

SINGLE FAMILY RESIDENCE



ABBREVIATIONS:

ABOVE FINISH FLOOR	A.F.F.	EMERGENCY OVERFLOW SCUPPER	E.O.S	PLYWOOD	PLY. WD.
AIR CONDITIONING	A/C	FINISH	FIN.	PRESSURE TREATED	P.T.
AIR HANDLING UNIT	A.H.U.	FINISH FLOOR	F.F.		
ALTERNATE	ALT.	FOOTING	FTG.		
AVERAGE	AVG.				
BEAM	BM.	GALVANIZED	GALV.	RADIUS	RAD.
BLOCKING	BLKG.	GYPSUM BOARD	GYP.BO.	RAFTER	RAF.
BOTTOM	BOT.			REQUIRED	REQD
BUILDING	BLDG.	HEIGHT	HT./HGT.	REVISION	REV.
		HOSE BIBB	H.B.	ROUGH OPENING	R.O.
		INSULATION	INSUL.		
CEILING	CLG.	INTERIOR	INT.	SHEATHING	SHTG.
CENTER LINE	CL	LAVATORY	LAV.	SIMILAR	SIM.
CLEAR	CLR.	LOUVER	LOUV.	SOLID CORE	S.C.
CONCRETE MASONRY UNIT	C.M.U.	MANUFACTURER	MFG.	TONGUE AND GROOVE	T&G
CONTINUOUS	CONT.	MATERIAL	MATL.		
		MAXIMUM	MAX.	TOP OF BEAM	T.O.B.
DIAMETER	DIA.	MEAN ROOF HEIGHT	M.R.H.	TOP OF PLATE	T.O.P.
DISHWASHER	D.W.	METAL	MTL.	TYPICAL	TYP.
DOUBLE	DBL.	MINIMUM	MIN.	UNLESS NOTED OTHERWISE	U.N.O.
DOWN	DN.				
EACH	EA.	NATIONAL GEODESIC	N.G.V.D.	VENT THRU ROOF	V.T.R.
ELEVATION	ELEV./EL.	VERIFICATION DATA	N.T.S.	VERTICAL	VERT.
EQUAL	EQ.	NOT TO SCALE	O.C.	WALK IN CLOSET	W.I.C.
EXHAUST	EXH.	ON CENTER	O.C.	WATER CLOSET	W.C.
EXPANSION JOINT	E.J.	OVERHANG	O.H.	WATERPROOFING	W.P.
EXTERIOR	EXT.	PLATE	PL.	WOOD	WD.

SYMBOLS:

	BUILDING SECTION SECTION LETTERS		KEYNOTE DRAWING NOTE (NUMBER)
	SECTION LETTERS (WHERE SECTION IS DRAWN)		STEP DOWN CHANGE IN FLOOR HEIGHT
	DETAIL DETAIL NUMBER		CONTROL OR DATUM POINT DESCRIPTION OF POINT (FIN.FLR., TOP OF PLATE, TOP OF T.B.)
	SHEET NUMBER		ELEVATION OR POINT
	INTERIOR ELEVATION(S) (UNFOLD) ARROWS INDICATE ELEVATIONS		REVISION REFERENCE NUMBER OF REVISION CORRESP. TO DESIGN SECTION OF TITLE BLOCK
	DOOR TYPE DOOR MARK (NUMBER)		WALL SECTIONS SECTION NUMBERS
	WINDOW TYPE WINDOW MARK (LETTER)		SECTION NUMBER (WHERE SECTION IS DRAWN)

BOA-SHEET LIST

BA0	COVER SHEET
SP-1	SITE PLAN
SP-2	AREA DIAGRAMS
BA1	FIRST FLOOR
BA2	SECOND FLOOR PLAN
BA3	ROOF PLAN
BA4	ELEVATIONS
BA5	ELEVATIONS
BA6	RENDERINGS
BA7	SITE PHOTOS
SPH	SITE PHOTOS

7910 NW 25TH STREET
SUITE 200
DORAL FL 33122
(305) 593-9798
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MAS+
MIAMI ARCHITECTURAL STUDIO, LLC

SINGLE FAMILY RESIDENCE
220 EDGEWATER DRIVE
CORAL GABLES, FLORIDA

REVISIONS	

COVER SHEET

SCALE
JOB 2018
SHEET

BA0

5/10/2021
8:54:07 AM

JENNIFER MALLON SALMAN • AR-17181

SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 20'

LOCATION MAP



SITE PICTURE

N:\AMERICAN\PHOTOS FOR ELEVATIONS\2019\19-562 FRONT.jpg

ABBREVIATION (IF ANY APPLIED)

A/C = AIR CONDITIONING UNIT
ASPL = ASPHALT
B.M. = BENCH MARK
B/COR = BLOCK CORNER
CALC = CALCULATED
CB = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
CL = CLEAR
CONC. = CONCRETE
D.M.E. = DRAINAGE MAINT. EASEMENT
EASEMT. = EASEMENT
ELEV. = ELEVATION
F.I.P. = FOUND IRON PIPE
F.H. = FIRE HYDRANT
F.I.P. = FOUND IRON PIPE
F.S. = FOUND SPIRE
L.P. = LIGHT POLE
MEAS(M) = MEASURED
M = MANHOLE
M = MONUMENT
NTS = NOT TO SCALE

P/W = PARKWAY
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.C. = POINT OF CURVATURE
P.I. = POINT OF INTERSECTION
P.L. = PROPERTY LINE
P.P. = POWER POLE
P.R.M. = PROPERTY REFERENCE MONUMENT
P.T. = POINT OF TANGENCY
RAD. = RADIAL
REC. (R) = RECORDED
RES. = RESIDENCE
R/W = RIGHT OF WAY
SEC. = SECTION
S.O.A. = SET OR LAY HOLE
S.A/D = SET NAIL AND DISC
S.I.P. = SET IRON PIPE
S.R.B. = SET REBAR
STY = STORY
S.W.K. = SIDEWALK
T.O.P. = TOP OF BANK
U.E. = UTIL. EASEMENT
W.P. = WOODEN POLE
S = SECTION LINE

SURVEYOR'S LEGEND (IF ANY APPLIED)

BOUNDARY LINE
STRUCTURE (BLDG.)
CONCRETE BLOCK WALL
METAL FENCE
WOODEN FENCE
CHAIN LINK FENCE
WOOD DECK/DOCK
ASPHALTED AREAS
CONCRETE
BRICKS OR PAVERS
ROOFED AREAS
WATER (EDGE OF WATER)

CATCH BASIN
MANHOLE
OVERHEAD ELECT.
POWER POLE
LIGHT POLE
HANDICAP SPACE
FIRE HYDRANT
EASEMENT LINE
WATER VALVE
TV-CABLE BOX
WM WATER METER
CONC. LIGHT POLE

CERTIFIED TO:

EDUARDO COSTA LIA PORCELLA DE COSTA, HUSBAND AND WIFE

SITE ADDRESS: 220 EDGEWATER DR., CORAL GABLES, FL. 33133

JOB NUMBER: 19-562

DATE OF SURVEY: MAY 31, 2019

FOLIO NUMBER: 03-4129-000-0060

JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. **120639-0459L**, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF N/A FEET** (NGVD)
- LAND AREA OF SUBJECT PROPERTY: **25,900 SF (+/-)**
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI DADE COUNTY **BENCH MARK No. CG-15**, WITH AN ELEVATION OF **21.24 FEET**.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF N.2°38'50"W., BEING THE RECORDED BEARING FOR THE CENTERLINE OF EAST BROADVIEW DR., AS SHOWN ON PLAT BOOK 46 AT PAGE 5 OF THE PUBLIC RECORD OF MIAMI DADE COUNTY, FLORIDA.

GENERAL SURVEYOR NOTES:

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.

SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.

UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.

THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.

THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/2 FOOT FOR NATURAL GROUND SURFACES AND 1/10 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER 53-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

ENCROACHMENTS AND OTHER POINTS OF INTEREST:

- THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY
- THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE X (SEE NOTE 1)
- THERE IS A 30' INGRESS AND EGRESS EASEMENT ABUTTING THE SUBJECT PROPERTY

THIS DRAWING IS THE PROPERTY OF AMERICAN SERVICES OF MIAMI, CORP. AND SHALL NOT BE USED OR REPRODUCED, IN WHOLE, OR IN PART, WITHOUT PERMISSION OF AMERICAN SERVICES OF MIAMI, CORP.

NOTHING HEREON SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED.

WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY SUPERVISION AND/OR DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY AND TOPOGRAPHICAL SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 FOR THE FLORIDA STATUTES.

AMERICAN SERVICES OF MIAMI, CORP.
Consulting Engineers . Planners . Surveyors

3195 PONCE DE LEON BLVD, SUITE 200
CORAL GABLES, FL 33134
PHONE: (305) 598-5101 FAX: (305) 598-8627
ASOMIAMI.COM

CHECKED BY: E.P.

PAGE No. 1

DRAWN BY: D.G.

FIELD BOOK No.

DESIGNED BY: E.P.

APPROVED BY: E.P.

DATE: 8/8/19

ORDER No.

19-562

SHEET No.

1

TREE LIST				
No.	TREE NAME	BOTANICAL NAME	D.B.H.	HEIGHT
1	LIVE OAK	QUERCUS VIRGINIANA	3.0'	40'
2	GUMBO LIMBO	BUSENIA SMARUBA	2.0'	40'
3	BAMBOO PALM	CHAMAEDOREA SEFRIZI	1.0'	15'
4-6	GUMBO LIMBO	BUSENIA SMARUBA	1.2'	35'
7-8	GUMBO LIMBO	BUSENIA SMARUBA	1.2'	40'
9	FAN PALM	CHAMAEDORPS HUMILIS	0.4'	15'
10-13	ALEXANDER PALM	PTYCHOSPHERMA ELEGANS	0.8'	12'
14	BAMBOO PALM	CHAMAEDOREA SEFRIZI	0.8'	12'
15	UNKNOWN	UNKNOWN	0.8'	12'
16	ROYAL PALM	ROYSTONIA ELATA	2.0'	60'
17	BAMBOO PALM	CHAMAEDOREA SEFRIZI	0.5'	8'
18	LIVE OAK	QUERCUS VIRGINIANA	3'	60'
19-21	BAMBOO PALM	CHAMAEDOREA SEFRIZI	1.0'	12'
22	LIVE OAK	QUERCUS VIRGINIANA	3'	60'
23-28	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.5'	12'
29-30	BAMBOO PALM	CHAMAEDOREA SEFRIZI	1.0'	12'
31-33	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.8'	12'
34	BAMBOO PALM	CHAMAEDOREA SEFRIZI	0.8'	6'
35	SEA GRAPE TREE	COCOLOBA UVIFERA	1.5'	20'
36-42	BAMBOO PALM	CHAMAEDOREA SEFRIZI	1.2'	12'
43	LIVE OAK	QUERCUS VIRGINIANA	1.5'	35'
44	COCONUT	COCOS NUCLIFERA	1.5'	60'
45-46	ALEXANDER PALM	PTYCHOSPHERMA ELEGANS	2'	5'
47-48	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.7'	15'
49	BAMBOO PALM	CHAMAEDOREA SEFRIZI	1.5'	6'
51	LIVE OAK	QUERCUS VIRGINIANA	1.5'	50'
52-53	COCONUT	COCOS NUCLIFERA	1.2'	50'
54-56	ALEXANDER PALM	PTYCHOSPHERMA ELEGANS	1.5'	6'
57	LIVE OAK	QUERCUS VIRGINIANA	1.0'	50'
58	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.5'	8'
59-60	COCONUT	COCOS NUCLIFERA	0.6'	30'
61-62	ALEXANDER PALM	PTYCHOSPHERMA ELEGANS	2.0'	8'
63-66	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.5'	16'
67-68	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	1.8'	15'
69-72	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.5'	18'
73	BAMBOO PALM	CHAMAEDOREA SEFRIZI	1.2'	20'
74-84	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.5'	16'
85-86	BAMBOO PALM	CHAMAEDOREA SEFRIZI	1.2'	15'
89	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.5'	18'
90	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.5'	18'
91	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.5'	18'
92	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.5'	18'
93	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.5'	18'
94	MACARTHUR PALM	PTYCHOSPHERMA MACARTHUR	0.5'	18'

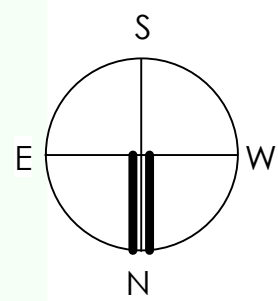
LEGAL DESCRIPTION:

EXHIBIT A

ALL THAT PART OF THE SOUTH 200 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 IN SECTION 2.9, TOWNSHIP 54 SOUTH, RANGE 41 EAST, DADE COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING ON THE SOUTH LINE OF SAID SECTION 604.21 FEET EAST OF THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTH PARALLEL WITH THE WEST LINE THEREOF 200 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE THEREOF 140 FEET; THENCE SOUTHWESTERLY 170 FEET, MORE OR LESS TO A POINT ON THE NORTHERLY LINE OF CORAL GABLES WATER WAY 454.21 FEET EAST OF THE WESTERLY LINE OF SAID SOUTHWEST 1/4; THENCE SOUTHEASTERLY ALONG SAID, NORTHERLY LINE OF CORAL GABLES WATER WAY TO THE SOUTH LINE OF SAID SECTION; THENCE CONTINUE EAST ALONG THE SAID SOUTH LINE TO POINT OF BEGINNING, ALSO KNOWN AS 220 EDGEWATER DRIVE, CORAL GABLES, FL. 33133, TOGETHER WITH ALL OF THE GRANTOR'S RIGHT, TITLE AND INTEREST IN AND TO THAT CERTAIN EASEMENT OF INGRESS AND EGRESS DATED AUGUST 23, 1950, AND RECORDED IN DEED BOOK 3328, PAGE 10, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

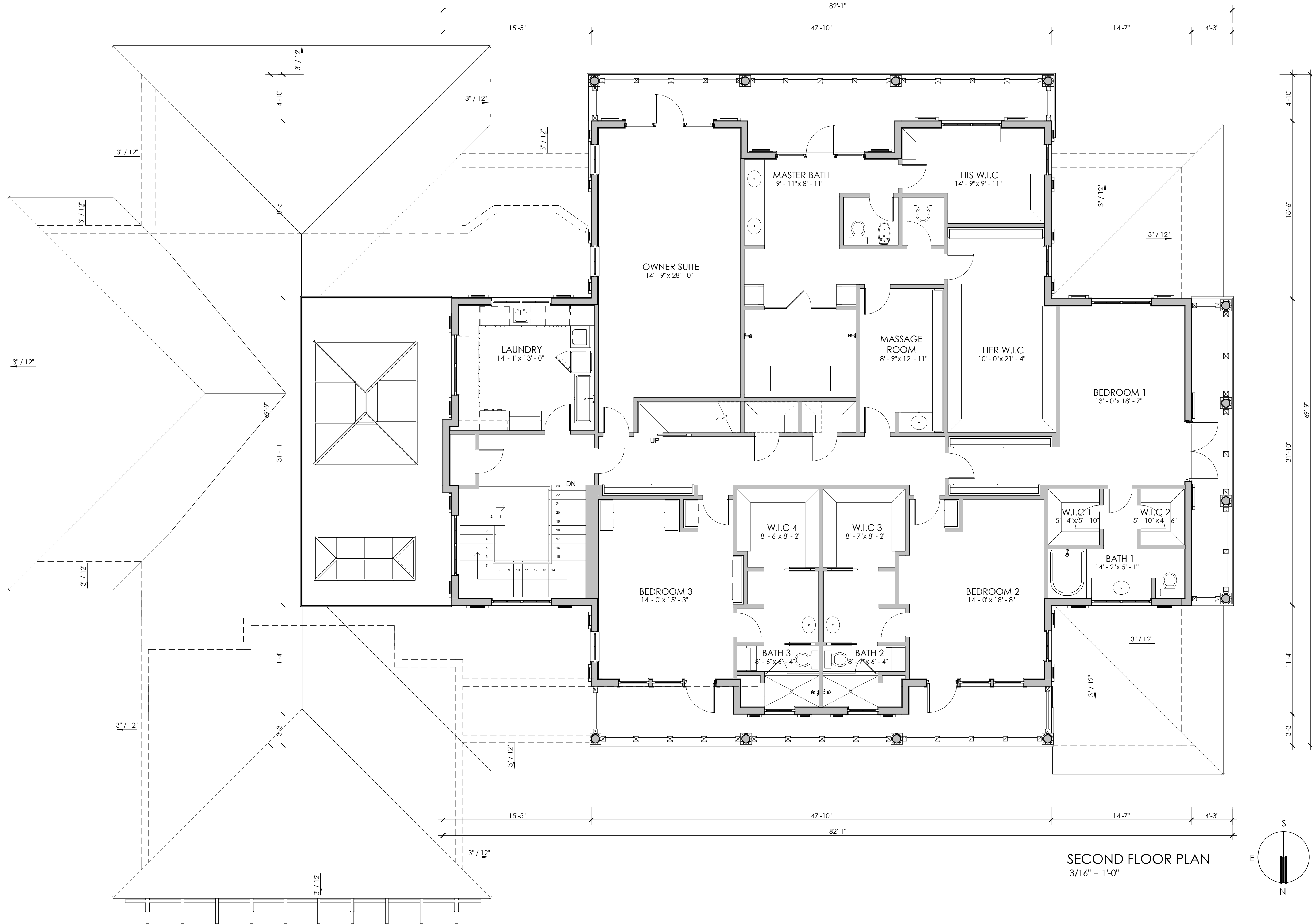
COMMENCING AT: A POINT ON THE WEST LINE OF TRACT 5 OF BAKER HOMESTEAD ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 41 AT PAGE 38, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, DISTANT 30 FEET SOUTH OF THE SOUTH LINE OF TRACT 2 AS SHOWN ON SAID PLAT OF RECORD, THENCE NORTH ALONG SAID WEST LINE OF TRACT 5 IN DISTANCE OF 5.34 FEET TO POINT OF CURVE, THENCE NORTHWESTERLY FOLLOWING CURVE WITH RADIUS OF 25 FEET AND ARC OF DISTANCE OF 38.93 FEET TO A POINT OF THE SOUTH LINE OF TRACT 2, WHICH IS ALSO THE NORTHWEST CORNER OF TRACT 1 AS SHOWN ON THE RECORDED PLAT OF BAKER HOMESTEAD, SAID POINT BEING ON THE SOUTH LINE OF TAHITI ROAD AS SHOWN ON SAID PLAT, THENCE SOUTH ALONG THE EAST LINE OF TRACT 1 A DISTANCE OF 279.66 FEET, THENCE SOUTH 45 DEGREES, 46 MINUTES, 30 SECONDS, WEST DISTANCE OF 69.77 FEET TO THE SOUTHEAST CORNER OF TRACT 1, THENCE EAST 114.65 FEET TO A POINT, THENCE NORTHWESTERLY FOLLOWING CURVE WITH A RADIUS OF 25 FEET AND AN ARC DISTANCE OF 389.3 FEET WHICH POINT IS ALSO ON THE WEST BOUNDARY OF TRACT 2, THENCE NORTH ALONG WEST LINE OF TRACT 2 A DISTANCE OF 304.34 FEET TO THE NORTHWEST CORNER OF TRACT 2, SAID POINT BEING ON THE SOUTH LINE OF TAHITI ROAD, THENCE WEST 40 FEET TO PLACE OF BEGINNING



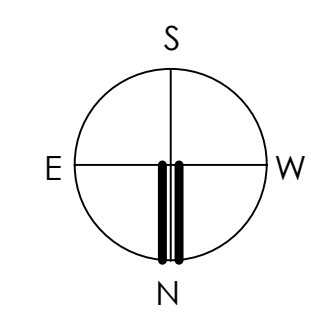


FIRST FLOOR PLAN
3/16" = 1'-0"

AREA SUMMARY		
NAME	AREA	
FIRST FLOOR A/C		4802 SF
SECOND FLOOR A/C		3748 SF
A/C AREA		8550 SF
COVERED TERRACE		2300 SF
COVERED ENTRANCE		401 SF
ENTRY		29 SF
GARAGE		787 SF
COVERED BALCONY		285 SF
COVERED BALCONY		136 SF
COVERED BALCONY		242 SF
NON A/C AREA		4180 SF
Grand total		12730 SF



SECOND FLOOR PLAN
3/16" = 1'-0"



7910 NW 25TH STREET
SUITE 200
DORAL FL 33122
(305) 593-9798
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SINGLE FAMILY RESIDENCE
220 EDGEWATER DRIVE
CORAL GABLES, FLORIDA

REVISIONS

FLOOR PLAN

SCALE 3/16" = 1'-0"

JOB 2018

SHEET

BA2

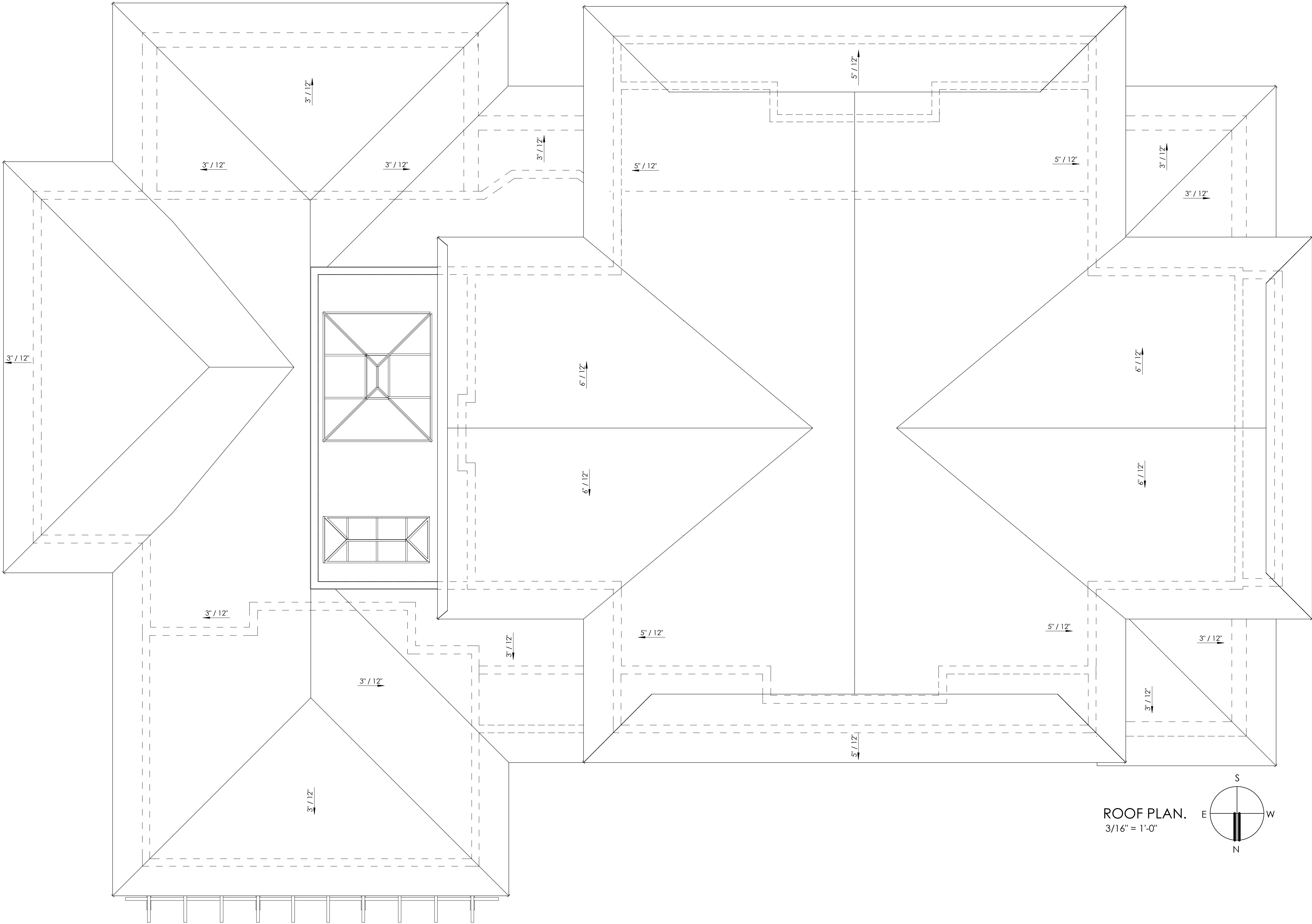
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LICENSE # A A 24001191



SINGLE FAMILY RESIDENCE
220 EDGEWATER DRIVE
CORAL GABLES, FLORIDA

REVISIONS	

ROOF PLAN

SCALE 3/16" = 1'-0"

JOB 2018

SHEET

BA3

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FRONT ELEVATION (NORTH)
3/16" = 1'-0"



REAR ELEVATION (SOUTH)
3/16" = 1'-0"

KEYNOTES

1. CEMENT FLAT TILE
2. SMOOTH FINISH STUCCO
3. DECORATIVE ALUMINUM SHUTTERS
4. KEYSTONE TREADS, RISERS AND OUTDOOR FLOORING
5. WOOD RAFTERS - CYPRESS
6. KEYSTONE COPING
7. SMOOTH FINISH STUCCO BAND
8. EXTERIOR WALL MOUNTED LIGHT
9. SMOOTH FINISH STUCCO MOLDING
10. SKYLIGHT W/ ALUMINUM FRAME
11. DECORATIVE LOUVERED VENTS

- ROOF TILE - (BORAL SAXONY 900 SPLIT SHAKE CHARCOAL GREY BLEND)
STUCCO SMOOTH FINISH - (SW 7011 NATURAL CHOICE)
STUCCO BANDS AND MOLDINGS - (SW 7613 IVORY LACE)
WOOD RAFTERS - (SW 7050 USEFUL GRAY)
DECORATIVE ALUMINUM SHUTTERS - (SW 7050 USEFUL GRAY)
CORAL ROCK (ROUND CUT)
DECORATIVE LOUVERED VENTS (SW 7050 USEFULL GRAY)

- FRENCH DOORS - ALUMINUM WHITE, FINISH IMPACT
SLIDING DOORS - ALUMINUM WHITE, FINISH IMPACT
WINDOWS - ALUMINUM WHITE, FINISH IMPACT

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SUITE 200
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REVISIONS

ELEVATIONS

SCALE As indicated
JOB 2018
SHEET
BA4

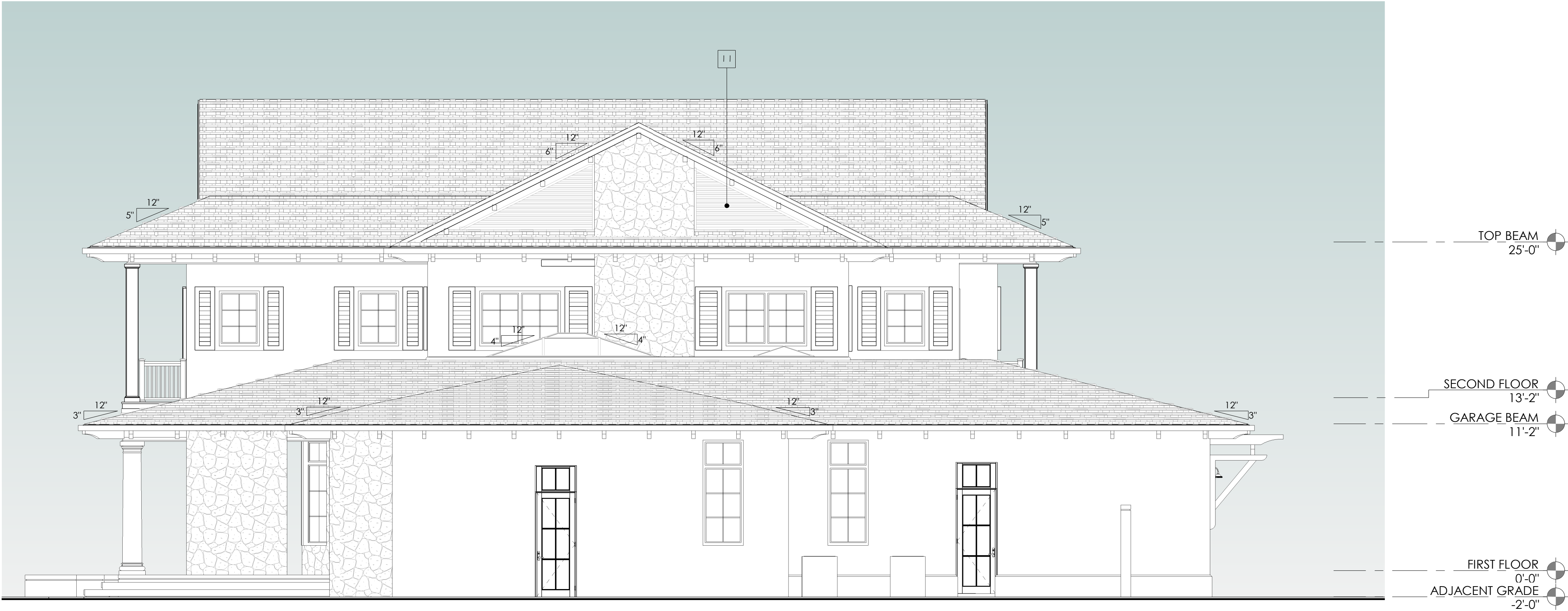
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LEFT ELEVATION (EAST)
3/16" = 1'-0"



RIGHT ELEVATION (WEST)
3/16" = 1'-0"

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REVISIONS	

ELEVATIONS	
SCALE	3/16" = 1'-0"
JOB	2018
SHEET	BA5

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REVISIONS	

RENDERINGS

SCALE
JOB 2018
SHEET
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LICENSE # A 2601191
JENNIFER MALLON SALMAN • AR-17181



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PROPOSED RESIDENCE 220 EDGEWATER DRIVE
CORAL GABLES, FLORIDA



③



④



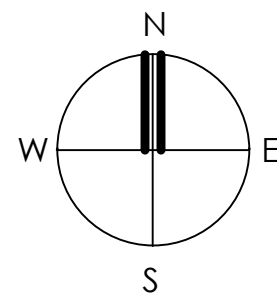
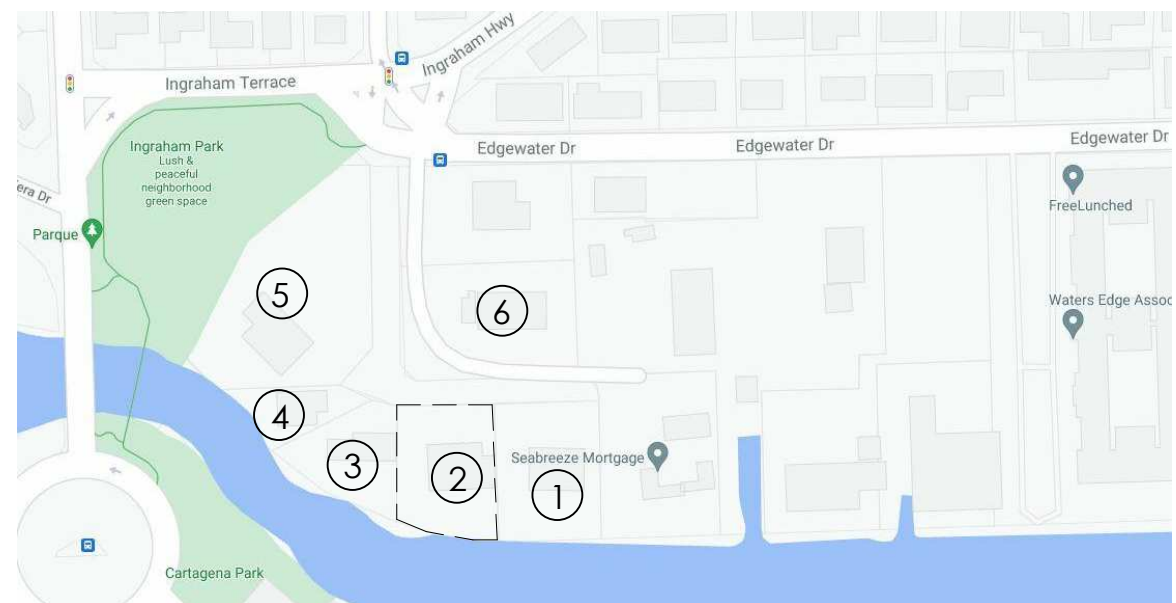
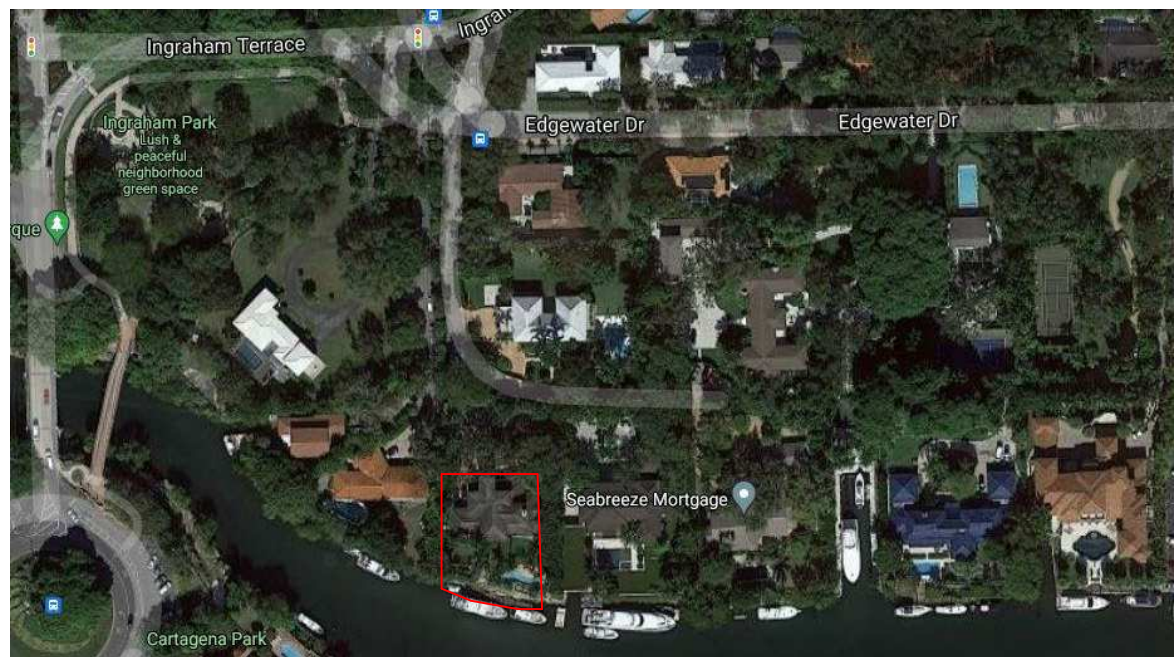
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EXISTING RESIDENCE 220 EDGEWATER DRIVE



NEIGHBORING HOUSES ADDRESS LIST

1. 210 EDGEWATER DRIVE
2. 220 EDGEWATER DRIVE
3. 230 EDGEWATER DRIVE
4. 236 EDGEWATER DRIVE
5. 240 EDGEWATER DRIVE
6. 190 EDGEWATER DRIVE

7910 NW 25TH STREET
SUITE 200
DORAL, FL 33122
(305) 593-9798
WWW.MAS.MIAMII

MAS+
MIAMI ARCHITECTURAL STUDIO, LLC

SINGLE FAMILY RESIDENCE
220 EDGEWATER DRIVE
CORAL GABLES, FLORIDA

REVISIONS	

SITE PHOTOS

SCALE
JOB 2018
SHEET
SPH

5/10/2021
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LICENSE # A A 24001191