

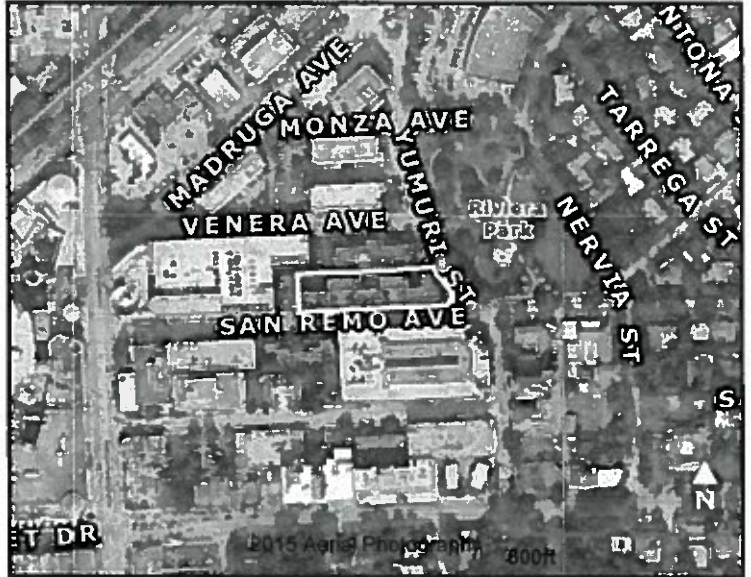


OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 9/10/2015

Property Information	
Folio:	03-4130-033-0001
Property Address:	
Owner	REFERENCE ONLY
Mailing Address	
Primary Zone	0300 SINGLE FAMILY - 751-900 S
Primary Land Use	0000 REFERENCE FOLIO
Beds / Baths / Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	0 Sq.Ft
Living Area	0 Sq.Ft
Adjusted Area	0 Sq.Ft
Lot Size	0 Sq.Ft
Year Built	0



Assessment Information			
Year	2015	2014	2013
Land Value	\$0	\$0	\$0
Building Value	\$0	\$0	\$0
XF Value	\$0	\$0	\$0
Market Value	\$0	\$0	\$0
Assessed Value	\$0	\$0	\$0

Benefits Information				
Benefit	Type	2015	2014	2013
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description
VILLA SAN REMO CONDO
CORAL GABLES RIVIERA SEC 14
2ND REV PB 28-32
LOTS 17 THRU 24 BLK 203
AS DESC IN DEC OR 23355-3786

Taxable Value Information			
	2015	2014	2013
County			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
School Board			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
City			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
Regional			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:

CITY'S

EXHIBIT 1



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

4/1/2014

VIA CERTIFIED MAIL

VILLA SAN REMO CONDO C/O CLEAR SKY PROPERTY MANAGEMENT
2929 SW 3RD AVE SUITE 412
MIAMI, FL 33129

91 7108 2133 3932 6007 6667

RE: 1515 SAN REMO, CORAL GABLES, FL
Folio # 03-4130-033-0001
Recertification of Building 40 Years or older

Gentlemen:

This Department has been advised that the subject building is forty (40) years old, or older, having been built in year 1964.

In accordance with the Miami-Dade County Code, Chapter 8, Section 8-11(f), a Florida Registered Architect or Professional Engineer must inspect said building and a report must be furnished to this Department with ninety (90) days from the date of this letter, indicating that the building meets the requirements of building recertification under the Code. In the event that repairs or modifications are found to be necessary resulting from the recertification inspection, the owner shall have a total of 150 days from the date of this Notice in which to complete indicted repairs or modifications.

The architect or engineer that you choose to do the inspection may obtain the required forms: "*Minimum Inspection Procedural Guidelines for Building Recertification*," from this link: <http://www.miamidade.gov/building/form-checklist.asp> to access the interactive structural and electrical forms. In addition to the forms, a cover letter must state that the property meets the requirement for building recertification; no additional documents or photographs are necessary.

The certification report, along with the filing fee in the amount of \$380.63; plus, \$2.45 per page document preservation fee must be paid with a check, or credit card payment to the "City of Coral Gables," and sent/delivered to:

**BUILDING RECERTIFICATION SECTION
Coral Gables Building & Zoning Department
405 Biltmore Way
Coral Gables, FL 33134**

Any questions may be directed to (305) 460-5228. Thank you for your prompt consideration.

Sincerely,

Manuel Z. Lopez

Manuel Z. Lopez, P.E.
Building Official

CITY'S

EXHIBIT 2



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

7/22/2014

VILLA SAN REMO CONDO C/O CLEAR SKY PROPERTY MANAGEMENT
2929 SW 3RD AVE SUITE 412
MIAMI, FL 33129

VIA CERTIFIED MAIL

91 7108 2133 3932 6021 9989

Re: Building Recertification
1515 SAN REMO
Folio # 03-4130-033-0001

Dear Property Owner:

In a certified letter dated 4/1/2014, this Department notified you the property referenced above requires a 40-year building recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). The letter informed you it was necessary to furnish this Department a report prepared by a licensed architect or engineer within 90-days specifying the building meets the requirements for building recertification provided under the Minimum Inspection Procedural Guidelines for Building Recertification.

Please be advised that as of 7/1/2014 the report will be overdue and this building will be deemed to be in NON-COMPLIANCE. This may result in the revocation of the Certificate of Occupancy, as well as, being subject to other penalties as provided in the Code.

Failure to contact us before 10/22/2014, will result in our forwarding this building information to the Miami-Dade County Unsafe Structures Board for further determination.

Please govern yourself accordingly.

Sincerely,

Manuel Z. Lopez

Manuel Z. Lopez, P.E.
Building Official

CITY'S

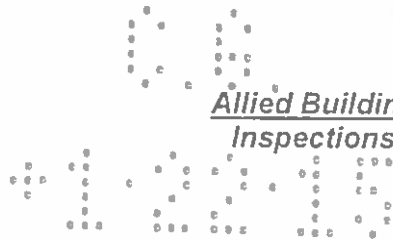
EXHIBIT

3



1515 San Remo Ave

Allied Building Inspection Services
Inspections. Testing. Engineering



December 23, 2014

Building Official
City of Coral Gables
405 Biltmore Way, 3rd Floor
Coral Gables FL 33134

RE: 40-Year Building Re-Certification Electrical Inspection Report
SUBJ: 1515 San Remo Ave, Coral Gables, FL
Folio: 03-4130-033-0001 (Reference Only – See attached list)

Dear Building Official,

Enclosed, please find the electrical report in the format required by your office. **The building requires electrical repairs to the deficiencies noted in the report prior to our recommendation for recertification.**

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building.

Sincerely,

Allied Building Inspection Services, Inc.

Masood Fegghi, PE

CITY'S

EXHIBIT

4



1515 San Remo Ave

Allied Building Inspection Services
Inspections. Testing. Engineering



Minimum Inspection Procedural Guidelines for Building Electrical Re-Certification

Inspection Commenced
Date: **July 8, 2014**

Inspection Completed
Date: **December 23, 2014**

Inspection Made By:

Signature:

Print Name: **Masood Fegghi**

Title: **PE 38622**

Address: **8203 SW 124 Street
Miami, Florida 33156**

1. *Description of Structure*

- a. Name of Title: **(See Attached List)**
- b. Street Address: **1515 San Remo Ave N-N Coral Gables , FL 33146 (See Attached List)**
- c. Legal Description: **Villa San Remo Condo Unit N-N Undivided N/NNN Interest In Common Elements (See Attached List)**
- d. Owner's Name: **(See Attached List)**
- e. Owner's Mailing Address: **(See Attached List)**
- f. Building Official Folio Number: **03-4130-033-0001 (Reference Only – See attached list)**
- g. Building Code Occupancy Classification: **R2**
- h. Present Use: **Commercial – Multifamily Residential – 47 units**
- i. General Description, Type of Construction, Size, Number of Stories, Special Features: **3-Story CBS & Reinforced Concrete Structure. See attached list for approximate area in SF.**
- j. Additions to original structure: **None noted (no plans available on site).**



Guidelines and Information for Re-Certification of Electrical Systems of (40) Year Structures

1. Electric Service

1. Size:

- a. Bldg A Amperage (400) Fuses (X) Breakers (X)
- b. Bldg B Amperage (400) Fuses (X) Breakers (X)
- c. Bldg C Amperage (400) Fuses (X) Breakers (X)
- d. Bldg D Amperage (400) Fuses (X) Breakers (X)
- e. Bldg E Amperage (400) Fuses (X) Breakers (X)
- f. Bldg F Amperage (200) Fuses (X) Breakers (X)

2. Phase: Three Phase () Single Phase (X)

3. Condition: Good () Fair (X) Needs Repair ()

4. Comments: 49 meters, 5-400A main disconnects, 1-200A main disconnect, 48-70A panel disconnects in six multi-disconnect centers, 1-200A panel disconnect

2. Meter and Electric Room

1. Clearances: Good (X) Fair () Requires Correction ()

2. Comments: All equipment is satisfactory.

3. Gutters

1. Location: Good (X) Requires Repair ()

2. Taps & Fill: Good (X) Requires Repair ()

3. Comments: Satisfactory.

4. Electrical Panels

1. Panels A1-A9: 70 Amps, indoor Good (X) Requires Repair ()

2. Panels B1-B9: 70 Amps, indoor Good (X) Requires Repair ()

3. Panels C1, C3-C9: 70 Amps, indoor Good (X) Requires Repair ()



- 4. Panels D1-D9: **70 Amps, indoor** Good () Requires Repair ()
- 5. Panels E1-E9: **70 Amps, indoor** Good () Requires Repair ()
- 6. Panels F1-F4: **70 Amps, indoor** Good () Requires Repair ()
- 7. House Panel A: **200 Amps, indoor** Good () Requires Repair ()
 - a. House Subpanel B: **100 Amps, indoor** Good () Requires Repair ()
- 8. Comments: **Satisfactory.**

5. Branch Circuits

- 1. Identified: Yes () Must Be Identified ()
- 2. Conductors: Good () Deteriorated () Must Be Replaced ()
- 3. Comments: **Satisfactory**

6. Grounding of Service

- Condition: Good () Repairs Required ()
- Comments: **Satisfactory**

7. Grounding of Equipment

- Condition: Good () Repairs Required ()
- Comments: **Satisfactory**

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1/15/15

8. Service Conduits/Raceways

- Condition: Good () Repairs Required ()
- Comments: **Satisfactory**

9. Service Conductors and Cables

- Condition: Good () Repairs Required ()
- Comments: **Satisfactory**



10. Types of Wiring Methods

- Condition:
 - a. Conduit Raceways: Good (X) Repairs Required ()
 - b. Conduit PVC: Good (X) Repairs Required ()
 - c. NM Cable: Good () Repairs Required ()
 - d. BX Cable: Good (X) Repairs Required ()

11. Feeder Conductors

- Condition: Good (X) Repairs Required ()
- Comments: Satisfactory

12. Emergency Lighting

- Condition: Good (X) Repairs Required ()
- Comments: Satisfactory

13. Building Egress Illumination

- Condition: Good (X) Repairs Required ()
- Comments: Satisfactory

14. Fire Alarm System

- Condition: Good (X) Repairs Required ()
- Comments: Satisfactory

15. Smoke Detectors

- Condition: Good (X) Repairs Required ()
- Comments: Satisfactory

16. Exit Lights

- Condition: Good (X) Repairs Required ()
- Comments: Satisfactory

17. Emergency Generator

- Condition : Good () Repairs Required ()
- Comments: N/A



18. Wiring in Open or Undercover Parking Garage Areas

- Condition: Good (X) Repairs Required ()
- Comments: Satisfactory

19. Open or Undercover Parking Surface and Security Lighting

- Condition: Good () Requires Additional Illumination ()
- Comments: Illumination certification to be provided by others

20. Swimming Pool Wiring

- Condition: Good (X) Repairs Required ()
- Comments: Satisfactory

21. Wiring of Mechanical Equipment

- Condition: Good () Repairs Required (X)
- Comments: Repairs required – see list included below

22. General Additional Comments

- Comments: Repairs required – see list included below

Required Repair List

At ALL A/C condensing units on rooftop: replace deteriorated service wiring and add disconnects to each (to be addressed during upcoming rooftop replacement)



1515 San Remo Ave

Allied Building Inspection Services
Inspections. Testing. Engineering

Folio Number	Owner Name	Property Address	SF	Legal (Villa San Remo Condo Unit N-N)	Legal (Undiv NNNN Int in Common Elements)
0341300330010	Marlene Echeverria	1515 San Remo Ave A-1	770	A-1	7/300
0341300330020	Jesse S Leighton Jr	1515 San Remo Ave A-2	625	A-2	5/264
0341300330030	Tony Romeo & W	1515 San Remo Ave A-3	770	A-3	7/300
0341300330040	George W Prendes	1515 San Remo Ave A-4	770	A-4	7/300
0341300330050	Michael L Macknin & W Carol H	1515 San Remo Ave A-5	625	A-5	5/264
0341300330060	Zulay Suarez De Ruiz	1515 San Remo Ave A-6	770	A-6	7/300
0341300330070	John Rock	1515 San Remo Ave A-7	770	A-7	7/300
0341300330080	Humberto De Lara	1515 San Remo Ave A-8	625	A-8	5/264
0341300330090	Silver Ridge LLC	1515 San Remo Ave A-9	770	A-9	7/300
0341300330100	Elena Bustillo	1515 San Remo Ave B-1	625	B-1	5/264
0341300330110	Richard J Hofman & W Jo V	1515 San Remo Ave B-2	770	B-2	7/300
0341300330120	Sylvia & Susan Grossinger &	1515 San Remo Ave B-3	625	B-3	5/264
0341300330130	Missu LLC	1515 San Remo Ave B-4	625	B-4	5/264
0341300330140	Lillian K Peters	1515 San Remo Ave B-5	770	B-5	7/300
0341300330150	Albert Lenel & W Doris &	1515 San Remo Ave B-6	625	B-6	5/264
0341300330160	David A Freedman &	1515 San Remo Ave B-7	625	B-7	5/264
0341300330170	David Gutierrez & W Roxanne	1515 San Remo Ave B-8	770	B-8	7/300
0341300330180	Anthony Romeo & W Carolina	1515 San Remo Ave B-9	625	B-9	5/264
0341300330190	Luis Fernando Marquina	1515 San Remo Ave C-1	770	C-1	7/300
0341300330200	Ana M Betancourt	1515 San Remo Ave C-3	770	C-3	7/300
0341300330210	Carrieanne Coloma & H Carlos	1515 San Remo Ave C-4	625	C-4	5/264
0341300330220	Carrieanne Coloma	1515 San Remo Ave C-5	770	C-5	7/300
0341300330230	Elizabeth Hogan	1515 San Remo Ave C-6	625	C-6	5/264
0341300330240	Heather R Weissman	1515 San Remo Ave C-7	625	C-7	5/264
0341300330250	Mep Real Est LLC	1515 San Remo Ave C-8	770	C-8	7/300
0341300330260	Ew d San Remo LLC	1515 San Remo Ave C-9	625	C-9	5/264
0341300330270	Lee D Yoder & W Margaret	1515 San Remo Ave D-1	625	D-1	5/264
0341300330280	Mayumi O Todd & H Rock	1515 San Remo Ave D-2	770	D-2	7/300
0341300330290	Carlos Estalella & W Mercedes	1515 San Remo Ave D-3	625	D-3	5/264
0341300330300	Sharon Madia & H Michael	1515 San Remo Ave D-4	625	D-4	5/264
0341300330310	George Prendes & W Beatriz	1515 San Remo Ave D-5	770	D-5	7/300
0341300330320	Anthony Chisena & W	1515 San Remo Ave D-6	625	D-6	5/264
0341300330330	Michelle C Fernandez	1515 San Remo Ave D-7	625	D-7	5/264
0341300330340	Rocket Riders Picture	1515 San Remo Ave D-8	770	D-8	7/300
0341300330350	Shaw n Holtzman	1515 San Remo Ave D-9	625	D-9	5/264
0341300330360	Alexis Zequeira	1515 San Remo Ave E-1	770	E-1	7/300
0341300330370	Shaw n P Marcotte & W Anamae G	1515 San Remo Ave E-2	625	E-2	5/264
0341300330380	Tchad Marie Anderson	1515 San Remo Ave E-3	770	E-3	7/300
0341300330390	Jorge Balleste & W	1515 San Remo Ave E-4	770	E-4	7/300
0341300330400	Edgar Jones & W Susan	1515 San Remo Ave E-5	625	E-5	5/264
0341300330410	Janet Medina	1515 San Remo Ave E-6	770	E-6	7/300
0341300330420	Sidney L Kahn Iv & W Susan M	1515 San Remo Ave E-7	770	E-7	7/300
0341300330430	Jeff Schram	1515 San Remo Ave E-8	625	E-8	5/264
0341300330440	Jose Altet & W Maria L	1515 San Remo Ave E-9	770	E-9	7/300
0341300330450	Valious Florida Corporation	1515 San Remo Ave F-1	770	F-1	7/300
0341300330460	Namor Holdings LLC	1515 San Remo Ave F-2	770	F-2	7/300
0341300330470	Anthony Romeo & W Carolina	1515 San Remo Ave F-3	770	F-3	7/300

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**Certification of Compliance with Parking Lot Guardrails Requirements
in Chapter 8C of the Code of Miami-Dade County**

Date: **December 23, 2014**

Re: Case Number: **Folio: 03-4130-033-0001 (Reference Only – See attachment)**

Property Address: **1515 San Remo Ave, Coral Gables, FL 33146 – See
attached list for approximate area in SF**

Building Description: **Commercial – Multifamily 47 units**

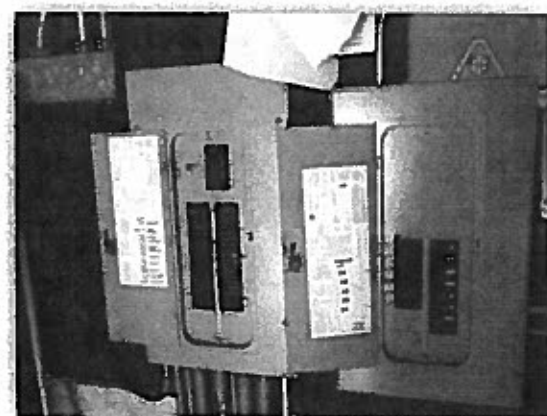
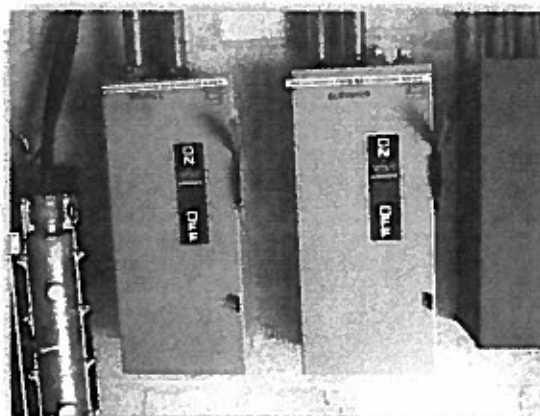
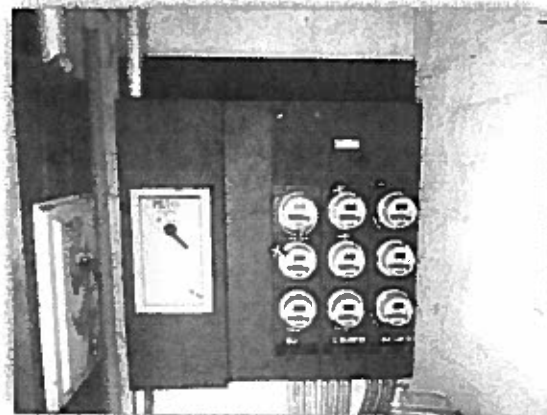
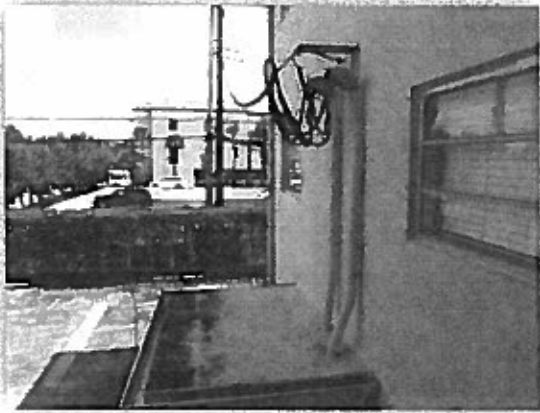
The undersigned states the following:

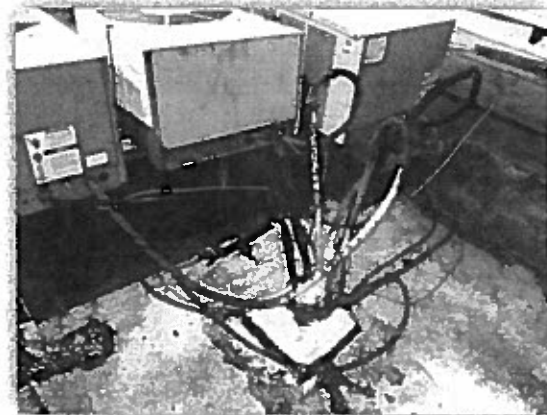
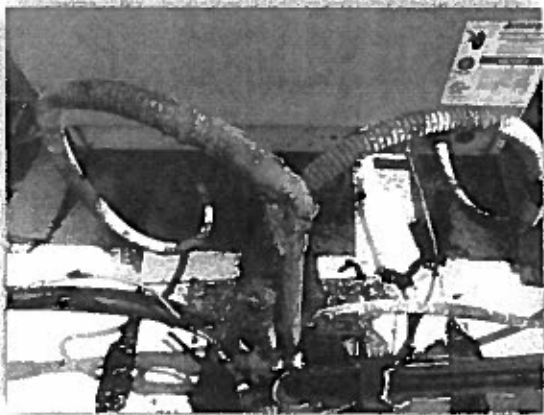
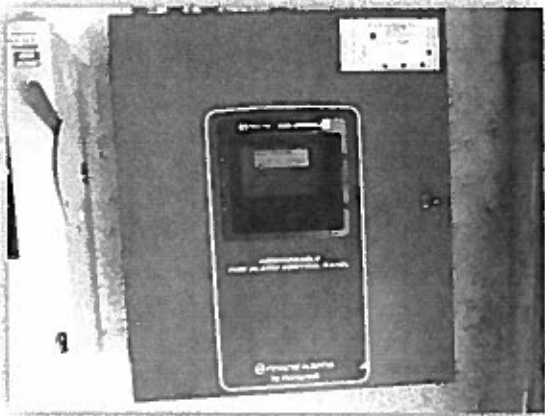
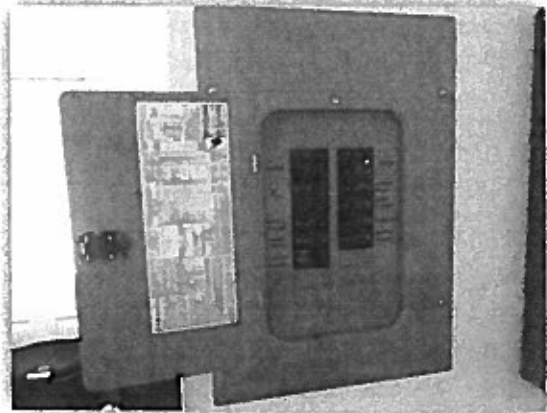
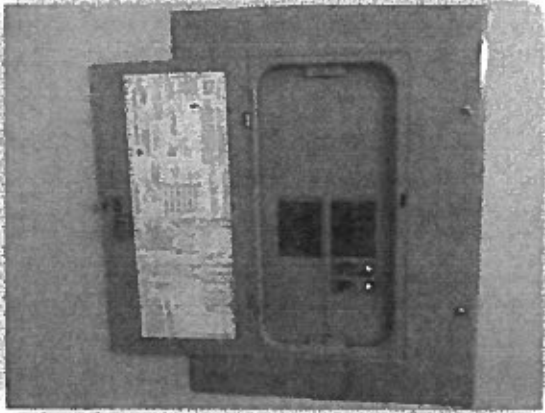
I am a Florida registered professional engineer or architect with an active license.

On **October 21, 2014**, I inspected the parking lot(s) servicing the above referenced building for compliance with Section 8C-6 and determined the following:

- (X) The parking lot(s) is not adjacent to or abutting a canal, lake or other body of water.
- () The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are protected by a guardrail that complies with Section 8C-6 of the Miami-Dade County Code.
- () The parking lot(s) is adjacent to or abutting a canal, lake or other body of water and parked vehicles are not protected by a guardrail that complies with Section 8C-6 of the Miami-Dade County Code. I have advised the property owner that he/she must obtain a permit for the installation of the guardrail and obtain all required inspection approvals no later than April 10, 2014.

Masood Fegghi, PE





STRUCTURAL RECERTIFICATION
(FOLLOWING MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING)



1. DESCRIPTION OF STRUCTURE:

- a. Name or Title: Villa San Remo Condo
- b. Street Address: 1515 San Remo
Coral Gables, FL
- c. Legal Description: CORAL GABLES RIVIERA SEC 14
2ND REV PB 28-32
LOTS 17 THRU 24 BLK 203
AS DESC IN DEC OR 23355-3786
LOT SIZE 42606 SQ FT, FAU 03 4130 009 1100
- d. Owner's Name: Villa San Remo Condo
c/o Clear Sky Property Management
- e. Owner's Mailing Address: 2929 SW 3rd Avenue, Suite 412
Miami, FL 33129
- f. Building Official Folio Number: 03-4130-033-0001
- g. Building Code Occupancy Classification: _____
- h. Present use: 0300 SINGLE FAMILY - 751-900 S
- i. General description, type of construction, size, number of stories, and special features.
The structure consist of 5 buildings, three stories. Buildings are composed of prefab wood truss mansards, concrete hollow core roof and floor slabs; reinforced masonry bearing walls; and concrete slab-on-ground. (See photo nos. 1-2).
- j. Additions to original structure: Modification to pool / exercise room opening observed.

2. PRESENT CONDITION OF STRUCTURE:

- a. General alignment (note good, fair, poor, explain if significant)
 - 1. Bulging: Good
 - 2. Settlement: Good
 - 3. Deflection: Good
 - 4. Expansion: Fair to poor
 - 5. Contraction: Good
- b. Portions showing distress (note beams, columns, structural walls, floors, roofs, other). The following items must be repaired before re-certification can be granted: Spalling at concrete lintels and sills; overhead spalls at concrete beams; spalling at concrete columns; loose rail posts; spalling at mechanical room roof slab; door framing damaged at meter room; tie-down straps missing at rooftop units; debris on roof deck. (See photos nos. 3-11)

Handwritten signature and date: 10-21-14

- c. Surface conditions - describe general conditions of finishes, noting cracking, spalling, peeling, signs of moisture penetration and stains.
In general, the surface conditions of the building are fair to good.
- d. Cracks - note locations in significant members. Identify crack size as HAIRLINE if barely discernible; FINE if less than 1mm in width; MEDIUM if between 1 and 2 mm in width; WIDE if over 2 mm.
Several hairline cracks, step cracks and slab cracks were found throughout the building. As part of routine maintenance it is recommended that these cracks be monitored, repaired and/or sealed to prevent water infiltration and tripping hazards.
- e. General extent of deterioration - cracking or spalling of concrete or masonry; oxidation of metals; rot or borer attack in wood. There are significant cracks and spalling of concrete in the following areas: Refer to item 2.b. above for list of deficiencies.
- f. Previous patching or repairs
There are some minor areas patched as part of routine maintenance.
- g. Availability of original construction drawings - location, description.
Drawings for the original construction were made available by Robert Jerome Filer, AIA circa 1966.

3. INSPECTIONS:

- a. Date of notice of required inspection: April 1, 2014
- b. Date(s) of actual inspection: July 8 - 21, 2014
- c. Name and qualification of individual submitting inspection report: Jose A. Toledo, P.E. 54891 and Special Inspector 1180, for U.S. Structures, Inc. (CA8439)
- d. Description of any laboratory or other formal testing, if required, rather than manual or visual procedures:
No laboratory or load testing was conducted.
- e. Structural repair:
Refer to item 2.b. above for list of deficiencies.

4. SUPPORTING DATA:

- a. Sheets written data: None
- b. Photographs: Refer to general photos at the end of this report
- c. Drawings or sketches: None

5. MASONRY BEARING WALLS: indicate good, fair, poor on appropriate lines:

- a. Concrete masonry units are used for the exterior walls of the building and appear to be adequate.

Handwritten signature and date: 10-21-14

- b. Clay bricks none
- c. Reinforced concrete tie columns if any are concealed and could not be verified.
- d. Reinforced concrete tie beams are concealed and could not be verified.
- e. Lintels are used to framed the typical window and door openings
- f. Other type bond beams none
- g. Masonry finishes - exterior:
1. Stucco - fair to good
 2. Veneer - good, located at entry of building C
 3. Paint only - fair
 4. Other (describe) - none
- h. Masonry finishes - interior:
1. Vapor barrier - none
 2. Furring and Plaster - none
 3. Paneling - none
 4. Paint only - fair
 5. Other (describe) - none
- i. Cracks:
1. Location - note beams, columns, other: - common hairline cracks observed throughout
 2. Description: hairline
- j. Spalling:
1. Location - note beams, columns, other - Refer to item 2.b. above for list of deficiencies.
 2. Description - N/A.
- k. Rebar corrosion - check appropriate line:
1. None visible - N/A
 2. Minor - Patching will suffice - N/A
 3. Significant - but patching will suffice - N/A
 4. Significant - structural repairs required (describe) - Refer to item 2.b. above for list of deficiencies.
- l. Samples chipped out for examination in spall areas:
1. None visible - None
 2. Yes - describe color texture, aggregate, general quality - N/A

6. FLOOR AND ROOF SYSTEMS:

- a. Roof systems:
1. Describe (flat, sloped, type of roofing, type of roof deck, condition):

10-21-14

The roof deck is framed with a flat hollow core concrete slab. Slope is relatively flat, pitched to exterior drains and scuppers. Roofing is built-up asphalt in poor condition. Perimeter mansards are prefab wood trusses with plywood sheathing.

2. Note water tanks, cooling towers, air conditioning equipment, signs, other heavy equipment and condition of supports: Air conditioning units are located on roof stands. No cooling towers or water tanks. Unit strap tie downs are missing (refer to item 2.b. above for list of deficiencies).
3. Note types of drains and scuppers and conditions: Exterior roof drains and perimeter overflow scuppers throughout.

b. Floor system(s):

Describe (type of system framing, material, spans, condition):

Existing precast hollow core concrete slabs for elevated floors and typical slab-on-ground.

c. Inspection - note exposed areas available for inspection, and where it was found necessary to open ceilings, etc. for inspection of typical framing members.

Attic access was available at building C only. All other ceilings are direct to underside of hollow core slabs.

7. STEEL FRAMING SYSTEMS:

- a. Steel post columns are used to support the exterior stairs and located along perimeter of catwalks. Minor surface corrosion observed (recommend removing corrosion and coating with rust-inhibitive paint).

8. CONCRETE FRAMING SYSTEMS:

- a. Full description of structural system: Concrete framing members are concealed behind stucco and interior finishes and could not be confirmed.

b. Cracking:

1. Not Significant: common hairline and small cracks observed throughout.
2. Location and description of members affected and type of cracking: see 2.b above

- c. General Condition: The concrete systems appear to be in serviceable conditions except for the deficient items noted in 2.b. above.

d. Rebar corrosion - check appropriate line:

1. None visible - exposed rebar noted in mechanical room
2. Location and description of members affected and type cracking - refer to deficient items noted in 2.b. above.
3. Significant but patching will suffice - N/A
4. Significant - structural repairs required (describe) - refer to deficient items noted in 2.b. above.

e. Samples chipped out in spall areas:

1. No: N/A
2. Yes - describe color, texture, aggregate, general quality: -N/A

10-21-14

9. **WINDOWS:**

- a. Type (wood, steel, aluminum, jalousie, single hung, double hung, casement, awning, pivoted, fixed, other): In general, the existing windows are aluminum framed, awning style
- b. Anchorage - type and condition of fasteners and latches: The fasteners and anchorages for the windows were typically concealed. Some fasteners observed were corroded and some missing.
- c. Exterior Sealants - type and condition of perimeter sealants & at mullions: In general, observed signs of deteriorated and dried out sealant along most windows.
- d. Interior seals - type and condition of operable vents:
Where visible, the sealant for the original windows was noted to be dried out and cracking.
- e. General condition: The windows are original and in fair to poor condition. Monitoring is recommended along with routine maintenance to ensure proper performance.

10. **WOOD FRAMING:**

Roof Framing: - Perimeter mansard roofs are prefab wood trusses with plywood sheathing. Minor spots of sheathing deterioration were noted at areas of leaks.

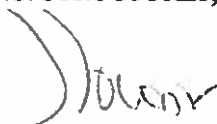
11. **EVALUATION:**

Based on our observations, there are structural deficiencies identified herein that require immediate action. The deficient items noted must be repaired before structural re-certification can be issued for this property. Repair drawings and specifications addressing all structural deficiencies shall be prepared by a Florida Registered engineer and submitted to the City of Coral Gables for building permit. Actual repairs shall be performed by a Florida licensed general contractor.

Upon satisfactory completion of the noted deficiencies, our office will revisit the site and issue structural re-certification.

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the structural systems for this building based upon careful evaluation of observed conditions, to the extent reasonably possible.

Respectfully submitted:
U.S. STRUCTURES, INC.

 10-21-14

Jose A. Toledo, P.E.
President / Structural Engineer
Florida License No. 54891
Special Inspector No. 1180



Photograph No. 1 (general building elevation)

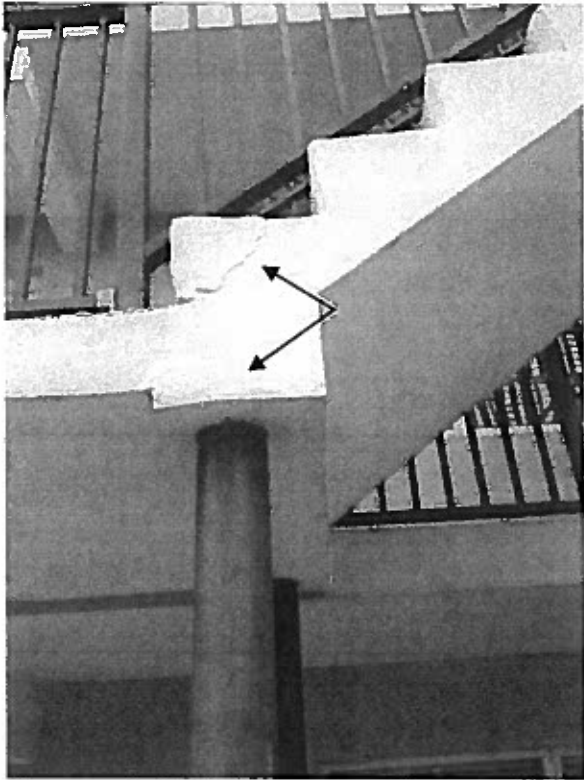


Photograph No. 2 (general building elevation)

Handwritten signature 10-21-14

JOSE A. TOLEDO, PE 54891 FOR U.S. STRUCTURES, INC.
VILLA SAN REMO CONDO - 40YR RECERTIFICATION


OCTOBER 21, 2014
PAGE 6 OF 10



Photograph No. 3 (concrete spalling at step)



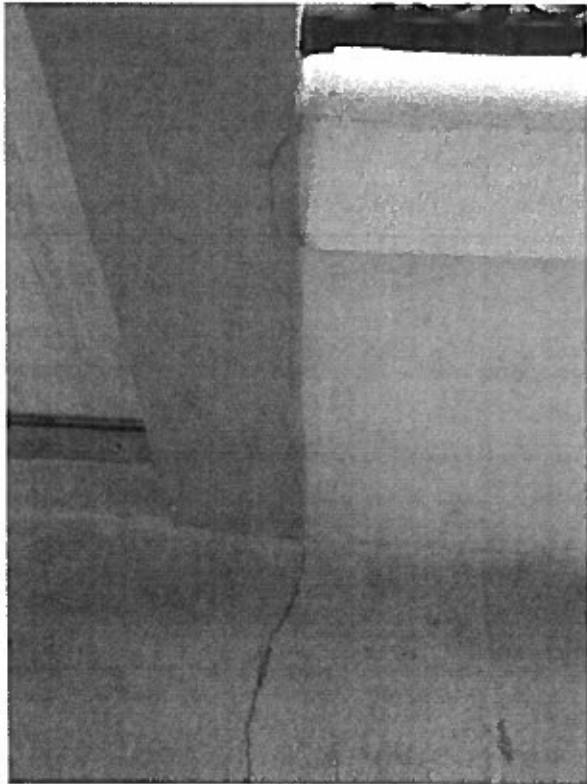
Photograph No. 4 (typical spalling at window sill)

 10-21-14
JOSE A. TOLEDO, PE 54891 FOR U.S. STRUCTURES, INC
VILLA SAN REMO CONDO - 40YR RECERTIFICATION

OCTOBER 21, 2014
PAGE 7 OF 10



Photograph No. 5 (typical beam spalling)

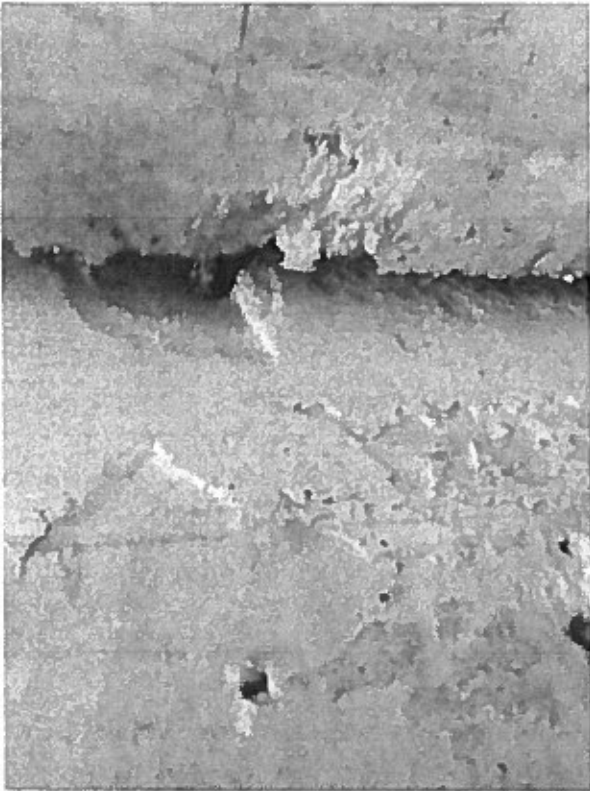


Photograph No. 6 (typical cracking at joint between buildings)

JA 10-21-14

JOSE A. TOLEDO, PE 54891 FOR U.S. STRUCTURES, INC.
VILLA SAN REMO CONDO - 40YR RECERTIFICATION

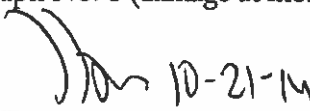
OCTOBER 21, 2014
PAGE 8 OF 10



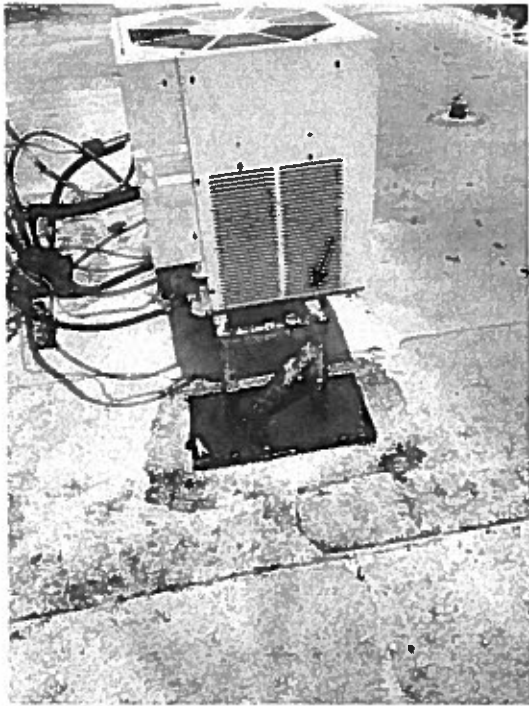
Photograph No. 7 (damage at mechanical room roof slab)



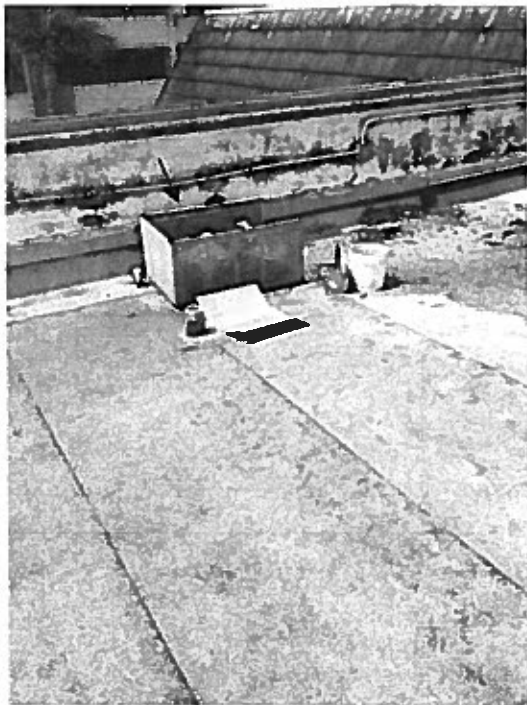
Photograph No. 8 (damage at meter roof door framing)


JOSE A. TOLEDO, PE 54891 FOR U.S. STRUCTURES, INC.
VILLA SAN REMO CONDO - 40YR RECERTIFICATION

OCTOBER 21, 2014
PAGE 9 OF 10




Photograph No. 9 (typical missing tie down at roof top units)



Photograph No. 10+11 (typical roof top debris)



 10-21-14

JOSE A. TOLEDO, PE 54891 FOR U.S. STRUCTURES, INC.
VILLA SAN REMO CONDO - 40YR RECLIFFICATION

OCTOBER 21, 2014
PAGE 10 OF 10

RC-15-01-0843

City of Coral Gables Building & Zoning Department		
Permit #: RC-1501-0843		
Address: 1515 SW Remo Ave		
Approved		
Section	By	Date
HISTORICAL		
BOARD OR ARCH.		
BOARD OR ARCH.		
CONCURRENCY		
ZONING		
PLUMBING		
MECHANICAL		
ELECTRICAL		R-1/23/15
HANDICAP		
FEMA		
BUILDING		R
STRUCTURAL		
FIRE		
PUBLIC WORKS		
OWNER BUILDER		

This permit complies with all Federal, State, and County building codes and regulations. City assumes no responsibility for current or future results from these plans.
A TRUE COPY OF PLANS MUST BE AVAILABLE FOR BUILDING DEPARTMENT INSPECTION WHILE WORK IS IN PROGRESS.



R-1/23/15

R

Permit Action Report
CITY OF CORAL GABLES

pmPermitActions
9/10/2015 10:16:50AM

Permit #: RC-15-01-0843
Master permit #:

Permit type: rc010 - BUILDING RE CERTIFICATION
Routing queue: rc012 - STRUCTURE CERTIFICATION

Address: 1515 SAN REMO AVE
COMMON AREAS
CORAL GABLES, FL 33146

Group # - Name	Action Code	Action Description	Completion Date	Completion Code	Completed By	Comments
1 - BOARDS - GENERATE F	calc fees	CALCULATE FEES	1/21/2015	comp	asillo	
2 - CASHIER	collect	COLLECT FEES	1/22/2015		iwebuser	
3 - PLAN REVIEW	prbuild	BUILDING PLAN REVIEW				
3 - PLAN REVIEW	prbuild	BUILDING PLAN REVIEW	1/22/2015	reject	mlopez	REPAIRS REQUIRED
3 - PLAN REVIEW	prelec	ELECTRICAL PLAN REVIEW				
3 - PLAN REVIEW	prelec	ELECTRICAL PLAN REVIEW	1/23/2015	reject	areyes	ELECTRICAL REPAIRS REQUIRED
4 - RE CERTIFIED LETTER	letter	GENERATE LETTER				

CITY'S

EXHIBIT

5



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

January 23, 2015

VILLA SAN REMO CONDOMINIUM ASS
2929 SW 3 AVE # 412
MIAMI, FL. 33129

VIA CERTIFIED MAIL

91 7108 2133 3932 7099 3701

Re: Address: 1515 SAN REMO AVE
Folio # 03-4130-033-0001

Dear Property Owner/Manager:

This Department has received the 40-year Building Recertification Report you submitted for the above referenced property address. Please note the Report indicates remedial repairs* must be done to the building in order for it to meet minimum requirements stipulated for safe occupancy as prescribed in the Miami-Dade County Code, Section 8-11.

Pursuant to the Code you must complete the repairs within sixty (60) days from the date the Report was submitted to this Department. Once the repairs have been completed the original architect/engineer will need to provide a follow-up letter indicating the building is now recommended for recertification.

If you have any questions regarding the specific repairs identified in the Report please contact the original architect/engineer which prepared the Report. If you have further questions please contact us at (305) 569-1807.

Sincerely,

Manuel Z. Lopez

Manuel Z. Lopez, P.E.
Building Official

*Copy of the letter is attached.

CITY'S

EXHIBIT

6



The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134

6/2/2015

****FINAL NOTICE****

VILLA SAN REMO CONDO C/O CLEAR SKY PROPERTY MANAGEMENT
2929 SW 3RD AVE SUITE 412
MIAMI, FL 33129

VIA CERTIFIED MAIL

91 7108 2133 3932 7095 9844

Re: Building Recertification
1515 SAN REMO
Folio # 03-4130-033-0001

Dear Property Owner:

In a certified letter dated 4/1/2014, this Department notified you the property referenced above requires a 40-year building recertification pursuant to Miami-Dade County Code, Chapter 8, Section 8-11(f). The letter informed you it was necessary to furnish this Department a report prepared by a licensed architect or engineer within 90-days specifying the building meets the requirements for building recertification provided under the Minimum Inspection Procedural Guidelines for Building Recertification.

Please be advised that as of 6/1/2015 the report will be overdue and this building will be deemed to be in NON-COMPLIANCE. This may result in the revocation of the Certificate of Occupancy, as well as, being subject to other penalties as provided in the Code.

Failure to contact us before 7/6/2015, will result in our forwarding this building information to the Miami-Dade County Unsafe Structures Board for further determination.

Please govern yourself accordingly.

Sincerely,

Manuel Z. Lopez

Manuel Z. Lopez, P.E.
Building Official

CITY'S

EXHIBIT 7

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
Louis R. Orneau Addressee

B. Received by (Printed Name) Date of Delivery
Louis R. Orneau *6-8-14*

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

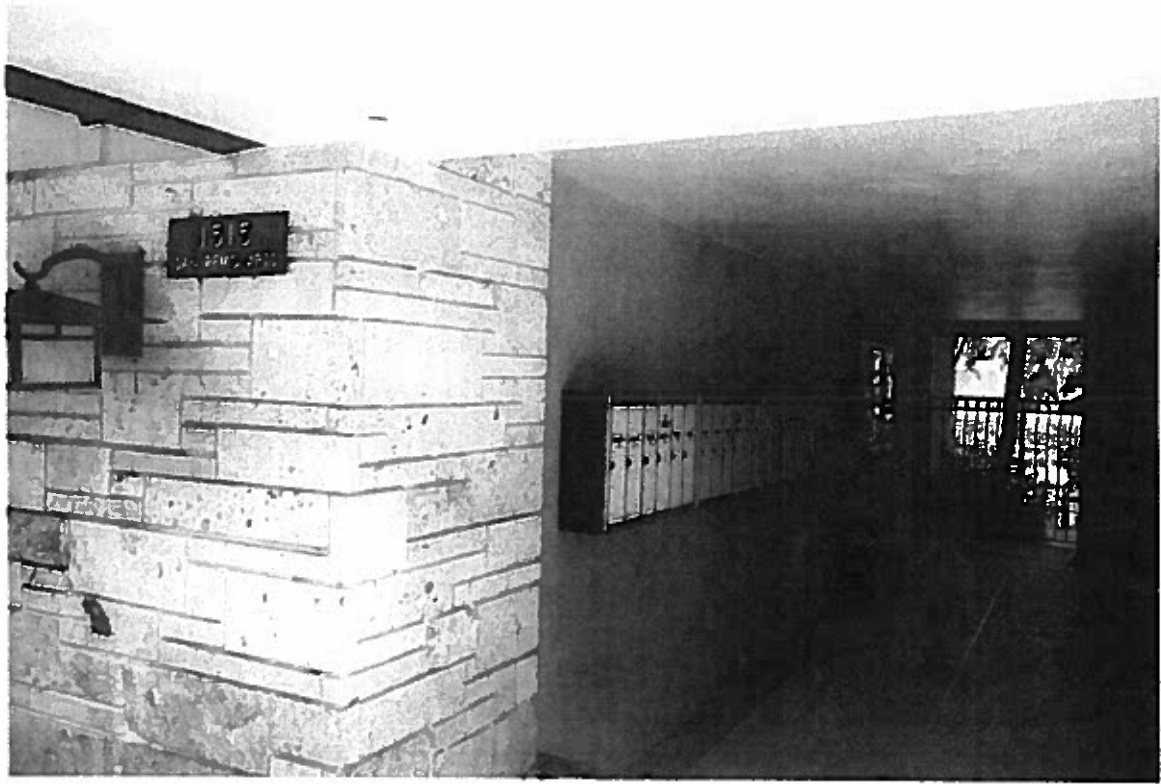
**VILLA SAN REMO CONDO C/O CLEAR
SKY PROPERTY MANAGEMENT
2929 SW 3RD AVE SUITE 412
MIAMI, FL 33129**

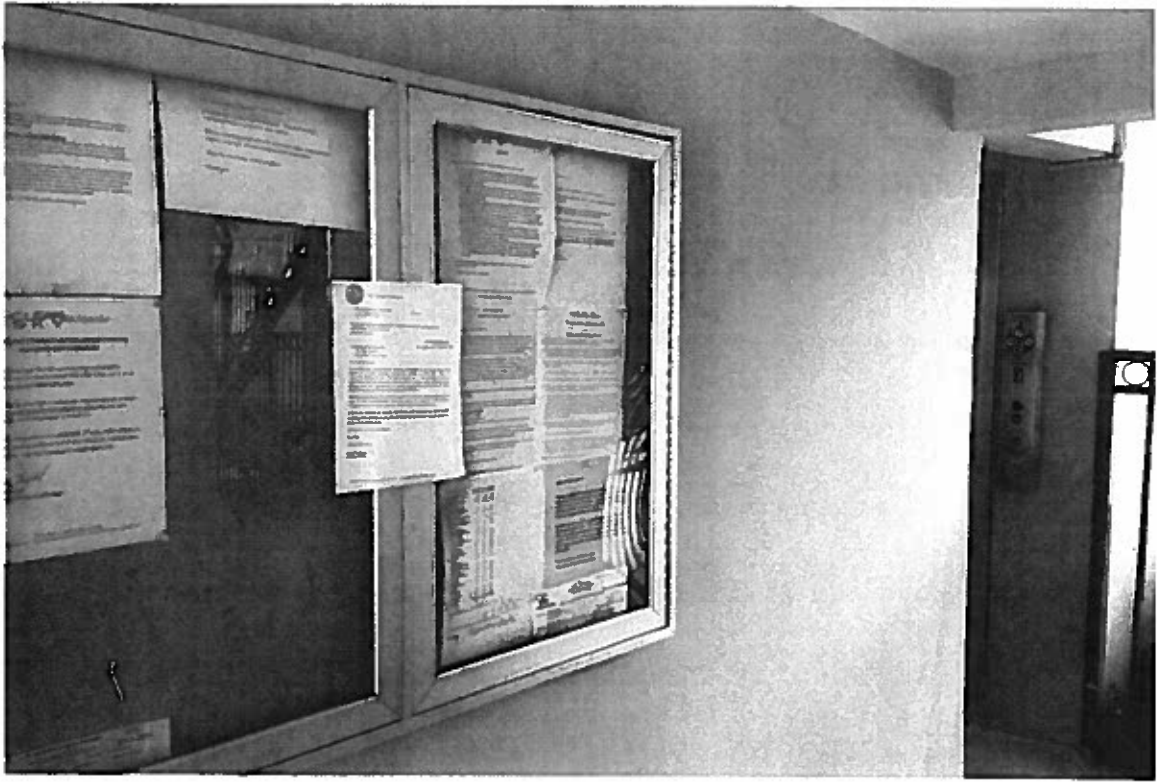
3. Service Type Certified Mail® Priority Mail Express™
 Registered Return Receipt for Merchandise
 Insured Mail Collect on Delivery

4. Restricted Delivery? (Extra Fee) Yes

2. Article Number
(transfer from service label) *91 7108 2133 3932 7095 9844*

PS Form 3811, July 2013 Domestic Return Receipt







The City of Coral Gables

Development Services Department
CITY HALL 405 BILTMORE WAY
CORAL GABLES, FLORIDA 33134
CITY OF CORAL GABLES,

Case # 15-4256

Petitioner,

vs.

VILLA SAN REMO CONDOMINIUM
ASSOCIATION, INC., a Florida Not for
Profit Corporation,

Respondents.

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR
FAILURE TO RECERTIFY AND NOTICE OF HEARING**

Date: August 51, 2015

To:

Condominium Association
Villa San Remo Condominium
Association, Inc.
c/o Clear Sky Property Management
LLC
Registered Agent
2929 SW 3 Avenue, Suite 330
Miami, FL 33129-2710

Return receipt number:
91 7108 2133 3932 6255 5726

Re: The five three-story residential condominium buildings consisting of 47 units ("Structure"), built in 1964, located at 1515 San Remo Avenue, Coral Gables, FL 33134-3046, and legally described as Lots 17 thru 24, Block 203, of CORAL GABLES RIVIERA SECTION 14, according to the 2nd Rev Plat Book 28-32, of the Public Records of Miami-Dade County, Florida ("Property").

CITY'S

EXHIBIT

8

The City of Coral Gables ("City") Building Official has inspected the records relating to the Structure in accordance with Article III, Chapter 105 of the City Code, pertaining to unsafe structures, and Section 8-11 of the Miami-Dade County Code, as applicable in the City, pertaining to existing buildings. The Structure is hereby declared unsafe by the Building Official and is presumed unsafe pursuant to Section 105-186(j)(13) of the City Code for failure to timely comply with the maintenance and recertification requirements of the Florida Building Code or Section 8-11 of the Miami-Dade County Code as follows:

On April 1, 2014, the City sent the Property Owner a 90-day Notice of Required Inspection requesting an inspection report conforming to the minimum inspection procedural guidelines as issued by the Miami-Dade County Board of Rules and Appeals, pursuant to Section 8-11(f) of the Miami-Dade County Code ("Report").

The Report, submitted to the City on January 22, 2015, stated that the Structure did not meet the minimum requirements to be recertified as structurally and electrically safe. The Report noted that the following items required repair or modification: **Electrical:** 1) branch circuits must be identified; 2) parking illumination certificate not provided; 3) wiring of mechanical equipment must be repaired; 4) all air conditioner condensing units on roof have deteriorated wiring that must be replaced and disconnects must be added to each; **Structural:** 6) spalling at concrete lintels and sills; 7) overhead spalls at concrete beams; 8) spalling at concrete columns; 9) loose rail posts; 10) spalling at mechanical room roof slab; 11) meter room door framing damaged; 12) tie-down straps missing at rooftop air conditioning units; and 13) debris on roof top deck.

On January 23, 2015, the City notified the Owner that it must complete the repairs and submit a letter from the architect or engineer who prepared the Report stating that the Structure now meets the minimum requirements ("Compliance Report").

To date, the Owner has not completed the required repairs and has not submitted a Compliance Report ("Required Action").

Therefore, this matter is set for hearing before the City's Construction Regulation Board ("Board") in the Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134, on September 14, 2015, at 2:00 p.m.

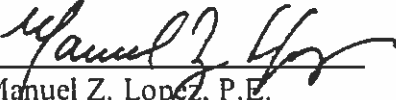
You may appeal the decision of the Building Official to the Board by appearing at the hearing. You have the right to be represented by an attorney and may present and question witnesses and evidence, however, formal rules of evidence shall not apply. Failure to appear at the hearing will result in the matter being heard in your absence. Please be advised that, if someone other than an attorney will be attending the hearing on your behalf, he or she must provide a power of attorney from you at the time of the hearing. Requests for continuance must be made in writing to Belkys Garcia, Secretary to the Board, at City of Coral Gables, Development Services Department, 405 Biltmore Way, 3rd Floor, Coral Gables, FL 33134, bgarcia@coralgables.com, tel: (305) 460-5229.

If the Required Action is not completed before the above hearing date, the Building Official may order that the structure be vacated, boarded, secured, and posted to prevent further occupancy until the Required Action is completed. The Building Official may also order demolition of the Structure and recover the costs incurred against the Property and the Owner of record.

If the Property Owner or other interested party does not take all Required Action or appeal the decision of the Building Official, the Construction Regulation Board may enter an order of demolition and assess all costs of the proceedings and demolition and other Required Action for which the City shall have a lien against the Property and the Property Owner.

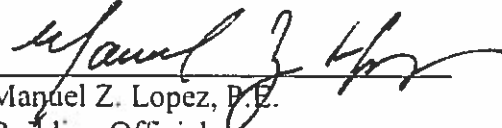
Please address any questions to Virginia Goizueta, Building Services Coordinator, tel: (305) 460-5250, or Manuel Z. Lopez, P.E., Building Official, tel: (305) 460-5242, Monday through Friday, 7:30 a.m. to 3:30 p.m.

Please govern yourself accordingly.


Manuel Z. Lopez, P.E.
Building Official

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that, on August 31, 2015, a true and correct copy of the foregoing notice was served via certified mail, return receipt requested, on all of the parties listed above and by hand delivery or posting at the Property.


Manuel Z. Lopez, P.E.
Building Official

NOTICES

Any person who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006 -11, must register with the City Clerk, prior to engaging in lobbying activities before the city staff, boards, committees and/or the City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Board, with respect to any matter considered at such hearing or meeting, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made; which record includes the testimony and evidence upon which the appeal is to be based. Although a court reporter usually attends the hearing at the City's cost, the City is not required to provide a transcript of the hearing, which the Respondent may request at the Respondent's cost.

ADA Assistance: The City complies with the provisions of the American with Disabilities Act. Individuals with disabilities requiring special accommodations or assistance should contact Ernesto Pino, Assistant Public Works Director, at (305) 460-5004, with requests for auxiliary aids or services at least one business day before the hearing in order to request such assistance.



CITY OF CORAL GABLES
DEVELOPMENT SERVICES DEPARTMENT
Affidavit of Posting

Complaint/Case #: 15-4256

Title of Document Posted: Construction Regulation Board Case

I, JOSE PAZ, DO HEREBY SWEAR/AFFIRM THAT
THE AFOREMENTIONED NOTICE WAS PERSONALLY POSTED, BY ME, AT THE
ADDRESS OF 1515 SAN REMO AV., ON 9-1-15
AT 10:40 AM.

JOSE PAZ
Employee's Printed Name

[Signature]
Employee's Signature

STATE OF FLORIDA)
ss.
COUNTY OF MIAMI-DADE)

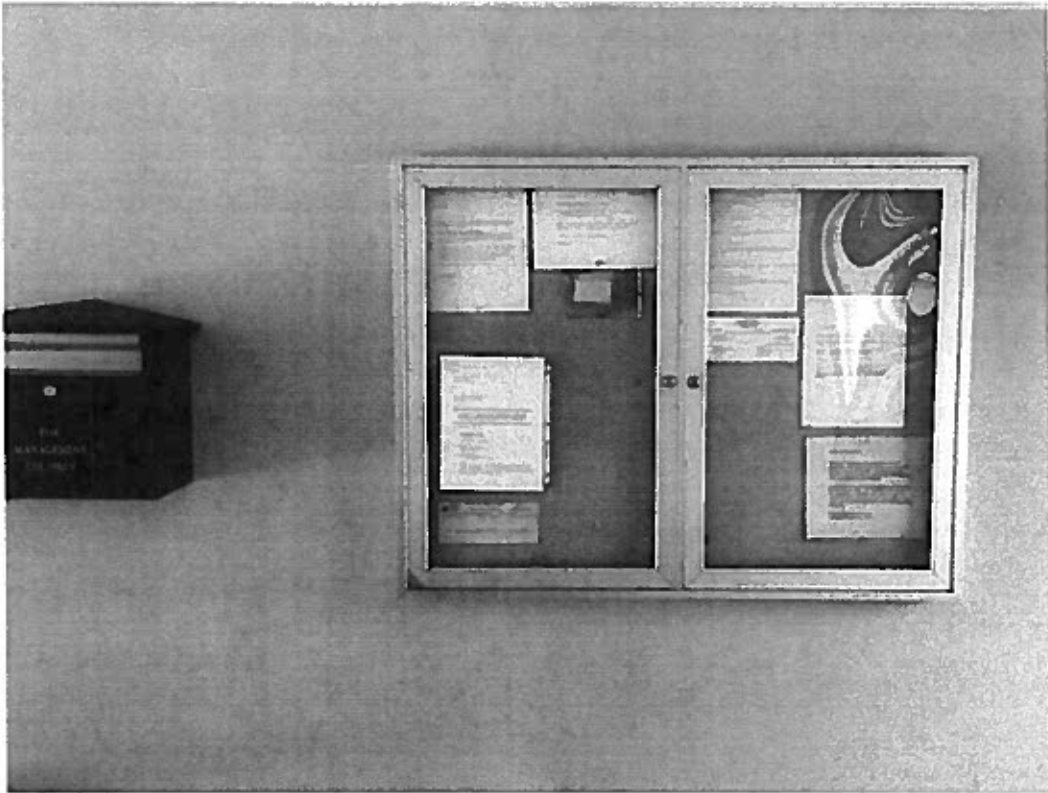
Sworn to (or affirmed) and subscribed before me this 1st day of September, in the
year 20 15, by JOSE PAZ who is personally known to me
or has produced - as identification.

My Commission Expires:



Belkys Garcia
Notary Public

1515 San Remo Ave



Petitioner:

vs

VILLA SAN REMO CONDOMINIUM
ASSOCIATION, INC., a Florida Not for
Profit Corporation

Respondent:

**NOTICE OF UNSAFE STRUCTURE VIOLATION FOR
FAILURE TO RECERTIFY AND NOTICE OF HEARING**

Date: August 31, 2015

To:

Condominium Association
Villa San Remo Condominium
Association, Inc.
c/o Clear Sky Property Management
LLC
Registered Agent
3919 SW 3 Avenue, Suite 120
Miami, FL 33120-2790

Local receipt number:

15 7100 0123 0122 6215 0795

Re: The five three-story residential condominium buildings consisting of 47 units
("Structure"), built in 1964, located at 1911 San Remo Avenue, Coral Gables, FL 33134-
3046, and legally described as Lots 17 thru 24, Block 303, of CORAL GABLES
RIVIERA SECTION 14, according to the 2nd Rev Plat 1864 24 12, of the Public
Records of Miami-Dade County, Florida ("Property").

Page 1 of 1

DO NOT WRITE OVER THESE PRINTED PORTIONS • Form 1200-Exp (12/15) • 7-11-2015 09:04:04

Office report

CITY OF CORAL GABLES, FLORIDA

ANNUAL FIRE INSPECTION FEE RECEIPT
(THIS IS NOT A BILLING AND PAY)

2014-2015

PROPERTY ADDRESS: 1911 SAN REMO AVENUE, CORAL GABLES, FL 33134-3046
 TAX MAP IDENTIFICATION: 1864 24 12, LOT 17-24, BLOCK 303, SECTION 14, CORAL GABLES RIVIERA
 PARCEL IDENTIFICATION: 15 7100 0123 0122 6215 0795

NO OF UNITS: 47
 UNIT INSPECTION QUOTE: \$ 8000
 ANNUAL FEE: \$ 8000

PROPERTY OWNER: VILLA SAN REMO CONDOMINIUM ASSOCIATION, INC.
 REGISTERED AGENT: CLEAR SKY PROPERTY MANAGEMENT LLC
 REGISTERED AGENT ADDRESS: 3919 SW 3 AVENUE, SUITE 120, MIAMI, FL 33120-2790

DATE OF INSPECTION: 08/31/15
 INSPECTOR: [Signature]

PROPERTY OWNER SIGNATURE: [Signature]
 REGISTERED AGENT SIGNATURE: [Signature]

RECEIVED BY: [Signature]



Detail by Entity Name

Florida Not For Profit Corporation

VILLA SAN REMO CONDOMINIUM ASSOCIATION, INC.

Filing Information

Document Number	N05000002927
FEI/EIN Number	20-2546208
Date Filed	03/22/2005
State	FL
Status	ACTIVE

Principal Address

1515 SAN REMO AVE
MIAMI, FL 33146

Changed: 01/31/2012

Mailing Address

C/O Clear Sky Property Management
2929 SW 3rd Avenue
Suite 330
MIAMI, FL 33129

Changed: 04/30/2014

Registered Agent Name & Address

CLEAR SKY PROPERTY MANAGEMENT
2929 SW 3 AVENUE
SUITE 330
MIAMI, FL 33129

Name Changed: 01/18/2013

Address Changed: 04/30/2014

Officer/Director Detail

Name & Address

Title VPD

MEDINA, JANET

CITY'S

EXHIBIT

9

1515 SAN REMO AVE #E6
CORAL GABLES, FL 33146

Title PD

JONES, EDGAR
515 TIVOLI AVE
CORAL GABLES, FL 33143

Title SD

ANDERSON, TCHAD-MARIE
1515 SAN REMO AVE #E3
CORAL GABLES, FL 33146

Title TD

ESTALELLA, CHARLES
1515 SAN REMO AVENUE #D3
CORAL GABLES, FL 33146

Annual Reports

Report Year	Filed Date
2013	01/18/2013
2014	04/30/2014
2015	04/30/2015

Document Images

04/30/2015 -- ANNUAL REPORT	View image in PDF format
04/30/2014 -- ANNUAL REPORT	View image in PDF format
01/18/2013 -- ANNUAL REPORT	View image in PDF format
01/31/2012 -- ANNUAL REPORT	View image in PDF format
03/15/2011 -- ANNUAL REPORT	View image in PDF format
03/02/2010 -- ANNUAL REPORT	View image in PDF format
04/28/2009 -- ANNUAL REPORT	View image in PDF format
02/29/2008 -- ANNUAL REPORT	View image in PDF format
08/30/2007 -- Reg. Agent Change	View image in PDF format
04/02/2007 -- ANNUAL REPORT	View image in PDF format
04/03/2006 -- ANNUAL REPORT	View image in PDF format
03/22/2005 -- Domestic Non-Profit	View image in PDF format



Detail by Entity Name

Florida Limited Liability Company

CLEAR SKY PROPERTY MANAGEMENT LLC

Filing Information

Document Number	L08000061740
FEI/EIN Number	26-2856650
Date Filed	06/24/2008
State	FL
Status	ACTIVE

Principal Address

2929 SW 3RD AVENUE
SUITE 330
MIAMI, FL 33129

Changed: 09/24/2013

Mailing Address

P.O. BOX 14-4216
CORAL GABLES, FL 33114

Changed: 04/30/2015

Registered Agent Name & Address

URBAY, KETTY M
2929 SW 3RD AVENUE
SUITE 330
MIAMI, FL 33129

Name Changed: 10/19/2011

Address Changed: 09/24/2013

Authorized Person(s) Detail

Name & Address

Title President

URBAY, KETTY M
2929 SW 3RD AVENUE #330

MIAMI, FL 33129

Title Authorized Member

YANG, MARK
2929 SW 3 Avenue
Suite 330
Miami, FL 33129

Annual Reports

Report Year	Filed Date
2013	01/22/2013
2014	04/30/2014
2015	04/30/2015

Document Images

<u>04/30/2015 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/30/2014 -- ANNUAL REPORT</u>	View image in PDF format
<u>09/24/2013 -- AMENDED ANNUAL REPORT</u>	View image in PDF format
<u>01/22/2013 -- ANNUAL REPORT</u>	View image in PDF format
<u>01/25/2012 -- ANNUAL REPORT</u>	View image in PDF format
<u>10/19/2011 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/13/2011 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/26/2010 -- ANNUAL REPORT</u>	View image in PDF format
<u>01/17/2010 -- ANNUAL REPORT</u>	View image in PDF format
<u>08/05/2009 -- Reg. Agent Change</u>	View image in PDF format
<u>02/13/2009 -- ANNUAL REPORT</u>	View image in PDF format
<u>08/21/2008 -- CORLCMMRES</u>	View image in PDF format
<u>06/24/2008 -- Florida Limited Liability</u>	View image in PDF format



OK w/L
7/23/14

July 8, 2014

City of Coral Gables Building and Zoning Department
Building Recertification Section
City Hall 405 Biltmore Way
Coral Gables, Florida 33134

**RE: 40 YEAR RECERTIFICATION
1515 San Remo
Coral Gables, FL
Folio No. 03-4130-033-0001**

To Whom It May Concern:

The following is to inform you that we, U.S. Structures, Inc. have been retained by the San Remo Condominium Association to provide the structural and electrical portions of the 40-year recertification observation and report at the above listed address. We are currently in the process of observing the property and preparing the reports.

At this time we formally request an extension of at least 90 days to adequately complete our services.

Please do not hesitate to contact us if you have any questions.

Sincerely,
U.S. STRUCTURES, INC.

Jose A. Toledo, P.E.
President
License No. 54891
Special Inspector No. 1180

CRP.067

U.S. STRUCTURES, INC.
4444 SW 71 AVE., SUITE 103
MIAMI • FLORIDA • 33155
TEL: 305.665.4555
FAX: 305.665.5522
www.usstructuresinc.com

CITY'S

EXHIBIT

10

Silio, Antonio

From: Lopez, Manuel
Sent: Friday, October 24, 2014 1:58 PM
To: 'vnowell@clearskymanagement.com'
Cc: Silio, Antonio
Subject: RE: Villa San Remo Extension Request

30 days will be ok.

From: vnowell@clearskymanagement.com [<mailto:vnowell@clearskymanagement.com>]
Sent: Thursday, October 23, 2014 9:52 AM
To: Lopez, Manuel
Subject: RE: Villa San Remo Extension Request

Good Morning Mr. Lopez

I have the structural report, what I am still pending is the electrical report. We are running into obstacles getting inside all of the units, as most of the owners do not live onsite year round. Many of the units are rented to college students who are in class all day and have made it more difficult for us to schedule the electrician to get in all the units to inspect for electrical deficiencies. We are simply requesting additional time to have this completed so that we submit a thorough and comprehensive report of the property.

Please advise if we can be granted additional time to get this completed. Thank you in advance for your assistance in this regard.

Veronica Nowell
Licensed CAM Property Manager
Vice President, Management Operations
Clear Sky Property Management, Inc.
Leading Community Associations through the Storms
direct (305) 356-7414, ext. 3
fax (800) 786-3170
2929 SW 3rd Avenue, Suite #330
Miami, Florida 33129

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----- Original Message -----

Subject: RE: Villa San Remo Extension Request
From: "Lopez, Manuel" <mlopez@coralgables.com>
Date: Thu, October 23, 2014 7:42 am
To: "'vnowell@clearskymanagement.com'" <vnowell@clearskymanagement.com>

Do you have a report with corrections that have to be made before the building can be certified?

From: vnowell@clearskymanagement.com [<mailto:vnowell@clearskymanagement.com>]
Sent: Wednesday, October 22, 2014 5:12 PM



August 14, 2015

Development Services Department
City Hall 405 Biltmore Way
Coral Gables, Florida 33134

Via Certified mail #7014 2870 0000 5039 4835 and via email to mlopez@coralgables.com

Re: Building Recertification
1515 San Remo
Folio # 03-4130-033-0001

Dear Inspector Lopez,

The Board of Directors, owners and management of Villa San Remo Condominium Association have been in a time consuming process trying to address several building repairs and improvements in conjunction with the 40 year requirements in order to significantly improve all aspects of the building. However, the bid procurement, analysis and election process has been challenging and the costs exceed what many owners are able to afford. Therefore we have elected to continue with the electrical work on the roof area of the building as noted by our Engineer, Jose Toledo of US Structures as a required next step for the 40 year requirements. Attached is the signed proposal with the elected electrician and we will be giving a deposit check to the contractor so that all permitting papers are turned in immediately to the City of Coral Gables. Our engineer has also been informed and we are awaiting his response to the final steps needed to conclude the requirements with your Department.

We understand that we have exceeded the time that was allotted to us but we are focused on concluding this as expeditiously as possible and kindly request that we are provided with a final time extension of 120 days to conclude all repairs and pass all final inspections related to the 40 year recertification.

Sincerely,

Ketty M. Urbay, LCAM Property Manager

kurbay@clearskymanagement.com

A handwritten signature in black ink, appearing to be "Ketty M. Urbay".

Direct: 786-236-8527

Cc: Board of Directors and Jose Toledo, PE

2929 SW 3rd Avenue, Suite 330, Miami, Florida 33129 Phone: 305.356.7414 Fax: 800.786.3170

www.clearskypropertymanagement.com

HENRY RODRIGUEZ
State Certified Electrical Contractor, Inc.
EC#0002411

14522 SW 142 Place Circle
Miami, Florida 33186
Phone 305 218 7878
Fax 305 254 3385

Proposal

August 20, 2014

Clear Sky Management, Inc.
2929 SW 3 Avenue Suite #330
Miami, Florida 33129
Job address:
1515 San Remo Avenue
Coral Gables, Florida

Scope of work: We propose hereby to furnish labor and material for the following items:

- A. Repair connection to exterior unit on 1st floor by pool.
- B. Make rack and install 47 exterior pull out disconnects on roof for existing a/c condensing units and reconnect units.
- C. Install new flexible conduit on roof to separate high voltage from low voltage and reconnect to existing a/c condensing units on roof.
- D. Replace damaged exit/emergency light combo (1) as indicated on 40 year inspection report.
- E. Remove damaged electrical receptacle and replace with new GFCI type receptacle and bubble cover.

Price \$22,488.00

Price includes:

1. New a/c weatherproof non-fusible disconnects.
2. New exit/emergency combo fixture.
3. New GFCI and cover.
4. Permit.
5. Taxes and insurance.

Not included:

1. Engineering fees.
2. Any additional work required by inspector.

PAYMENT TO BE MADE: As invoiced

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above. Henry Rodriguez State Certified Unlimited Electrical Contractor, Inc. reserves the right to change this proposal at any time without prior notice. This proposal may be withdrawn by Henry Rodriguez State Certified Unlimited Electrical Contractor if not accepted within 15 days. All accounts 30 days past due are subject to a finance charge of 1.5% per month – 18% per annum, or the maximum amount permitted under state and federal law. Customer agrees to pay all costs of collection services of an attorney or collection service to ensure payment.

Acceptance Signature: _____

Date: 8-14-15

HENRY RODRIGUEZ
State Certified Electrical Contractor, Inc.
EC#0002411

14522 SW 142 Place Circle
Miami, Florida 33186
Phone 305 218 7878
Fax 305 254 3385

Proposal

May 15, 2015

Clear Sky Management, Inc.
2929 SW 3 Avenue Suite #330
Miami, Florida 33129
Job address:
1515 San Remo Avenue
Coral Gables, Florida

Scope of work: We propose hereby to furnish labor and material for the following items:

- A. Make rack and install new disconnect switch for a/c condensing unit on roof for 3 units.
- B. Install new wiring for 3 a/c condensing units on roof and ground units. Existing units are not grounded.
- C. Install 3 new weatherproof junction boxes on roof and separate low voltage from high voltage.
- D. Install 3 new liquid-tite flexible conduits from new disconnects to unit and connect ground wire to unit.
- E. Install 3 new liquid-tite flexible conduits from junction boxes on roof to condensing units for low voltage wiring.
- F. Label disconnects and boxes with unit and circuit numbers for each disconnect and junction box.
- G. NOTE: This work ties in with new work on roof which is to be performed when new roof is stripped. A separate proposal has been given for the roof work on August 20, 2014 and a verbal approval has been given but proposal has not been signed. If proposal is not signed and returned the alternate price will apply due to the fact that the price on this proposal has been discounted because this work will be performed at a later date when roof is stripped.

Price \$1,588.00

Alternate price (if proposal is not signed) \$2,488.00

Price includes:

- 1. New a/c weatherproof non-fusible disconnects.**
- 2. New junction boxes.**
- 3. New liquid-tite flexible conduits.**
- 4. Labeling of disconnects and junction boxes.**
- 5. Taxes and insurance.**

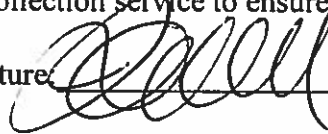
Not included:

1. **Engineering fees.**
2. **Permit.**
3. **Any additional work required by inspector.**

PAYMENT TO BE MADE: As invoiced

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above. Henry Rodriguez State Certified Unlimited Electrical Contractor, Inc. reserves the right to change this proposal at any time without prior notice. This proposal may be withdrawn by Henry Rodriguez State Certified Unlimited Electrical Contractor if not accepted within 15 days. All accounts 30 days past due are subject to a finance charge of 1.5% per month – 18% per annum, or the maximum amount permitted under state and federal law. Customer agrees to pay all costs of collection services of an attorney or collection service to ensure payment.

Acceptance Signature

A handwritten signature in black ink, appearing to be "Henry Rodriguez", written over a horizontal line.

Date

8-14-15