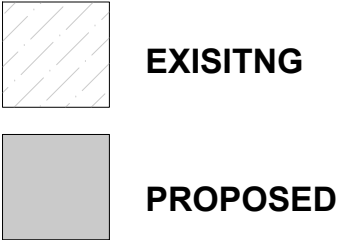


SERVICE WING ROOF PLAN
Scale: 1/4" = 1'-0"



SERVICE WING FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

WALL LEGEND



STUDIO ANDA

PROJECT TITLE:

LOPEZ RESIDENCE

PROJECT LOCATION:

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):

ANTHONY M. LOPEZ

ARCHITECT:

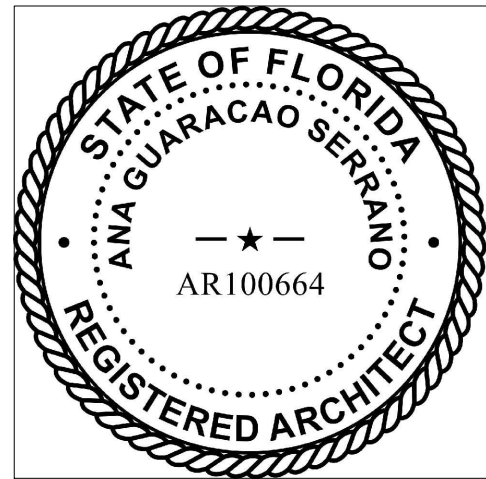
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



07/14/2021 REVISION 2

09/24/2020 REVISION 1

08/10/2020 B.O.A

NO. DATE DESCRIPTION

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PROJECT ID:

1003

DRAWN BY:

AR/AG

PRINT DATE:

7/19/20

SCALE:

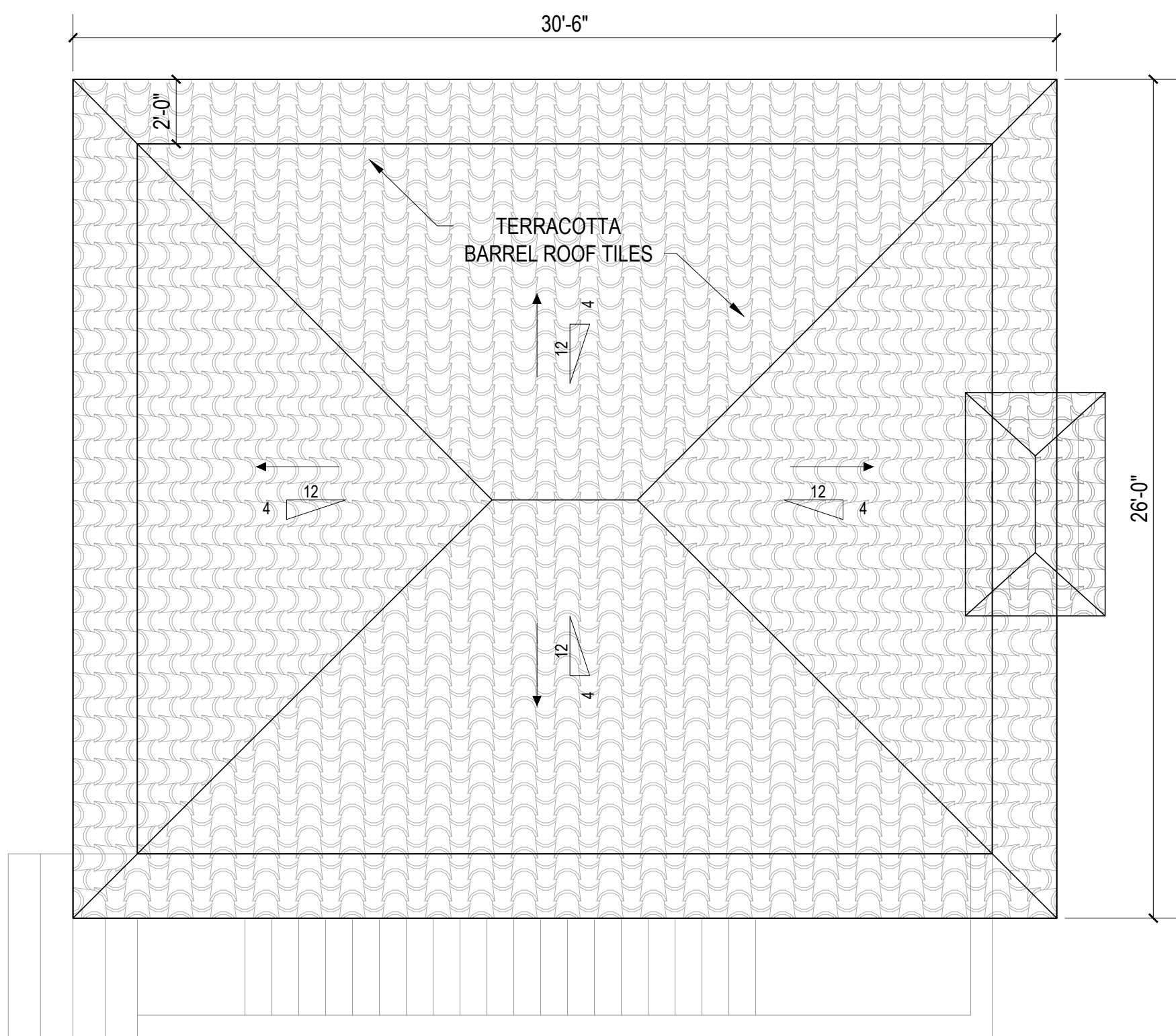
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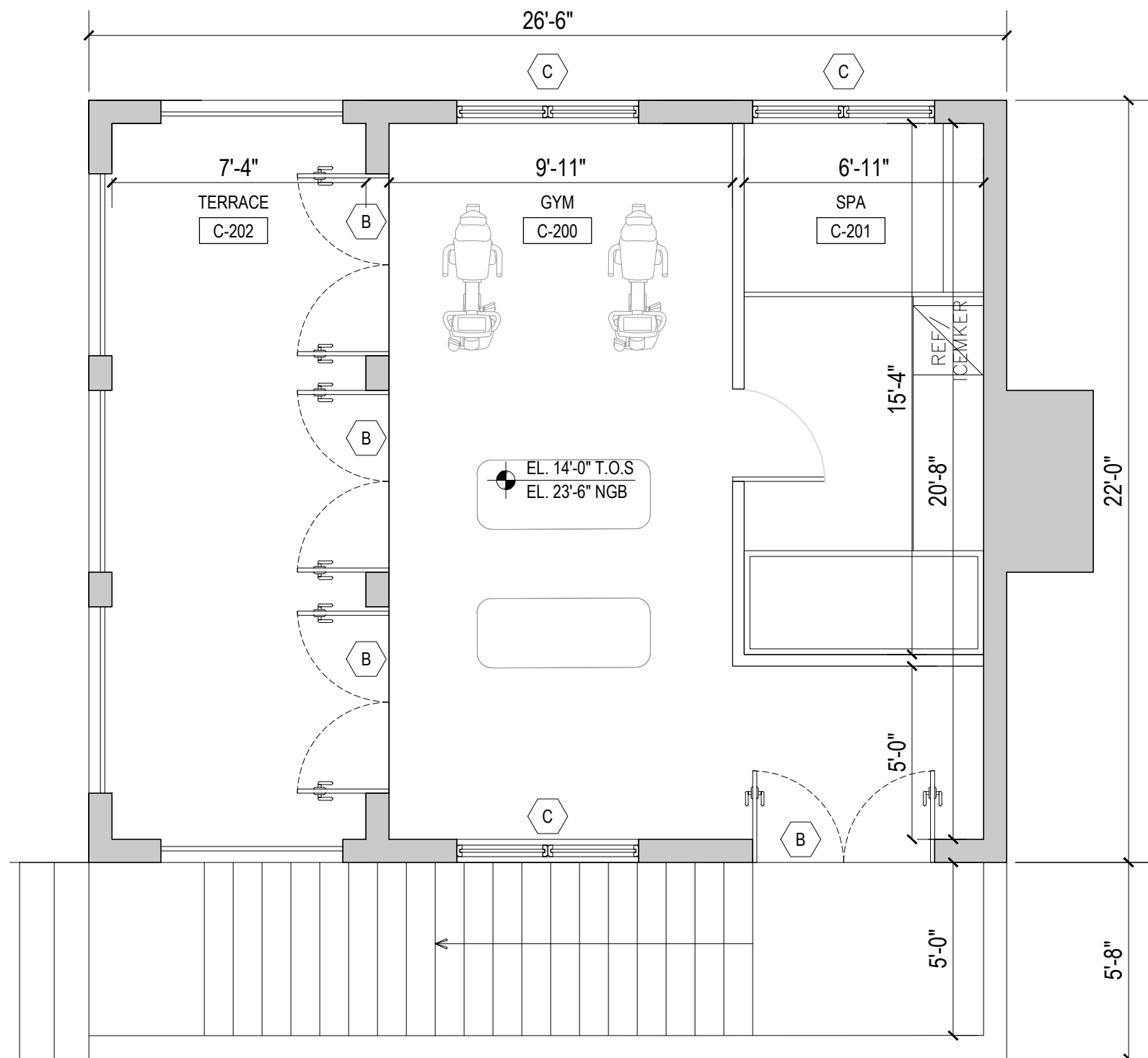
SERVICE WING
FLOOR PLANS

SHEET NO.

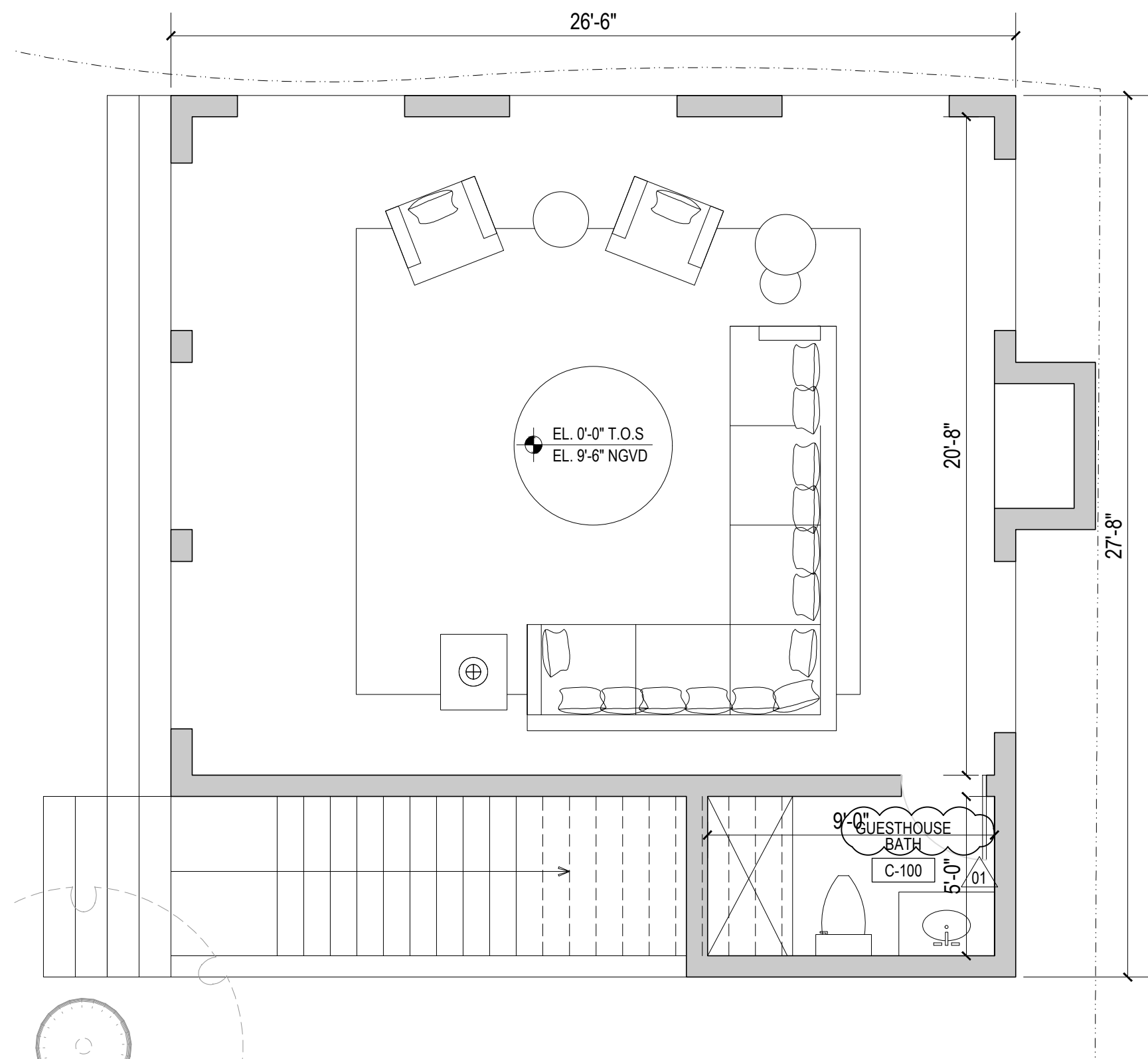
A110



01. GUESTHOUSE ROOF PLAN
Scale: 1/4" = 1'-0"



01. GUESTHOUSE SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



01. GUEST HOUSE FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



STUDIO ANDA

PROJECT TITLE:

LOPEZ RESIDENCE

PROJECT LOCATION:

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):

ANTHONY M. LOPEZ

ARCHITECT:

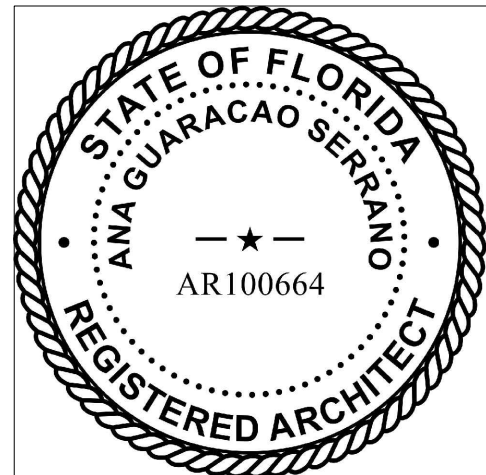
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



02. 01/14/2021 REVISION 2

01. 09/24/2020 REVISION 1

08/10/2020 B.O.A

NO. DATE DESCRIPTION

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PROJECT ID:

1003

DRAWN BY:

AR/AG

PRINT DATE:

7/19/20

SCALE:

1/4"=1'-0"

DRAWING TITLE:

01. GUESTHOUSE
FLOOR PLANS

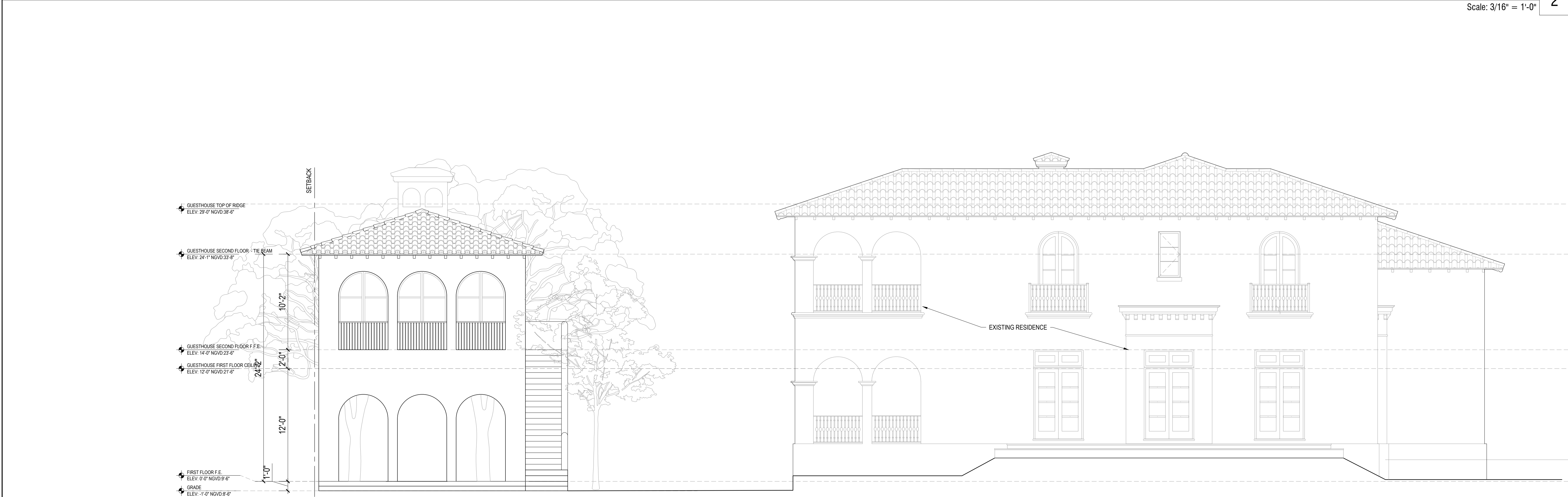
SHEET NO.

A110b



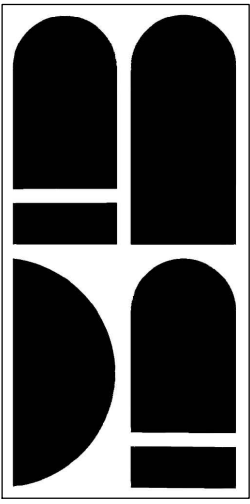
PROPOSED + EXISTING WEST ELEVATION
Scale: 3/16" = 1'-0"

2



PROPOSED + EXISTING NORTH ELEVATION
Scale: 3/16" = 1'-0"

1



STUDIO ANDA

PROJECT TITLE:

LOPEZ RESIDENCE

PROJECT LOCATION:

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):

ANTHONY M. LOPEZ

ARCHITECT:

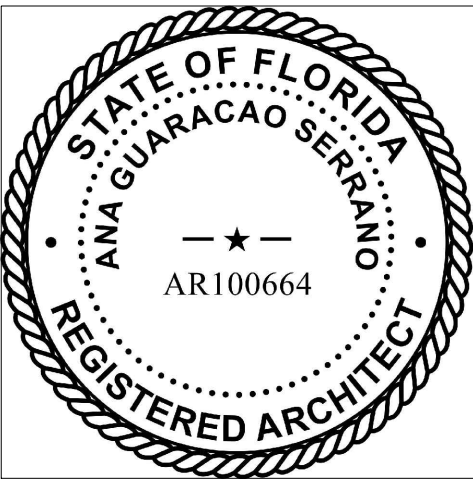
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



02 01/14/2021 REVISION 2

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08/10/2020 B.O.A

NO. DATE DESCRIPTION

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PROJECT ID:

1003

DRAWN BY:

AR/AG

PRINT DATE:

7/19/20

SCALE:

3/16"-1'-0"

DRAWING TITLE:

PROPOSED
ELEVATIONS

SHEET NO.

A200



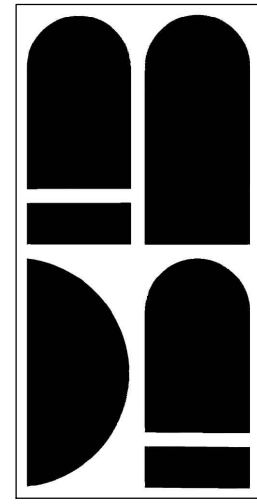
PROPOSED CABANA + EXISTING EAST ELEVATION
Scale: 3/16" = 1'-0"

2



PROPOSED + EXISTING EAST ELEVATION
Scale: 3/16" = 1'-0"

1



STUDIO ANDA

PROJECT TITLE:

LOPEZ RESIDENCE

PROJECT LOCATION:

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):

ANTHONY M. LOPEZ

ARCHITECT:

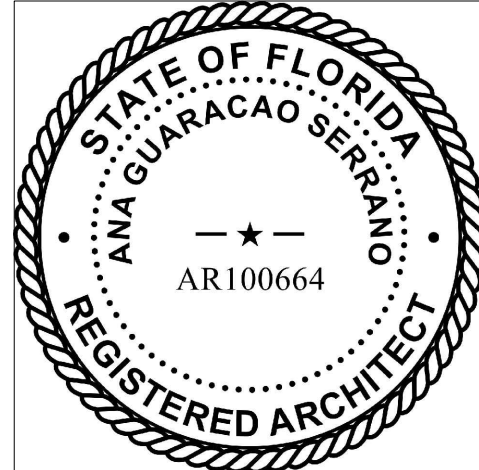
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



01/14/2021 REVISION 2

09/24/2020 REVISION 1

08/10/2020 B.O.A

NO. DATE DESCRIPTION

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PROJECT ID:

1003

DRAWN BY:

AR/AG

PRINT DATE:

7/19/20

SCALE:

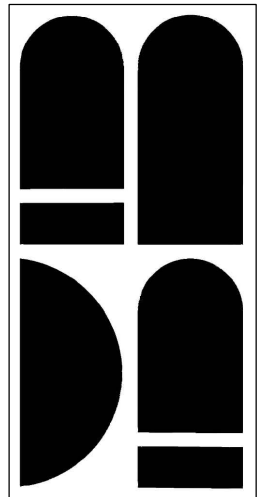
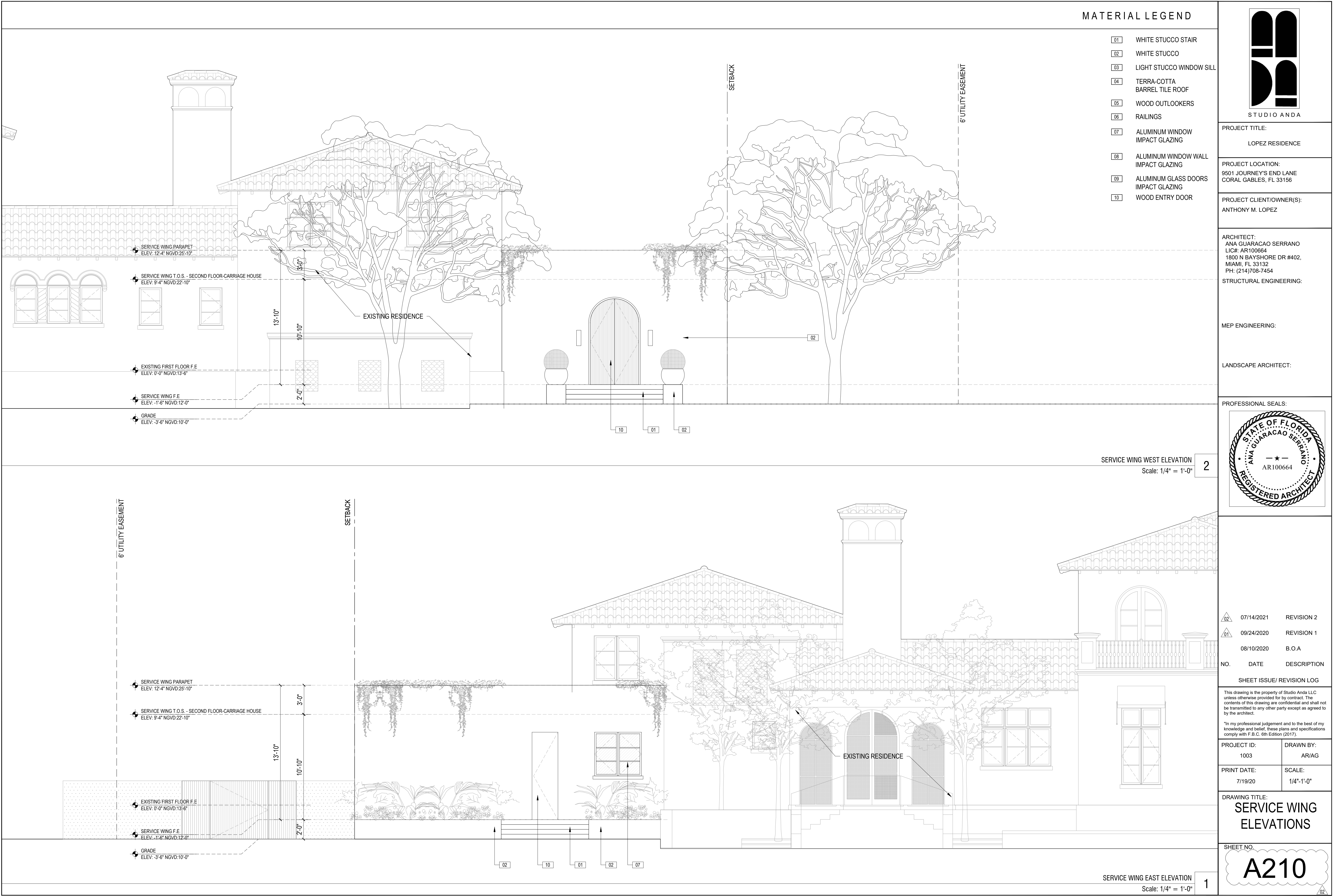
3/16"-1'-0"

DRAWING TITLE:

PROPOSED
ELEVATIONS

SHEET NO.

A201



STUDIO ANDA

PROJECT TITLE:

LOPEZ RESIDENCE

PROJECT LOCATION:

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):

ANTHONY M. LOPEZ

ARCHITECT:

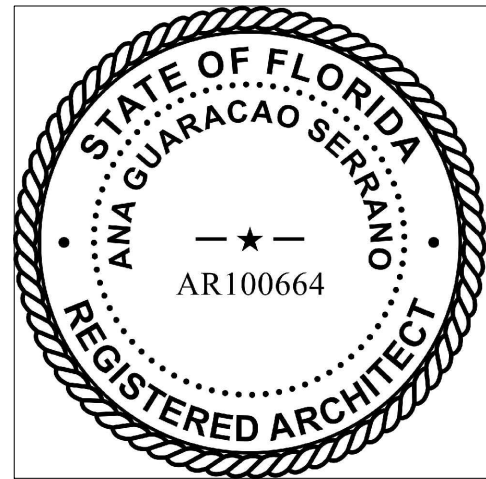
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



02 07/14/2021 REVISION 2

01 09/24/2020 REVISION 1

08/10/2020 B.O.A

NO. DATE DESCRIPTION

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PROJECT ID:

1003

DRAWN BY:

AR/AG

PRINT DATE:

7/19/20

SCALE:

1/4"=1'-0"

DRAWING TITLE:

SERVICE WING
ELEVATIONS

SHEET NO.

A210

PROJECT TITLE:

POPEZ RESIDENCE

PROJECT LOCATION:

9501 JOURNEY'S END LANE
CORAL GABLES, FL 33156

PROJECT CLIENT/OWNER(S):

ANTHONY M. LOPEZ

ARCHITECT

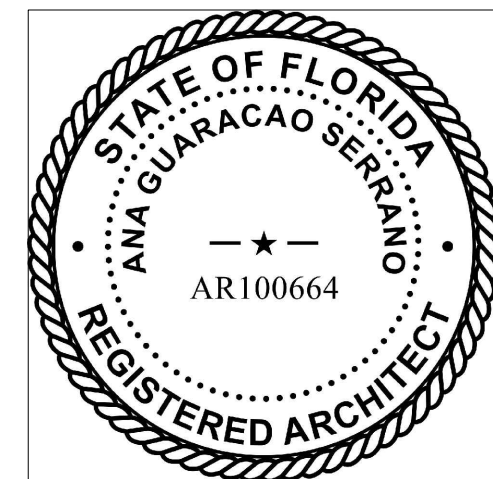
ANA GUARACAO SERRANO
LIC#: AR100664
1800 N BAYSHORE DR #402,
MIAMI, FL 33132
PH: (214)708-7454

STRUCTURAL ENGINEERING

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

PROFESSIONAL SEALS:



02 01/14/2021 REVISION 2

01 09/24/2020 REVISION 1

08/10/2020 B.O.A

NO.	DATE	DESCRIPTION
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PROJECT ID

1003

OWN BY:

AR/AG

PRINT DATE

19/20

LE:

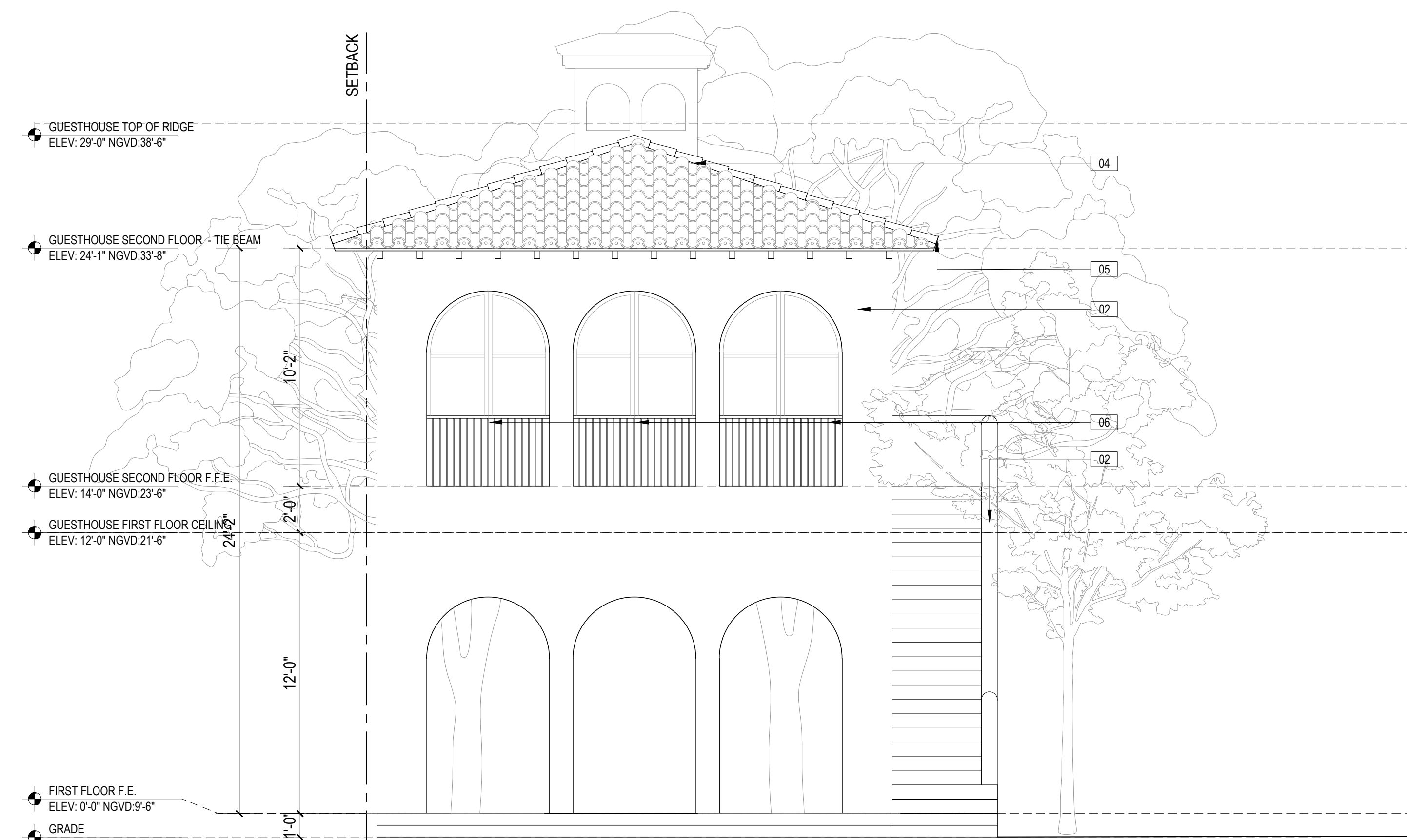
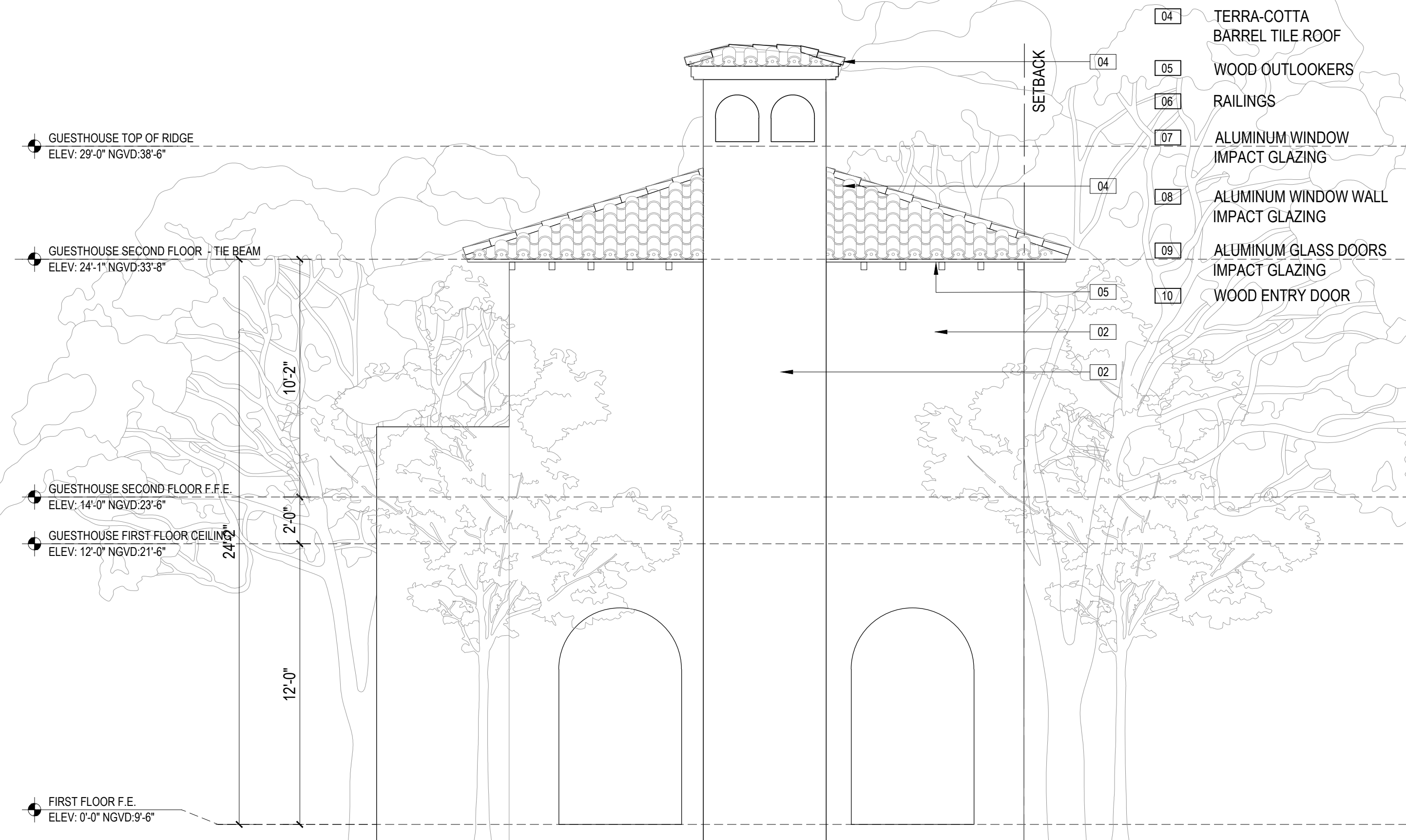
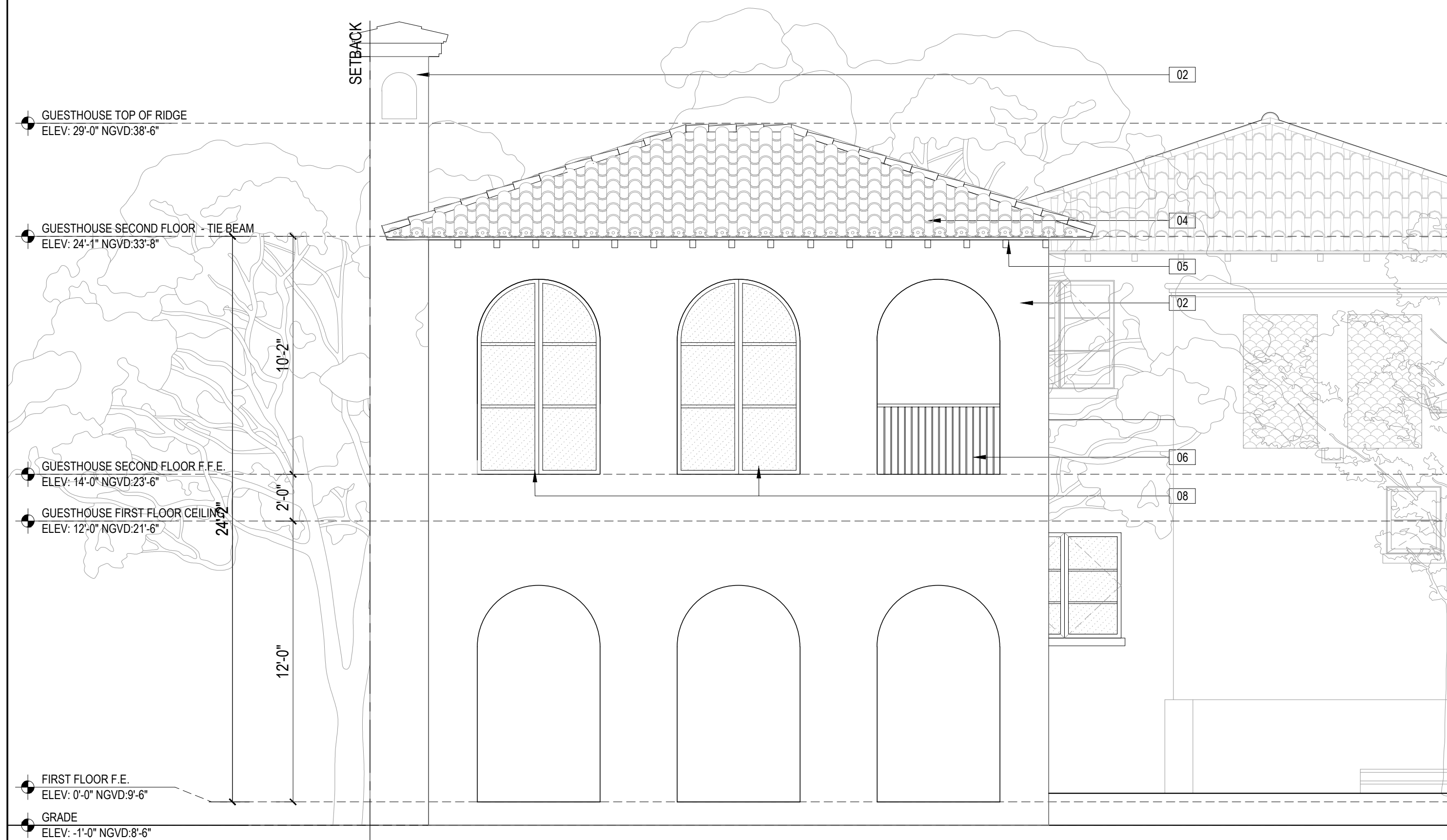
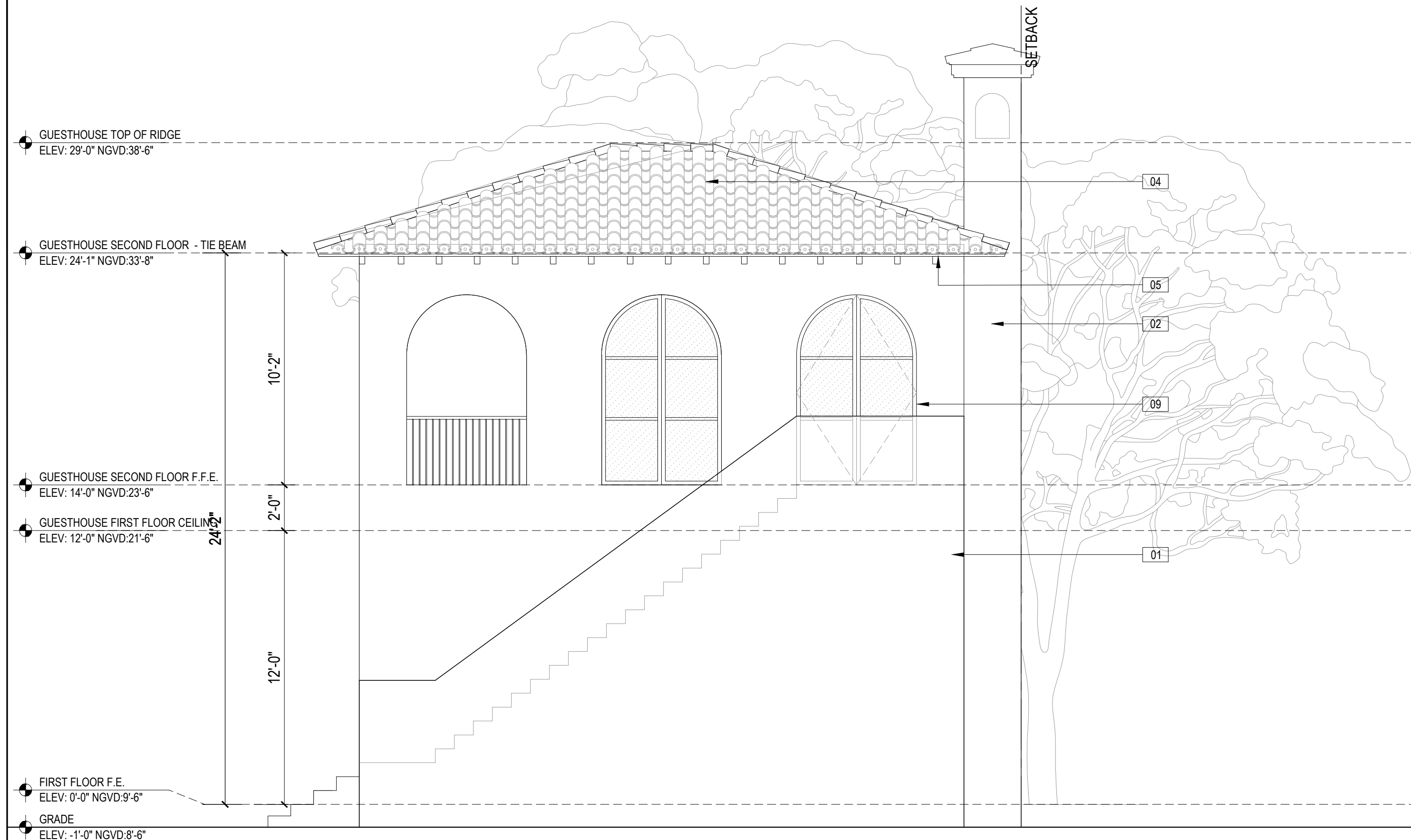
"-1'-0"

DRAWING TITLE:

GUESTHOUSE ELEVATIONS

SHEET_NO.

A210b



GENERAL LANDSCAPE NOTES:

1. SUMMARY

A. The scope of work includes all labor, materials, appliances, tools, equipment, facilities, transportation and services necessary for, and incidental to performing all operations in connection with furnishing, delivery, and installation of plant (also known as "landscaping") complete as shown on the drawings and as specified herein.
2. VERIFICATION

A. All scaled dimensions on the drawings are approximate. Before proceeding with any work, the Contractor shall carefully check and verify all dimensions and quantities, and shall immediately inform the Owner's Representative of any discrepancies between the information on the drawings and the actual conditions, refraining from doing any work in said areas until given approval to do so by the Owner's Representative.
B. In the case of a discrepancy in the plant quantities between the plan drawings and the plant call outs, list or plant schedule, the number of plants or square footage of the planting bed actually drawn on the plan drawings shall be deemed correct and prevail.
3. PERMITS AND REGULATIONS

A. The Contractor shall obtain and pay for all permits related to this section of the work unless previously excluded under provision of the contract or general conditions.
B. The contractor shall perform all work in accordance with all local, state and federal regulations. If the Contractor observes that a conflict exists between permit requirements and the work outlined in the contract documents, the Contractor shall promptly notify the Owner's Representative in writing including a description of any necessary changes and changes to the contract price resulting from changes in the work.
4. PROTECTION OF WORK, PROPERTY AND PERSON

A. The Contractor shall adequately protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions.
5. CHANGES IN THE WORK

A. The Owner's Representative may order changes in the work, and the contract sum should be adjusted accordingly. All such orders and adjustments plus claims by the Contractor for extra compensation must be made and approved in writing before executing the work involved.
6. CORRECTION OF WORK

A. The Contractor, at their own cost, shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative, at the soonest as possible time that can be coordinated with other work and seasonal weather demands.
7. OBSERVATION OF WORK

A. Contractor shall provide digital photographic documentation during installation for Owner's Representative review, daily.
B. The Owner's Representative may observe the work at any time. They may remove samples of materials for conformity to specifications. Rejected materials shall be immediately removed from the site and replaced at the Contractor's expense. The cost of testing materials not meeting specifications shall be paid by the Contractor.
C. Contractor shall field stake the location of all plant material prior to initiating installation for the review and approval of the Owner and/or Landscape Architect.
D. The Owner's Representative shall be informed of the progress of the work so the work may be observed at the following key times in the construction process. The Owner's Representative shall be afforded sufficient time to schedule visit to the site. Failure of the Owner's Representative to make field observations shall not relieve the Contractor from meeting all the requirements of this specification.

1. SITE CONDITIONS PRIOR TO THE START OF PLANTING: review the soil and drainage conditions.
2. COMPLETION OF THE PLANT LAYOUT STAKING: Review of the plant layout.
3. PLANT QUALITY: Review of plant quality at the time of delivery and prior to installation. Review tree quality prior to unloading where possible, but in all cases prior to planting.
4. INSTALLATION OF TREES: Oversee tree installation to specify desired rotation and tilt of each tree.
5. COMPLETION OF THE PLANTING: Review the completed planting.
8. PRE-CONSTRUCTION CONFERENCE

A. Schedule a pre-construction meeting with the Owner's Representative at least seven (7) days before beginning work to review any questions the Contractor may have regarding the work, administrative procedures during construction and project work schedule.
9. QUALITY ASSURANCE

A. Substantial Completion Acceptance - Acceptance of the work prior to the start of the warranty period:

1. Once the Contractor completes the installation of all items in this section, the Owner's Representative will observe all work for Substantial Completion Acceptance upon written request of the Contractor. The request shall be received at least ten calendar days before the anticipated date of the observation.
2. Substantial Completion Acceptance by the Owner's Representative shall be for general conformance to specified size, character and quality and not relieve the Contractor of responsibility for full conformance to the contract documents, including correct species.
3. Any plants that are deemed defective as defined under the provisions below shall not be accepted.
B. The Owner's Representative will provide the Contractor with written acknowledgment of the date of Substantial Completion Acceptance and the beginning of the warranty period.
C. Installer Qualifications: The installer shall be a firm having at least 5 years of successful experience of a scope similar to that required for the work, including the handling and planting of large specimen trees in urban areas. The same firm shall install planting soil (where applicable) and plant material.

1. The bidders list for work under this section shall be approved by the Owner's Representative.
2. Installer Field Supervision: When any planting work is in progress, installer shall maintain, on site, a full-time supervisor who can communicate in English with the Owner's Representative.
3. Installer's field supervisor shall have a minimum of five years experience as a field supervisor installing plants and trees of the quality and scale of the proposed project, and can communicate in English with the Owner's Representative.
4. The installer's crew shall have a minimum of 3 years experienced in the installation of Planting Soil, Plantings, and Irrigation (where applicable) and interpretation of soil plans, planting plans and irrigation plans.
5. Submit references of past projects, employee training certifications that support that the Contractors meets all of the above installer qualifications and applicable licensures.
10. PLANT WARRANTY

A. Plant Warranty:

1. The Contractor is responsible to ensure proper watering and maintenance of new and relocated materials during the warranty period.
2. The Contractor agrees to replace defective work and defective plants. The Owner's Representative shall make the final determination if plants meet these specifications or that plants are defective.
3. The Contractor shall be responsible for the guarantee of all plant material for a period of twelve (12) months from the date of substantial completion. Substantial completion constitutes the beginning of guarantee period.
11. SELECTION AND OBSERVATION OF PLANTS

A. All planting materials shall meet or exceed Florida Grade # 1 as specified in Grades and Standards for Nursery Plants and Part II, Palms and Trees, current edition.
B. The Owner's Representative may review all plants subject to approval of size, health, quality, character, etc. Review or approval of any plant during the process of selection, delivery, installation and establishment period shall not prevent that plant from later rejection in the event that the plant quality changes or previously existing defects become apparent that were not observed.
C. Plant Selection: The Owner's Representative reserves the right to select and observe all plants at the nursery prior to delivery and to reject plants that do not meet specifications as set forth in this specification. If a particular defect or substandard element can be corrected at the nursery, as determined by the Owner's Representative, the agreed upon remedy may be applied by the nursery or the Contractor provided that the correction allows the plant to meet the requirements set forth in this specification. Any work to correct plant defects shall be at the contractor's expense.

1. The Owner's Representative may make invasive observation of the plant's root system in the area of the root collar and the top of the root ball in general in order to determine that the plant meets the quality requirements for depth of the root collar and presence of roots above the root collar. Such observations will not harm the plant.
2. Corrections are to be undertaken at the nursery prior to shipping.

D. The Contractor shall bear all cost related to plant corrections.
E. All plants that are rejected shall be immediately removed from the site and acceptable replacement plants provided at no cost to the Owner.
F. Where requested by the Owner's Representative, submit photographs of plants or representative samples of plants. Photographs shall be legible and clearly depict the plant specimen. Each submitted image shall contain a height reference, such as a measuring stick. The approval of plants by the Owner's Representative via photograph does not preclude the Owner's Representative's right to reject material while on site.
12. PLANT SUBSTITUTIONS FOR PLANTS NOT AVAILABLE

A. Submit all requests for substitutions of plant species, or size to the Owner's Representative, for approval, prior to purchasing the proposed substitution. Request for substitution shall be accompanied with a list of nurseries contacted in the search for the required plant and a record of other attempts to locate the required material. Requests shall also include sources of plants found that may be of a smaller or larger size, or a different shape or habit than specified, or plants of the same genus and species but different cultivar origin, or which may otherwise not meet the requirements of the specifications, but which may be available for substitution.
13. SITE CONDITIONS

A. It is the responsibility of the Contractor to be aware of all surface and sub-surface conditions, and to notify the Owner's Representative, in writing, of any circumstances that would negatively impact the health of plantings ie., compacted soil / subgrade, poor drainage, unconsolidated soil, erosion, insufficient rooting space. Do not proceed with work until unsatisfactory conditions have been corrected.
B. Should subsurface drainage or soil conditions be encountered which would be detrimental to growth or survival of plant material, the Contractor shall notify the Owner's Representative in writing, stating the conditions and submit a proposal covering cost of corrections. If the Contractor fails to notify the Owner's Representative of such conditions, he/she shall remain responsible for plant material under the warranty clause of the specifications.
C. It is the responsibility of the Contractor to be familiar with the local growing conditions, and if any specified plants will be in conflict with these conditions. Report any potential conflicts, in writing, to the Owner's Representative.
14. PLANTING AROUND UTILITIES

A. Contractor shall carefully examine the civil, record, and survey drawings to become familiar with the existing underground conditions before digging.
B. Determine location of underground utilities and perform work in a manner that will avoid possible damage. Hand excavate, as required. Maintain grade stakes set by others until parties concerned mutually agree upon removal.

ABBREVIATIONS LIST

APPROX	APPROXIMATE
ARCH	ARCHITECT
AVG	AVERAGE
B&B	BALLED AND BURLAPPED
BC	BOTTOM OF CURB
BLDG	BUILDING
BM	BENCHMARK
BOC	BACK OF CURB
BR	BOTTOM OF RAMP
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
CAL	CALIPER
CB	CATCH BASIN
CF	CUBIC FEET
CIP	CAST IN PLACE
CL	CENTER LINE
CLR	CLEARANCE
CM	CENTIMETER
CO	CLEAN OUT
CONT	CONTINUOUS
CY	CUBIC YARD
DEG	DEGREE
DEMO	DEMOLISH, DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DET	DETAIL
DWG	DRAWING
E	EAST
EA	EACH
EI	ELEVATION
ENG	ENGINEER
EQ	EQUAL
EST	ESTIMATE
E.W.	EACH WAY
EXIST	EXISTING
EXP	EXPANSION, EXPOSED
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FI	FLOW LINE
FOC	FACE OF CURB
FT	FOOT(FEET)
FTG	FOOTING
G	GALLON
GA	GAUGE
GEN	GENERAL
GR	GRADE ELEVATION
HORIZ	HORIZONTAL
HP	HIGH POINT
HT	HEIGHT
ID	INSIDE DIAMETER
INV	INVERT ELEVATION
IN	INCH(ES)
INCL	INCLUDE(D)
JT	JOINT
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
MISC	MISCELLANEOUS
N	NORTH
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
PC	POINT OF CURVATURE
PE	POLYURETHANE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PT	POINT, POINT OF TANGENCY
PVC	POLY VINYL CHOLRIDE
QTY	QUANTITY
R	RADIUS
REF	REFERENCE
REINF	REINFORCED
REQ'D	REQUIRED
REV	REVISION, REVISED
ROW	RIGHT OF WAY
S	SOUTH
SAN	SANITARY
SD	STORM DRAIN
SF	SQUARE FOOT (FEET
SHT	SHEET
SIM	SIMILAR
SPECS	SPECIFICATIONS
ST	STORM SEWER
SY	SQUARE YARD
STA	STATION
STD	STANDARD
SYM	SYMMETRICAL
T&B	TOP AND BOTTOM
TBC	TOP OF BACK OF CURB
TC	TOP OF CURB
TF	TOP OF FOOTING
TH	THICK
TOPO	TOPOGRAPHY
TR	TOP OF RAMP
TS	TOP OF STEP
TW	TOP OF WALL
TYP	TYPICAL
V	VARIABLES
VOL	VOLUME
W/	WITH
W/O	WITHOUT
WT	WEIGHT
WL	WATER LEVEL
WWF	WELDED WIRE FABRIC
YD	YARD
@	AT

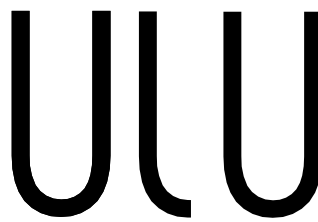
Journey's End Residence

9501 Journey's End Ln
Coral Gables, Site State/Province

SUBMITTAL TYPE:

CONSTRUCTION DOCUMENTS

PREPARED BY:



1330 West Ave, ste 512
Miami Beach FL, 33139
(786) 564 - 5337

ULU STUDIO LLC

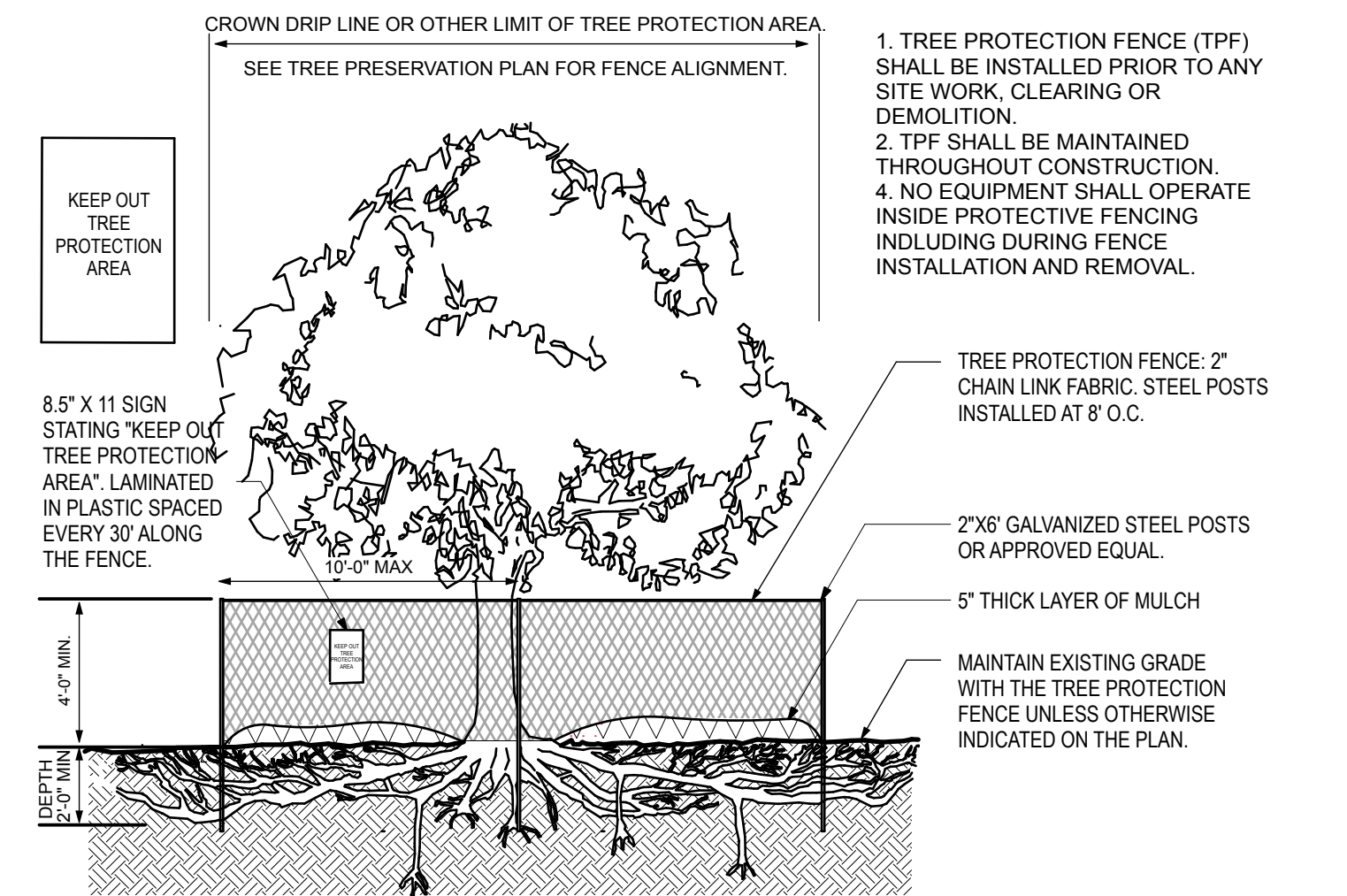
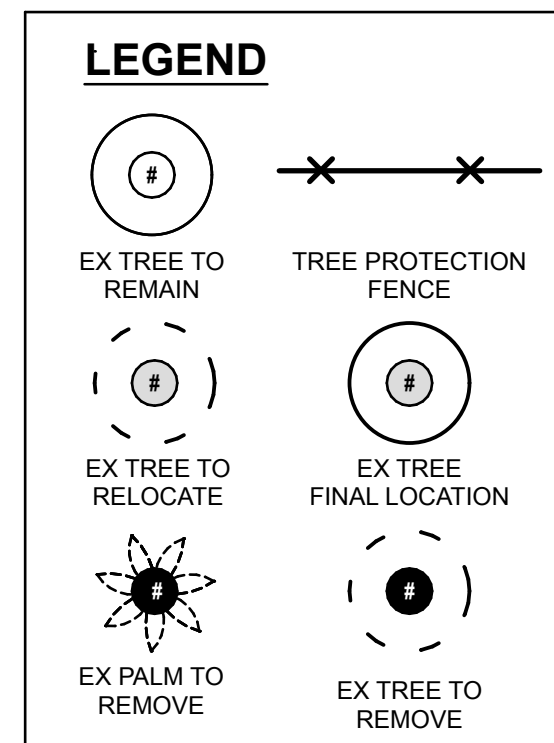
PREPARED FOR:

ANTHONY LOPEZ



SHEET INDEX

- L-0 Cover Sheet
- L-1 Tree Protection & Removal Plan
- L-2 Tree Disposition Schedules
- L-3 Landscape Plan
- L-4 Perspective 1: Entry View
- L-5 Perspective 2: Alle view
- L-6 Perspective 3: Cabana View
- L-7 Perspective 4: Pool View
- L-8 Perspective 6: Pool View
- L-9 Perspective 7: Terrace View



1 Tree Protection Detail

NOT TO SCALE

NOTE:
All Palms on site shall be removed to achieve desired formal mediterranean landscape design.

TOTAL CANOPY REMOVED = 12,866 SQFT
TOTAL MITIGATION PROVIDED = 15,300 SQFT
15 Large trees: 15 Oaks :: 7,500 sqft
21 Medium trees: 21 Brazilian Beautleaf :: 6,400 sqft
7 Small Trees: 1 Angel's Trumpet, 5 Spanish Stoppers, 1 Simpson's Stopper :: 1,400 sqft

Existing Trees to Relocate						
ID	Botanical Name	Common Name	DBH	Height	Spr.	Remarks
T-1	Quercus virginiana	Southern Live Oak	24"	40'	40'	
T-116	Terminalia buceras	Black Olive	22"	45'	35'	
T-14	Quercus virginiana	Southern Live Oak	36"	45'	40'	
T-9	Quercus virginiana	Southern Live Oak	16"	40'	24'	
Site Ex Trees to Remain						
ID	Botanical Name	Common Name	DBH	Height	Spr.	Remarks
201	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'	
202	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'	
203	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'	
204	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'	
205	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'	
T-114	Terminalia buceras	Black Olive	24"	45'	45'	
T-115	Terminalia buceras	Black Olive	22"	45'	35'	
T-118	Bursera simaruba	Gumbo Limbo	18"	30'	30'	
T-2	Tabebuia chrysotricha	Yellow Tabebuia	24"	30'	28'	
T-3	Bursera simaruba	Gumbo Limbo	24"	35'	25'	
T-4	Bursera simaruba	Gumbo Limbo	24"	35'	25'	
T-5	Almond		29"	40'	30'	
T-68	Swietenia mahogani	Mahogany	36"	40'	37'	
T-72	Swietenia mahogani	Mahogany	24"	45'	25'	
T-75	Seagrape		11"	45'	22'	
T-763	Buttonwood		14"	35'	25'	
T-76A	Bursera simaruba	Gumbo Limbo	16"	40'	25'	
T-77	Almond		18"	45'	25'	
T-80	Bursera simaruba	Gumbo Limbo	24"	45'	35'	
T-81	Bursera simaruba	Gumbo Limbo	11"	50'	35'	
T-84	Almond		12"	37'	32'	
* REFER TO SHEET L-2 FOR TREE REMOVAL CHART						

Existing Trees to be Removed						Existing Trees to be Removed						Existing Trees to be Relocated					
ID	Botanical Name	Common Name	DBH	Height	Sprd.	ID	Botanical Name	Common Name	DBH	Height	Sprd.	ID	Botanical Name	Common Name	DBH	Height	Sprd.
C-100	Cocos nucifera	Coconut Palm	12"	50'	20'	P-130	Phoenix canariensis	Canary Island Palm	20"	18'	20'	T-1	Quercus virginiana	Southern Live Oak	24"	40'	40'
C-101	Cocos nucifera	Coconut Palm	12"	40'	20	P-15	Bismarckia nobilis	Bismarck Palm	16"	30'	15'	T-116	Terminalia buceras	Black Olive	22"	45'	35'
C-102	Cocos nucifera	Coconut Palm	10"	30'	20'	P-16	Bismarckia nobilis	Bismarck Palm	14"	30'	15'	T-14	Quercus virginiana	Southern Live Oak	36"	45'	40'
C-103	Cocos nucifera	Coconut Palm	8"	35'	20'	P-18	Hyophorbe lagenicaulis	Bottle Palm	12"	7'	5'	T-9	Quercus virginiana	Southern Live Oak	16"	40'	24'
C-104	Cocos nucifera	Coconut Palm	10"	40'	20'	P-19	Bismarckia nobilis	Bismarck Palm	10"	28'	15'						
C-105	Cocos nucifera	Coconut Palm	8"	30'	20'	P-20	Archontophoenix alexandrae	Alexander Palm	Cluster	20'	20'	Existing Trees To Remain					
C-106	Cocos nucifera	Coconut Palm	11"	40'	20'	P-21	Bismarckia nobilis	Bismarck Palm	11"	25'	28'	ID	Botanical Name	Common Name	DBH	Height	Sprd.
C-107	Cocos nucifera	Coconut Palm	14"	33'	20'	P-22	Archontophoenix alexandrae	King Alexander Palm	10"	30'	12'	201	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'
C-108	Cocos nucifera	Coconut Palm	10"	20'	20'	P-23.	Archontophoenix alexandrae	King Alexander Palm	6"	27'	12'	202	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'
C-109	Cocos nucifera	Coconut Palm	10"	35'	20'	P-24	Archontophoenix alexandrae	King Alexander Palm	7"	35'	12'	203	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'
C-109	Cocos nucifera	Coconut Palm	7"	20'	15'	P-25	Archontophoenix alexandrae	King Alexander Palm	7"	35'	12'	204	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'
C-110	Cocos nucifera	Coconut Palm	7"	20'	20'	P-26	Archontophoenix alexandrae	King Alexander Palm	7"	35'	12'	205	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'
C-112	Cocos nucifera	Coconut Palm	10"	15'	40'	P-27	Archontophoenix alexandrae	King Alexander Palm	6"	35'	12'	T-114	Terminalia buceras	Black Olive	24"	45'	45'
C-113	Cocos nucifera	Coconut Palm	10"	20'	18'	P-29	Bismarckia nobilis	Bismarck Palm	17"	30'	15'	T-115	Terminalia buceras	Black Olive	22"	45'	35'
C-117	Cocos nucifera	Coconut Palm	10"	20'	30'	P-29	Bismarckia nobilis	Bismarck Palm	20"	35'	20'	T-118	Bursera simaruba	Gumbo Limbo	18"	30'	30'
C-28	Cocos nucifera	Coconut Palm	10"	40'	20'	P-31	Archontophoenix alexandrae	King Alexander Palm	8"	35'	18'	T-2	Tabebuia chrysotricha	Yellow Tabebuia	24"	30'	28'
C-42	Cocos nucifera	Coconut Palm	12"	30'	20'	P-32	Archontophoenix alexandrae	King Alexander Palm	5"	25'	10'	T-3	Bursera simaruba	Gumbo Limbo	24"	35'	25'
C-43	Cocos nucifera	Coconut Palm	12"	40'	20'	P-35	Archontophoenix alexandrae	King Alexander Palm	Cluster	20'	20'	T-4	Bursera simaruba	Gumbo Limbo	24"	35'	25'
C-44	Cocos nucifera	Coconut Palm	8"	30'	20'	P-36	Archontophoenix alexandrae	King Alexander Palm	8"	45'	15'	T-5		Almond	29"	40'	30'
C-47	Cocos nucifera	Coconut Palm	8"	20'	20'	P-37	Archontophoenix alexandrae	King Alexander Palm	8"	45'	15'	T-68	Swietenia mahogani	Mahogany	36"	40'	37'
C-7	Cocos nucifera	Coconut Palm	12"	20'	20'	P-38	Archontophoenix alexandrae	King Alexander Palm	5"	25'	10'	T-72	Swietenia mahogani	Mahogany	24"	45'	25'
C-74	Cocos nucifera	Coconut Palm	10"	35'	18'	P-39	Archontophoenix alexandrae	King Alexander Palm	7"	40'	15'	T-75		Seagrape	11"	45'	22'
C-78	Cocos nucifera	Coconut Palm	12"	27'	22'	P-40	Archontophoenix alexandrae	King Alexander Palm	7"	45'	15'	T-763		Buttonwood	14"	35'	25'
C-8	Cocos nucifera	Coconut Palm	8"	45'	20'	P-41	Bismarckia nobilis	Bismarck Palm	18"	5'	18'	T-76A	Bursera simaruba	Gumbo Limbo	16"	40'	25'
C-86	Cocos nucifera	Coconut Palm	11"	30'	20'	P-45	Bismarckia nobilis	Bismarck Palm	20"	20'	20'	T-77		Almond	18"	45'	25'
C-87	Cocos nucifera	Coconut Palm	8"	22'	20'	P-49	Phoenix canariensis	Canary Island Palm	30"	20'	20'	T-80	Bursera simaruba	Gumbo Limbo	24"	45'	35'
C-87A	Cocos nucifera	Coconut Palm	8"	17'	25'	P-52	Phoenix canariensis	Canary Island Palm	30"	25'	20'	T-81	Bursera simaruba	Gumbo Limbo	11"	50'	35'
C-88	Cocos nucifera	Coconut Palm	8"	10'	30'	P-53	Phoenix canariensis	Canary Island Palm	30"	20'	20'	T-84		Almond	12"	37'	32'
C-90	Cocos nucifera	Coconut Palm	10"	35'	20'	P-6	Phoenix canariensis	Canary Island Palm	20"	18'	20'						
C-91	Cocos nucifera	Coconut Palm	6"	25'	20'	P-6	Phoenix canariensis	Canary Island Palm	26"	23'	20'						
C-92	Cocos nucifera	Coconut Palm	12"	45'	20'	P-85	Bismarckia nobilis	Bismarck Palm	8"	10'	16'						
C-95	Cocos nucifera	Coconut Palm	6"	20'	20'	P-85	Bismarckia nobilis	Bismarck Palm	8"	25'	10'						
C-97	Cocos nucifera	Coconut Palm	10"	25'	20'	T-119	Bursera simaruba	Gumbo Limbo	16"	28'	20'						
C-98	Cocos nucifera	Coconut Palm	8"	25'	18"	T-30	Dimocarpus longan	Longan (fruit tree)		35'	30'						
C-99	Cocos nucifera	Coconut Palm	8"	30'	18'	T-69		African Fern Pine	10"	35'	20'						
P-120	Archontophoenix alexandrae	Kind Alexander Palm	6"	35'	12'	T-76		Umbrella	12"	40'	18'						
P-121	Bismarckia nobilis	Bismarck Palm	10"	27'	6'	T-82		Screw Pine	7"	20'	10'						

PLANTING REQUIREMENTS

TOTAL LOT AREA: 66,180 sqft

LARGE SHADE TREES

REQUIRED : 14
PROVIDED : 15

15 Live Oaks

MEDIUM SHADE TREES

REQUIRED : 28
PROVIDED : 28

21 Brazilian Beautyleaf

6 Ex Gumbo Limbos
1 Ex Yellow Tabebuia

SHRUBS

REQUIRED: 210
PROVIDED: 1,127

155 Dwarf Holly

72 Dwarf Simpson's Stopper
900 Bahama Coffee

LAWN

MAX ALLOWED: 39,708 sqft
PROVIDED: 18,300 sqft



Existing Trees to Relocate						
ID	Botanical Name	Common Name	DBH	Height	Spr.	Remarks
T-1	Quercus virginiana	Southern Live Oak	24"	40'	40'	
T-116	Terminalia buceras	Black Olive	22"	45'	35'	
T-14	Quercus virginiana	Southern Live Oak	36"	45'	40'	
T-9	Quercus virginiana	Southern Live Oak	16"	40'	24'	

Site Ex Trees to Remain						
ID	Botanical Name	Common Name	DBH	Height	Spr.	Remarks
201	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'	
202	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'	
203	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'	
204	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'	
205	Myrthianthes fragrans	Simpson's Stopper	18"	12'	10'	
T-114	Terminalia buceras	Black Olive	24"	45'	45'	
T-115	Terminalia buceras	Black Olive	22"	45'	35'	
T-118	Bursera simaruba	Gumbo Limbo	18"	30'	30'	
T-2	Tabebuia chrysotricha	Yellow Tabebuia	24"	30'	28'	
T-3	Bursera simaruba	Gumbo Limbo	24"	35'	25'	
T-4	Bursera simaruba	Gumbo Limbo	24"	35'	25'	
T-5	Almond		29"	40'	30'	
T-68	Swietenia mahogani	Mahogany	36"	40'	37'	
T-72	Swietenia mahogani	Mahogany	24"	45'	25'	
T-75		Seagrape	11"	45'	22'	
T-763		Buttonwood	14"	35'	25'	
T-76A	Bursera simaruba	Gumbo Limbo	16"	40'	25'	
T-77		Almond	18"	45'	25'	
T-80	Bursera simaruba	Gumbo Limbo	24"	45'	35'	
T-81	Bursera simaruba	Gumbo Limbo	11"	50'	35'	
T-84		Almond	12"	37'	32'	

Tree Schedule										
Symbol	ID	Qty	Botanical Name	Common Name	Cal	Height	Spr.	Native	Remarks	
	BW	1	Brugmansia 'White'	White Angel's Trumpet	2"	12'	10'	N		
	CS	5	Citrus sp	Orange Tree	1.5"	8'	4'	N		
	EF	5	Eugenia foetida	Spanish Stopper	2"	12'	6'	Y		
	IC	21	Calophyllum brasiliense	Brazilian Beautyleaf	4"	16'	10'	N		
	M	3	Magnolia grandiflora	Southern Magnolia	3"	20'	8'	Y		
	MF	1	Myrcianthes fragrans	Simpson's Stopper	1.5"	12'	10'	Y		
	PM	101	Podocarpus macrophyllus	Podocarpus	1.5"	8'	4'	N		
	QV	15	Quercus virginiana	Oak Tree	18"	30'	16'	Y		

Shrub Schedule										
Symbol	ID	Qty	Botanical Name	Common Name	Size	Height	Spr.	Spac.	Native	Remarks
	IVA	155	Ilex vomitoria 'nana'	Dwarf Holly	7g-30g				Y	2'; 3'; 4' topiary globes
	MF	8	Myrcianthes fragrans 'compacta'	Dwarf Simpson's Stopper	15g	4'	4'		Y	
	PM	584	Podocarpus macrophyllus	Podocarpus	45g	8'	4'		N	

Site Groundcover Schedule										
Symbol	ID	Qty	Botanical Name	Common Name	Size	Height	Spr.	Spac. (in)	Native	Remarks
	Mf	64	Myrcianthes fragrans 'compacta'	Simpson's Stopper	7g	24"	18"	21	Y	
	PI	900	Psychotria ligustrifolia	Bahama Coffee	7g	24"-36"	24"-36"	24	Y	Bush
	Ta	8,222	Trachelospermum asiaticum	Asiatic Jasmine	1g	6"	12"	12	N	
	sj	1,142	Serissa foetida	Snow Rose	3g	18"	18"	18	N	











