

Date: 4.8.2021

City of Coral Gables

Development Review Committee
427 Biltmore Way, 2nd Floor
Coral Gables, Florida 33134

Re: DRC Application for 2801 Salzedo Street, Coral Gables, Florida 33134

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4. Photographs of property, adjacent uses and/or streetscape
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9. Landscape Plan
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11. Building Floor Plans
12. Ordinances, Resolutions, covenants, development agreements previously granted:
 - Ordinance No. 2016-51 | Change in Zoning
 - Ordinance No. 2016-52 | Change in Land Use
13. Historical Significance Letter
14. Name and Contact Information
15. Laura Russo Lobbyist Application is on file with the City Clerk's office
16. Warranty Deed
17. Application fee of \$100 Dollars – Paid electronically
18. DRC Submittal Drawings Architecture
19. DRC Submittal Drawings Landscape

	Level	Development Review Committee Application	
	2	427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 planning@coralgables.com	
Review			305.460.5211

Preamble

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level Two (2) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- ☒ By-right new construction, additions, and alterations to buildings and/or structures (Board of Architects review only).
- ☐ Change in use or occupancy.
- ☐ Other: _____

Property information

Street address of the subject property: 2801 Salzedo Street, Coral Gables, Florida 33134

Property/project name: Mercedes-Benz of Coral Gables

Current land use classification(s): Commercial High-Rise Intensity Ordinance No. 2016-52

Current zoning classification(s): Commercial Ordinance No. 2016-51: Now MX-3 Ordinance

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

Last use/current use of the property/building(s): City of Coral Police & Fire Department

Proposed use(s) of the property/building(s): Sales Center for Mercedes-Benz of Coral Gables

Size of property (square feet/acres): 63,000 sf. | 1.45 acres

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): Office Bldg Area - 90,401 GSF
(90,401 / 3 FAR = 30,133 SF)

Total number of residential units per acre and total number of units: N/A

Estimated cost of the existing/proposed building/project: approximately \$4.1 million renovation costs

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City of Coral Gables Florida	Review		

Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

N/A

Project Legal Description: Lot(s): Lots 1 through 11 and Lots 27 through 38 and the 20 foot alley lying between said lots, including that portion of said 20 foot alley lying north of said lot 27

Block(s): Block 18

Section(s): Coral Gables Crafts Section according to the Plat thereof, as recorded in Plat Book 10, at Page 40, of the Public Records of Miami-Dade County, Florida

Listing of all folio numbers for subject property:

03-4117-005-5110

General information

Applicant(s)/Agent(s) Name(s): Mercedes-Benz of Coral Gables | Brockway/Valencia, LLC | Contact Name: Jim Eagleton

Telephone Contact No: 305.586.6299 Fax No.: 305.513.5125 Email: jim @ eagletonkathe.com

Mailing Address: 300 Almeria Avenue, Coral Gables, Florida 33134
 (City) (State) (ZIP Code)

Property Owner(s) Name(s): Brockway/Valencia, LLC | Contact Name: Jim Eagleton

Telephone Contact No: 305.586.6299 Fax No.: 305.513.5125 Email: jim @ eagletonkathe.com

Mailing Address: 300 Almeria Avenue, Coral Gables, Florida 33134
 (City) (State) (ZIP Code)



Level

2

Review

Development Review Committee Application

427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

planning@coralgables.com

305.460.5211

Property Owner(s) Name(s): N/A

Telephone Contact No: _____ Fax No.: _____ Email: _____ @ _____

Mailing Address: _____
(City) (State) (ZIP Code)

Project Architect: Perkins&Will

Telephone Contact No: 305.569.1349 Fax No.: 305.569.1334 Email: carlos.chiu @ perkinswill.com

Mailing Address: 2800 Ponce De Leon Boulevard, Suite 1300, Coral Gables, Florida 33134
(City) (State) (ZIP Code)

Provide the date(s) and types of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

Change in Land Use Ordinance 2016-52 | October 25, 2016

Change in Zoning Ordinance 2016-51 | October 25, 2016

 City of Coral Gables Florida	Level 2	Development Review Committee Application	
	Review	427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 planning@coralgables.com 305.460.5211	

Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to be scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agent shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary. City staff to check/confirm if all below information is provided at time of application submittal.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- ☒ Table of Contents with page numbers identifying all below documents.
- ☒ DRC Application.
- ☒ Statement of use and/or cover letter.
- ☒ Photographs of property, adjacent uses and/or streetscape.
- ☒ Property survey and legal description.
- ☒ Aerial.
- ☒ Site plan and supporting information.
- ☒ Vegetation assessment and/or survey (if property contains vegetation).
- ☒ Landscape plan.
- ☒ Architectural/building elevations.
- ☒ Building floor plans.
- ☒ Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- ☒ Historical Significance letter.
- ☒ Name and contact information for property owner, applicant, architect, attorney, etc.
- ☒ City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- ☒ Warranty Deed.
- ☒ Application fee of \$100.00 dollars in check form, payable to the City of Coral Gables. Submit copy of check.
- ☒ Other: DRC Submittal Drawings

Posting of the property. The City shall provide a City approved sign to the applicant to post the subject property advising of the DRC meeting date. The public notice posting shall be in accordance with the Zoning Code. The sign shall be installed by the applicant ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.

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Application submittal requirements

1. Hard copies. Sixteen (16) hard copies of the entire application shall be submitted including all the items identified in the pre-application conference. Plans and drawings shall be in 11" x 17" format.
2. Digital media copies.
 - a. Two (2) compact discs (CD ROMs) of the entire application including all items identified in the Pre-application Conference. The digital media copy shall be in the order of documents identified in the above section Application submittal order of documents. Each document shall be separated into PDF files with each PDF file name identified. Each PDF file size shall not exceed 10 MB. All discs shall be labeled "DRC Application" with the applicant(s) name, project name and date of submittal.
 - b. Optional digital media. Dependent upon the size of the project, one (1) compact disc (CD ROMs) of all drawings, plans, etc. in AutoCAD format may be required.

Applicant/agent/property owner/architect affirmation and consent

- (I) (We) affirm and certify to all of the following:
1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
 2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
 3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
 4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
 5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
 6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
 7. Understand that under Florida Law, all the information submitted as part of the application are public records.
 8. The subject property will be posted with a City approved public notice sign. The public notice posting is in accordance with the Zoning Code. The sign shall be installed by the applicant ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
 9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.

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City of Coral Gables Florida	Review		

Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: Mercedes-Benz of Coral Gables Brockway/Valencia, LLC Contact Name: Jim Eagleton
---	---

Address: 300 Almeria Avenue, Coral Gables, Florida 33134


Telephone: 305.586.6299

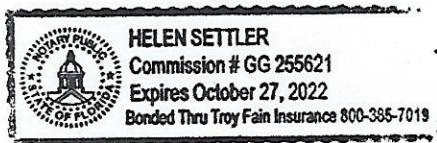
Fax: 305.513.5125

Email: jim@eagletonkathe.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF


The foregoing instrument was acknowledged before me this 8 day of April by 
 (Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced _____


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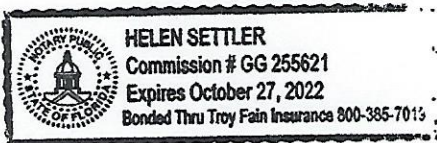
Property Owner(s) Signature: 	Property Owner(s) Print Name: Brockway/Valencia, LLC Contact Name: Jim Eagleton
Property Owner(s) Signature:	Property Owner(s) Print Name:
Property Owner(s) Signature:	Property Owner(s) Print Name:

Address: 300 Almeria Avenue, Coral Gables, Florida 33134	
Telephone: 305.586.6299	Fax: 305.513.5125
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NOTARIZATION

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Level

2

Review

Development Review Committee Application

427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

planning@coralgables.com

305.460.5211

Architect(s) Signature:

Architect(s) Print Name:

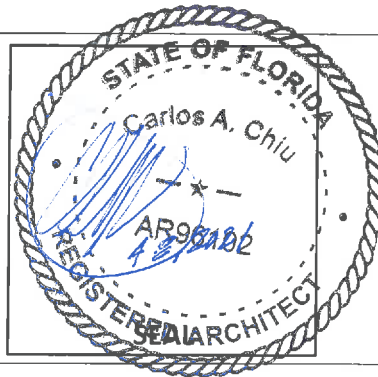
Perkins&Will | Carlos Chiu

Address: 2800 Ponce De Leon Boulevard, Suite 1300, Coral Gables, Florida, 33134

Telephone: 305.569.1349

Fax: 305.569.1334

Email: carlos.chiu@perkinswill.com



NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 8th day of April by 2021

(Signature of Notary Public - State of Florida)

Karen Carmenate
Comm. #GG359571
Expires: October 29, 2023
Bonded Thru Aaron Notary

(Print, Type or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification; Type of Identification Produced _____

Date: 4.8.2021

City of Coral Gables

Development Review Committee
427 Biltmore Way, 2nd Floor
Coral Gables, Florida 33134

**Re: DRC Application for 2801 Salzedo Street, Coral Gables, Florida 33134
Statement of Use – Architecture & Landscape**

Dear Development Review Committee Members,

Property Information

Property name:	2801 Salzedo Street, Coral Gables, Florida 33134
Site Area:	1.5 Acres (63,000 Square Feet)
Number of Stories:	5
Year (s) constructed:	1973
Land Use Category:	Commercial High-Rise Intensity Ordinance No. 2016-52
Zoning District:	Commercial Ordinance No. 2016-51: Now MX-3 Ordinance 2021-07

This building was until recently the City of Coral Gables Police and Fire Department. We propose to repurpose the structure as the new showroom for Mercedes-Benz of Coral Gables and to house inventory that is currently on surface lots on Valencia and Andalusia Avenues.

This DRC review is for the shell and core only; the design of the future tenant space is not part of this scope; the tenant improvements will be submitted at a future date.

The existing exterior finish of the building consists of a combination of painted stucco and brick veneer over a concrete structure. The proposed scope for the new exterior includes replacing the brick veneer with a painted-stucco finish (needed to achieve a water-tight envelope), replacement of the existing glazing with new hurricane impact glass, select application of aluminum metal cladding, and select additional glass areas on the east and west facades of the fire station (please refer to the DRC set of design drawings for details)

Proposed exterior signage for Mercedes-Benz of Coral Gables is indicated on the elevations contained in the DRC set.

The existing site has a basement level occupying a majority of the property with building and structured garage above. There are existing landscape planters on the ground level and on specific areas of the garage. All existing landscape areas will be restored and renovated with new plantings and irrigation.

Refer to DRC submittal package for exterior and interior renovation drawings.

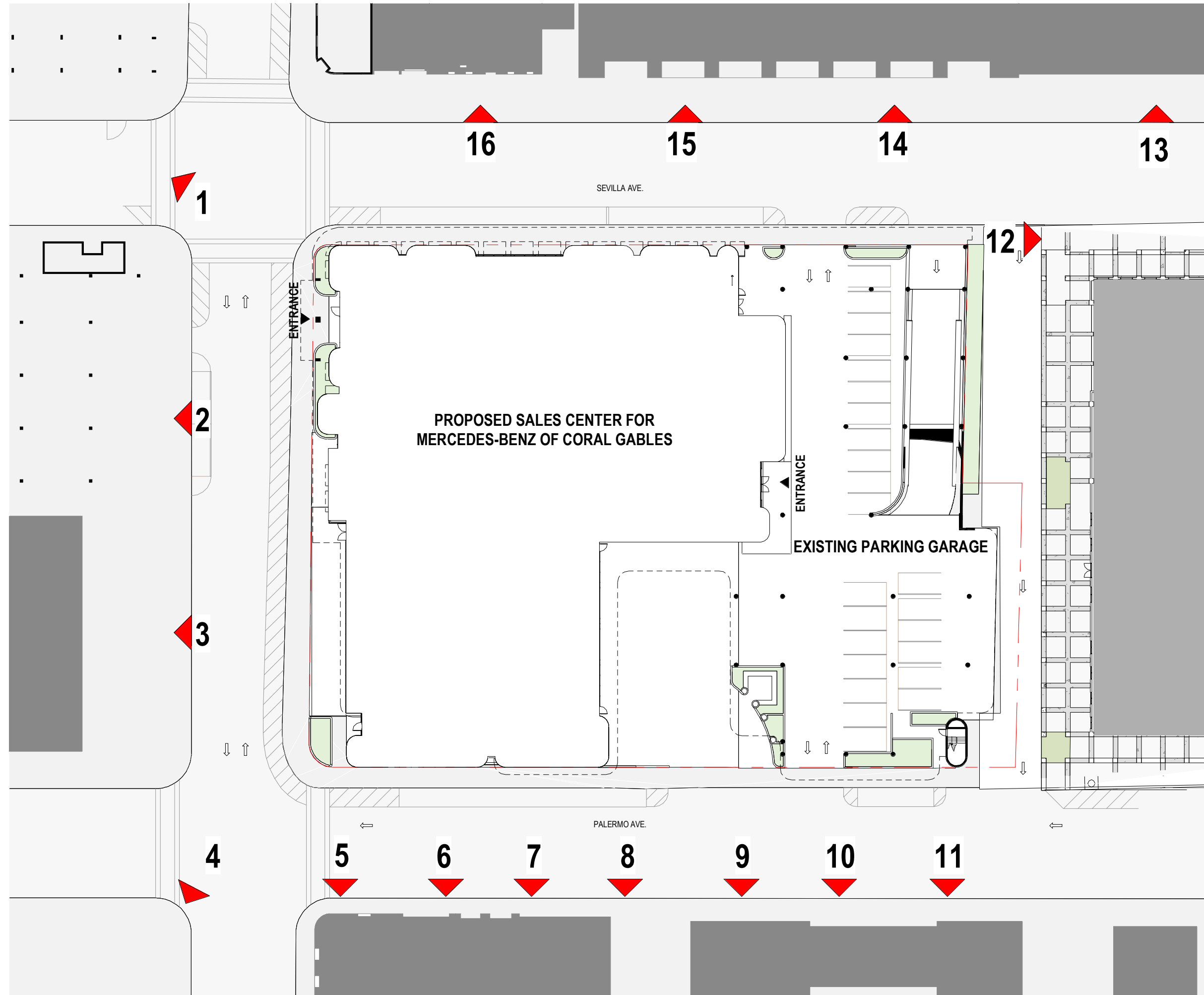
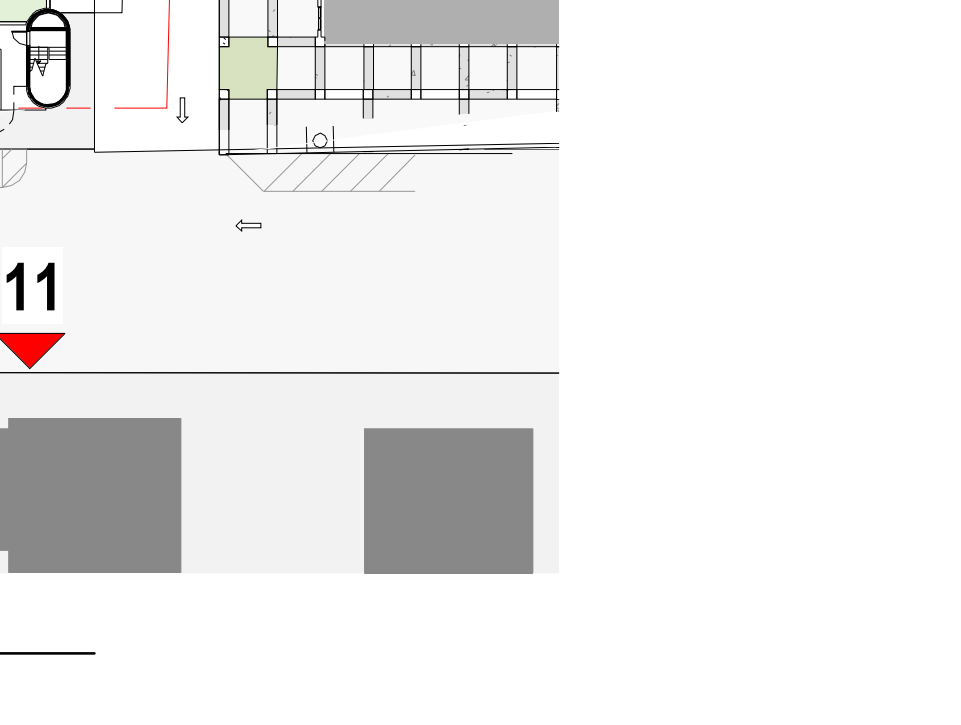
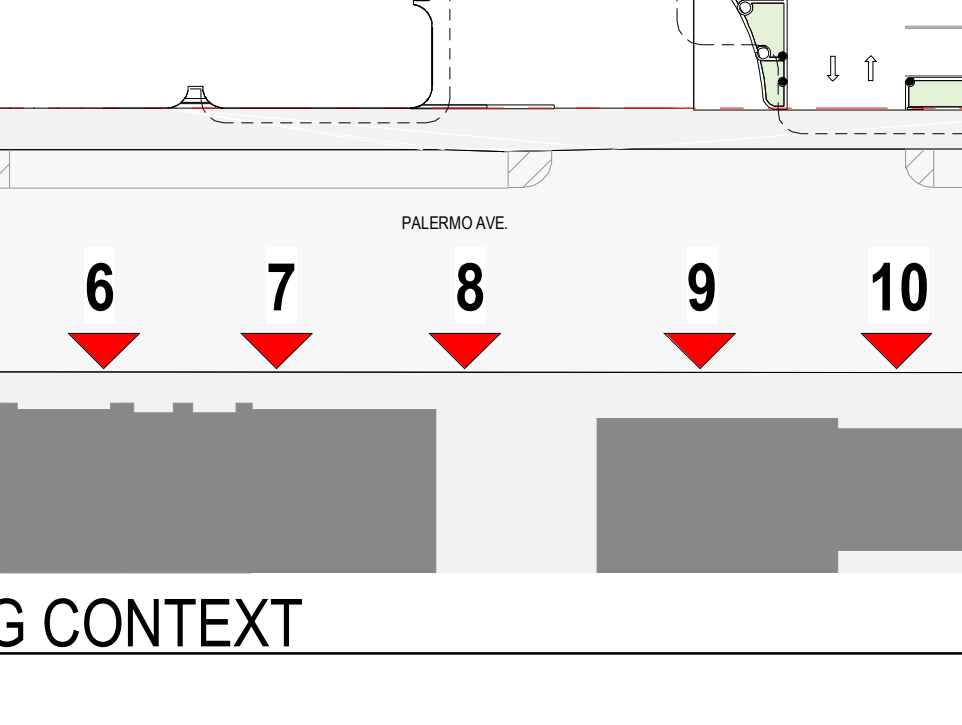
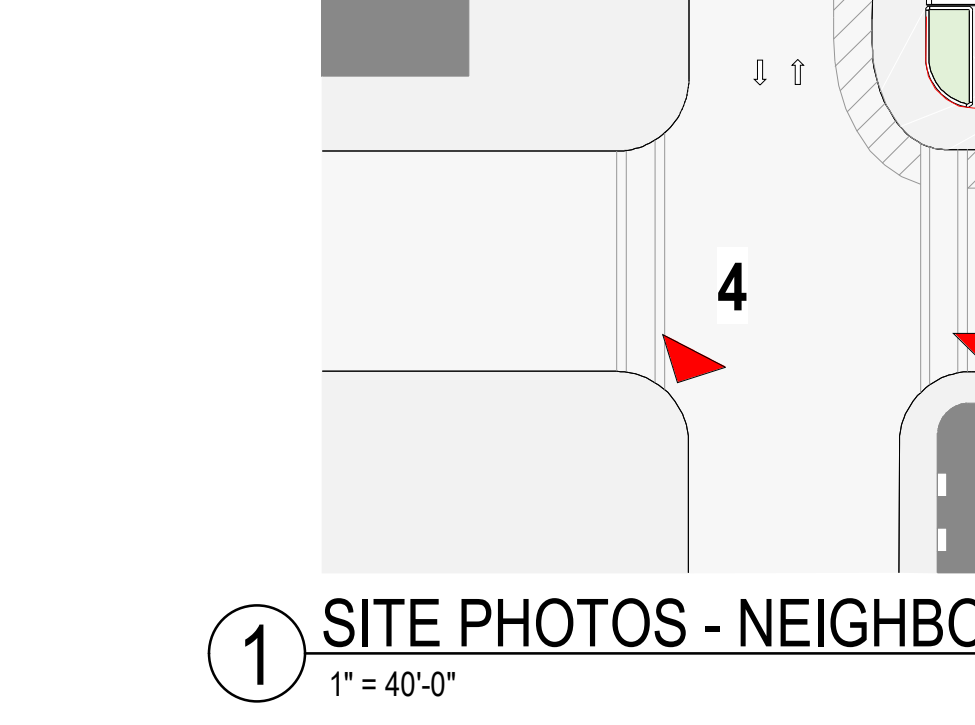
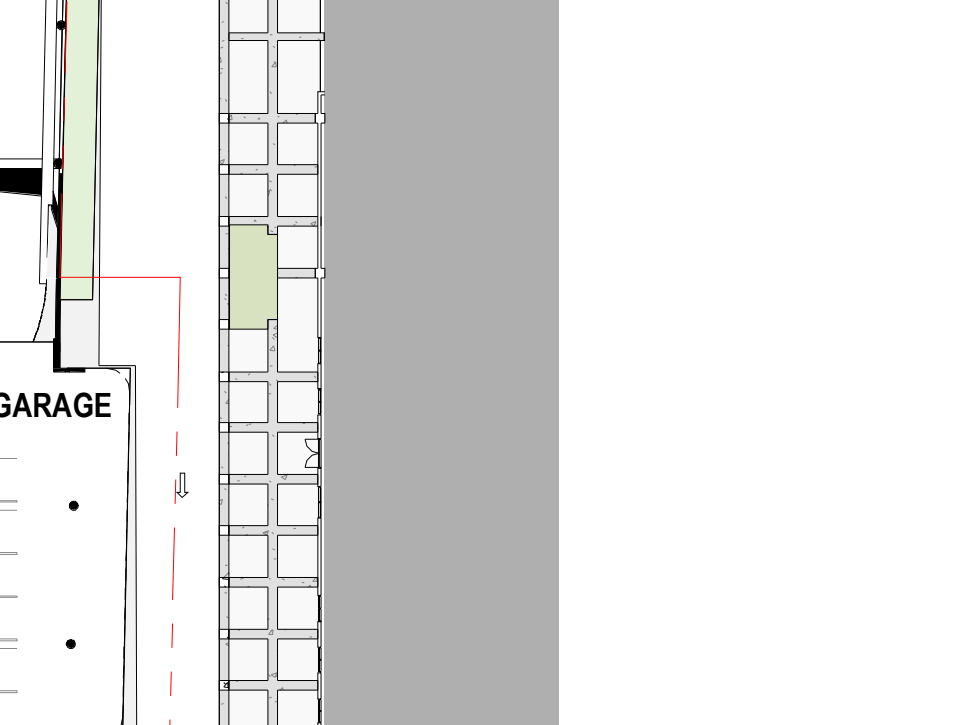
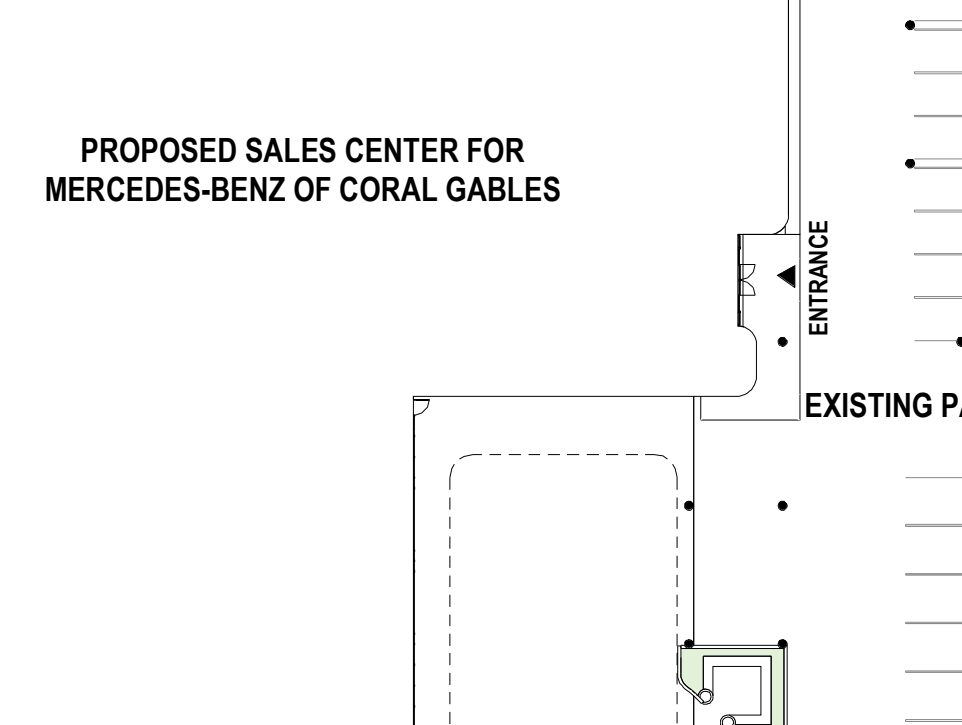
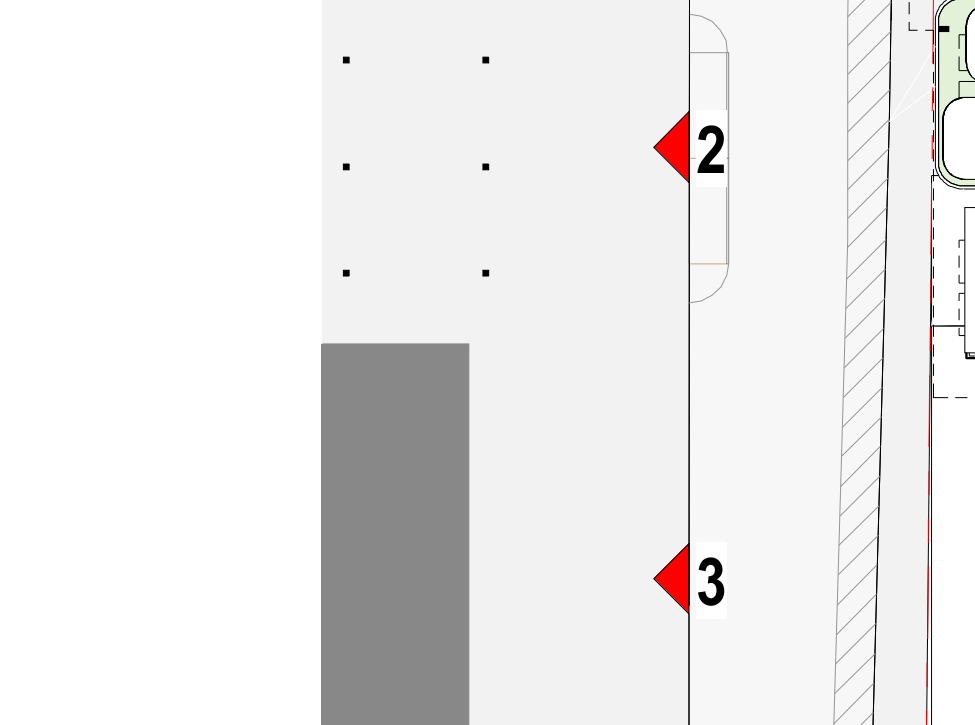
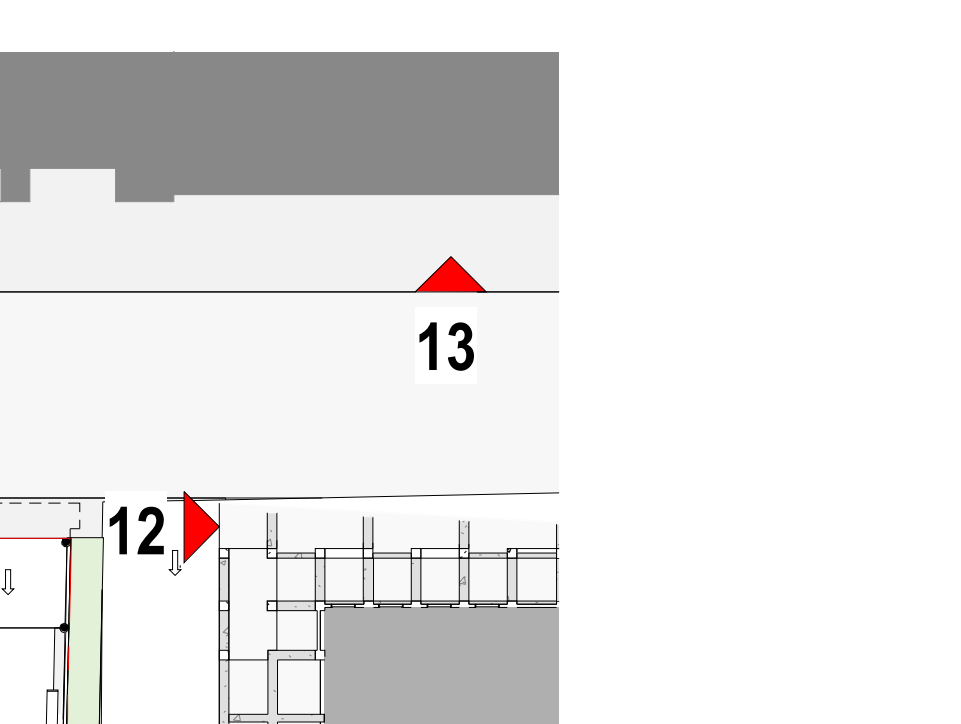
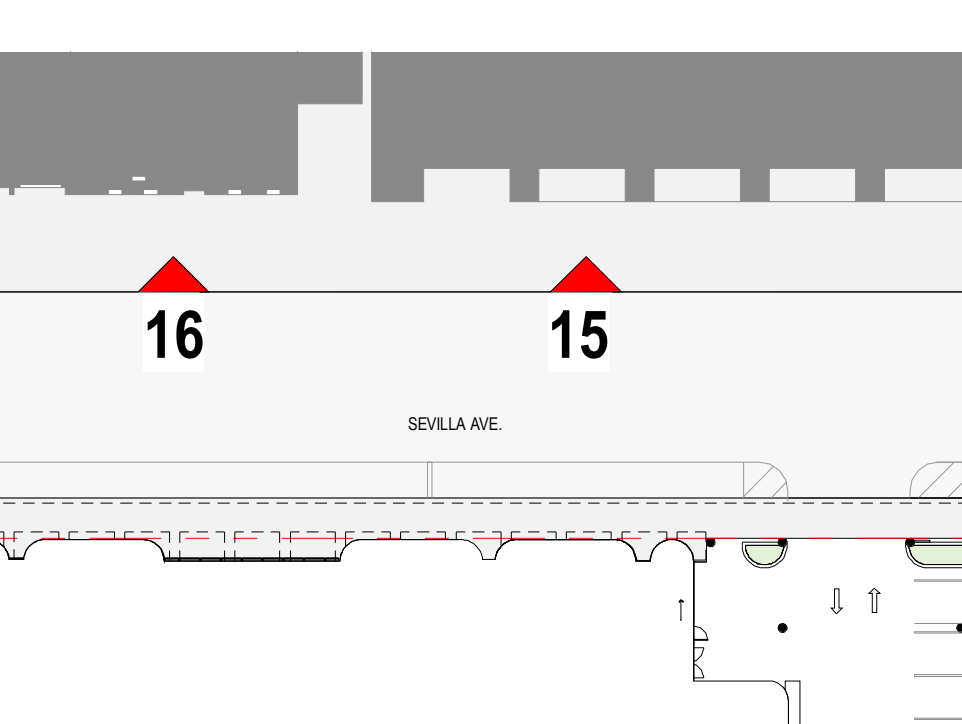
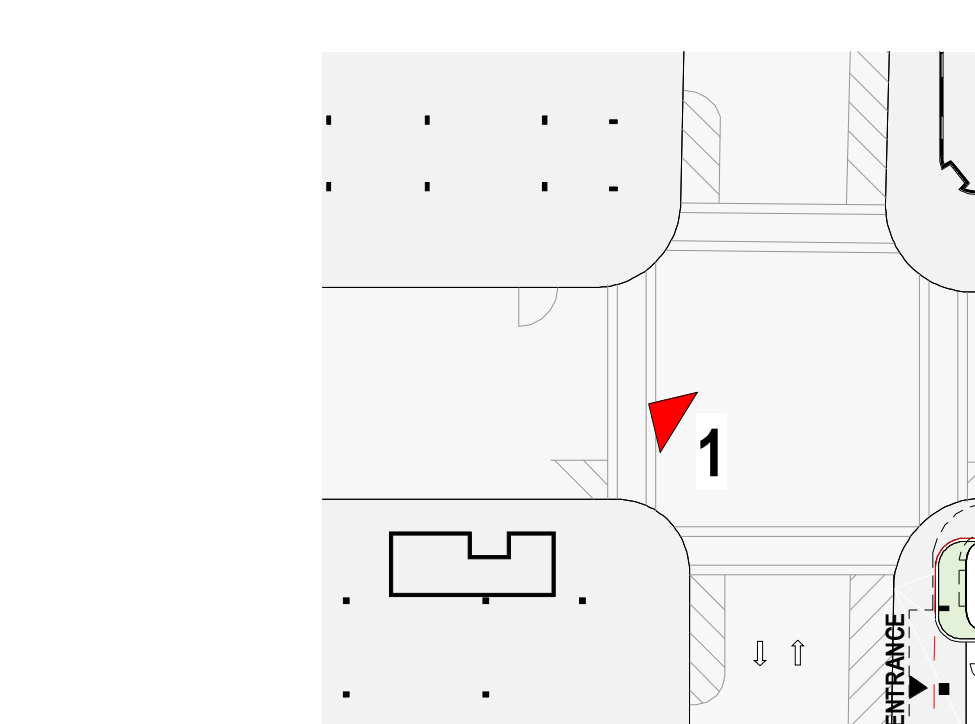
Sincerely,

Date: 4.8.2021

Re: DRC Application for 2801
Salzedo Street, Coral Gables,
Florida 33134
Statement of Use –
Architecture & Landscape



Neyda S. Otero
Senior Project Manager
Perkins&Will



1 SITE PHOTOS - NEIGHBORING CONTEXT
1" = 40'-0"

OWNER		PROJECT		ARCHITECT		SHEET NUMBER	
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134		Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134		Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 f 305.569.1334 perkinswill.com		SITE PHOTOS DRC30-02 © 2014 Perkins and Will	

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134



1



16



15



14



13



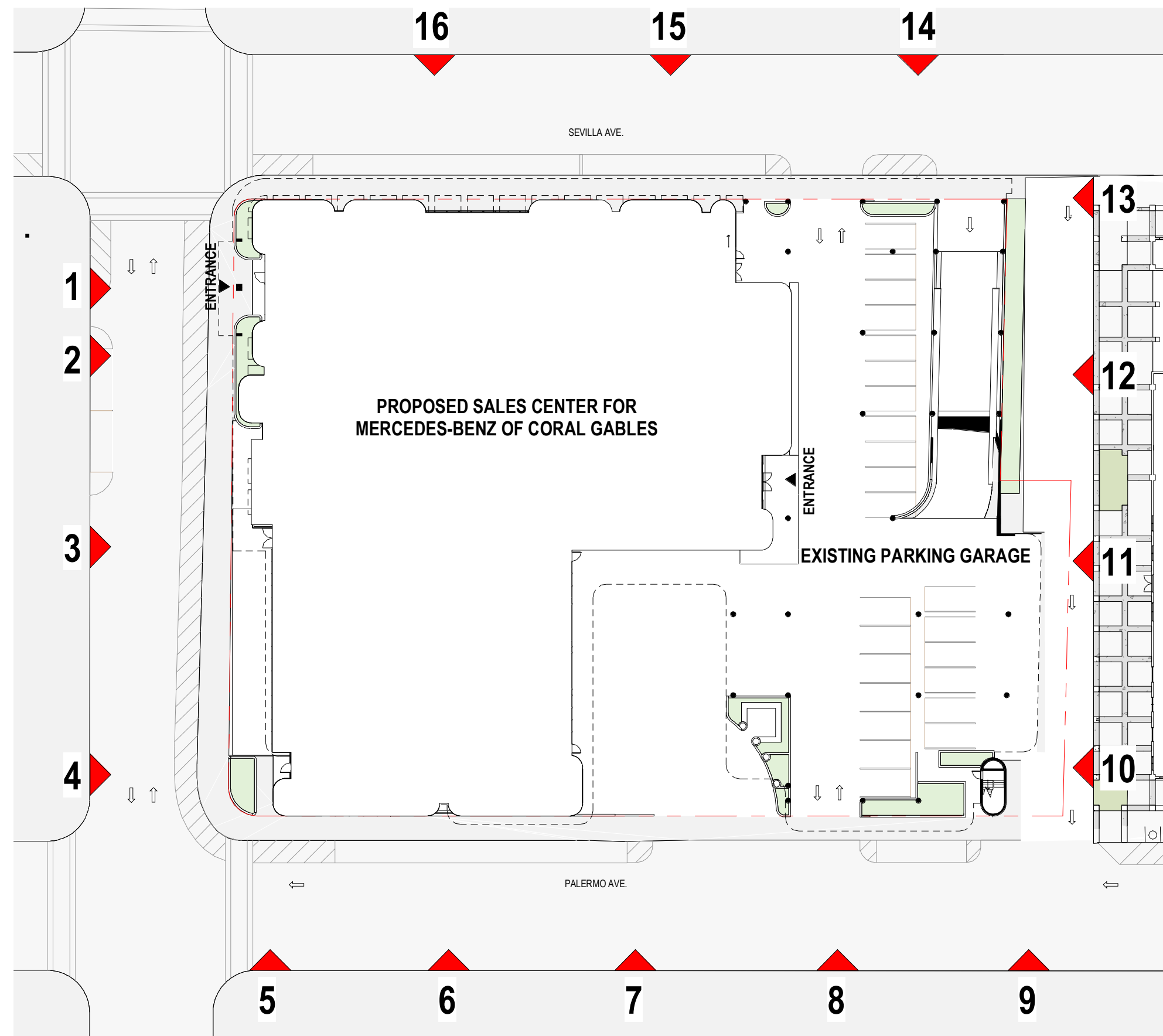
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① SITE PHOTOS
1" = 40'-0"



12



11



10



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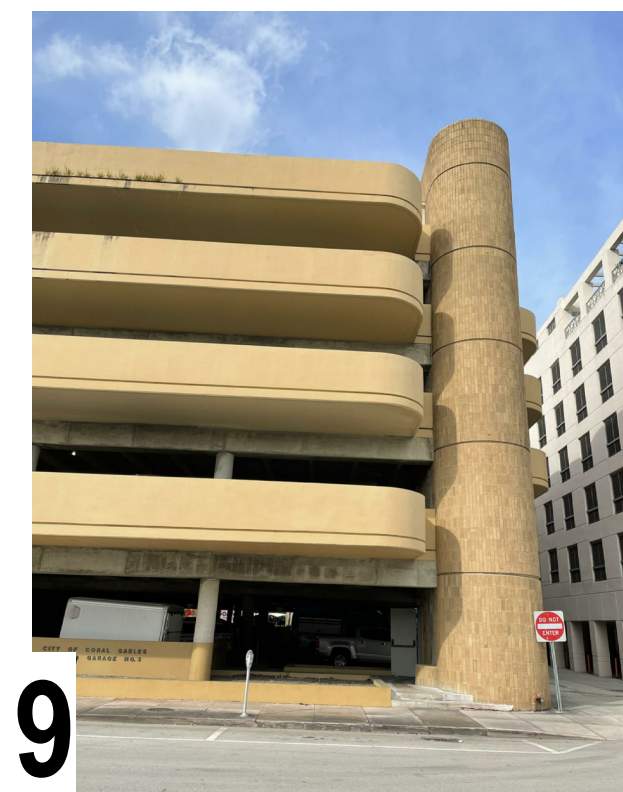
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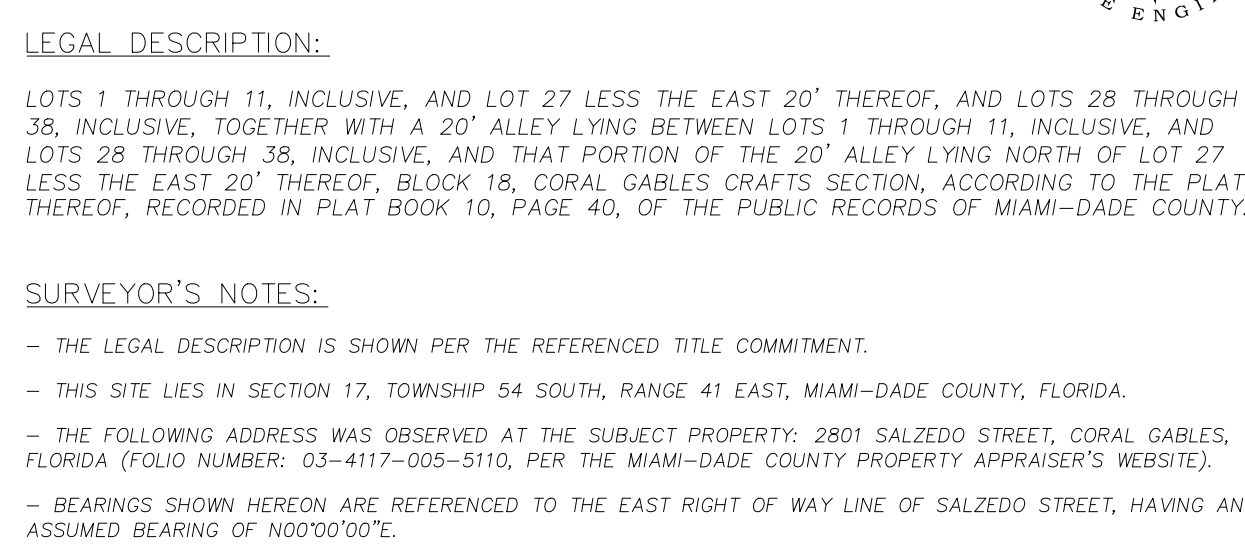
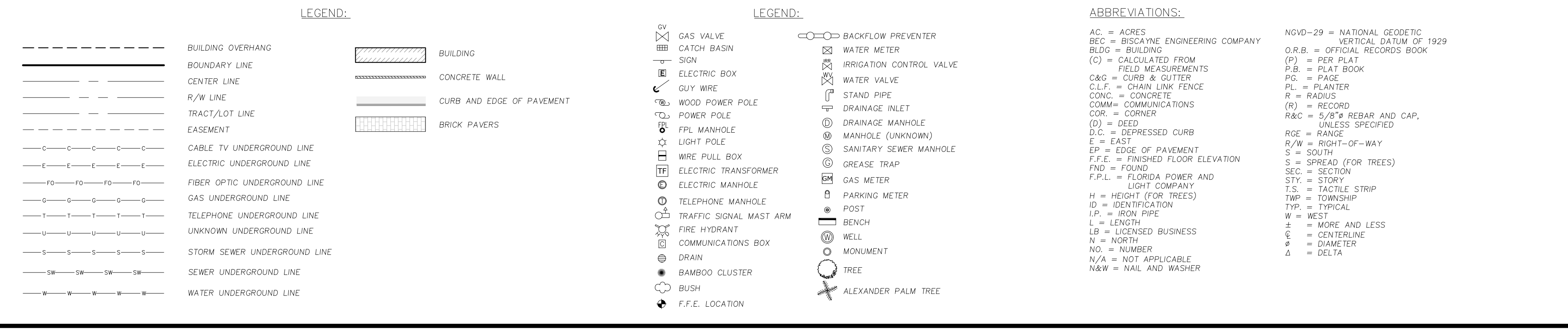


9

OWNER	PROJECT	ARCHITECT	SHEET NUMBER
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134	Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134	Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 f 305.569.1334 perkinswill.com	SITE PHOTOS DRC30-04 © 2014 Perkins and Will

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134



- DIMENSIONS AND DIRECTIONS INDICATED HEREON ARE CALCULATED FROM FIELD MEASUREMENTS USING A TOTAL STATION ELECTRONIC DISTANCE MEASUREMENT (EDM) AND A MEASURING TAPE, UNLESS OTHERWISE NOTED.
- ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS SHOWN HEREON WERE MEASURED ALONG THE EXTERIOR FACE AT GROUND LEVEL WHERE POSSIBLE. PORTIONS OF THE GROUND LEVEL ARE OPEN TO PARKING AREAS OF THE PARKING GARAGE AND THE LIMITS OF OVERHANGING BUILDING IS SHOWN, THE APPROXIMATE LIMITS OF THE 5 STORY TOWER ARE SHOWN FOR REFERENCE ONLY.
- TIES FROM PROPERTY LINES TO BUILDING ARE TO THE EXTERIOR FACE OF BUILDINGS PERIMETER WALLS; UNDERGROUND FOUNDATIONS HAVE NOT BEEN LOCATED OR SHOWN.
- UNDERGROUND IMPROVEMENTS AND/OR UNDERGROUND ENCROACHMENTS, WHERE THEY ARE NOT VISIBLE AT GROUND LEVEL ARE NOT SHOWN INCLUDING BUT NOT LIMITED TO BUILDINGS, STRUCTURAL APPURTENANCES, STORM DRAINAGE SYSTEMS, UTILITIES, TANKS OR RUBBISH FILLS.
- UNDERGROUND UTILITIES SHOWN HEREON WERE MARKED BY INFRAPAM CORPORATION ON 1/28/2020 AND

THE LOCATIONS OF VISIBILITIES WERE SURVEYED; HOWEVER, SYMBOLS SHOWN HEREON ARE FOR REFERENCE AND ARE NOT SHOWN TO SCALE.

- TREES SHOWN HEREON WERE LOCATED AND IDENTIFIED TO THE BEST OF OUR ABILITY; CLIENT SHOULD CONSULT A CERTIFIED ARBORIST FOR VERIFICATION OF TREE SPECIES.
- NO EVIDENCE OF CONSTRUCTION OR RECENT EARTH MOVING WORK WAS OBSERVED AT THE TIME OF THE SURVEY.
- THE ACCURACY OF THE SURVEY MEASUREMENTS SHOWN HEREON IS BASED ON THE TYPE OF SURVEY AND EXPECTED USE OF THE SURVEY; REDUNDANT MEASUREMENTS AND COMPUTATION RECORDS SUBSTANTIATE THE ACCURACY OF THE MEASUREMENTS. DATA WAS OBTAINED BY MULTIPLE OCCUPATIONS OF FOUND AND CONTROL POINTS. THESE METHODS HAVE BEEN TESTED BY BEC AND FOUND TO HAVE AN EXPECTED ACCURACY OF ± 0.07 FEET HORIZONTALLY, ± 0.1 FEET VERTICALLY ON SOFT SURFACES, AND ± 0.03 FEET VERTICALLY ON HARD SURFACES.
- ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD-29). ELEVATIONS ARE BASED UPON THE FOLLOWING MAM-DADE BENCHMARKS:
 - 1) P-711 ELEVATION = 13.62 FEET (NGVD-29), LOCATED 30 FEET NORTH OF THE

TO 71-710 ELEVATION = 14.21 FEET (NGVD - 29). LOCATED 61 FEET NORTH OF THE CENTERLINE OF THE INTERCHANGING 40TH STREET TO 39 FEET NORTH OF THE CENTERLINE OF THE INTERCHANGING 40TH STREET. THE PROPERTY IS BOUNDED BY THE PONCE DE LEON BLVD, PKI MAIL AND ALUMINUM WASHER IN CORNER DRIVEWAY OF GAS STATION.

— LANDS SHOWN HEREON ARE LOCATED IN FEDERAL FLOOD ZONE "X", PER FIRM MAP NUMBER 12066C04057, SOUTH, COUNTY NAME, CITY OF CORAL GABLES, COMMUNITY NUMBER: 120630, REVISED: SEPTEMBER 11, 2008.

— THE SURVEYED PROPERTY IS ACCESSIBLE VIA SEVILLA AVENUE, PALERMO AVENUE, AND SALZEDO STREET, ALL BEING PUBLIC RIGHTS-OF-WAY. AS SHOWN HEREON, CLIENT HAS NOT NOTIFIED THE SURVEYOR OF PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES. NO ROADWAY CONSTRUCTION WAS OBSERVED.

— NO ZONING REPORT OR SETBACK INFORMATION WAS PROVIDED TO THE SURVEYOR. THIS SURVEY DOES NOT MAKE ANY REPRESENTATIONS AS TO ZONING OR DEVELOPMENTS RESTRICTIONS WITHIN THE SURVEY LIMITS.

— THE LANDS DESCRIBED HEREON ARE CONTIGUOUS WITH NO GORES, GAPS, HIATUSES, OR OVERLAPS.

— ALL NOTED RECORDED REFERENCES ARE FROM THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

— THERE MAY BE ADDITIONAL RESTRICTIONS AFFECTING THIS PROPERTY FOUND IN THE LAWS OF CORAL GABLES.

SURVEYOR'S CERTIFICATION:

THE UNDERSIGNED HEREBY CERTIFIES TO:

- Brockway Ltd., LLP
- Mercedes-Benz Financial Services USA LLC
- Fidelity National Title Insurance Company
- Kurkin Forehand Brandes LLP

This is to certify that the map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(c), 8, 11, 13, 14, 16, 17, and 19 of Table A thereof. The fieldwork was completed on 02-26-2021.

This survey was prepared under my responsible charge, in accordance with the Standards of Practice for Surveying and Mapping as set forth by the State of Florida Board of Professional Surveyors and Mappers in chapter 53-J-17, Florida Administrative Code, pursuant to chapter 472.027, Florida Statutes.

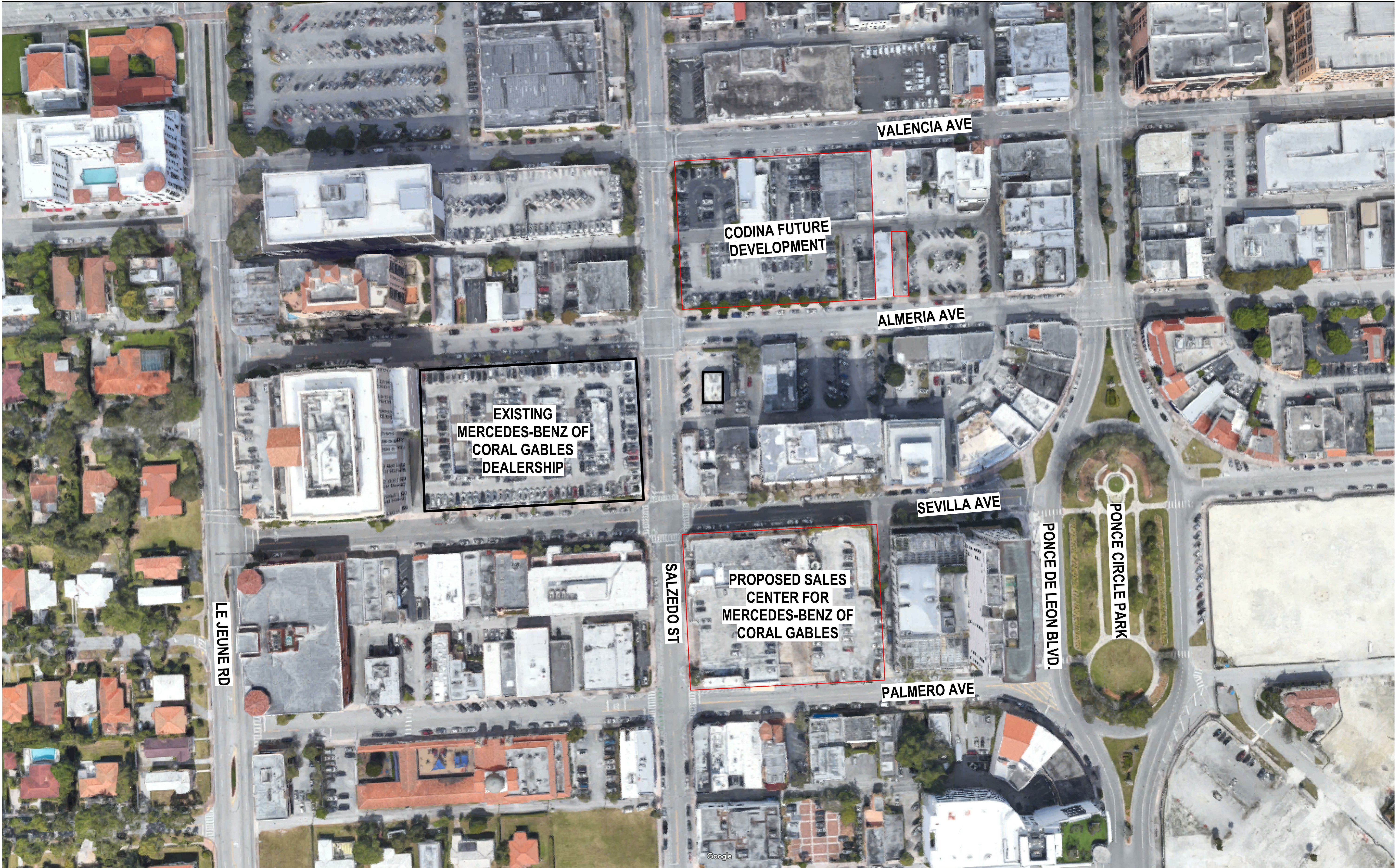
NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

BISCAYNE ENGINEERING COMPANY, INC.
329 WEST FLAGLER STREET, MIAMI, FL 33130
305-324-7071
STATE OF FLORIDA DEPARTMENT OF AGRICULTURE
LB-0000129

SURVEY DATE: 02-26-2021

THE OFFICIAL RECORD OF THIS
SHEET IS THE ELECTRONIC FILE
DIGITALLY SIGNED AND SEALED
UNDER RULE 53-17-062, F.A.C.
THIS ITEM HAS BEEN DIGITALLY
SIGNED. PRINTED COPIES OF THIS
DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE
SIGNATURE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ALBERTO J. RABONET, PSM, FOR THE FIRM
PROFESSIONAL SURVEYOR AND MAPPER NO. 7218
STATE OF FLORIDA



OWNER		PROJECT		ARCHITECT		SHEET NUMBER	
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134		Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134		Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 1 305.569.1334 perkinswill.com		AERIAL DRC30-01 © 2014 Perkins and Will	

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECTURAL SITE
GENERAL NOTES

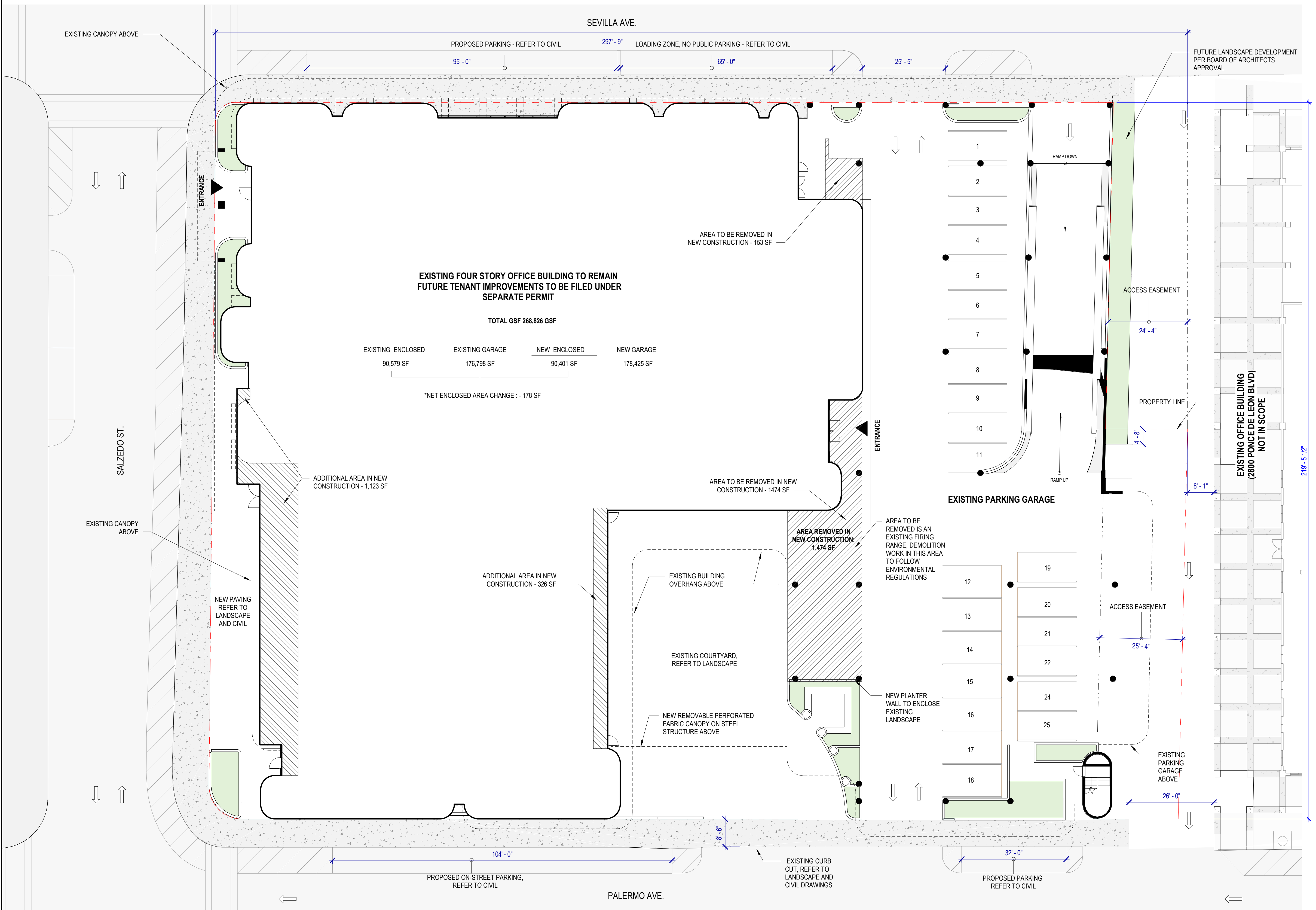
1. RE: CIVIL DRAWINGS FOR ALL SITE CONSTRUCTION INFORMATION INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- SITE GEOMETRY AND DIMENSIONAL CONTROL
 - SITE UTILITIES
 - SITE GRADING AND DRAINAGE
 - ASPHALT/CONCRETE PAVING DETAILS
 - PAVING MARKERS
 - CONCRETE SIDEWALK, CURB, AND GUTTER DETAILS
 - PARKING BUMPERS
 - TRAFFIC SIGNAGE
 - PAVING STRIPING AND CURB MARKINGS
 - TYPICAL HANDICAP SIGNAGE/SPACES
2. REFERENCE LANDSCAPE DRAWINGS FOR:
- PAVING TYPE AND LOCATION
 - PLANTING AREA
 - TREE DISPOSITION

ARCHITECTURAL SITE
PLAN LEGEND

- EXISTING CONCRETE SIDEWALK TO REMAIN, REFER TO CIVIL
- EXISTING BUILDING FOOTPRINT
- EXISTING ROADS, REFER TO CIVIL
- PROPERTY LINE
- EASEMENT, BUILDING SETBACK & R.O.W.
- ADDITIONAL AREA IN NEW CONSTRUCTION
- AREA TO BE REMOVED IN NEW CONSTRUCTION
- EXISTING PLANTING AREAS, REFER TO LANDSCAPE

AREA PER FLOOR
EXISTING VS NEW CONSTRUCTION

EXISTING ENCLOSED AREA		NEW ENCLOSED AREA	
BASEMENT (ENCLOSED)	13,905 SF	BASEMENT (ENCLOSED)	13,905 SF
LEVEL 01	32,695 SF	LEVEL 01	32,537 SF
LEVEL 02	20,580 SF	LEVEL 02	20,580 SF
LEVEL 03	11,826 SF	LEVEL 03	11,826 SF
LEVEL 04	11,553 SF	LEVEL 04	11,553 SF
PARKING LEVEL 05		PARKING LEVEL 05	
EXISTING ENCLOSED AREA TOTAL	90,579 SF	NEW ENCLOSED AREA TOTAL	90,401 SF
		***NET ENCLOSED AREA CHANGE :	- 178 SF
EXISTING GARAGE AREA (UNENCLOSED)		NEW GARAGE AREA (UNENCLOSED)	
BASEMENT (ENCLOSED)	43,143 SF	BASEMENT (ENCLOSED)	43,143 SF
LEVEL 01	23,982 SF	LEVEL 01	25,609 SF
LEVEL 02	21,640 SF	LEVEL 02	21,640 SF
LEVEL 03	42,465 SF	LEVEL 03	42,465 SF
LEVEL 04	22,625 SF	LEVEL 04	22,625 SF
PARKING LEVEL 05	22,943 SF	PARKING LEVEL 05	22,943 SF
EXISTING UNENCLOSED AREA TOTAL	176,798 SF	NEW UNENCLOSED AREA TOTAL	178,425 SF
EXISTING AREA TOTAL (ENCLOSED + UNENCLOSED)	267,377 SF	NEW TOTAL AREA (ENCLOSED + UNENCLOSED)	268,826 SF
		*** NET TOTAL AREA CHANGE: (ENCLOSED + UNENCLOSED)	+ 1,449 SF



1 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
GABLES
2801 SALZEDO ST,
CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECT

Perkins&Will

2800 Ponce De Leon Blvd,
Suite 1300,
Coral Gables, FL 3313
1 305.569.1333
1 305.569.1334
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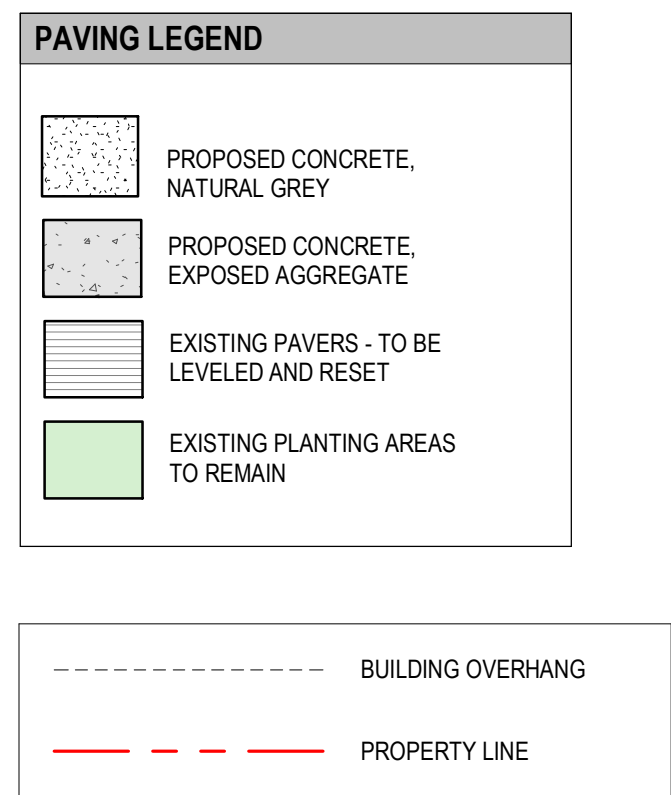
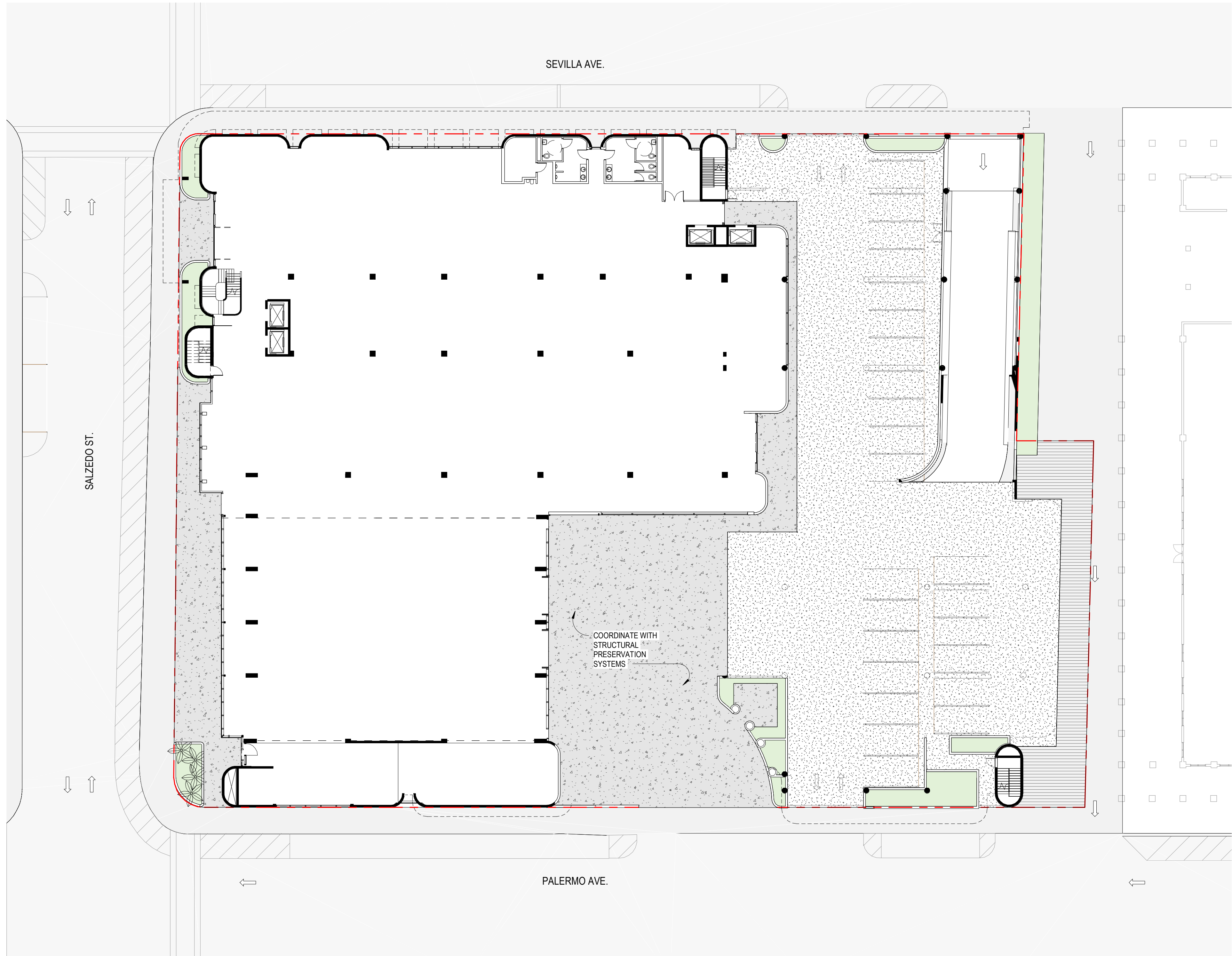
SHEET NUMBER

ARCHITECTURAL SITE
PLAN

DRC00-03

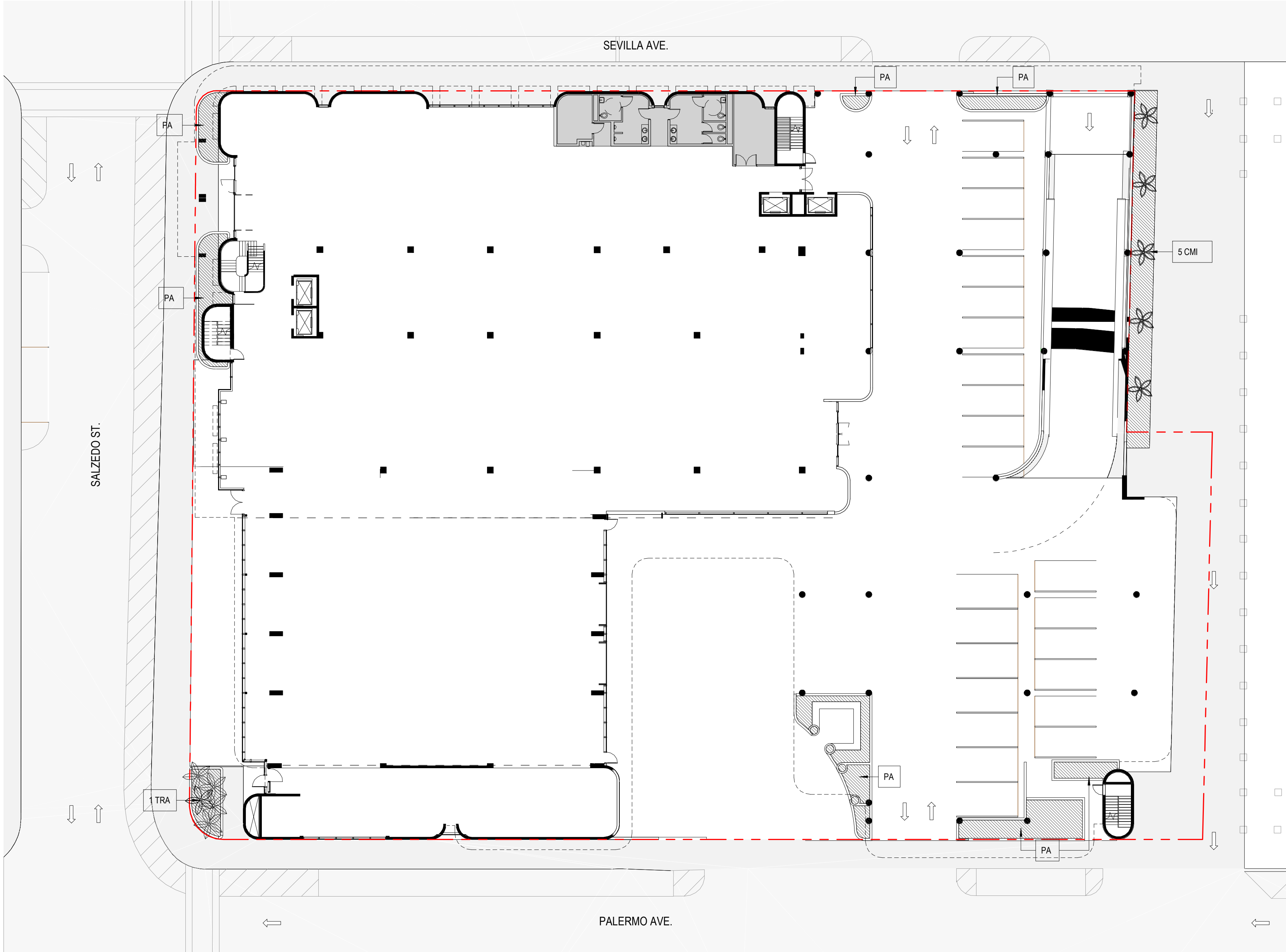
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1 GROUNDFOOR OVERALL HARDSCAPE PLAN
1" = 20'-0"

OWNER		PROJECT		ARCHITECT		SHEET NUMBER		
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134		Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134		SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134		Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305 569 1333 1 305 569 1334 perkinswill.com		GROUNDFOOR OVERALL HARDSCAPE PLAN DRC30-07 © 2014 Perkins and Will



Planting Legend	
	(PA) Planting Area

Palm Legend	
	Canopy Palm

	Building Overhang
	Property Line

NOTE: EXISTING IRRIGATION SYSTEM TO BE REUSED.
CONTRACTOR TO CONFIRM PERFORMANCE AND CORRECT DEFICIENCIES AS NEEDED.

Plant List - Mercedes Benz - 300 Almeria Ave

2.26.2021
All plants shall be Florida Fancy or Florida No. 1 grade as outlined by FDACS in the Florida Grades and Standards for Nursery Plants * = Native

CANOPY			
QTY	Botanical Name	Common Name	Specification
5	CMI	Caryota mitis	Fishtail palm
1	TRA	Thrinax radiata	Florida Thatch Palm
UNDERSTORY			
QTY	Botanical Name	Common Name	Specification
10		Agave attenuata	Century Plant
9		Philodendron xanadu	same
15		Codiaeum variegatum 'Yellow Petra'	Croton 'Yellow Petra'
15		Green Island Ficus	Green Island Ficus
12		Serenoa repens 'Cinerea'	Silver Saw Palmetto
GROUND COVER (1,832 sf)			
QTY	Botanical Name	Common Name	Specification
50%		Ophiopogon japonicus	Mondo Grass
50%		Tradescantia pallida	Purple Heart

1 GROUND FLOOR OVERALL PLANTING PLAN
1" = 20'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
GABLES
2801 SALZEDO ST,
CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECT

Perkins&Will

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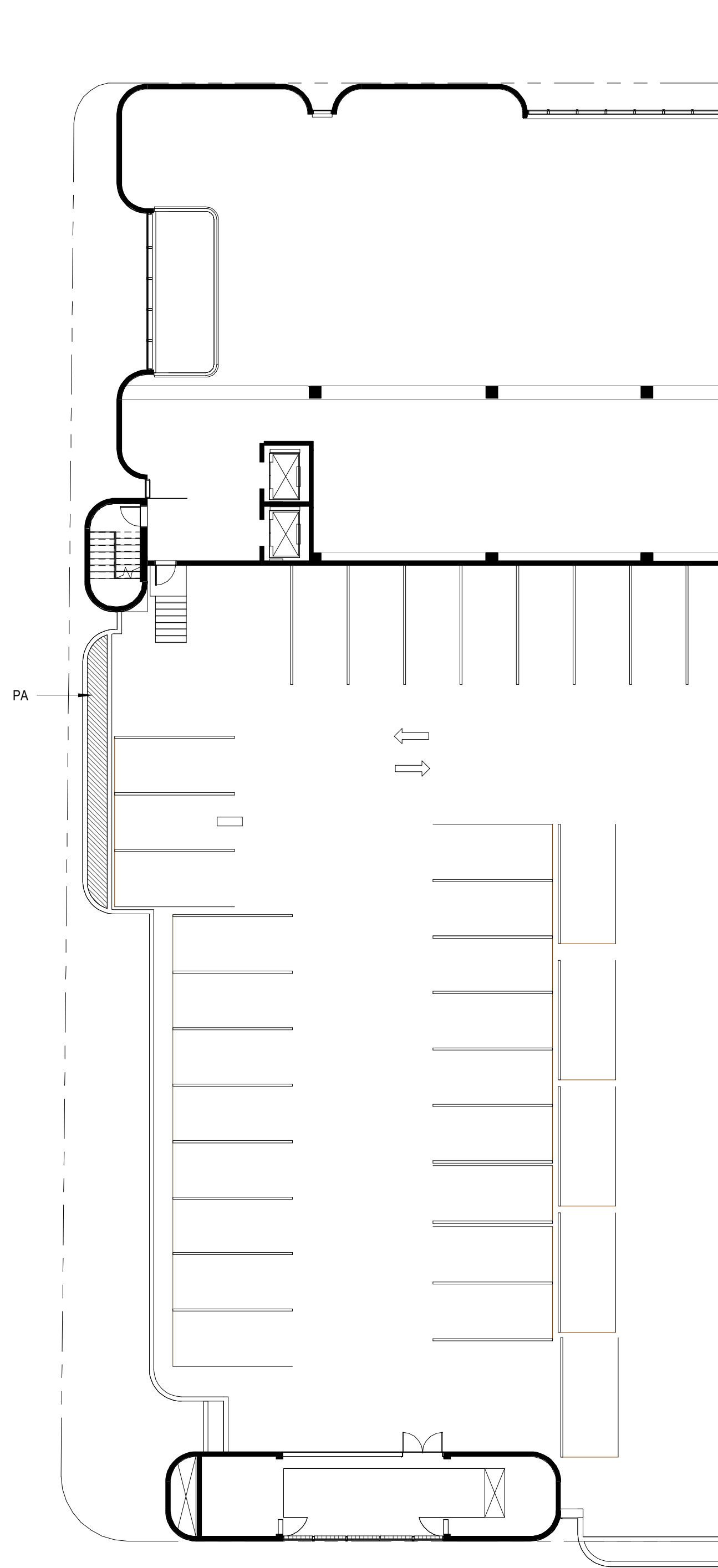
SHEET NUMBER

GROUND FLOOR
OVERALL PLANTING
PLAN

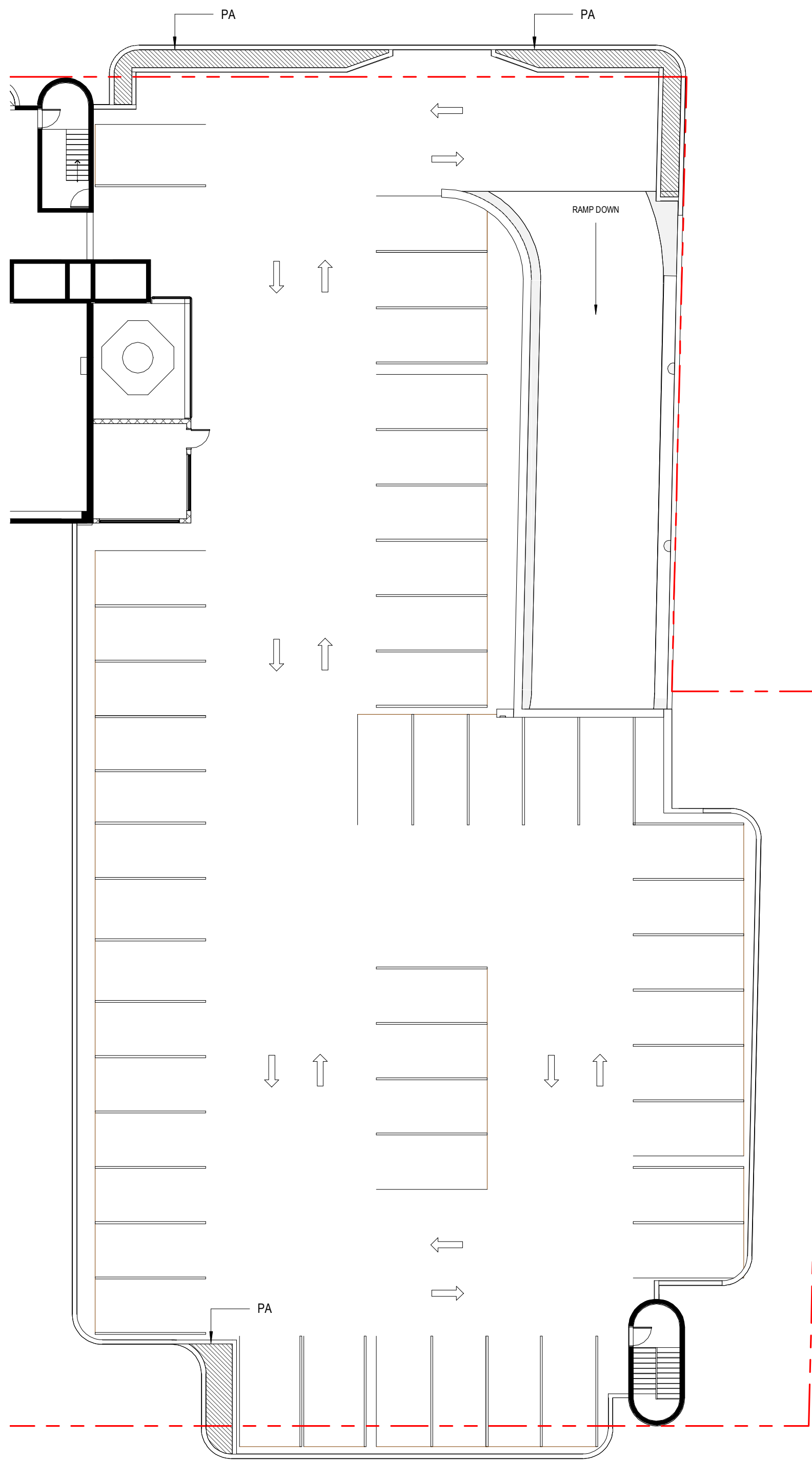
DRC30-08

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2 PARKING LEVEL 03 PLANTING PLAN
1/16" = 1'-0"



1 TYPICAL GARAGE LEVELS 2-5 PLANTING PLAN
1/16" = 1'-0"

Plant List - Mercedes Benz - 300 Almeria Ave			
2.21.2021			
All plants shall be Florida Fancy or Florida No. 1 grade as outlined by FDACS in the Florida Grades and Standards for Nursery Plants			
GROUND COVER (468 sf)			
QTY	Botanical Name	Common Name	Specification
50%	Barleria repens	Coral Creeper	1 gal. @ 15" O.C.
50%	Philodendron burle-marxii	Same	1 gal. @ 15" O.C.

PLANTING LEGEND	
	(PA) PLANTING AREA
	BUILDING OVERHANG
	PROPERTY LINE

OWNER		PROJECT		ARCHITECT		SHEET NUMBER		
<p>USSERY AUTOMOTIVE GROUP</p> <p>BILL USSERY MOTORS</p> <p>300 ALMERIA AVE CORAL GABLES, FL 33134</p>		<p>Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP</p> <p>MERCEDES-BENZ CORAL GABLES</p> <p>2801 SALZEDO ST, CORAL GABLES, FL 33134</p>		<p>SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES</p> <p>2801 SALZEDO ST, CORAL GABLES, FL 33134</p>		<p>Perkins&Will</p> <p>2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 t 305.569.1333 f 305.569.1334 perkinswill.com</p>		<p>TYPICAL GARAGE LEVELS 2-5 PLANTING PLAN</p> <p>DRC30-09</p> <p>© 2014 Perkins and Will</p>

EXTERIOR ELEVATION
GENERAL NOTES

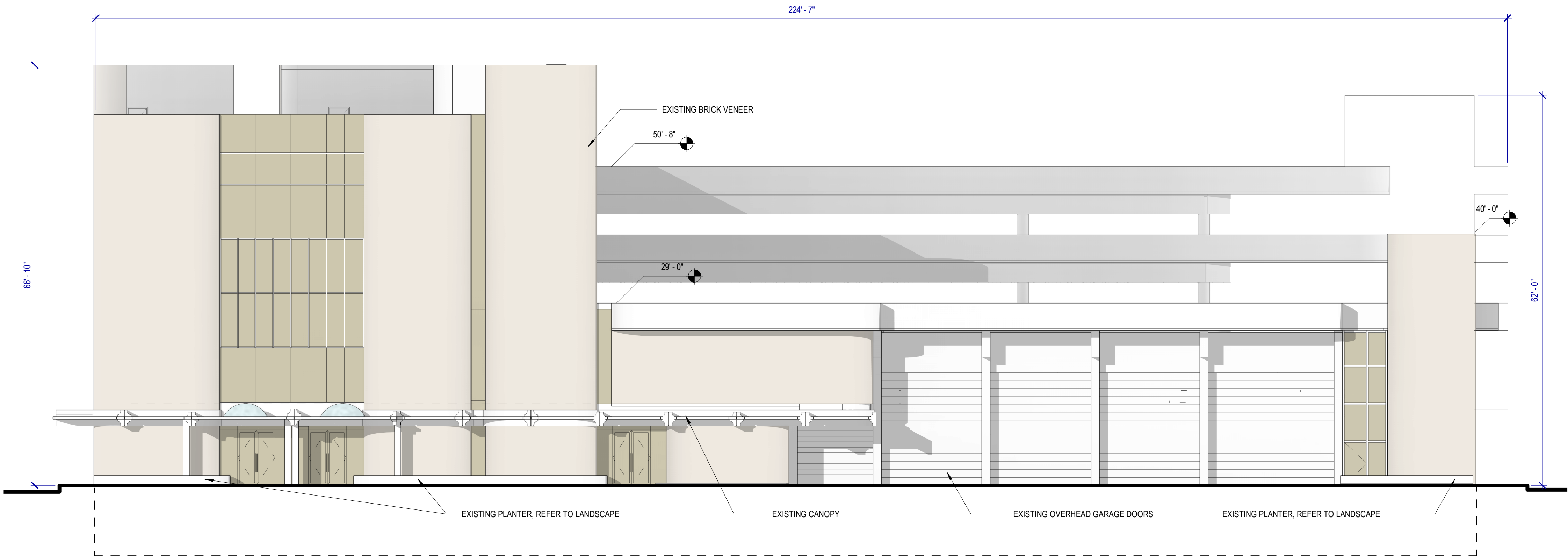
1. PROVIDE STRUCTURAL SEALANT GLAZED CURTAIN WALLS WITH MIAMI-DADE NOTICE OF ACCEPTANCE AS REQUIRED FOR THE SPANS INDICATED. PROVIDE SSG SYSTEMS WITH COSMETIC VERTICAL MULLION CAPS AS INDICATED IN ELEVATIONS. BASIS OF DESIGN FOR THE CURTAIN WALL IS CRANFORD TRACEY CORPORATION PRO TECH 7 SG AND PRO TECH 9 SG AS REQUIRED FOR SPANS INDICATED.
2. VISION GLAZING: EXTERIOR VISION GLAZING SHALL BE LOW-E, INSULATING-LAMINATED GLAZING. BASIS OF DESIGN SHALL BE VIRAICON VNE13-63 WITH THREE LITES OF 1/4" HEAT STRENGTHENED, LOW-IRON GLAZING; VISIBLE LIGHT: 70%, SUMMER DAYTIME U-FACTOR: .28 MAX (CENTER OF GLASS), SOLAR HEAT GAIN COEFFICIENT: .30 MAX, OUTDOOR VISIBLE REFLECTANCE: 13%.
3. PROVIDE CLEAR ANNOZIDIZED METAL PAN AND INSULATED SHADOW BOX AS INDICATED. AT SHADOW BOX LOCATIONS PROVIDE LOW-E, INSULATING-LAMINATED GLAZING PER ABOVE B.O.D.

EXTERIOR MATERIALS LEGEND

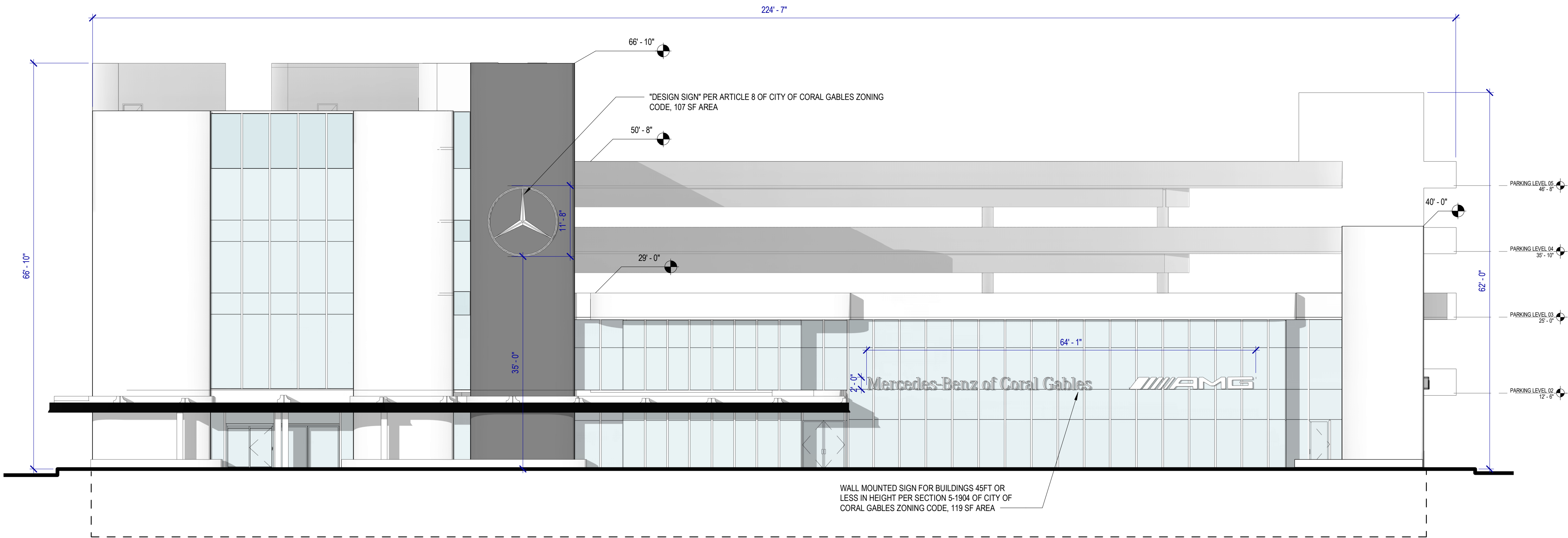
- EXISTING BRICK VENEER
- NEW WHITE PAINTED STUCCO
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW REMOVABLE PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOW BOX

EXTERIOR MATERIAL SAMPLES

- EXISTING BRICK VENEER
- NEW CEMENT PLASTER AND WHITE PAINT FINISH
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOWBOX



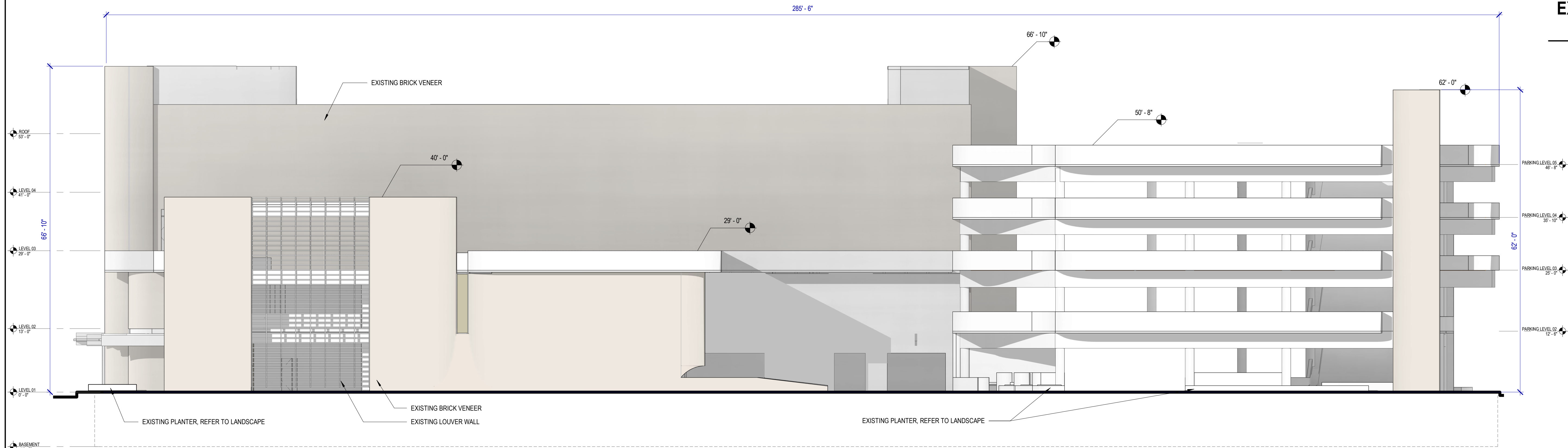
3 WEST ELEVATION - EXISTING
3/32" = 1'-0"



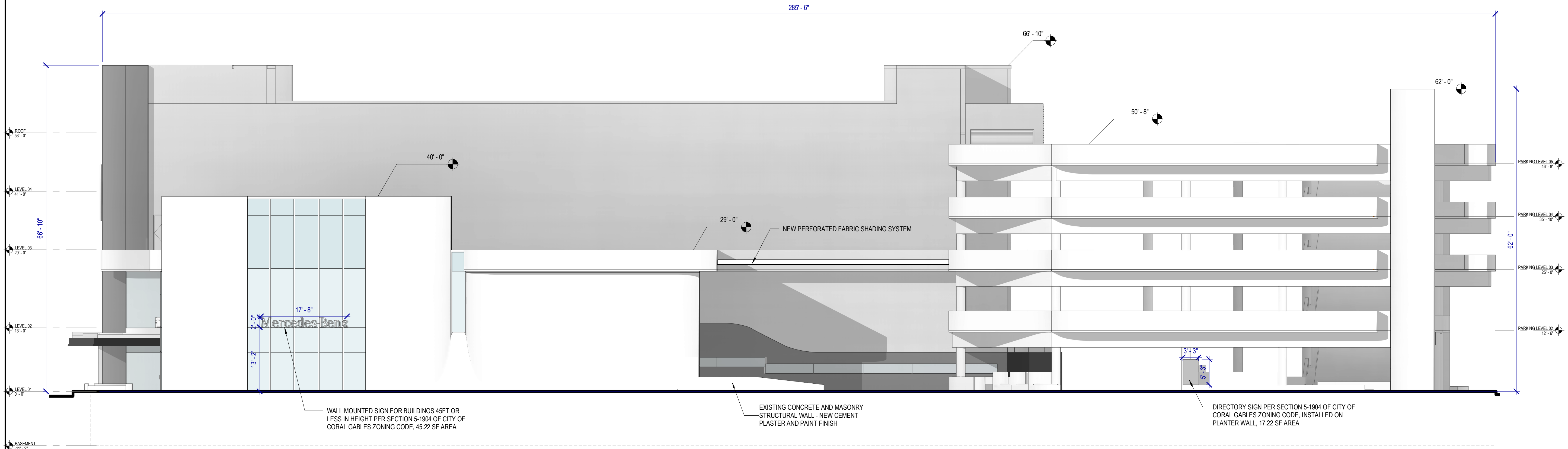
1 WEST ELEVATION-NEW CONSTRUCTION
3/32" = 1'-0"

OWNER	PROJECT	ARCHITECT	SHEET NUMBER
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134	Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134	Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 f 305.569.1334 perkinswill.com	OVERALL ELEVATIONS DRC20-01 © 2014 Perkins and Will
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① SOUTH ELEVATION - EXISTING
3/32" = 1'-0"



② SOUTH ELEVATION - NEW
3/32" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

1. PROVIDE STRUCTURAL SEALANT GLAZED CURTAIN WALLS WITH MIAMI-DADE NOTICE OF ACCEPTANCE AS REQUIRED FOR THE SPANS INDICATED. PROVIDE SSG SYSTEMS WITH COSMETIC VERTICAL MULLION CAPS AS INDICATED IN ELEVATIONS. BASIS OF DESIGN FOR THE CURTAIN WALL IS CRAWFORD TRACEY CORPORATION PRO TECH 7 SG AND PRO TECH 9 SG AS REQUIRED FOR SPANS INDICATED.
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EXTERIOR MATERIALS LEGEND

- EXISTING BRICK VENEER
- NEW WHITE PAINTED STUCCO
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW REMOVABLE PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOW BOX

EXTERIOR MATERIAL SAMPLES

- EXISTING BRICK VENEER
- NEW CEMENT PLASTER AND WHITE PAINT FINISH
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOWBOX

OWNER	PROJECT	ARCHITECT	SHEET NUMBER
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134	Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134	Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 f 305.569.1334 perkinswill.com	OVERALL ELEVATIONS DRC20-02 © 2014 Perkins and Will
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EXTERIOR ELEVATION
GENERAL NOTES

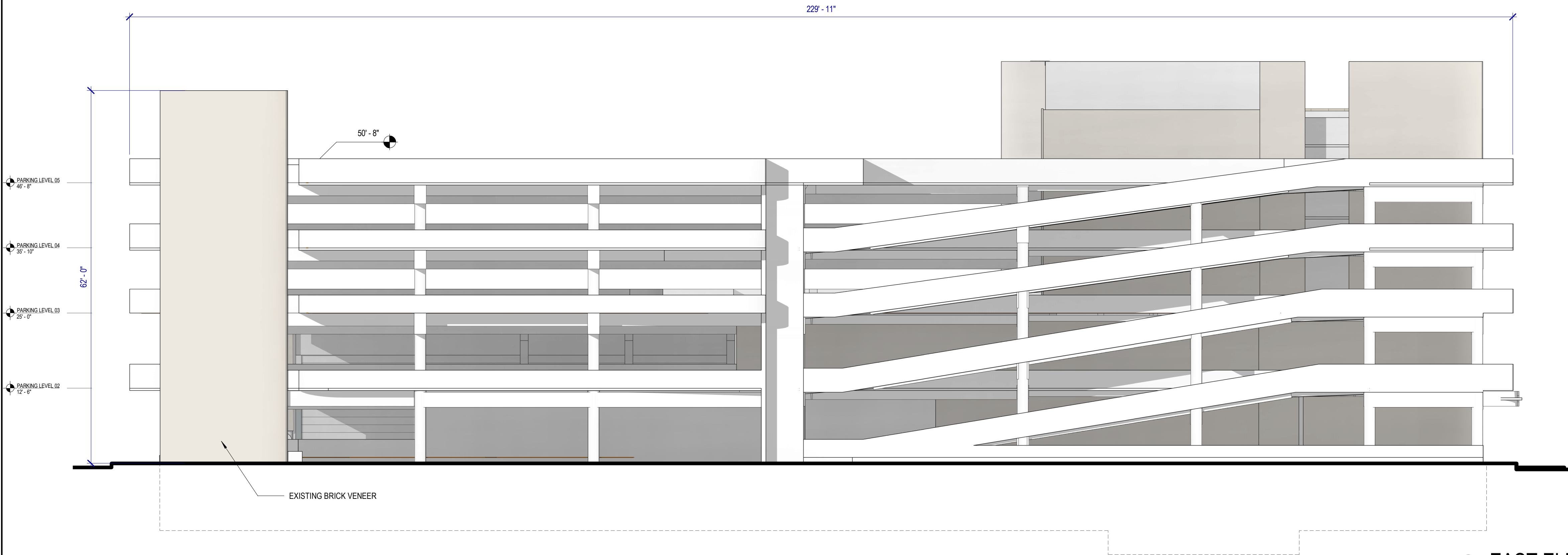
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EXTERIOR MATERIALS LEGEND

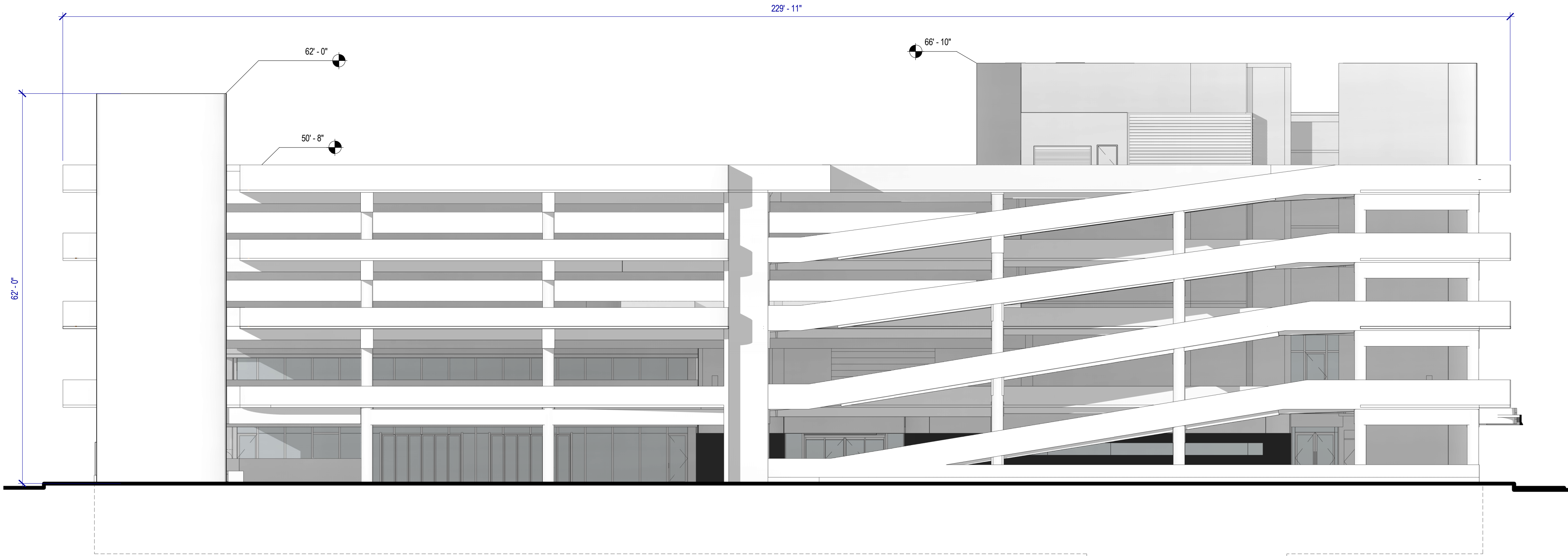
- EXISTING BRICK VENEER
- NEW WHITE PAINTED STUCCO
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW REMOVABLE PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOW BOX

EXTERIOR MATERIAL SAMPLES

- EXISTING BRICK VENEER
- NEW CEMENT PLASTER AND WHITE PAINT FINISH
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOWBOX



1 EAST ELEVATION - EXISTING
3/32" = 1'-0"



3 EAST ELEVATION NEW CONSTRUCTION
3/32" = 1'-0"

OWNER	PROJECT	ARCHITECT	SHEET NUMBER
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134	Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134	Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 1 305.569.1334 perkinswill.com	OVERALL ELEVATIONS DRC20-03 © 2014 Perkins and Will
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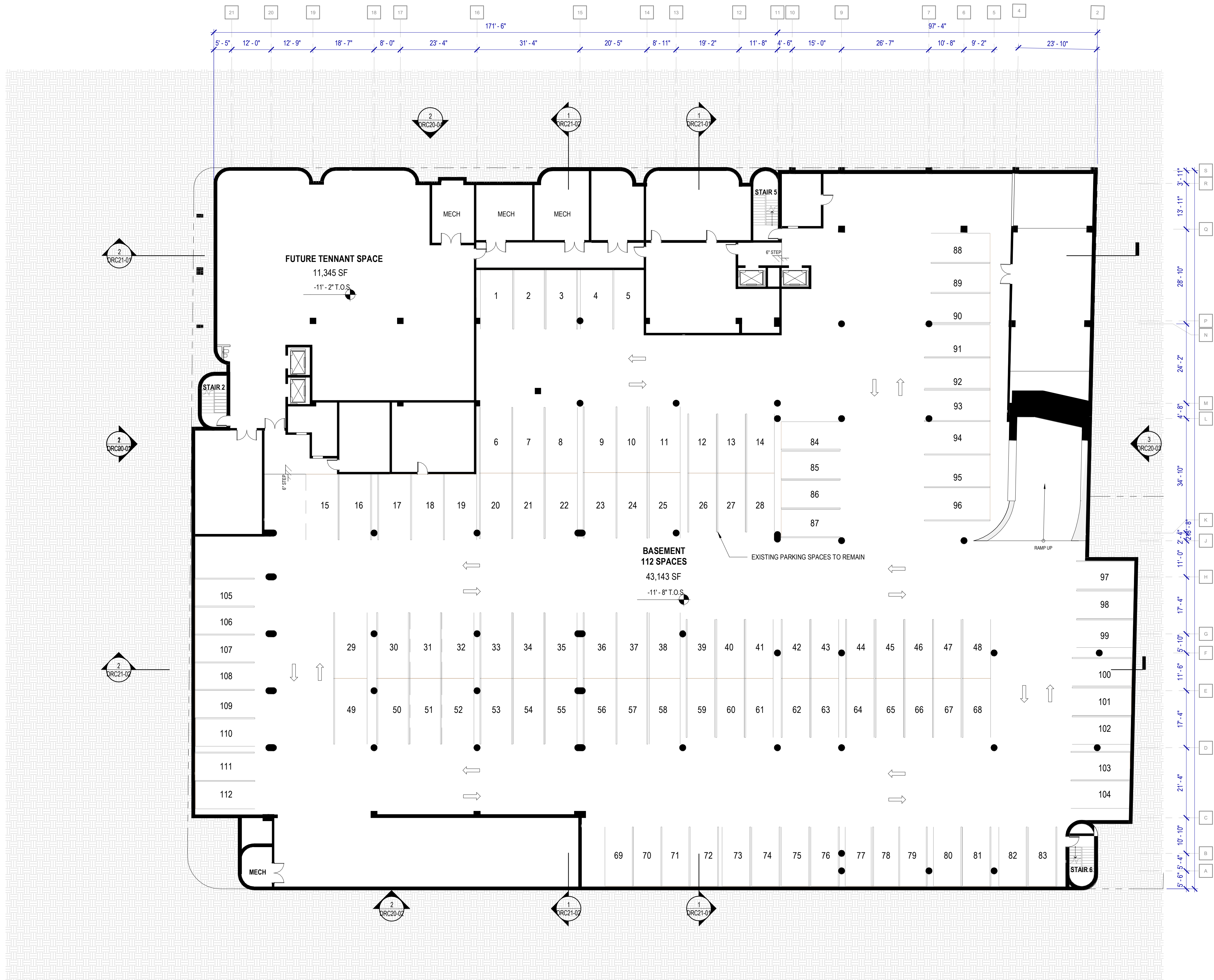


OWNER		PROJECT		ARCHITECT		SHEET NUMBER	
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134		Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134		Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 f 305.569.1334 perkinswill.com		OVERALL ELEVATIONS DRC20-04 © 2014 Perkins and Will	

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

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FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING COLUMN
- NEW CONSTRUCTION
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- FLOOR DRAIN

1 B1 OVERALL PLAN
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
GABLES
2801 SALZEDO ST,
CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECT

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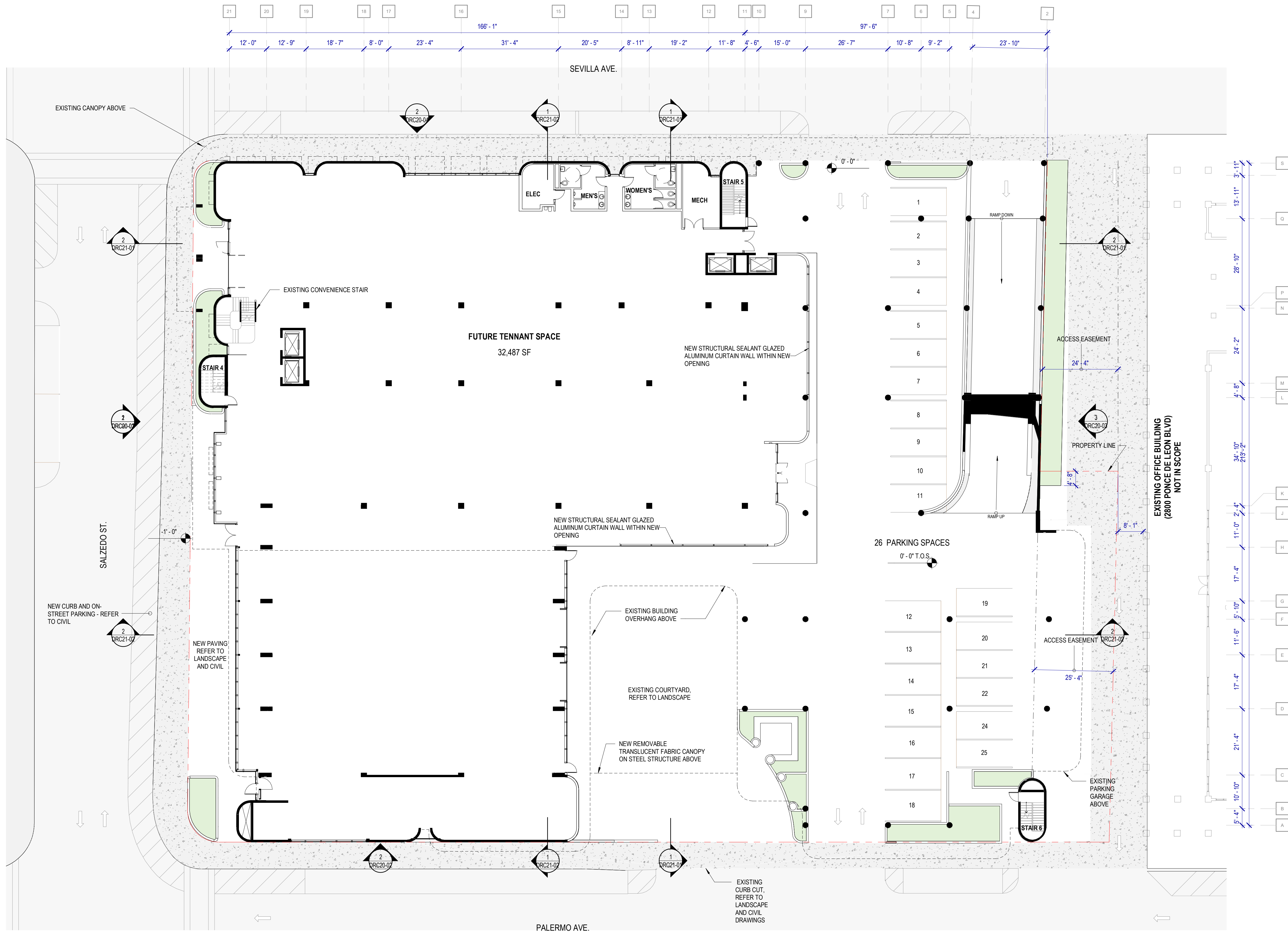
SHEET NUMBER

OVERALL FLOOR
PLAN - LEVEL B1

DRC10-00

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FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING COLUMN
- NEW CONSTRUCTION
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- FLOOR DRAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN, REFER TO CIVIL
- EXISTING ROADS, REFER TO CIVIL
- EXISTING PLANTING AREAS, REFER TO LANDSCAPE

1 OVERALL FLOOR PLAN - LEVEL 01
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
GABLES
2801 SALZEDO ST,
CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

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ARCHITECT

Perkins&Will

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SHEET NUMBER

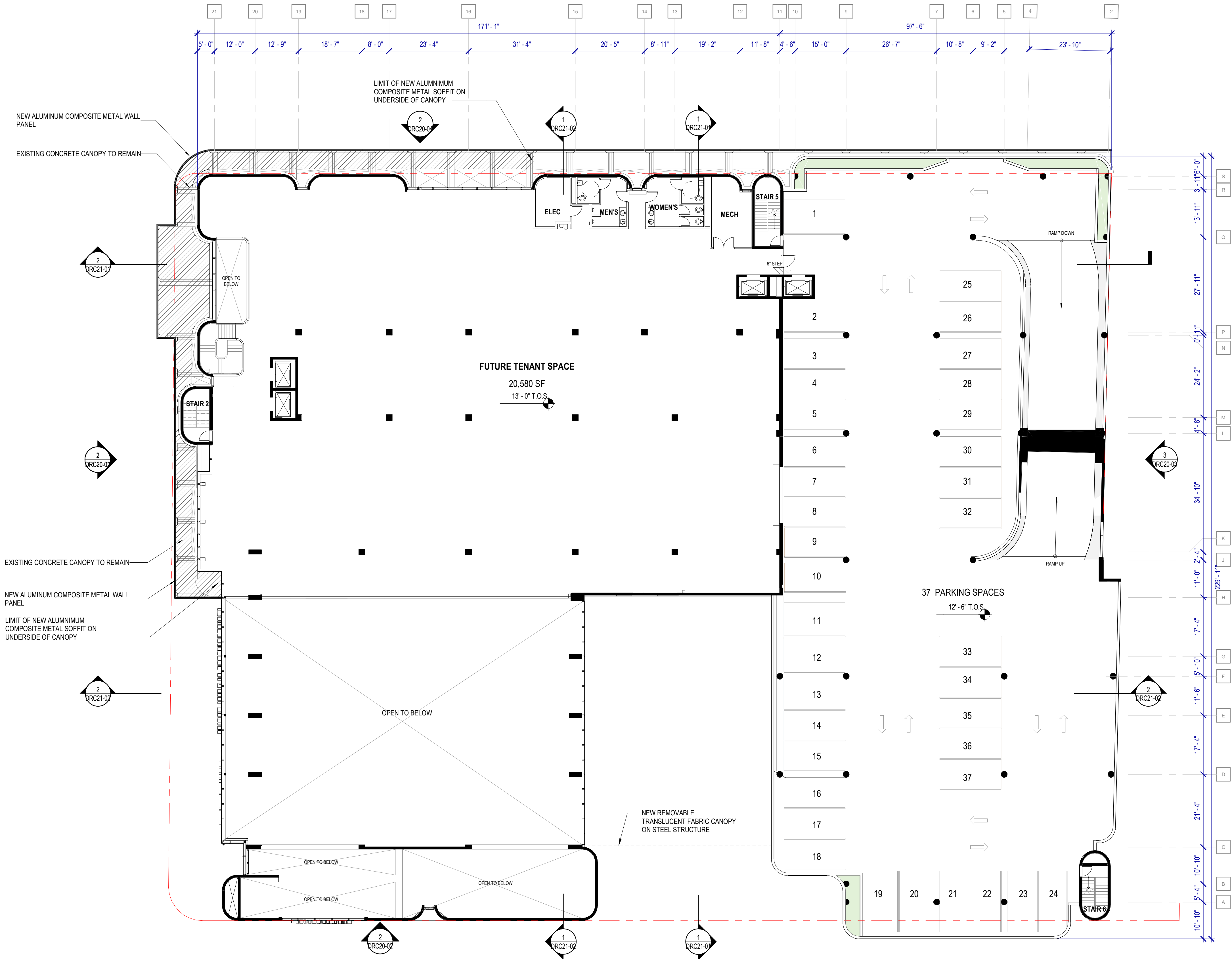
OVERALL FLOOR
PLAN - LEVEL 01

DRC10-01

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FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING COLUMN
- NEW CONSTRUCTION
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- DOOR TAG REF: A62-0X
SERIES FOR DOOR SCHEDULE.
- FLOOR DRAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN, REFER TO CIVIL
- EXISTING ROADS, REFER TO CIVIL
- EXISTING PLANTING AREAS, REFER TO LANDSCAPE



1 OVERALL FLOOR PLAN - LEVEL 02
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
GABLES
2801 SALZEDO ST,
CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECT

Perkins&Will

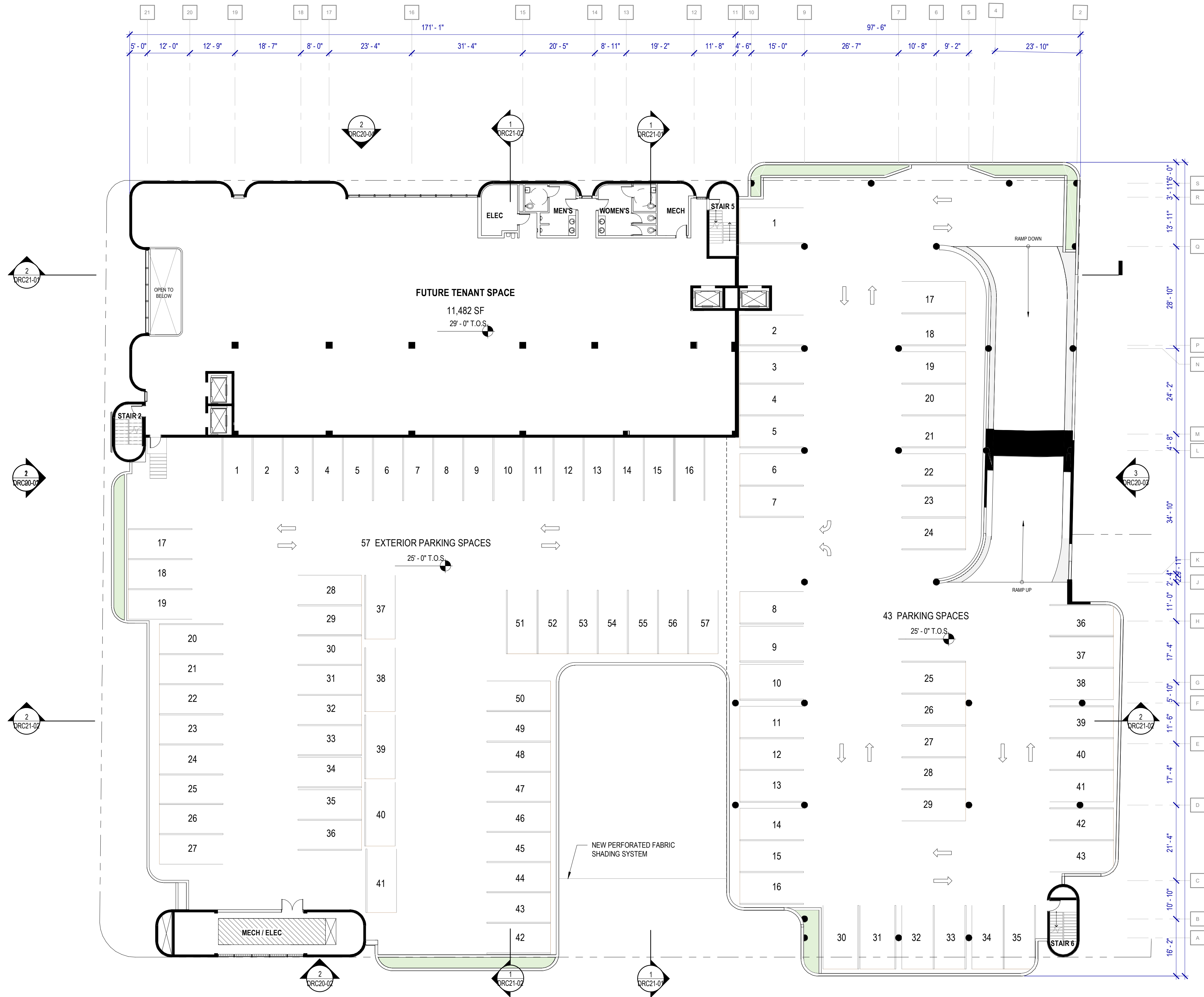
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Coral Gables, FL 33134
1 305.569.1333
f 305.569.1334
perkinswill.com

SHEET NUMBER

OVERALL FLOOR
PLAN - LEVEL 02

DRC10-02

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FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING COLUMN
- NEW CONSTRUCTION
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- FLOOR DRAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN, REFER TO CIVIL
- EXISTING ROADS, REFER TO CIVIL
- EXISTING PLANTING AREAS, REFER TO LANDSCAPE

1 OVERALL FLOOR PLAN - LEVEL 03
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL GABLES
2801 SALZEDO ST,
CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECT

Perkins&Will

2800 Ponce De Leon Blvd,
Suite 1300,
Coral Gables, FL 3313
1 305.569.1333
f 305.569.1334
perkinswill.com

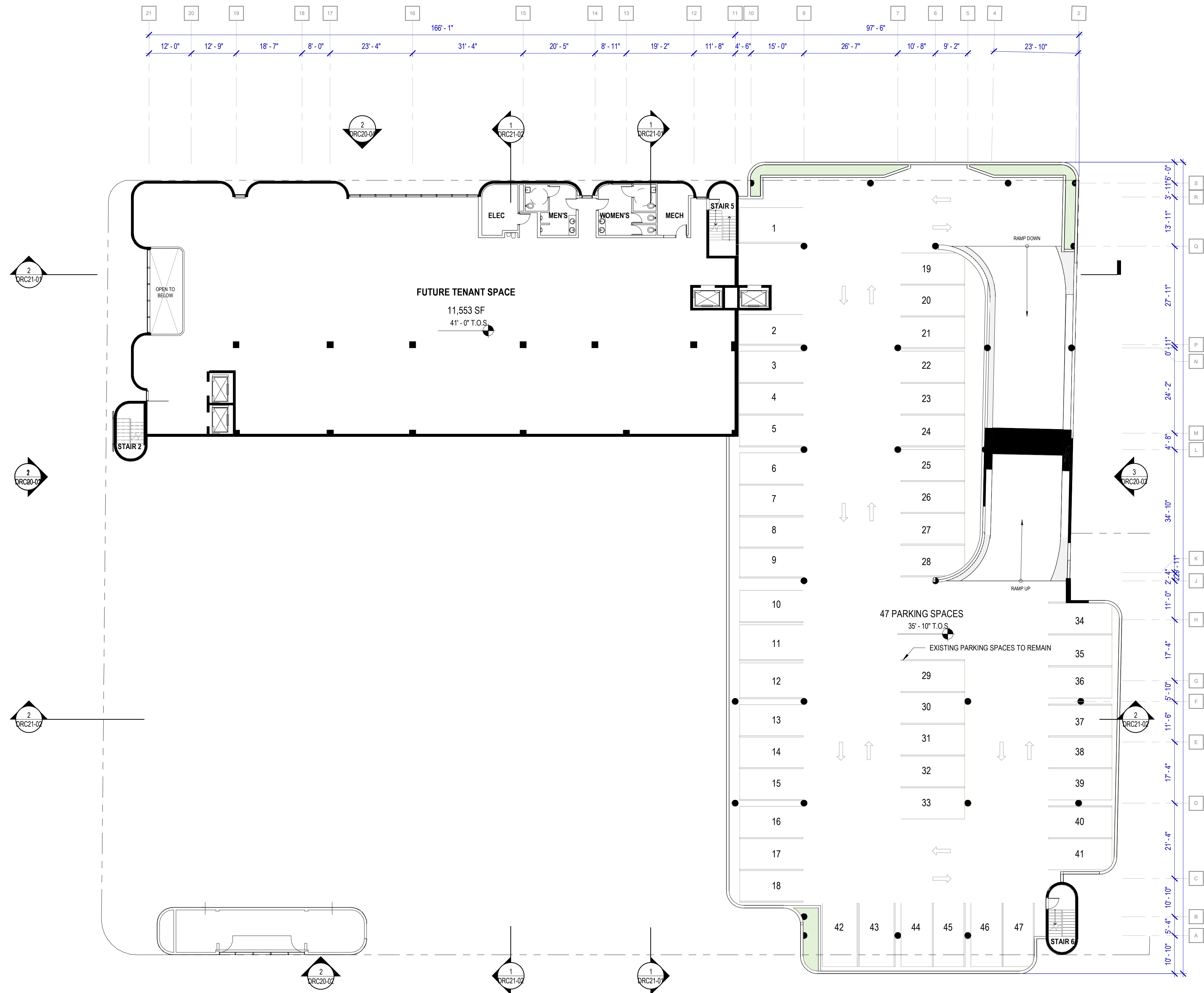
SHEET NUMBER

OVERALL FLOOR
PLAN - LEVEL 03

DRC10-03

© 2014 Perkins and Will

4/7/2021 9:31:18 AM BIM360://Mercedes-Benz_CG_Showroom_Offices/MB_2801_SZDO.rvt



1 OVERALL FLOOR PLAN - LEVEL 04
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
GABLES
2801 SALZEDO ST,
CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

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ARCHITECT

Perkins&Will

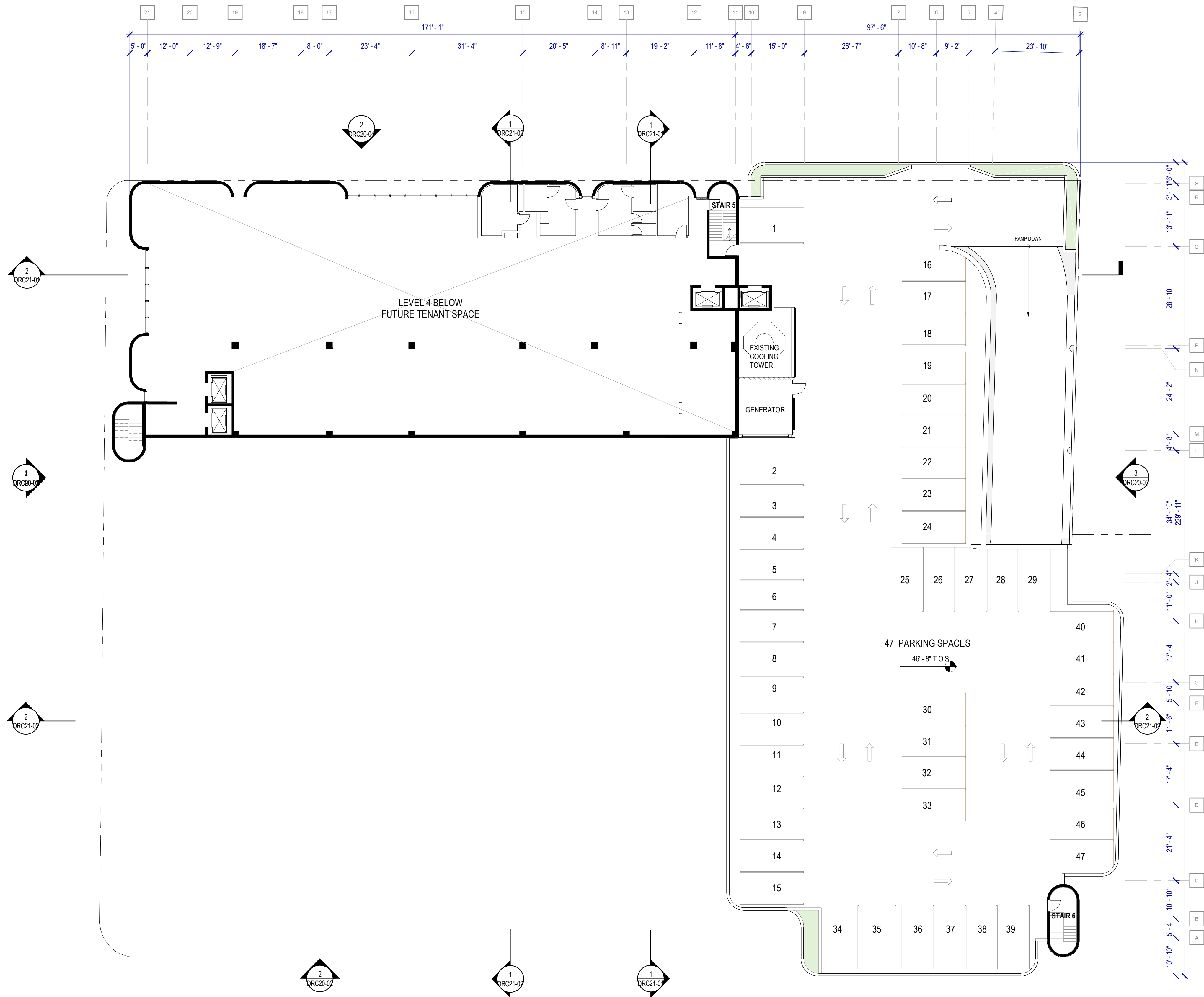
2800 Ponce De Leon Blvd,
Suite 1300,
Coral Gables, FL 3313
1 305.569.1333
f 305.569.1334
perkinswill.com

SHEET NUMBER

OVERALL FLOOR
PLAN - LEVEL 04

DRC10-04

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FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING COLUMN
- NEW CONSTRUCTION
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- FLOOR DRAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN, REFER TO CIVIL
- EXISTING ROADS, REFER TO CIVIL
- EXISTING PLANTING AREAS, REFER TO LANDSCAPE

1 OVERALL FLOOR PLAN - LEVEL P5
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
GABLES
2801 SALZEDO ST,
CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECT

Perkins&Will

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Suite 1300,
Coral Gables, FL 33133
1 305.569.1333
f 305.569.1334
perkinswill.com

SHEET NUMBER

OVERALL FLOOR
PLAN - LEVEL P5

DRC10-05

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CITY OF CORAL GABLES, FLORIDA

ORDINANCE NO. 2016-52

AN ORDINANCE OF THE CITY COMMISSION OF CORAL GABLES, FLORIDA REQUESTING A CHANGE OF ZONING PURSUANT TO ZONING CODE ARTICLE 3, "DEVELOPMENT REVIEW", DIVISION 14, "ZONING CODE TEXT AND MAP AMENDMENTS", FROM SPECIAL USE DISTRICT (S) TO COMMERCIAL DISTRICT (C) FOR THE PROPERTY LEGALLY DESCRIBED AS LOTS 1-12 AND 27-38, BLOCK 18, CORAL GABLES CRAFTS SECTION (2801 SALZEDO STREET), CORAL GABLES, FLORIDA; AND PROVIDING FOR A REPEALER PROVISION, SEVERABILITY CLAUSE, CODIFICATION, AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an application was submitted requesting a change of zoning from Special Use District (S) to Commercial District (C) for the property legally described as Lots 1-12 and 27-38, Block 18, Coral Gables Crafts Section (2801 Salzedo Street), Coral Gables; and

WHEREAS, the proposed change of zoning is being submitted concurrently with a proposed change of land use from "Residential Multi-Family Medium Density" to "Commercial High-Rise Intensity;" and

WHEREAS, Staff finds that the procedures for reviewing and recommending on a proposed change of zoning are provided in Zoning Code Article 3, "Development Review", Division 14, "Zoning Code Text and Map Amendments", and that the proposed zoning map amendment has met those criteria and standards; and

WHEREAS, after notice of public hearing duly published and notifications of all property owners of record within one-thousand five-hundred (1,500) feet, a public hearing was held before the Planning and Zoning Board of the City of Coral Gables on September 14, 2016, at which hearing all interested persons were afforded the opportunity to be heard; and

WHEREAS, at the September 14, 2016 Planning and Zoning Board meeting, the Board recommended approval, with conditions, of the proposed change of zoning (vote: 6-1); and

WHEREAS, after notice of public hearing was duly published, the City Commission held a public hearing on October 11, 2016 at which hearing all interested persons were afforded an opportunity to be heard and this application for change of zoning was approved on first reading (vote: 5-0); and

WHEREAS, after notice was duly published, a public hearing for Second Reading was held before the City Commission on October 25, 2016, at which hearing all interested parties were afforded the opportunity to be heard; and

WHEREAS, public hearings have been completed as indicated herein by the Coral Gables City Commission in consideration of a request to change the zoning pursuant to Florida Statutes, and including careful consideration of written and oral comments by members of the public; and

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES, FLORIDA:

SECTION 1. The foregoing 'WHEREAS' clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Ordinance upon adoption hereof.

SECTION 2. The City of Coral Gables' request for a change of zoning pursuant to Zoning Code Zoning Code Article 3, "Development Review", Division 14, "Zoning Code Text and Map Amendments", from Special Use District (S) to Commercial District (C) for the property legally described as Lots 1-12 and 27-38, Block 18, Coral Gables Crafts Section (2801 Salzedo Street), Coral Gables, is hereby approved.

SECTION 3. All ordinances or parts of ordinances that are inconsistent or in conflict with the provisions of this Ordinance are repealed.

SECTION 4. If any section, part of section, paragraph, clause, phrase or word of this Ordinance is declared invalid, the remaining provisions of this Ordinance shall not be affected.

SECTION 5. This ordinance shall become effective upon the date of its passage and adoption herein.

PASSED AND ADOPTED THIS TWENTY-FIFTH DAY OF OCTOBER, A.D., 2016.

(Moved: Quesada / Seconded: Slesnick)
(Yeas: Quesada, Slesnick, Keon, Lago, Cason)
(Unanimous: 5-0 Vote)
(Agenda Item: E-2)

APPROVED:


JIM CASON
MAYOR

ATTEST:

A large, stylized handwritten signature in black ink, appearing to read "Walter J. Foeman".

WALTER J. FOEMAN
CITY CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

A handwritten signature in black ink, appearing to read "Craig E. Leen".

CRAIG E. LEEN
CITY ATTORNEY

CITY OF CORAL GABLES, FLORIDA

ORDINANCE NO. 2016-51

AN ORDINANCE OF THE CITY COMMISSION OF CORAL GABLES, FLORIDA REQUESTING AN AMENDMENT TO THE FUTURE LAND USE MAP OF THE CITY OF CORAL GABLES COMPREHENSIVE PLAN PURSUANT TO ZONING CODE ARTICLE 3, "DEVELOPMENT REVIEW", DIVISION 15, "COMPREHENSIVE PLAN TEXT AND MAP AMENDMENTS", AND SMALL SCALE AMENDMENT PROCEDURES (SS. 163.3187, FLORIDA STATUTES), FROM "PUBLIC BUILDINGS AND GROUNDS" TO "COMMERCIAL HIGH-RISE INTENSITY" FOR THE PROPERTY LEGALLY DESCRIBED AS LOTS 1-12 AND 27-38, BLOCK 18, CORAL GABLES CRAFTS SECTION (2801 SALZEDO STREET), CORAL GABLES, FLORIDA; PROVIDING FOR A REPEALER PROVISION, SEVERABILITY CLAUSE, CODIFICATION, AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Coral Gables is requesting a change of land use from "Public Buildings and Grounds" to "Commercial High-Rise Intensity" for the property legally described as Lots 1-12 and 27-38, Block 18, Coral Gables Crafts Section (2801 Salzedo Street), Coral Gables; and

WHEREAS, the proposed change of land use is being submitted concurrently with a proposed change of zoning from Special Use District (S) to Commercial District (C); and

WHEREAS, Staff finds that the procedures for reviewing and recommending on a proposed change of land use are provided in Zoning Code Article 3, "Development Review", Division 15, "Comprehensive Plan Text and Map Amendments", and that the proposed land use map amendment has met those criteria and standards; and

WHEREAS, after notice of public hearing duly published and notifications of all property owners of record within one-thousand five-hundred (1,500) feet, a public hearing was held before the Planning and Zoning Board/Local Planning Agency of the City of Coral Gables on September 14, 2016, at which hearing all interested persons were afforded the opportunity to be heard; and

WHEREAS, at the September 14, 2016 Planning and Zoning Board meeting, the Planning and Zoning Board/Local Planning Agency recommended approval, with conditions, of the proposed change of land use (vote: 6-1); and

WHEREAS, after notice of public hearing was duly published, the City Commission held a public hearing on October 11, 2016 at which hearing all interested persons were afforded an opportunity to be heard and this application for change of land use was approved on first reading (vote: 5-0); and

WHEREAS, after notice was duly published, a public hearing for Second Reading was held before the City Commission on October 25, 2016, at which hearing all interested parties were afforded the opportunity to be heard; and

WHEREAS, public hearings have been completed as indicated herein by the Coral Gables City Commission in consideration of a request to change the land use pursuant to Florida Statutes, and including careful consideration of written and oral comments by members of the public;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES, FLORIDA:

SECTION 1. The foregoing 'WHEREAS' clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Ordinance upon adoption hereof.

SECTION 2. The City of Coral Gables' request for a change of zoning pursuant to Zoning Code Article 3, "Development Review", Division 15, "Comprehensive Plan Text and Map Amendments", from "Public Buildings and Grounds" to "Commercial High-Rise Intensity" for the property legally described as Lots 1-12 and 27-38, Block 18, Coral Gables Crafts Section (2801 Salzedo Street), Coral Gables, is hereby approved.

SECTION 3. All ordinances or parts of ordinances that are inconsistent or in conflict with the provisions of this Ordinance are repealed.

SECTION 4. If any section, part of section, paragraph, clause, phrase or word of this Ordinance is declared invalid, the remaining provisions of this Ordinance shall not be affected.

SECTION 5. This ordinance shall become effective upon the date of its passage and adoption herein.

PASSED AND ADOPTED THIS TWENTY-FIFTH DAY OF OCTOBER, A.D.,
2016.

(Moved: Lago / Seconded: Quesada)
(Yeas: Lago, Quesada, Slesnick, Keon, Cason)
(Unanimous: 5-0 Vote)
(Agenda Item: E-1)

APPROVED:



JIM CASON
MAYOR

ATTEST:



WALTER J. FOEMAN
CITY CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:



CRAIG E. LEEN
CITY ATTORNEY



Historical Resources &
Cultural Arts

2327 SALZEDO STREET
CORAL GABLES
FLORIDA 33134

☎ 305.460.5093
✉ hist@coralgables.com

March 30, 2021

Brockway/Valencia LLC
300 Almeria Avenue
Coral Gables, FL 33134

Re: 2801 Salzedo Street, legally described as Lots 1 thru 11 & 27 thru 38 & 20 ft alley lyg bet Block 18, Coral Gables Crafts Section, according to the plat thereof as recorded in Plat Book 10, at Page 40 of the public records of Miami-Dade County, Florida

Dear Property Owner:

Section 3-1107(g) of the Coral Gables Zoning Code states that "All demolition permits for non-designated buildings and/or structures must be approved by the Historic Preservation Officer or designee. The approval is valid for eighteen (18) months from issuance and shall thereafter expire and the approval is deemed void unless the demolition permit has been issued by the Development Services Department. The Historic Preservation Officer may require review by the Historic Preservation Board if the building and/or structure to be demolished is eligible for designation as a local historic landmark or as a contributing building, structure or property within an existing local historic landmark district. This determination of eligibility is preliminary in nature and the final public hearing before the Historic Preservation Board on Local Historic Designation shall be within sixty (60) days from the Historic Preservation Officer determination of "eligibility." Consideration by the Board may be deferred by mutual agreement by the property owner and the Historic Preservation Officer. The Historic Preservation Officer may require the filing of a written application on the forms prepared by the Department and may request additional background information to assist the Board in its consideration of eligibility. Independent analysis by a consultant selected by the City may be required to assist in the review of the application. All fees associated with the analysis shall be the responsibility of the applicant. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; archeological assessments; and historic assessments."

Therefore, please be advised that after careful research and study of our records and the information you presented the following information has been determined:

2801 Salzedo Street, legally described as Lots 1 thru 11 & 27 thru 38 & 20 ft alley lyg bet Block 18, Coral Gables Crafts Section, according to the plat thereof as recorded in Plat Book 10, at Page 40 of the public records of Miami-Dade

County, Florida, does not meet the minimum eligibility criteria for designation as a local historic landmark. Therefore, the Historical Resources staff will not require review by the Historic Preservation Board if an application is made for a demolition permit.

This letter is a reissue of the previous letters dated November 27, 2019. Please note that, pursuant to Section 2-705(b)(15) of the Coral Gables Zoning Code, this determination does not constitute a development order and is valid for a period of eighteen (18) months. In the case where the Historic Preservation Officer or designee determines that the property does not meet the minimum eligibility criteria for designation, a permit for the demolition of the property must be issued within the eighteen-month period.

Upon expiration of the eighteen-month period, you will be required to file a new application. Any change from the foregoing may be made upon a demonstration of a change in the material facts upon which this determination was made.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,



Warren Adams
Historic Preservation Officer

cc: Laura Russo, Esq., 2334 Ponce de Leon Boulevard, Suite 240, Coral Gables, FL 33134
Eduardo Santamaria, Assistant City Manager
Miriam Soler Ramos, City Attorney
Cristina M. Suárez, Deputy City Attorney
Suramy Cabrera, Development Services Director
Charles Wu, Assistant Development Services Director
Ramon Trias, Planning & Zoning Director
Virginia Goizueta, Plans Processor Lead
Historical Significance Request Property File



**CITY OF CORAL GABLES
HISTORICAL RESOURCES DEPT INVOICE
LETTER OF HISTORIC SIGNIFICANCE**

PERMIT ID: 310624

405 Biltmore Way - Coral Gables, FL 33134
(305) 460-5235

Site Address: 2801-2815 SALZEDO ST
CORAL GABLES, FL 33134

PERMIT NUMBER: **HI-21-03-8839**

PARCEL NUMBER: **03-4117-005-5110**

Project Name:**Legal Description:**

CORAL GABLES CRAFTS SEC PB 10-40 LOTS 1 THRU 11 & 27 THRU 38 & 20FT ALLEY LYG BET BLK 18 LOT
SIZE IRREGULAR

Applicant:

LAURA RUSSO
2334 PONCE DE LEON
ST. 240
CORAL GABLES, FL 33134
(305) 476-8300

Cust. #: 002348

Owner:

BROCKWAY/VALENCIA LLC
300 ALMERIA AVE
CORAL GABLES, FL 33134-5812

Tenant:**Contractor:****Qualifier:**

Bus. License:

Project Description:

Letter of Historic Significance Re-Issue - Fee: \$100.00

HPB SCHEDULED DATE	
REQUEST FOR SPECIAL MEETING	N
HISTORIC SIGNIFICANCE FEE	N

CALL THE AUTOMATED REQUEST SYSTEM TO SCHEDULE AN INSPECTION: 305-722-8700
SCHEDULE AN INSPECTION VIA THE WEB: WWW.CORALGABLES.COM

BUILDING & ZONING: 305-460-5245
FIRE: 305-460-5563

INVOICE PREVIOUSLY PAID



HI-21-03-8839

SALES CENTER FOR MERCEDES BENZ OF CORAL GABLES
2801 Salzedo Street
Coral Gables, Florida 33134

PROPERTY OWNER

BILL USSERY MOTORS, INC**Brockway LTD, LLLP**

300 Almeria Avenue

Coral Gables, Florida 33134

Greg Barnes	786.413.1300
President	305.448.5694
greg.barnes@usseryauto.com	

Jim Eagleton	305.586.6299
Principal	303.234.1944
jim@eagletonkathe.com	

Guy Kathe	303.778.6935
Principal	
guy@eagletonkathe.com	

LAND USE ATTORNEY

LAURA L. RUSSO, ESQ

2655 LeJeune Road, PH 1F

Coral Gables, Florida 33134

Laura L. Russo	305.476.8300
President	305.801.9002
laura@laurarussolaw.com	

ARCHITECT

Perkins + Will

2800 Ponce De Leon Boulevard

Suite 1300

Coral Gables, Florida 33134

Carlos Chiu	305.569.1349
Managing Director, Principal	
Carlos.chiu@perkinswill.com	

Lawrence Kline	305.569.1374
Managing Director, Principal	305.490.4202
Lawrence.Kline@perkinswill.com	

Lincoln Linder	305.569.1360
Sr. Project Designer, Associate Principal	305.965.5997
Lincoln.linder@perkinswill.com	

Elina Cardet	305.569.1366
Associate Principal	646.241.5174
Elina.cardet@perkinswill.com	

Neyda Otero	305.777.9536
Sr. Project Manager, Associate	786.229.2061
Neyda.otero@perkinswill.com	

SALES CENTER FOR MERCEDES BENZ OF CORAL GABLES
2801 Salzedo Street
Coral Gables, Florida 33134

LANDSCAPE ARCHITECTURE

Perkins + Will

2800 Ponce De Leon Boulevard

Suite 1300

Coral Gables, Florida 33134

Christopher Counts

305.777.9537

Principal

305.298.9263

Christopher.counts@perkinswill.com

James Phillips

305.777.9528

Landscape Architect

James.phillips@perkinswill.com

CIVIL CONSULTANT

David Plummer & Associates

1750 Ponce de Leon Boulevard

Coral Gables, Florida 33134

Timothy J. Plummer

305.447.0900

President

Tim.plummer@dplummer.com

Todd Seymour

305.447.0900

Vice President

Todd.seymour@dplummer.com

This Instrument was prepared by:

Vivian de las Cuevas-Diaz, Esq.
Holland & Knight LLP
701 Brickell Avenue
Suite 3300
Miami, Florida 33131

After Recording return to:

Kurkin Forehand Brandes LLP
18851 NE 29th Avenue, Suite 303
Aventura, FL 33180

Property Tax Identification No: 03-4117-005-5110

Files: 328161016MC & 328361982MC & MC-A

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made this 23 day of March, 2021 between **CITY OF CORAL GABLES**, a municipal corporation existing under the laws of the State of Florida (the "Grantor"), whose mailing address is 405 Biltmore Way, Coral Gables, Florida 33134, and **BROCKWAY/VALENCIA, LLC**, a Florida limited liability company (the "Grantee"), whose mailing address is 300 Almeria Avenue, Coral Gables, FL 33134, Attn: Ronit Canet.

WITNESSETH:

That Grantor, for and in consideration of the sum of TEN DOLLARS (\$ 10.00) and other good and valuable consideration, to Grantor in hand paid by Grantee, the receipt and sufficiency whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, transfer, release, convey and confirm unto Grantee and Grantee's successors, heirs and assigns the real property (the "Property") located in Miami-Dade County, Florida, and more particularly described in **Exhibit "A"** attached hereto and made a part hereof.

SUBJECT ONLY TO easements, restrictions and reservations of record, if any, and real estate taxes for the year 2021 and subsequent years.

TOGETHER with all the tenements, hereditaments, easements and appurtenances belonging or in any way appertaining to the Property,

TOGETHER with all buildings, fixtures and other improvements as presently located on the Property,

TOGETHER with all of the Grantor's right, title and interest in and to any existing or proposed streets, roadways, alleys and/or rights of way which are adjacent to the Property.

TO HAVE AND TO HOLD the same in fee simple forever.

AND GRANTOR hereby covenants with Grantee that Grantor is lawfully seized of the Property in fee simple; that Grantor has good right and lawful authority to sell and convey the Property; and that Grantor does hereby fully warrant the title to the Property and will defend the same against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

[Signatures on the Following Page]

[Signature Page to Special Warranty Deed]

IN WITNESS WHEREOF, Grantor has caused Special Warranty Deed to be executed on the day and year first above written.

WITNESSES:

Sandra M. Rodriguez
Print: Sandra M Rodriguez

Hannah Basa
Print: Hannah Basa

GRANTOR:

CITY OF CORAL GABLES, a municipal corporation existing under the laws of the State of Florida

By: [Signature]
Name: Peter J. Iglesias
Title: City Manager

APPROVED AS TO FORM AND CORRECTNESS:

[Signature]
Miriam Soler Ramos
City Attorney

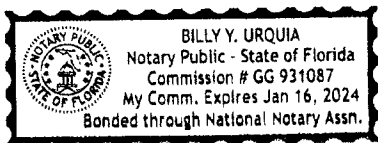
ATTEST:

[Signature]
Billy Y. Urquia
City Clerk

STATE OF FLORIDA)
) ss:
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 19th day of March, 2021, by Peter J. Iglesias, as the City Manager of the City of Coral Gables, a municipal corporation existing under the laws of the State of Florida, on behalf of the City, who is personally known to me or who has produced _____ as identification.

[NOTARIAL SEAL]



[Signature]
Print Name: Billy Y. Urquia
Notary Public, State of Florida
Commission #: _____
My Commission Expires: _____

Exhibit "A"**Legal Description**

Lots 1 through 11, inclusive, and Lot 27 less the east 20' thereof, and Lots 28 through 38, inclusive, together with a 20' alley lying between Lots 1 through 11, inclusive, and Lots 28 through 38, inclusive, and that portion of the 20' alley lying north of Lot 27 less the east 20' thereof, Block 18, CORAL GABLES CRAFTS SECTION, according to the plat thereof, recorded in Plat Book 10, Page 40, of the Public Records of Miami-Dade County.



Sheet Index_DRC		
SHEET NUMBER	SHEET NAME	DRC SUBMISSION 04.07.2021
_DRC		
DRC00-01	COVER	•
DRC00-02	PROJECT SCOPE	•
DRC00-03	ARCHITECTURAL SITE PLAN	•
DRC00-04	CIVIL SITE PLAN	•
DRC10-00	OVERALL FLOOR PLAN - LEVEL B1	•
DRC10-01	OVERALL FLOOR PLAN - LEVEL 01	•
DRC10-02	OVERALL FLOOR PLAN - LEVEL 02	•
DRC10-03	OVERALL FLOOR PLAN - LEVEL 03	•
DRC10-04	OVERALL FLOOR PLAN - LEVEL 04	•
DRC10-05	OVERALL FLOOR PLAN - LEVEL P5	•
DRC10-06	OVERALL ROOF PLAN	•
DRC20-01	OVERALL ELEVATIONS	•
DRC20-02	OVERALL ELEVATIONS	•
DRC20-03	OVERALL ELEVATIONS	•
DRC20-04	OVERALL ELEVATIONS	•
DRC21-01	OVERALL BUILDING SECTIONS	•
DRC21-02	OVERALL BUILDING SECTIONS	•
DRC30-01	AERIAL	•
DRC30-02	SITE PHOTOS	•
DRC30-04	SITE PHOTOS	•
DRC30-05	EXISTING SURVEY	•
DRC30-06	TREE DISPOSITION	•
DRC30-07	GROUND FLOOR OVERALL HARDSCAPE PLAN	•
DRC30-08	GROUND FLOOR OVERALL PLANTING PLAN	•
DRC30-09	TYPICAL GARAGE LEVELS 2-5 PLANTING PLAN	•

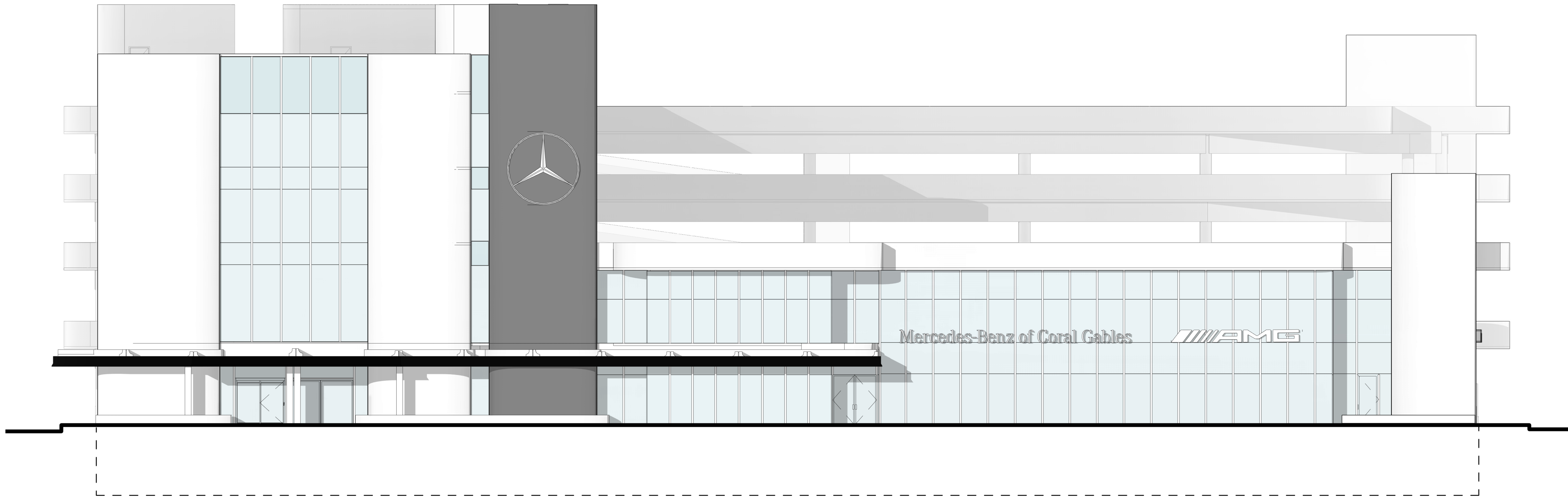
OWNER
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES
2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECT
Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 1 305.569.1334 perkinswill.com

SHEET NUMBER
COVER DRC00-01 © 2014 Perkins and Will



Property Information
Property name: 2801 Salzedo Street, Coral Gables, Florida 33134
Site Area: 1.5 Acres (63,000 Square Feet)
Number of Stories: 5
Year (s) constructed: 1973
Land Use Category: Commercial High-Rise Intensity Ordinance No. 2016-52
Zoning District: Commercial Ordinance No. 2016-51: Now MX-3 Ordinance 2021-07

This building was until recently the City of Coral Gables Police and Fire Department. We propose to repurpose the structure as the new showroom for Mercedes-Benz of Coral Gables and to house inventory that is currently on surface lots on Valencia and Andalusia Avenues.

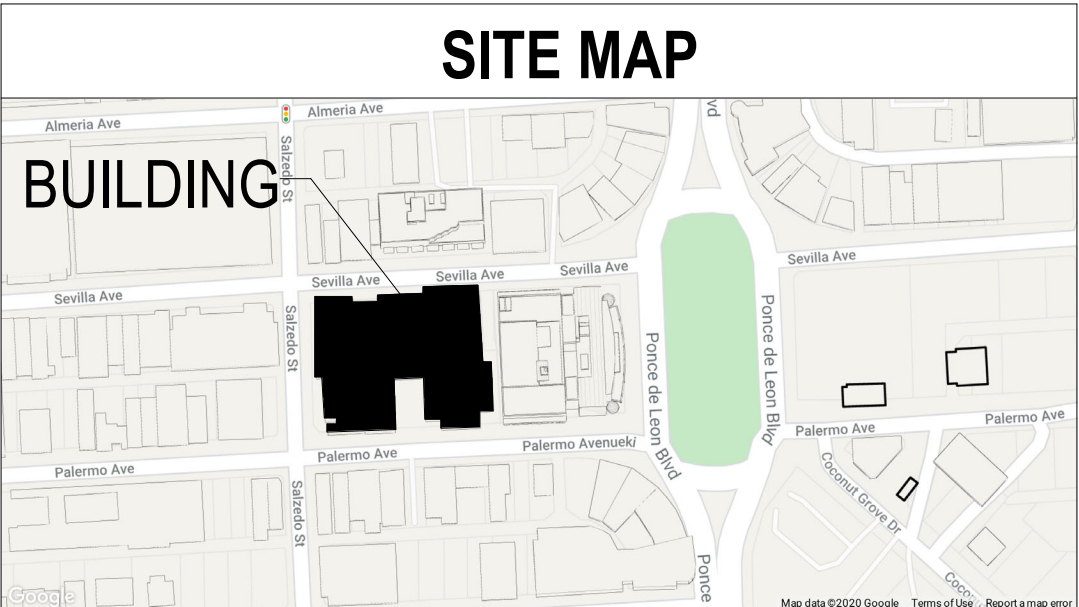
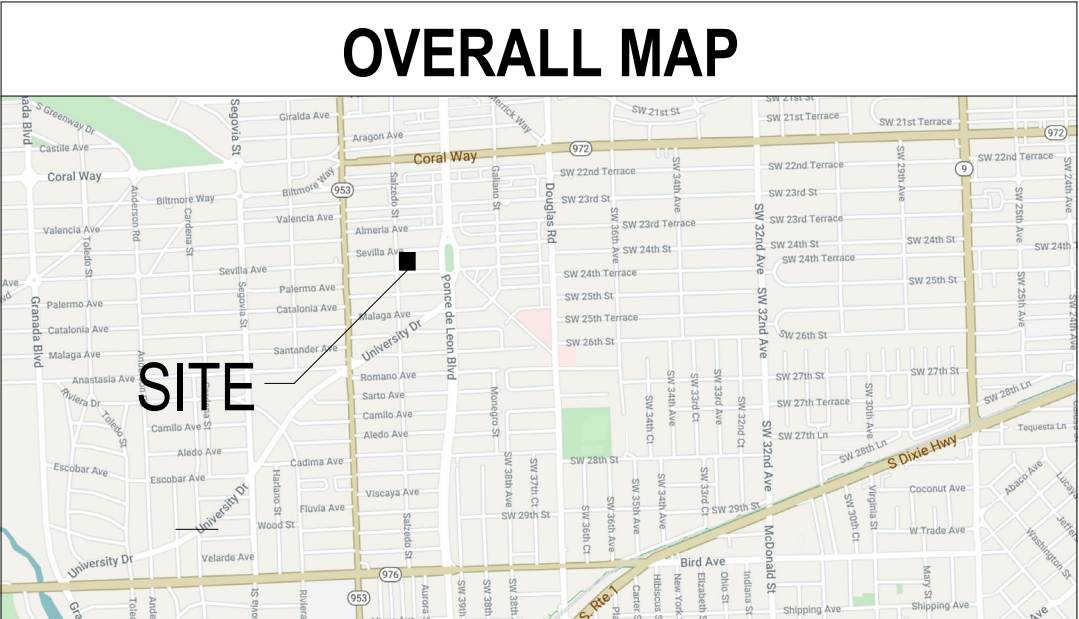
This DRC review is for the shell and core only; the design of the future tenant space is not part of this scope; the tenant improvements will be submitted at a future date.

The existing exterior finish of the building consists of a combination of painted stucco and brick veneer over a concrete structure. The proposed scope for the new exterior includes replacing the brick veneer with a painted-stucco finish (needed to achieve a water-tight envelope), replacement of the existing glazing with new hurricane impact glass, select application of aluminum metal cladding, and select additional glass areas on the east and west facades of the fire station (please refer to the DRC set of design drawings for details)

Proposed exterior signage for Mercedes-Benz of Coral Gables is indicated on the elevations contained in the DRC set.

The existing site has a basement level occupying a majority of the property with building and structured garage above. There are existing landscape planters on the ground level and on specific areas of the garage. All existing landscape areas will be restored and renovated with new plantings and irrigation.

Refer to DRC submittal package for exterior and interior renovation drawings.



SCOPE OF WORK

ENVELOPE RENOVATION OF EXISTING STRUCTURE WITH MINOR STRUCTURAL MODIFICATIONS TO ENABLE THE NEW COMPONENTS OF THE WORK.

- PROJECT INFORMATION:**
 - RENOVATION WORK:** CORE AND SHELL EXTERIOR RENOVATION, INTERIORS READY FOR FUTURE TENNANT USE
 - SITE WORK:** ENHANCEMENT OF EXTERIOR PAVING EXISTING PLANTERS

PROJECT TEAM

	OWNER	ARCHITECT
COMPANY	MERCEDES BENZ	PERKINS & WILL
CONTACT	JIM EAGLETON	CARLOS CHIU
TITLE	REAL ESTATE MANAGER	DIRECTOR OF OPERATIONS, PRINCIPAL
ADDRESS	300 SEVILLA AVE, SUITE 202 CORAL GABLES, FL 33134	2800 PONCE DE LEON BLVD. CORAL GABLES, FL 33134
PHONE	305-586-6299	305-569-1349
E-MAIL	jim@eagletonkathe.com	carlos.chiu@perkinswill.com

ZONING

LAND USE CATEGORY:
COMMERCIAL HIGH-RISE INTENSITY
ORDINANCE NO. 2016-52

FLOOR AREA RATIO: 3.0
63,000 SF LOT AREA (1.5 ACRE PER SURVEY)
189,000 SF ALLOWABLE AREA

268,826 SF PROVIDED - NEW CONSTRUCTION
267,377 SF PROVIDED - EXISTING

	SF ENCLOSED	SF GARAGE
EXISTING	90,579 GSF	176,798 GSF
NEW	90,401 GSF	178,425 GSF

SETBACKS PERMITTED:
FRONT: NONE UP TO 15' HEIGHT / 10' ABOVE
SIDES: VARIES, < 5' AT STAIR
SIDE: NONE UP TO 45' HEIGHT / 10' ABOVE 45'
REAR: NONE IF ABUTTING ALLEY OR STREET

HEIGHT PERMITTED: 150'

SETBACKS EXISTING:
FRONT: 0'
SIDE: 0'
REAR: 0'

HEIGHT EXISTING: 53'

REQUESTING WAIVER OF LANDSCAPE
REQUIREMENTS DUE TO EXISTING
CONDITIONS

PARKING SPACES REQUIRED

CITY OF CORAL GABLES
(C) COMMERCIAL HIGH-RISE INTENSITY

PARKING REQUIREMENTS
OFFICE : 1 PER 300 SF 6,500 SF** 22 SPACES**
SALES SHOWROOM: 1 PER 600 SF 53,047 SF** 89 SPACES**

SUBTOTAL
REQUIRED 59,547 SF** 111 SPACES**

** PARKING REQUIREMENTS TO BE DETERMINED BY TENANT IN FUTURE
FIT-OUT

PARKING SPACES PROVIDED

EXISTING SPACES TO REMAIN

BASEMENT (ENCLOSED) 112 SPACES
LEVEL 01 25 SPACES
LEVEL 02 37 SPACES
LEVEL 03 100 SPACES
LEVEL 04 47 SPACES
PARKING LEVEL 05 47 SPACES

STANDARD SPACES TOTAL 368 SPACES*

*THE REMAINING BALANCE OF SPACES NOT REQUIRED BY CODE WILL
BE USED FOR INVENTORY PURPOSES

REQUIRED ACCESSIBLE SPACES TO BE IDENTIFIED AND SUBMITTED WITH
FUTURE TENANT IMPROVEMENT PLANS

OWNER		PROJECT		ARCHITECT		SHEET NUMBER	
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134		Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134		Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 f 305.569.1334 perkinswill.com		PROJECT SCOPE DRC00-02 © 2014 Perkins and Will	

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECTURAL SITE
GENERAL NOTES

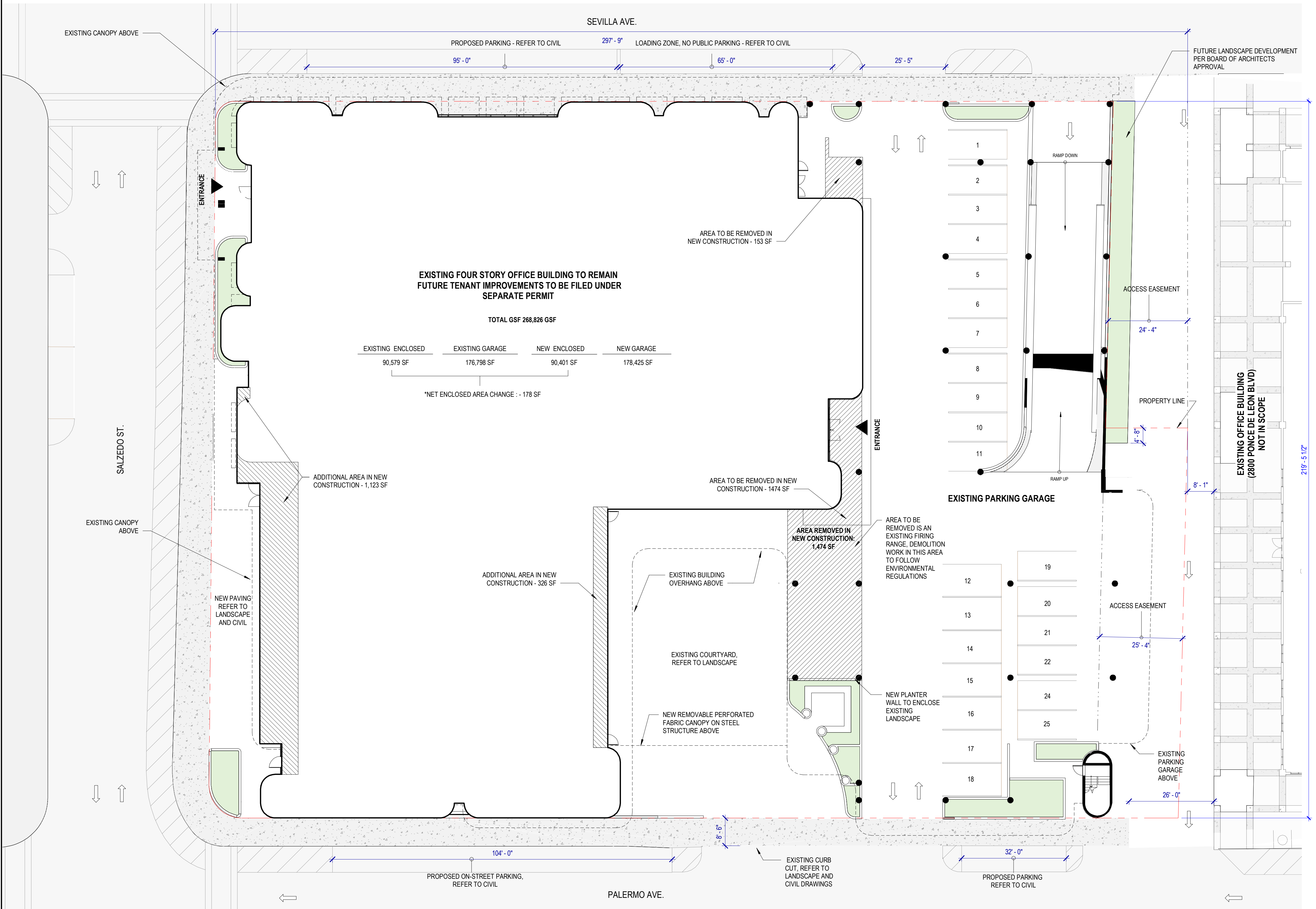
1. RE: CIVIL DRAWINGS FOR ALL SITE CONSTRUCTION INFORMATION INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- SITE GEOMETRY AND DIMENSIONAL CONTROL
 - SITE UTILITIES
 - SITE GRADING AND DRAINAGE
 - ASPHALT/CONCRETE PAVING DETAILS
 - PAVING MARKERS
 - CONCRETE SIDEWALK, CURB, AND GUTTER DETAILS
 - PARKING BUMPERS
 - TRAFFIC SIGNAGE
 - PAVING STRIPING AND CURB MARKINGS
 - TYPICAL HANDICAP SIGNAGE/SPACES
2. REFERENCE LANDSCAPE DRAWINGS FOR:
- PAVING TYPE AND LOCATION
 - PLANTING AREA
 - TREE DISPOSITION

ARCHITECTURAL SITE
PLAN LEGEND

- EXISTING CONCRETE SIDEWALK TO REMAIN, REFER TO CIVIL
- EXISTING BUILDING FOOTPRINT
- EXISTING ROADS, REFER TO CIVIL
- PROPERTY LINE
- EASEMENT, BUILDING SETBACK & R.O.W.
- ADDITIONAL AREA IN NEW CONSTRUCTION
- AREA TO BE REMOVED IN NEW CONSTRUCTION
- EXISTING PLANTING AREAS, REFER TO LANDSCAPE

AREA PER FLOOR
EXISTING VS NEW CONSTRUCTION

EXISTING ENCLOSED AREA		NEW ENCLOSED AREA	
BASEMENT (ENCLOSED)	13,905 SF	BASEMENT (ENCLOSED)	13,905 SF
LEVEL 01	32,695 SF	LEVEL 01	32,537 SF
LEVEL 02	20,580 SF	LEVEL 02	20,580 SF
LEVEL 03	11,826 SF	LEVEL 03	11,826 SF
LEVEL 04	11,553 SF	LEVEL 04	11,553 SF
PARKING LEVEL 05		PARKING LEVEL 05	
EXISTING ENCLOSED AREA TOTAL	90,579 SF	NEW ENCLOSED AREA TOTAL	90,401 SF
		***NET ENCLOSED AREA CHANGE :	- 178 SF
EXISTING GARAGE AREA (UNENCLOSED)		NEW GARAGE AREA (UNENCLOSED)	
BASEMENT (ENCLOSED)	43,143 SF	BASEMENT (ENCLOSED)	43,143 SF
LEVEL 01	23,982 SF	LEVEL 01	25,609 SF
LEVEL 02	21,640 SF	LEVEL 02	21,640 SF
LEVEL 03	42,465 SF	LEVEL 03	42,465 SF
LEVEL 04	22,625 SF	LEVEL 04	22,625 SF
PARKING LEVEL 05	22,943 SF	PARKING LEVEL 05	22,943 SF
EXISTING UNENCLOSED AREA TOTAL	176,798 SF	NEW UNENCLOSED AREA TOTAL	178,425 SF
EXISTING AREA TOTAL (ENCLOSED + UNENCLOSED)	267,377 SF	NEW TOTAL AREA (ENCLOSED + UNENCLOSED)	268,826 SF
		*** NET TOTAL AREA CHANGE: (ENCLOSED + UNENCLOSED)	+ 1,449 SF



1 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
GABLES
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SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

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ARCHITECT

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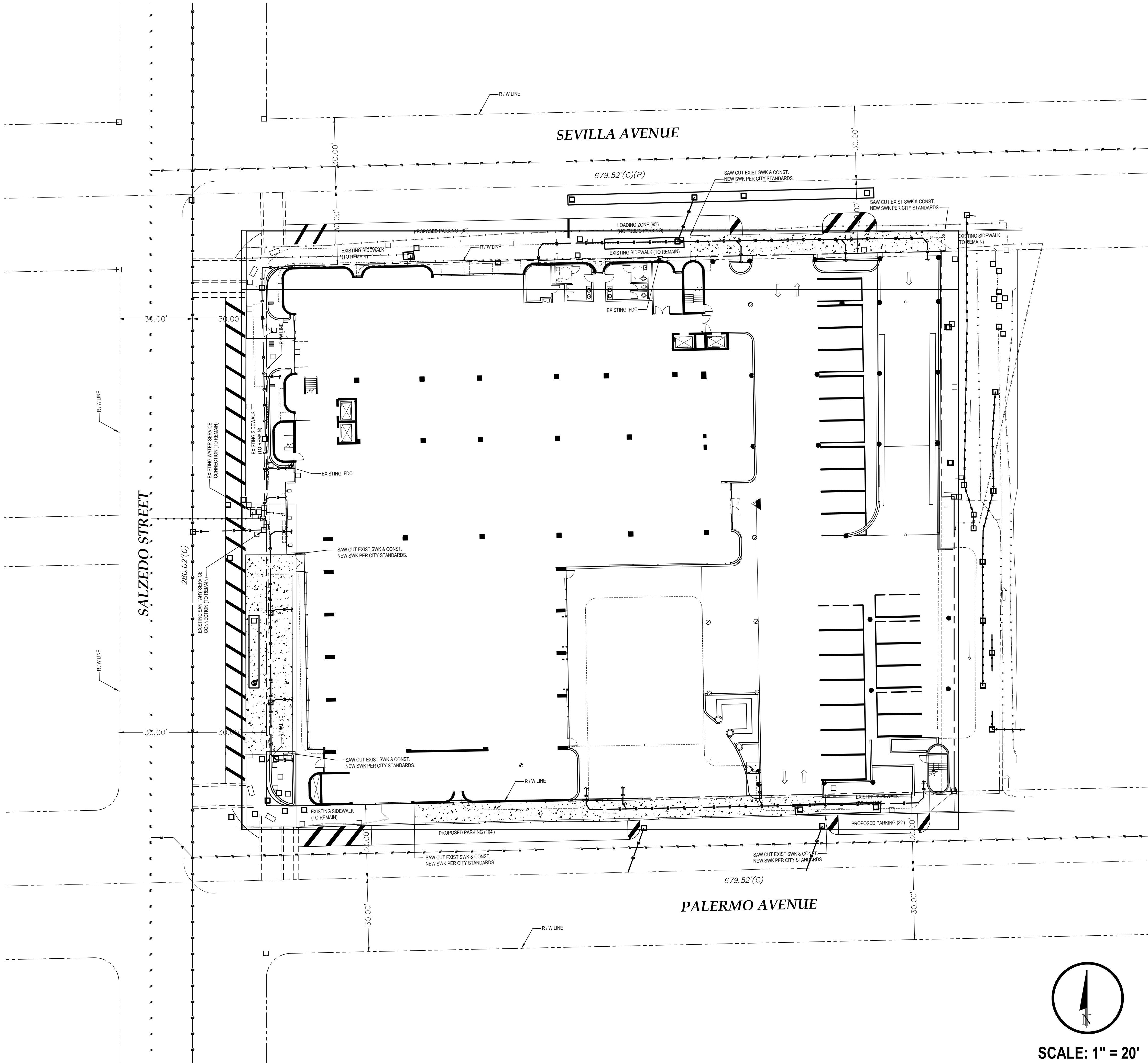
SHEET NUMBER

ARCHITECTURAL SITE
PLAN

DRC00-03

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GENERAL NOTES

1. ALL MATERIALS AND CONSTRUCTION UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE LATEST REQUIREMENTS OF CITY OF CORAL GABLES PUBLIC WORKS DEPARTMENT, AND THE FLORIDA BUILDING CODE LATEST EDITION.
2. CONTRACTOR MUST CONTACT THE ARCHITECT/ENGINEER OF RECORD TO ARRANGE FOR A PRE-CONSTRUCTION MEETING, 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. AT THE COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL SUBMIT THREE (3) SIGNED & SEALED AS-BUILT DRAWINGS, SIGNED & SEALED BY A REGISTERED LAND SURVEYOR LICENSED IN THE STATE OF FLORIDA. THE AS-BUILT DRAWINGS SHALL INDICATE LOCATION, SIZE, ELEVATION, MATERIAL, ETC., OF ALL WORK COMPLETED UNDER THIS CONTRACT AND OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE NO-CUTS (1-800-432-4770) AT LEAST TWO FULL BUSINESS DAYS BEFORE DIGGING TO ALLOW FOR FIELD LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL ASSIST UTILITY COMPANIES IN THE EFFORTS TO FIELD VERIFY UNDERGROUND UTILITIES. CONTRACTOR SHALL BEAR ALL COSTS FOR THIS WORK.
5. LOCATIONS, SIZE AND MATERIAL OF EXISTING UTILITIES HAVE BEEN DETERMINED FROM AVAILABLE RECORDS. THE OWNER AND THE ARCHITECT/ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES ENCOUNTERED DURING CONSTRUCTION.
6. ALL EXISTING UNDERGROUND OR ABOVEGROUND UTILITIES PIPE, CABLE, DUCTS, EQUIPMENT, DEVICES, ETC. WITHIN OR OUTSIDE THE PROJECT CONSTRUCTION LIMITS WHICH ARE DAMAGED OR DISRUPTED AS A RESULT OF THE CONTRACTOR'S OPERATION, SHALL BE IMMEDIATELY REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER'S AUTHORIZED REPRESENTATIVE. REGARDLESS OF WHETHER THEY WERE SHOWN OR NOT SHOWN ON THE PLANS OR LOCATED OR NOT BY THE OWNER'S REPRESENTATIVE, THE UTILITY COMPANY, NO-CUTS, ETC.
7. ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCING ANY CONSTRUCTION WORK.
8. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER OF RECORD.
9. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC DURING CONSTRUCTION IN ACCORDANCE WITH ALL STATE, COUNTY AND LOCAL REQUIREMENTS.
10. CONTRACTOR SHALL PROVIDE ADEQUATE BARRIERS, FLAGS, AND LIGHTS, ETC. TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC, AT NO ADDITIONAL COST TO THE OWNER.
11. ALL EXISTING PAVEMENT, GRASS, LANDSCAPING, FENCE, ASPHALT, ETC. DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITIONS, AT NO ADDITIONAL COST TO THE OWNER.
12. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE PUBLIC HEALTH AND ENSURE JOB SAFETY. THE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE OCCUPATIONAL SAFETY & HEALTH AGENCY (OSHA) STANDARDS AND FEDERAL, STATE AND LOCAL GOVERNMENT SAFETY REQUIREMENTS.
13. IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT STORMWATER POLLUTION PREVENTION AND EROSION CONTROL FEATURES AND PRACTICES DURING CONSTRUCTION IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) REQUIREMENTS. CONTRACTOR MUST OBTAIN A FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NODES DURING CONSTRUCTION PERMIT, PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL PERMIT FEES AND DOCUMENTATION PREPARATION SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM COST.
14. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER RUN-OFF WITHIN THE CONSTRUCTION AREA IS CONTAINED ON-SITE.
15. ALL DEFECTIVE WORK NOT ACCEPTED BY THE ARCHITECT/ENGINEER, OR BY THE OWNERS REPRESENTATIVE, OR BY ANY GOVERNMENT PERMITTING AGENCY SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
16. ALL AREAS WHICH ARE BEING EXCAVATED SHALL BE PROPERLY PROTECTED AND BARRICADED BY THE CONTRACTOR. ALL TRENCH WORK SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION EXCAVATION SAFETY STANDARDS, 29 C.F.R. S. 1926.650 SUBPART P AND THE FLORIDA TRENCH SAFETY ACT.
17. ALL STAGING AREAS SHALL BE PROPERLY FENCED AND BARRICADED BY THE CONTRACTOR.
18. SAW CUT EXISTING CONCRETE WALKS, CURBS, AND GUTTERS AND ASPHALT OR CONCRETE PAVEMENT CAREFULLY AND NEATLY WHERE UNDERGROUND WORK IS REQUIRED OR PROPOSED ASPHALT OR CONCRETE PAVEMENT, CURB, WALKS, ETC. WILL MEET EXISTING AT THESE LOCATIONS. CUT CONCRETE WALKS, CONCRETE PAVEMENT, CURBS AND GUTTERS AT NEAREST EXISTING CONCRETE JOINTS. CONTRACTOR SHALL INSTALL ALL UNDERGROUND UTILITIES PRIOR TO THE CONSTRUCTION OF THE PROPOSED PAVEMENT AND PAVEMENT BASE.
19. PROVIDE FILL TO ENSURE THAT THE FINISH GRADE (INCLUDING SOD) IN LANDSCAPE AREAS ARE AT LEVEL AT CURBS AND/OR EDGE OF SIDEWALKS.
20. WHERE NEW GRADES BLEND INTO EXISTING GRADES IN LANDSCAPE AREAS PROVIDE A UNIFORM TRANSITION. PROTECT ALL EXISTING PAVEMENT AND LANDSCAPE AREAS THAT ARE TO REMAIN.
21. DUE TO FEDERAL REGULATIONS, THE CONTRACTOR MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES AND MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

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LANDSCAPING
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PROJECT

Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP

MERCEDES-BENZ CORAL
GABLES

CORAL GABLES, FLORIDA

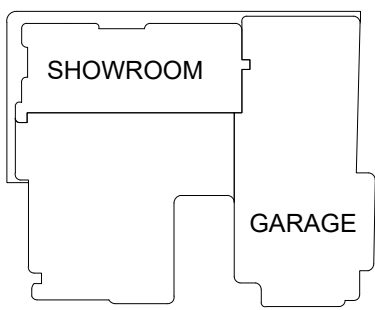
USSERY AUTOMOTIVE GROUP

BILL USSERY MOTORS

300 Almeria Avenue

Coral Gables, FL 33134

KEYPLAN



ISSUE CHART

ISSUE	DATE
Job Number	19250
TITLE	

CIVIL SITE PLAN

SHEET NUMBER

C-1.0

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FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING COLUMN
- NEW CONSTRUCTION
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- FLOOR DRAIN

1 B1 OVERALL PLAN
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
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2801 SALZEDO ST,
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ARCHITECT

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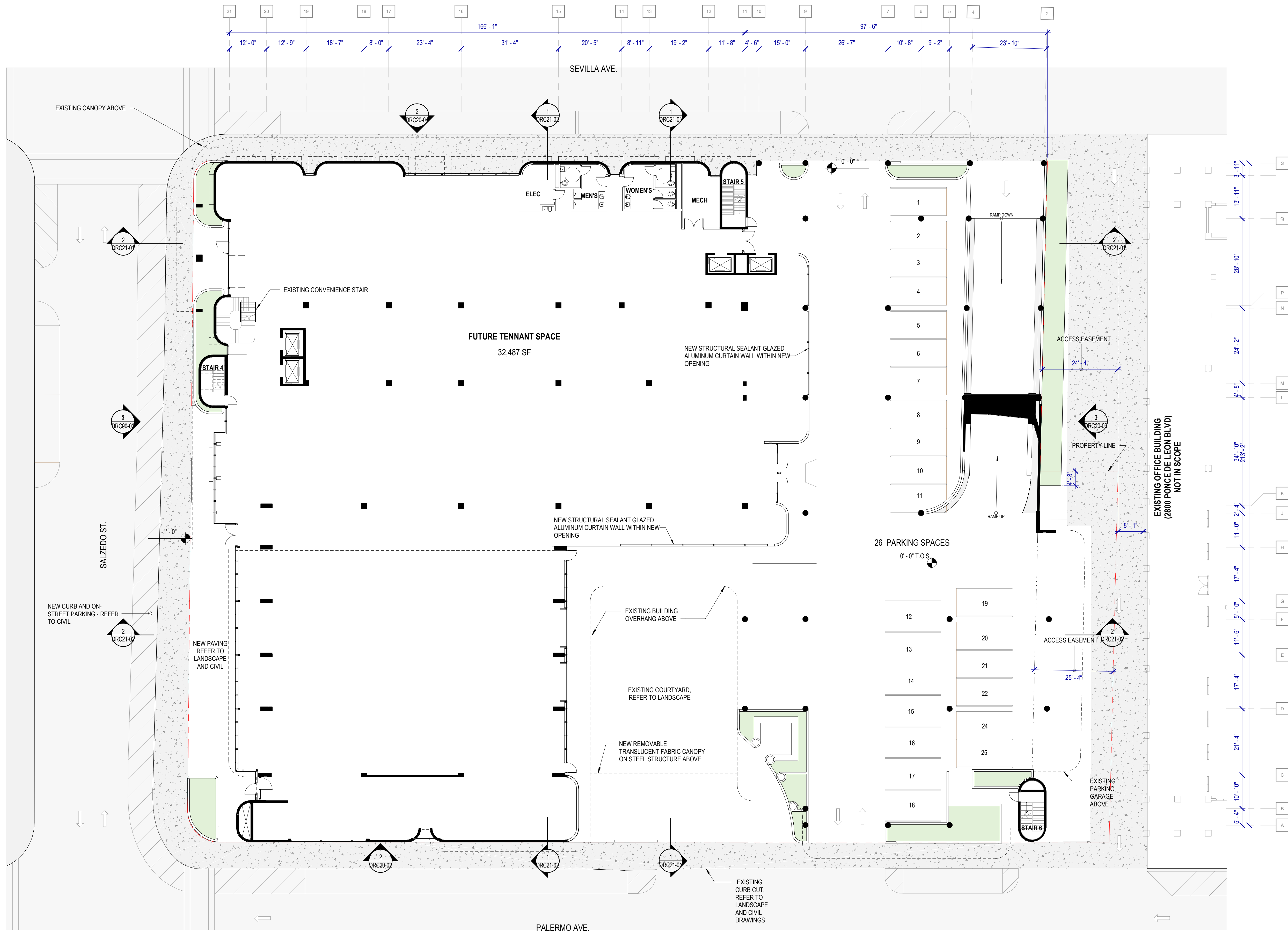
SHEET NUMBER

OVERALL FLOOR
PLAN - LEVEL B1

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FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING COLUMN
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- NEW PARTITION
- NEW COLUMN
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- BUILDING SECTION TAG
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- FLOOR DRAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN, REFER TO CIVIL
- EXISTING ROADS, REFER TO CIVIL
- EXISTING PLANTING AREAS, REFER TO LANDSCAPE

1 OVERALL FLOOR PLAN - LEVEL 01
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL GABLES
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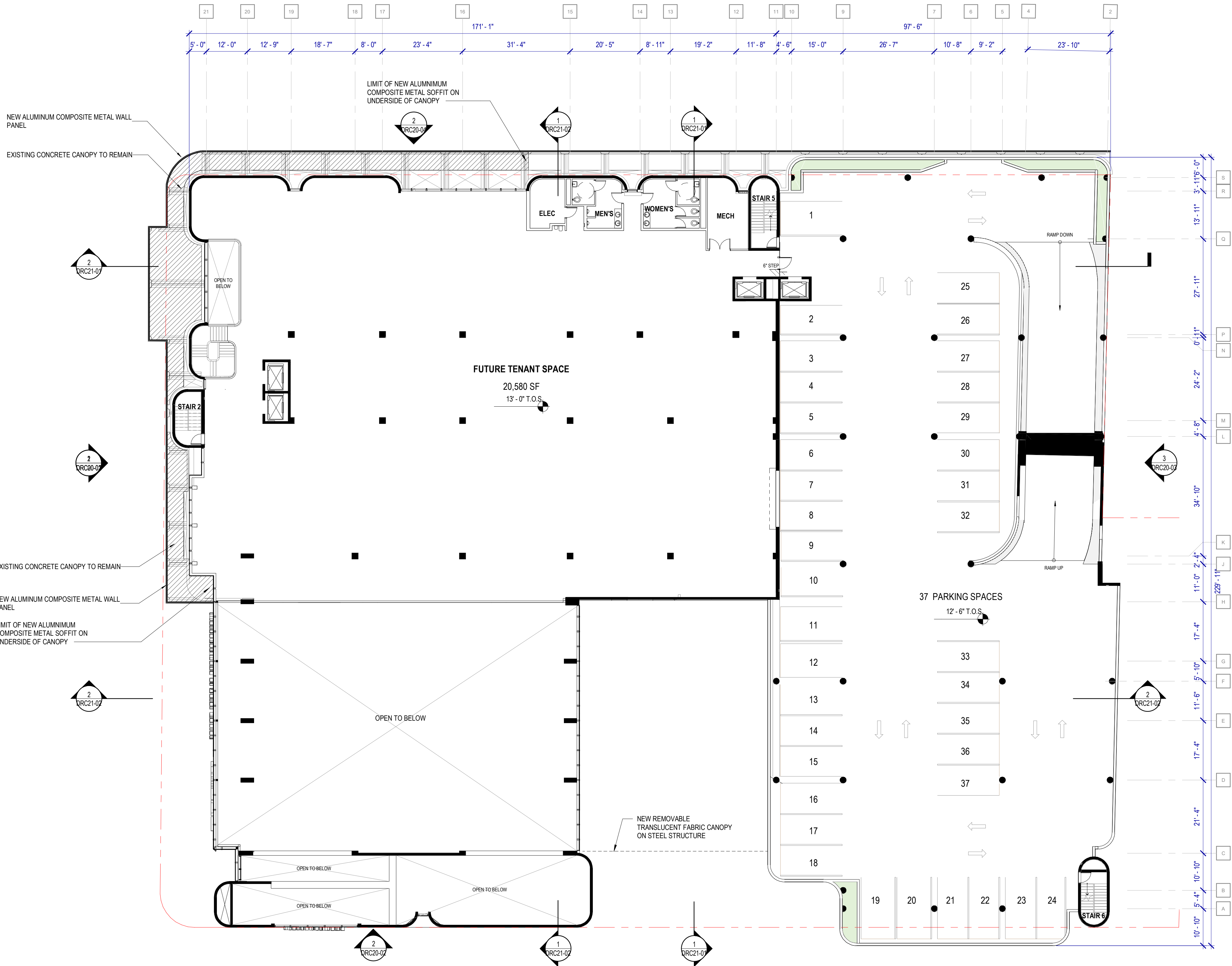
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OVERALL FLOOR
PLAN - LEVEL 01

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FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
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- EXISTING PLANTING AREAS, REFER TO LANDSCAPE

1 OVERALL FLOOR PLAN - LEVEL 02
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
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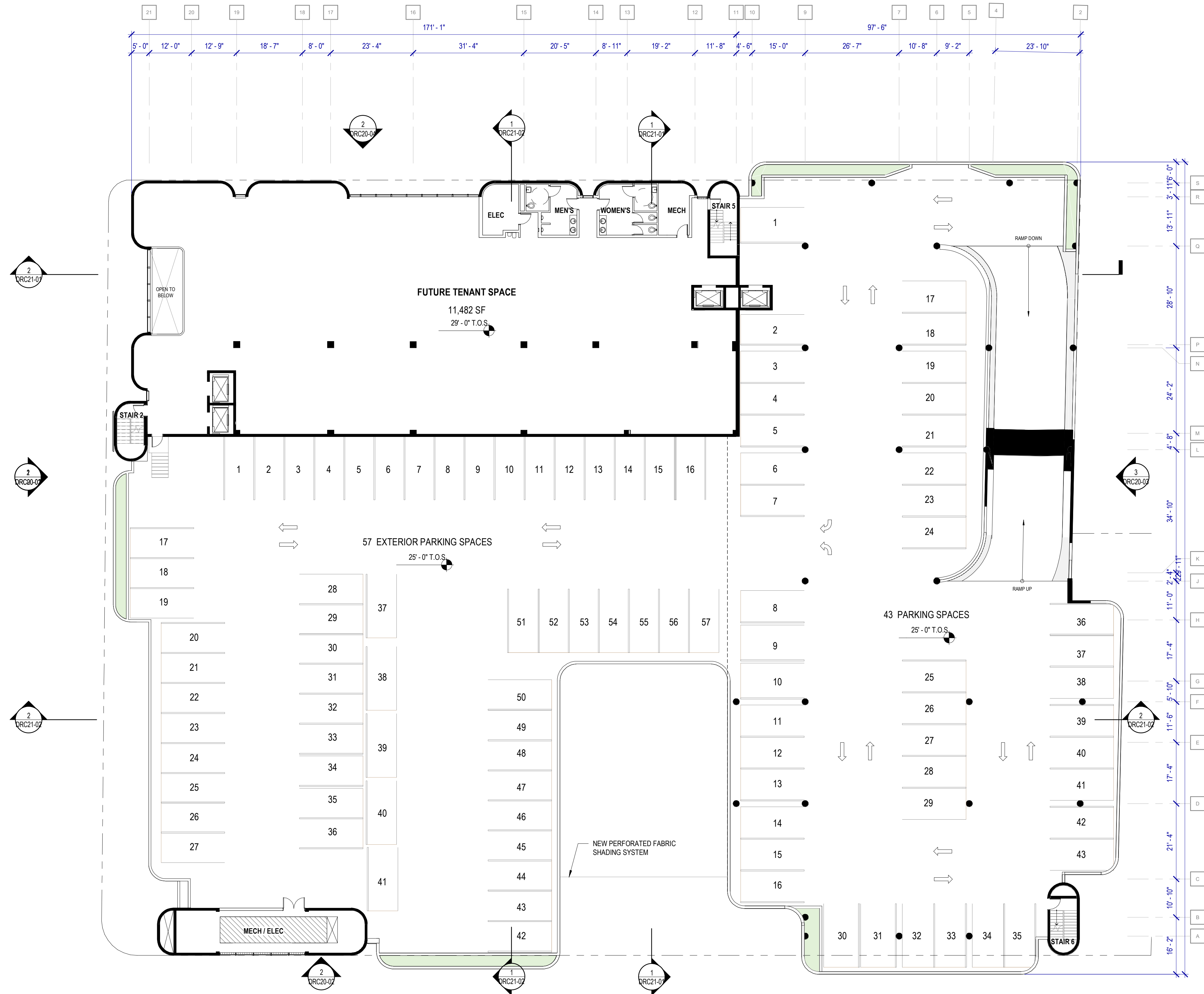
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OVERALL FLOOR
PLAN - LEVEL 02

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FLOOR PLAN LEGEND

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- EXISTING PARTITION TO REMAIN
- EXISTING COLUMN
- NEW CONSTRUCTION
- NEW PARTITION
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- EXISTING ROADS, REFER TO CIVIL
- EXISTING PLANTING AREAS, REFER TO LANDSCAPE

1 OVERALL FLOOR PLAN - LEVEL 03
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
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SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

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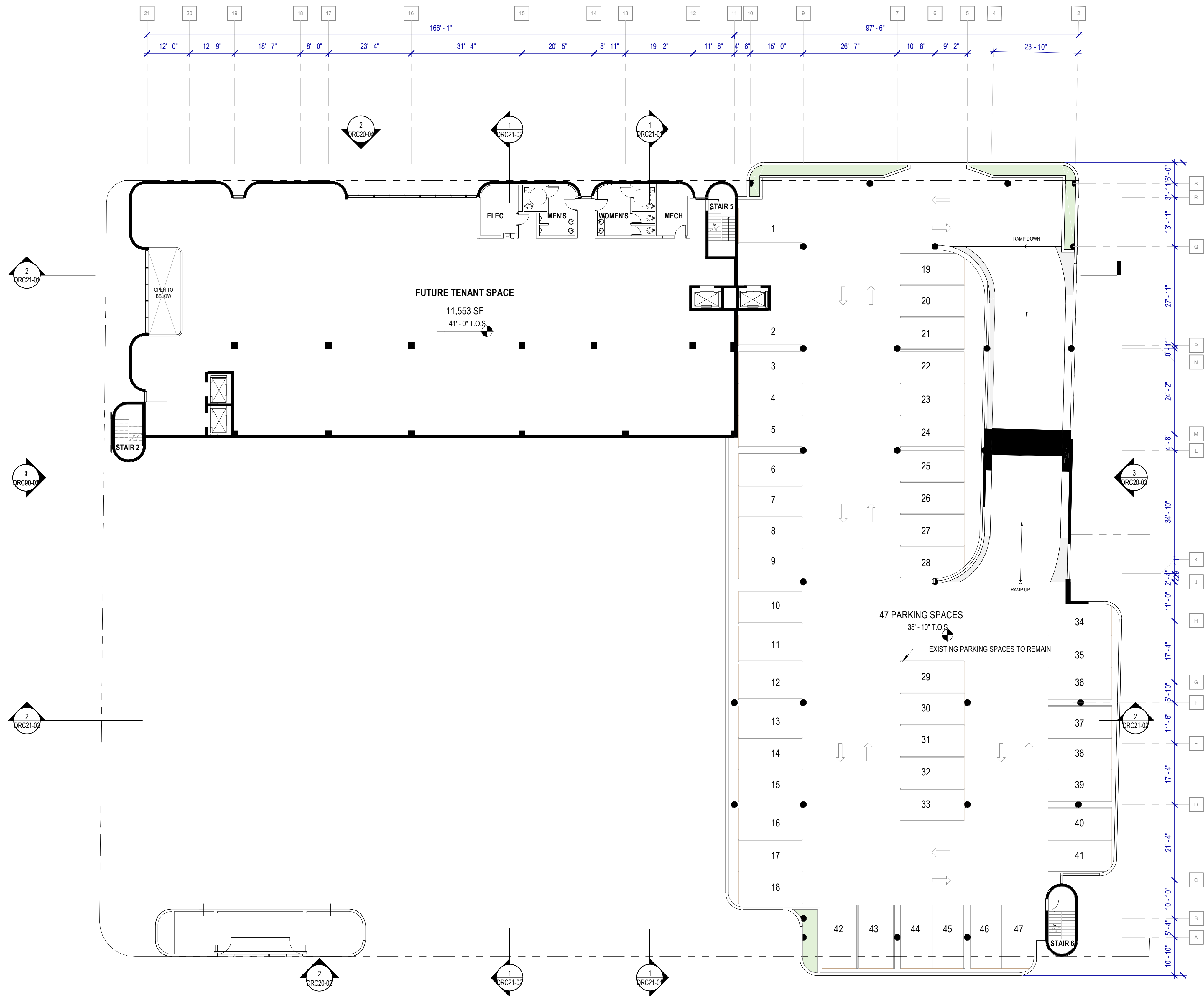
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OVERALL FLOOR
PLAN - LEVEL 03

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1 OVERALL FLOOR PLAN - LEVEL 04
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
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ARCHITECT

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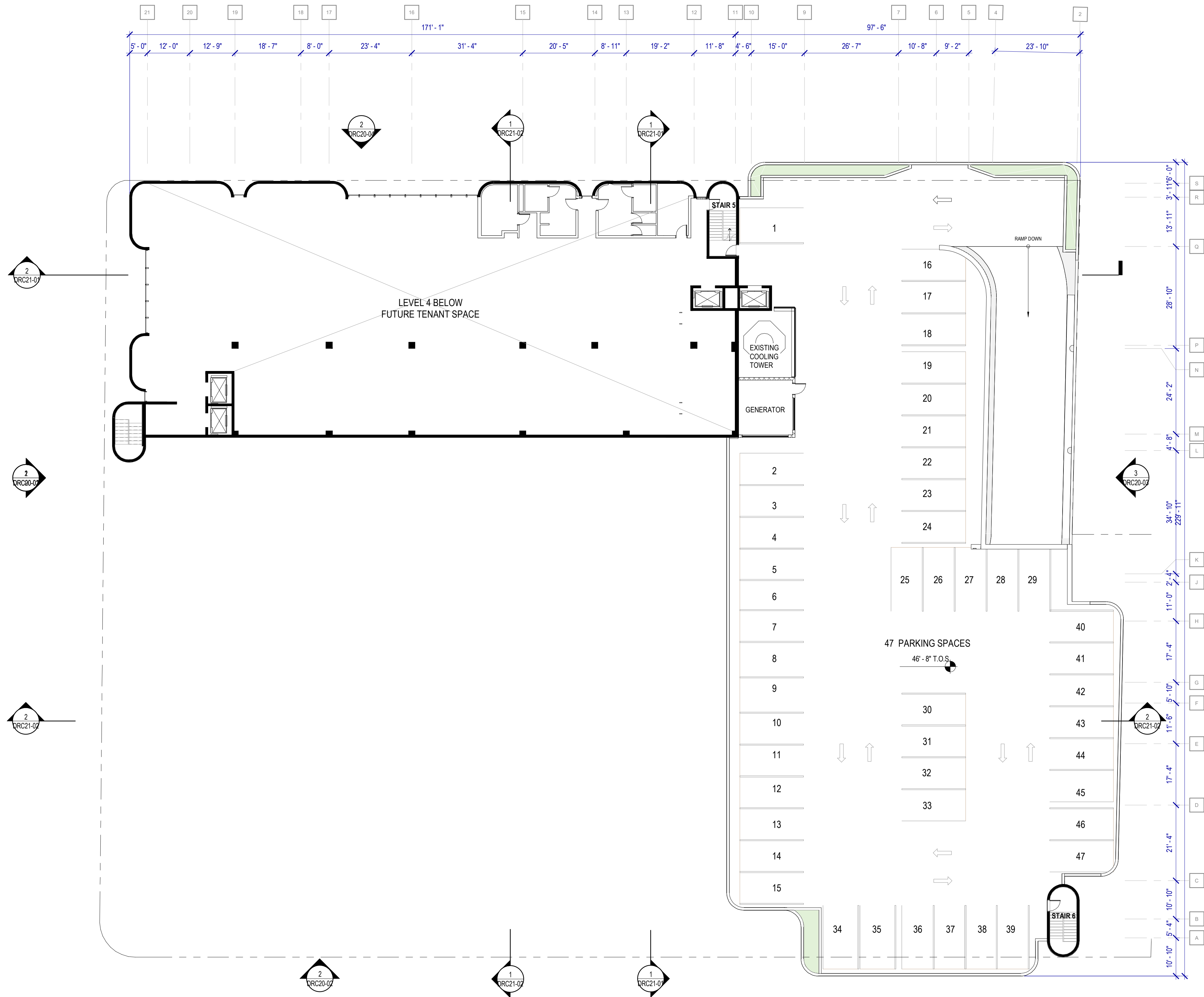
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SHEET NUMBER

OVERALL FLOOR
PLAN - LEVEL 04

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FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING COLUMN
- NEW CONSTRUCTION
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
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- FLOOR DRAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN, REFER TO CIVIL
- EXISTING ROADS, REFER TO CIVIL
- EXISTING PLANTING AREAS, REFER TO LANDSCAPE

1 OVERALL FLOOR PLAN - LEVEL P5
1/16" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
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ARCHITECT

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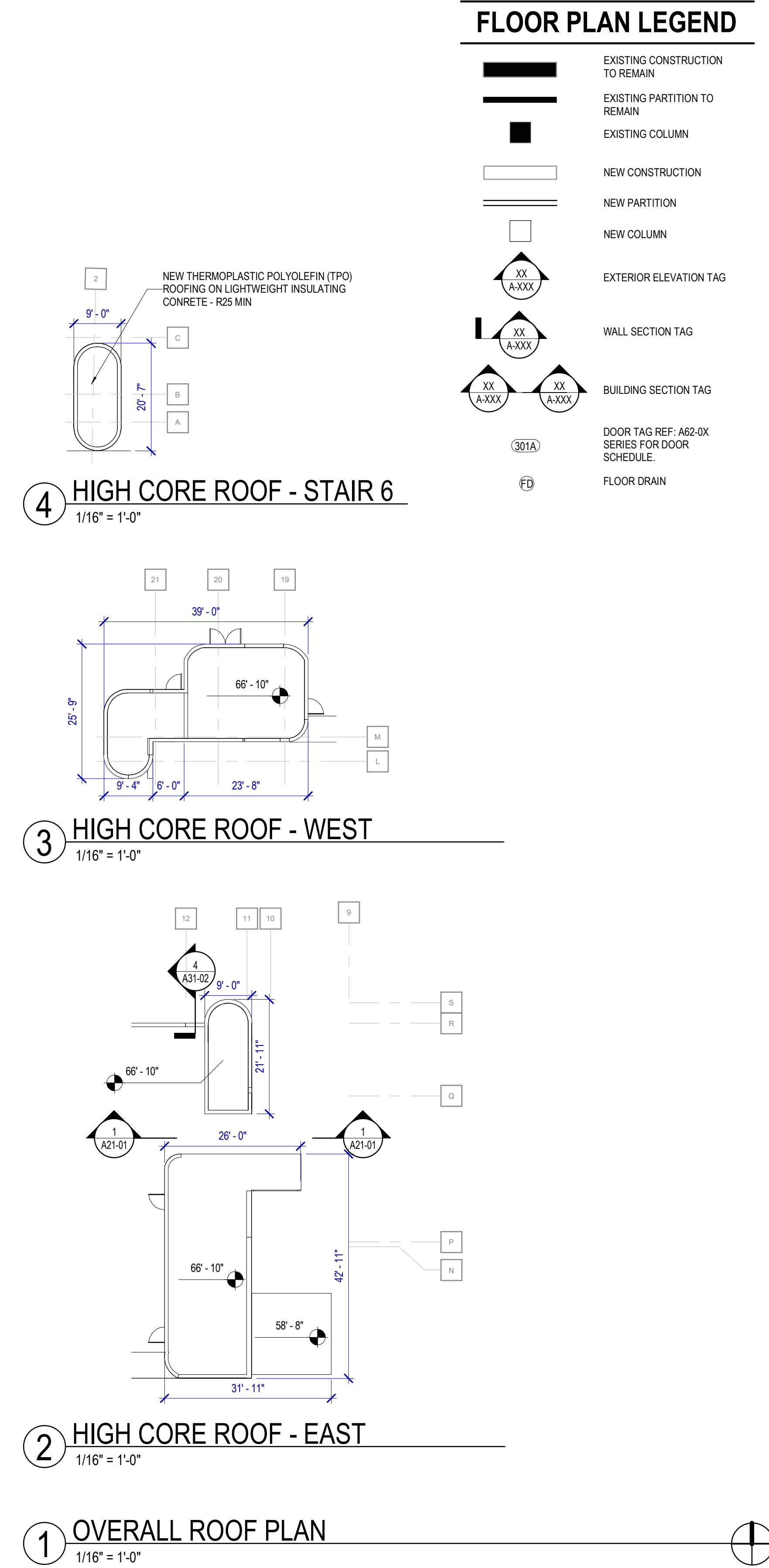
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SHEET NUMBER

OVERALL FLOOR
PLAN - LEVEL P5

DRC10-05

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OWNER	PROJECT	ARCHITECT	SHEET NUMBER
<p>USSERY AUTOMOTIVE GROUP</p> <p>BILL USSERY MOTORS</p> <p>300 ALMERIA AVE CORAL GABLES, FL 33134</p>	<p>Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP</p> <p>MERCEDES-BENZ CORAL GABLES</p> <p>2801 SALZEDO ST, CORAL GABLES, FL 33134</p>	<p>SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES</p> <p>2801 SALZEDO ST, CORAL GABLES, FL 33134</p> <p>Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 t 305.569.1333 f 305.569.1334 perkinswill.com</p>	<p>OVERALL ROOF PLAN</p> <p>DRC10-06</p> <p>© 2014 Perkins and Will</p>

EXTERIOR ELEVATION
GENERAL NOTES

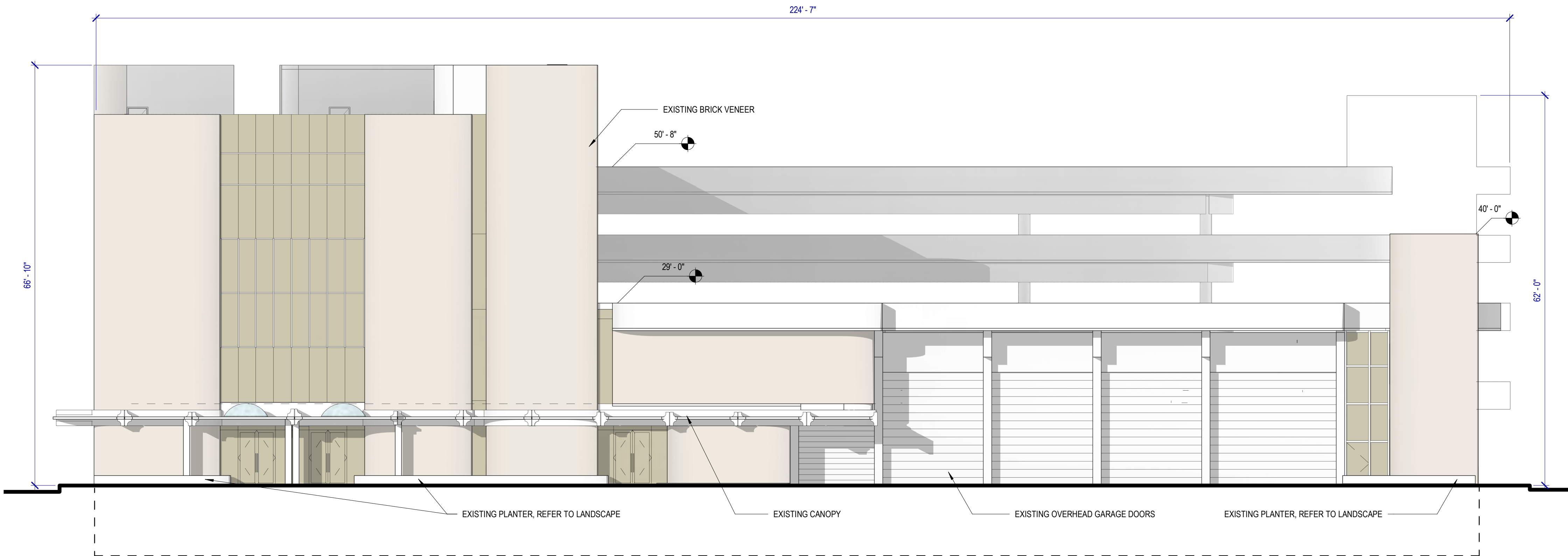
1. PROVIDE STRUCTURAL SEALANT GLAZED CURTAIN WALLS WITH MIAMI-DADE NOTICE OF ACCEPTANCE AS REQUIRED FOR THE SPANS INDICATED. PROVIDE SSG SYSTEMS WITH COSMETIC VERTICAL MULLION CAPS AS INDICATED IN ELEVATIONS. BASIS OF DESIGN FOR THE CURTAIN WALL IS CRANFORD TRACEY CORPORATION PRO TECH 7 SG AND PRO TECH 9 SG AS REQUIRED FOR SPANS INDICATED.
2. VISION GLAZING: EXTERIOR VISION GLAZING SHALL BE LOW-E, INSULATING-LAMINATED GLAZING. BASIS OF DESIGN SHALL BE VIRAICON VNE13-63 WITH THREE LITES OF 1/4" HEAT STRENGTHENED, LOW-IRON GLAZING; VISIBLE LIGHT: 70%, SUMMER DAYTIME U-FACTOR: .28 MAX (CENTER OF GLASS), SOLAR HEAT GAIN COEFFICIENT: .30 MAX, OUTDOOR VISIBLE REFLECTANCE: 13%.
3. PROVIDE CLEAR ANNOZIDIZED METAL PAN AND INSULATED SHADOW BOX AS INDICATED. AT SHADOW BOX LOCATIONS PROVIDE LOW-E, INSULATING-LAMINATED GLAZING PER ABOVE B.O.D.

EXTERIOR MATERIALS LEGEND

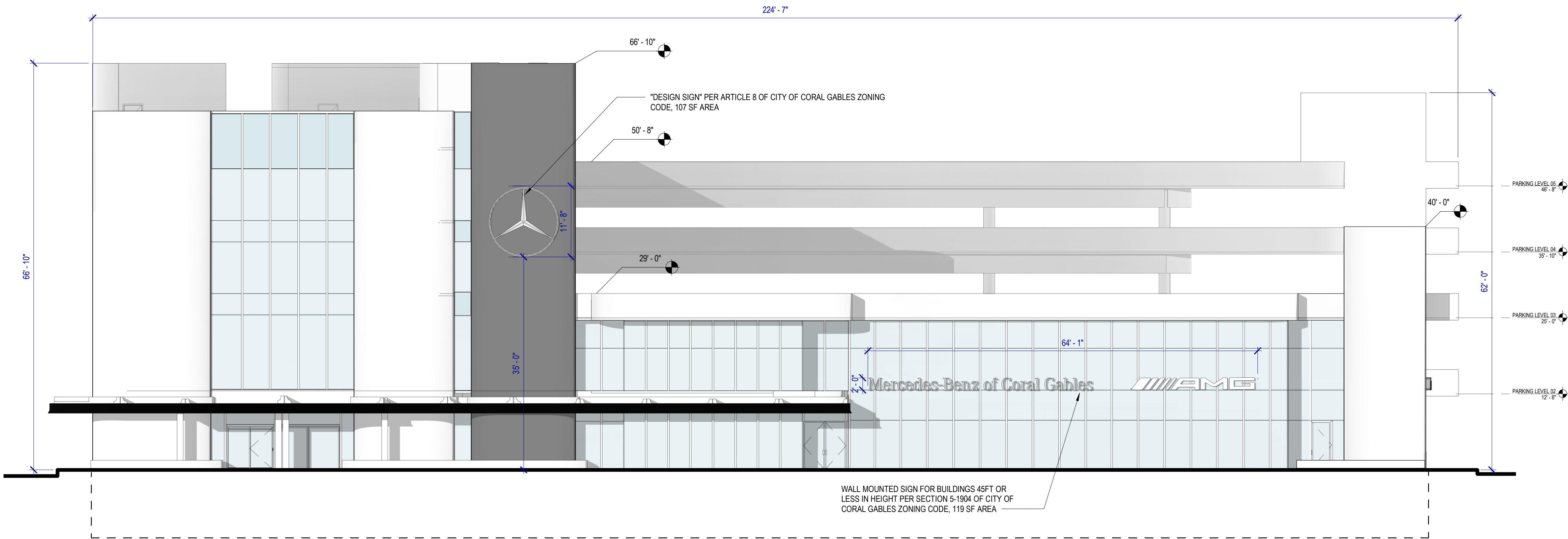
- EXISTING BRICK VENEER
- NEW WHITE PAINTED STUCCO
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW REMOVABLE PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOW BOX

EXTERIOR MATERIAL SAMPLES

- EXISTING BRICK VENEER
- NEW CEMENT PLASTER AND WHITE PAINT FINISH
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOWBOX



3 WEST ELEVATION - EXISTING
3/32" = 1'-0"



1 WEST ELEVATION-NEW CONSTRUCTION
3/32" = 1'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
GABLES
2801 SALZEDO ST,
CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECT

Perkins&Will

2800 Ponce De Leon Blvd,
Suite 1300,
Coral Gables, FL 33134
1 305.569.1333
1 305.569.1334
perkinswill.com

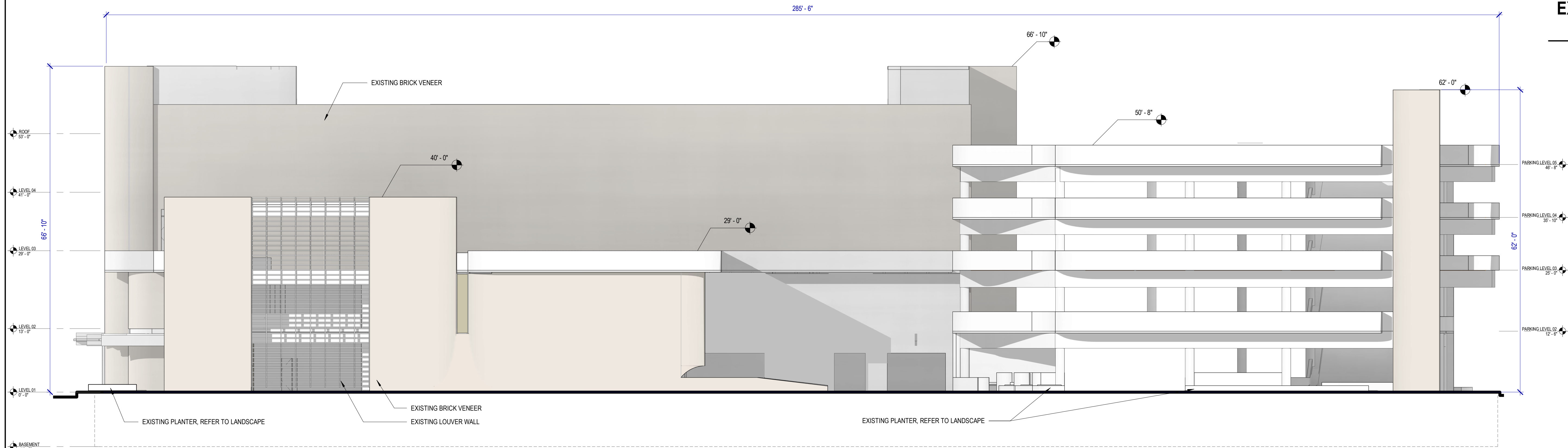
SHEET NUMBER

OVERALL
ELEVATIONS

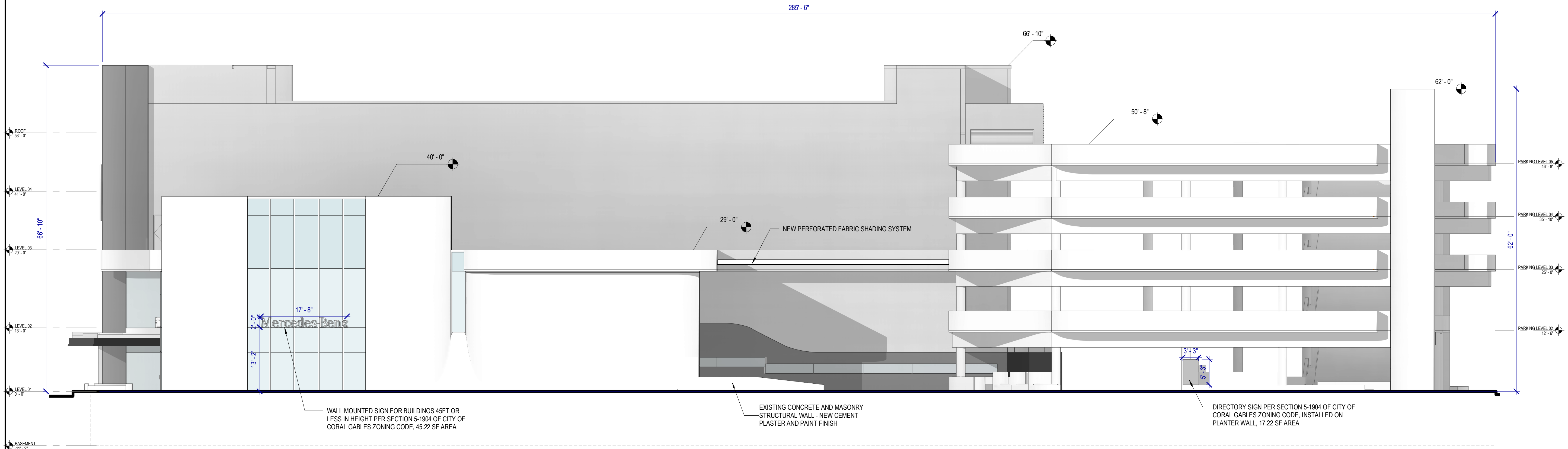
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① SOUTH ELEVATION - EXISTING
3/32" = 1'-0"



② SOUTH ELEVATION - NEW
3/32" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

1. PROVIDE STRUCTURAL SEALANT GLAZED CURTAIN WALLS WITH MIAMI-DADE NOTICE OF ACCEPTANCE AS REQUIRED FOR THE SPANS INDICATED. PROVIDE SSG SYSTEMS WITH COSMETIC VERTICAL MULLION CAPS AS INDICATED IN ELEVATIONS. BASIS OF DESIGN FOR THE CURTAIN WALL IS CRAWFORD TRACEY CORPORATION PRO TECH 7 SG AND PRO TECH 9 SG AS REQUIRED FOR SPANS INDICATED.
2. VISION GLAZING: EXTERIOR VISION GLAZING SHALL BE LOW-E, INSULATING-LAMINATED GLAZING. BASIS OF DESIGN SHALL BE VIRACON VNE13-63 WITH THREE LITES OF 1/4" HEAT STRENGTHENED, LOW-IRON GLAZING; VISIBLE LIGHT: 70%, SUMMER DAYTIME U-FACTOR: .26 MAX (CENTER OF GLASS); SOLAR HEAT GAIN COEFFICIENT: .30 MAX, OUTDOOR VISIBLE REFLECTANCE: 13%.
3. PROVIDE CLEAR ANNOIDIZED METAL PAN AND INSULATED SHADOW BOX AS INDICATED. AT SHADOW BOX LOCATIONS PROVIDE LOW-E, INSULATING-LAMINATED GLAZING PER ABOVE B.O.D.

EXTERIOR MATERIALS LEGEND

- EXISTING BRICK VENEER
- NEW WHITE PAINTED STUCCO
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW REMOVABLE PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOW BOX

EXTERIOR MATERIAL SAMPLES

- EXISTING BRICK VENEER
- NEW CEMENT PLASTER AND WHITE PAINT FINISH
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOWBOX

OWNER	PROJECT	ARCHITECT	SHEET NUMBER
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134	Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134	Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 1 305.569.1334 perkinswill.com	OVERALL ELEVATIONS DRC20-02 © 2014 Perkins and Will
SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134			

EXTERIOR ELEVATION
GENERAL NOTES

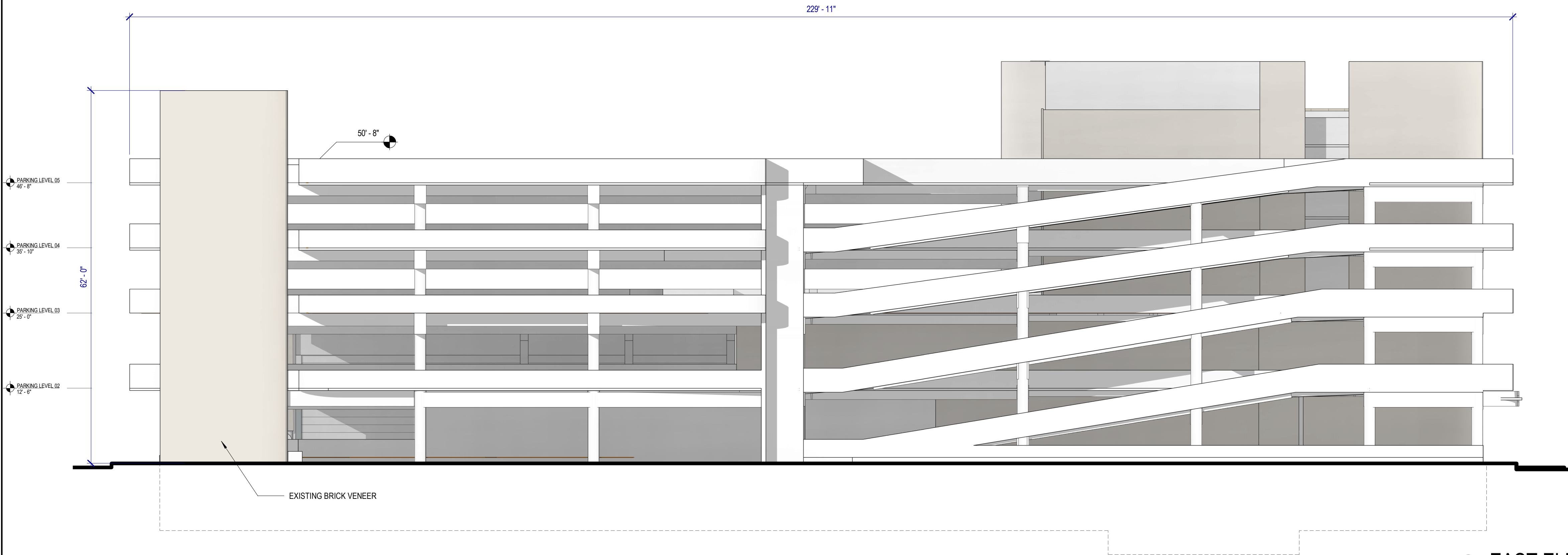
1. PROVIDE STRUCTURAL SEALANT GLAZED CURTAIN WALLS WITH MIAMI-DADE NOTICE OF ACCEPTANCE AS REQUIRED FOR THE SPANS INDICATED. PROVIDE SSG SYSTEMS WITH COSMETIC VERTICAL MULLION CAPS AS INDICATED IN ELEVATIONS. BASIS OF DESIGN FOR THE CURTAIN WALL IS CRAWFORD TRACEY CORPORATION PRO TECH 7 SG AND PRO TECH 9 SG AS REQUIRED FOR SPANS INDICATED.
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3. PROVIDE CLEAR ANNOZIDED METAL PAN AND INSULATED SHADOW BOX AS INDICATED. AT SHADOW BOX LOCATIONS PROVIDE LOW-E, INSULATING-LAMINATED GLAZING PER ABOVE B.O.D.

EXTERIOR MATERIALS LEGEND

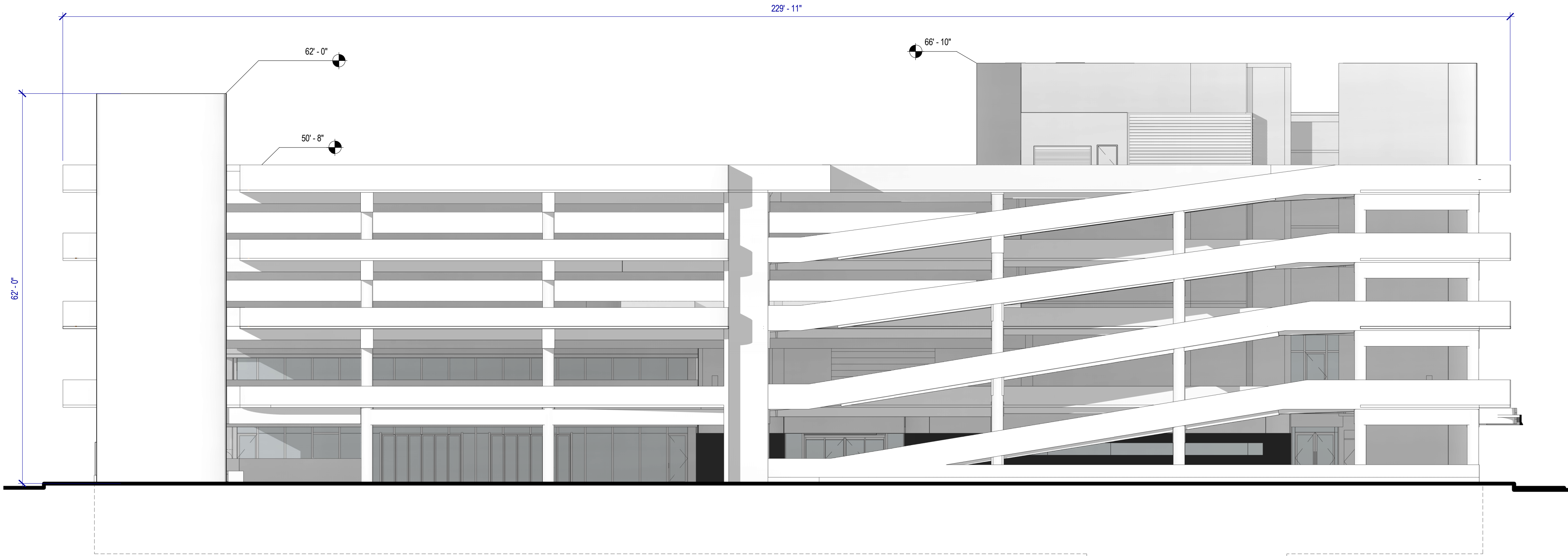
- EXISTING BRICK VENEER
- NEW WHITE PAINTED STUCCO
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW REMOVABLE PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOW BOX

EXTERIOR MATERIAL SAMPLES

- EXISTING BRICK VENEER
- NEW CEMENT PLASTER AND WHITE PAINT FINISH
- NEW ALUMINUM COMPOSITE METAL PANEL
- NEW PERFORATED WHITE FABRIC CANOPY
- NEW VISION GLAZING
- NEW VISION GLAZING WITH SHADOWBOX



1 EAST ELEVATION - EXISTING
3/32" = 1'-0"



3 EAST ELEVATION NEW CONSTRUCTION
3/32" = 1'-0"

OWNER	PROJECT	ARCHITECT	SHEET NUMBER
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134	Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134	Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 1 305.569.1334 perkinswill.com	OVERALL ELEVATIONS DRC20-03 © 2014 Perkins and Will
SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134			

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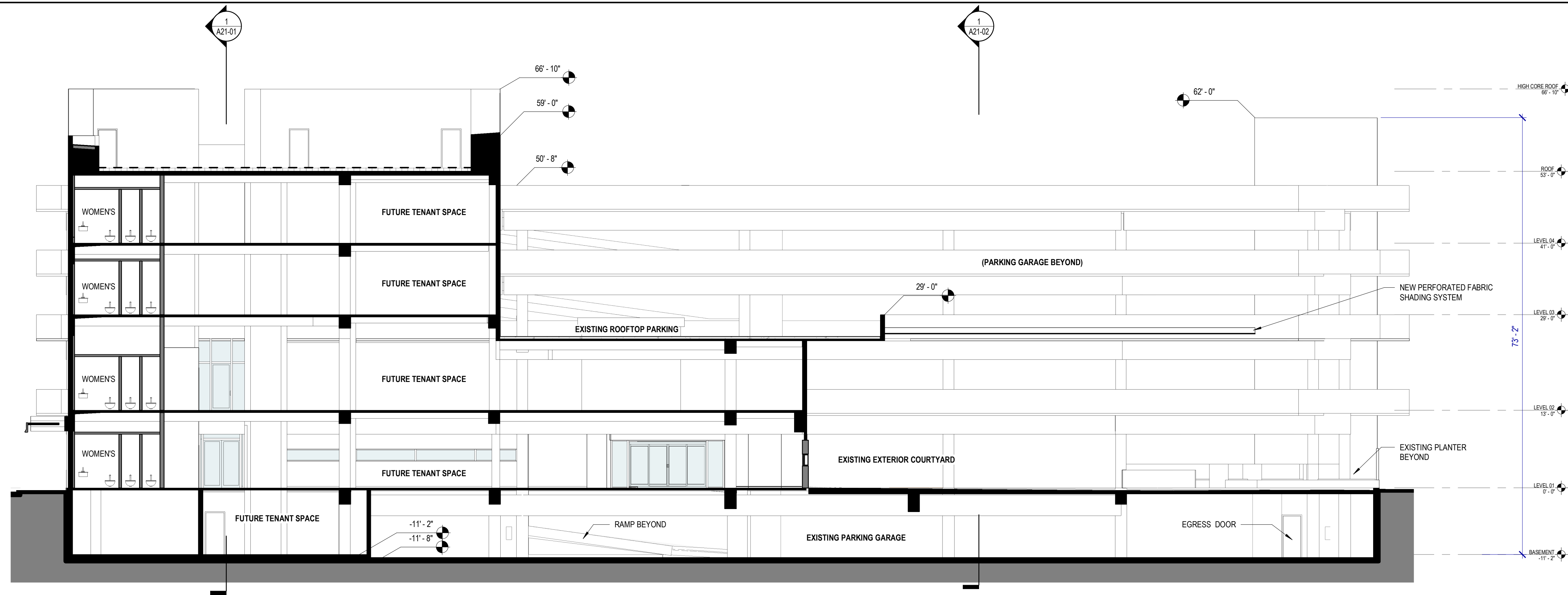


OWNER	PROJECT	ARCHITECT	SHEET NUMBER
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134	Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134	Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 1 305.569.1334 perkinswill.com	OVERALL ELEVATIONS DRC20-04 © 2014 Perkins and Will

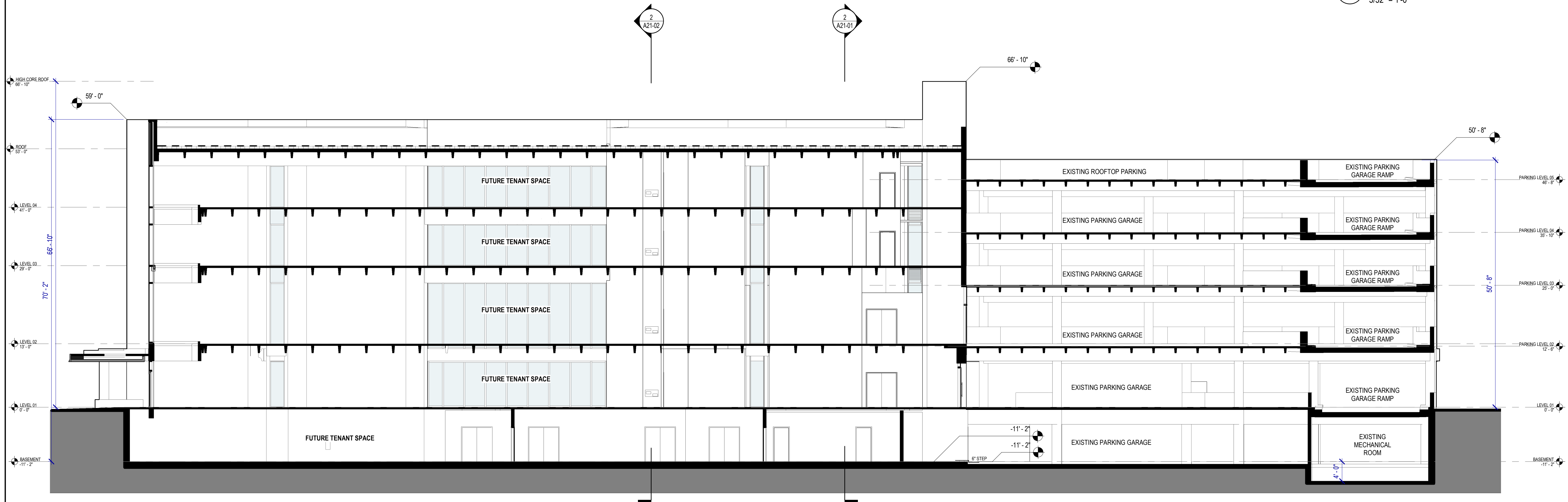
SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

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① OVERALL BUILDING SECTION
3/32" = 1'-0"



② OVERALL BUILDING SECTION
3/32" = 1'-0"

GRAPHIC LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
GABLES
2801 SALZEDO ST,
CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECT

Perkins&Will

2800 Ponce De Leon Blvd,
Suite 1300,
Coral Gables, FL 3313
1 305.569.1333
1 305.569.1334
perkinswill.com

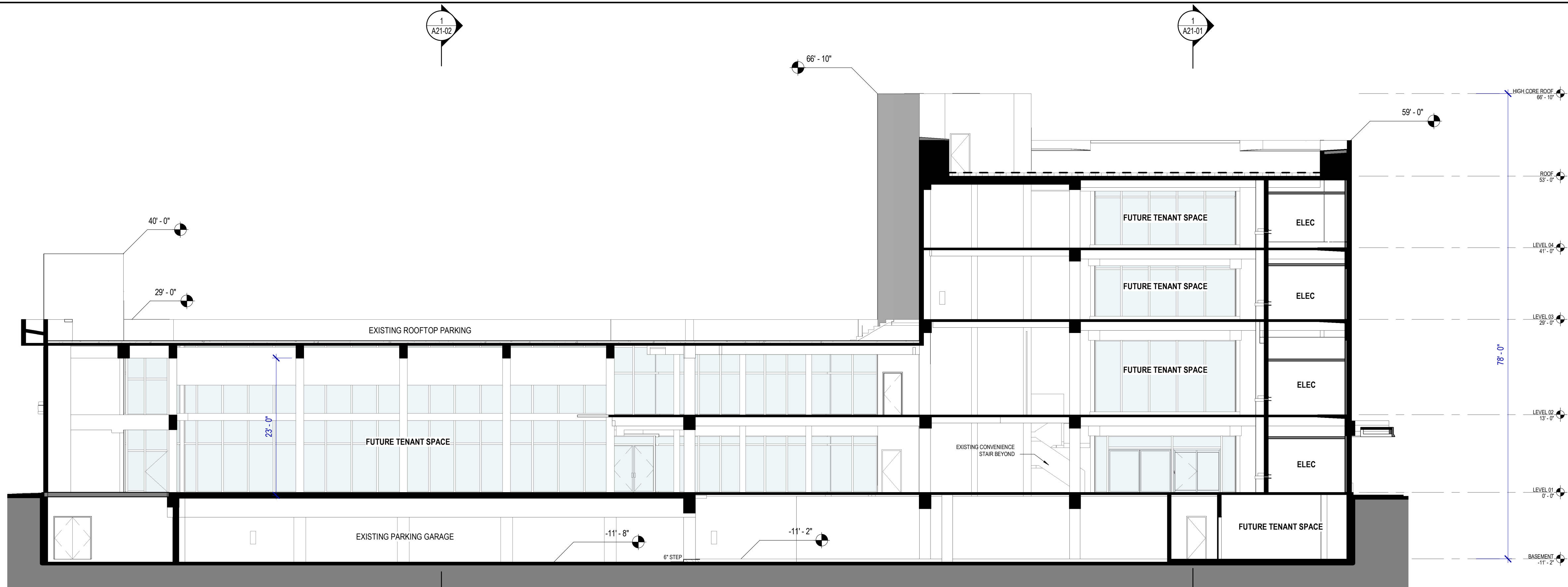
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OVERALL BUILDING
SECTIONS

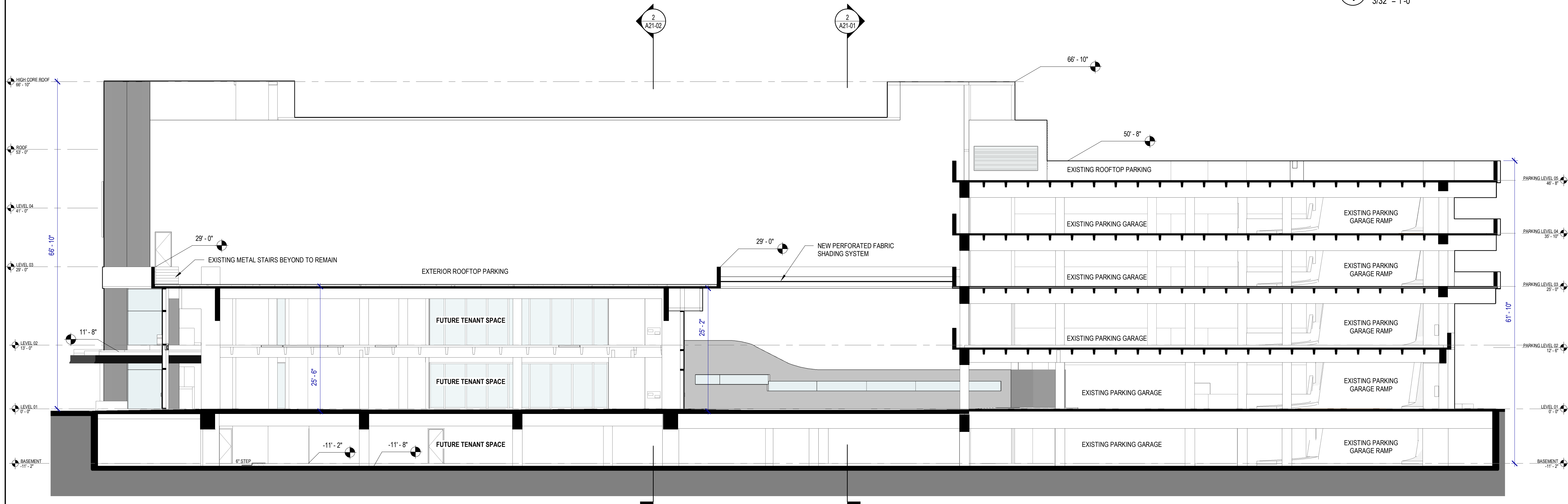
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① OVERALL BUILDING SECTION
3/32" = 1'-0"

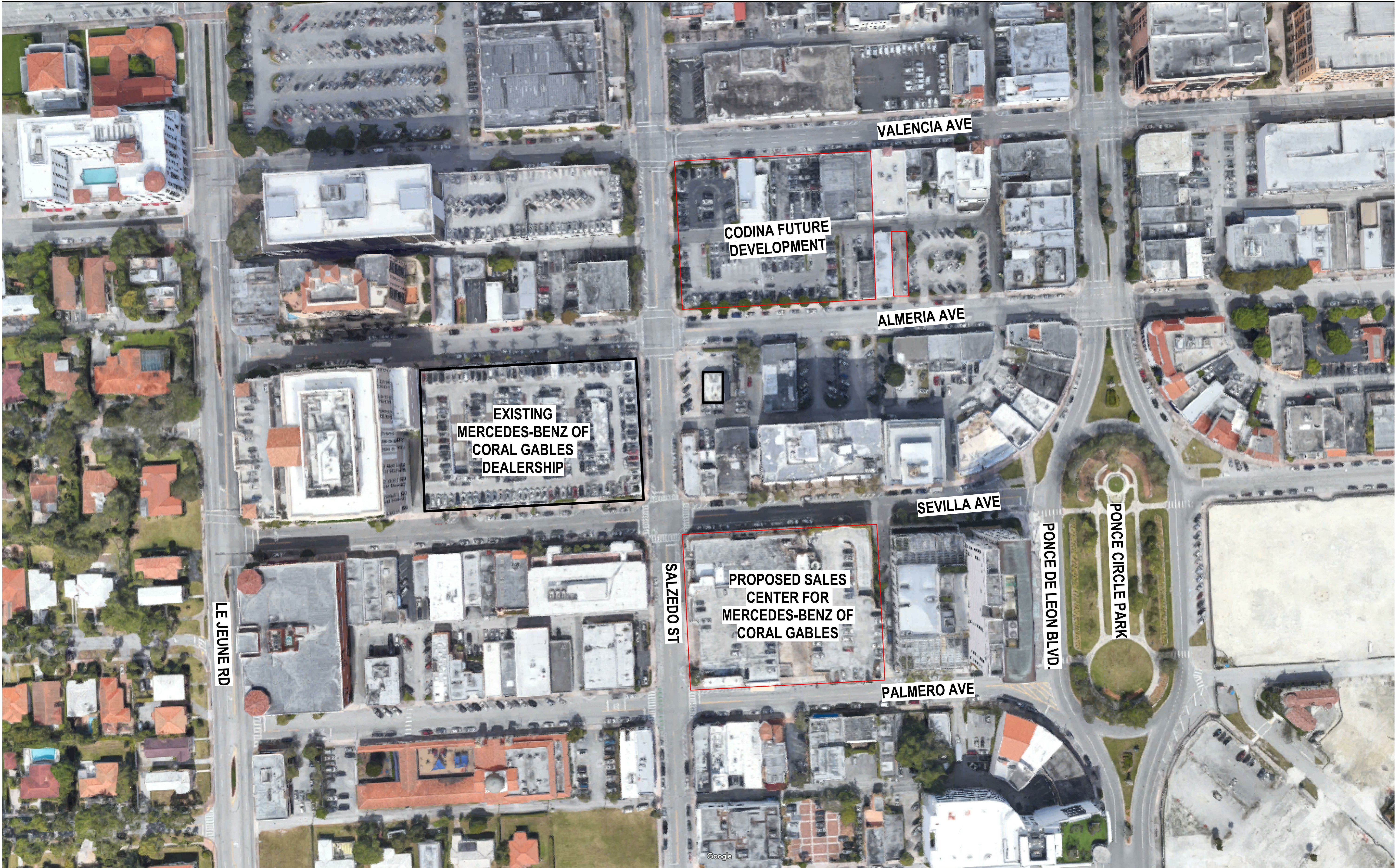


② OVERALL BUILDING SECTION
3/32" = 1'-0"

OWNER		PROJECT		ARCHITECT		SHEET NUMBER	
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134		Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134		Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 f 305.569.1334 perkinswill.com		OVERALL BUILDING SECTIONS DRC21-02 © 2014 Perkins and Will	

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

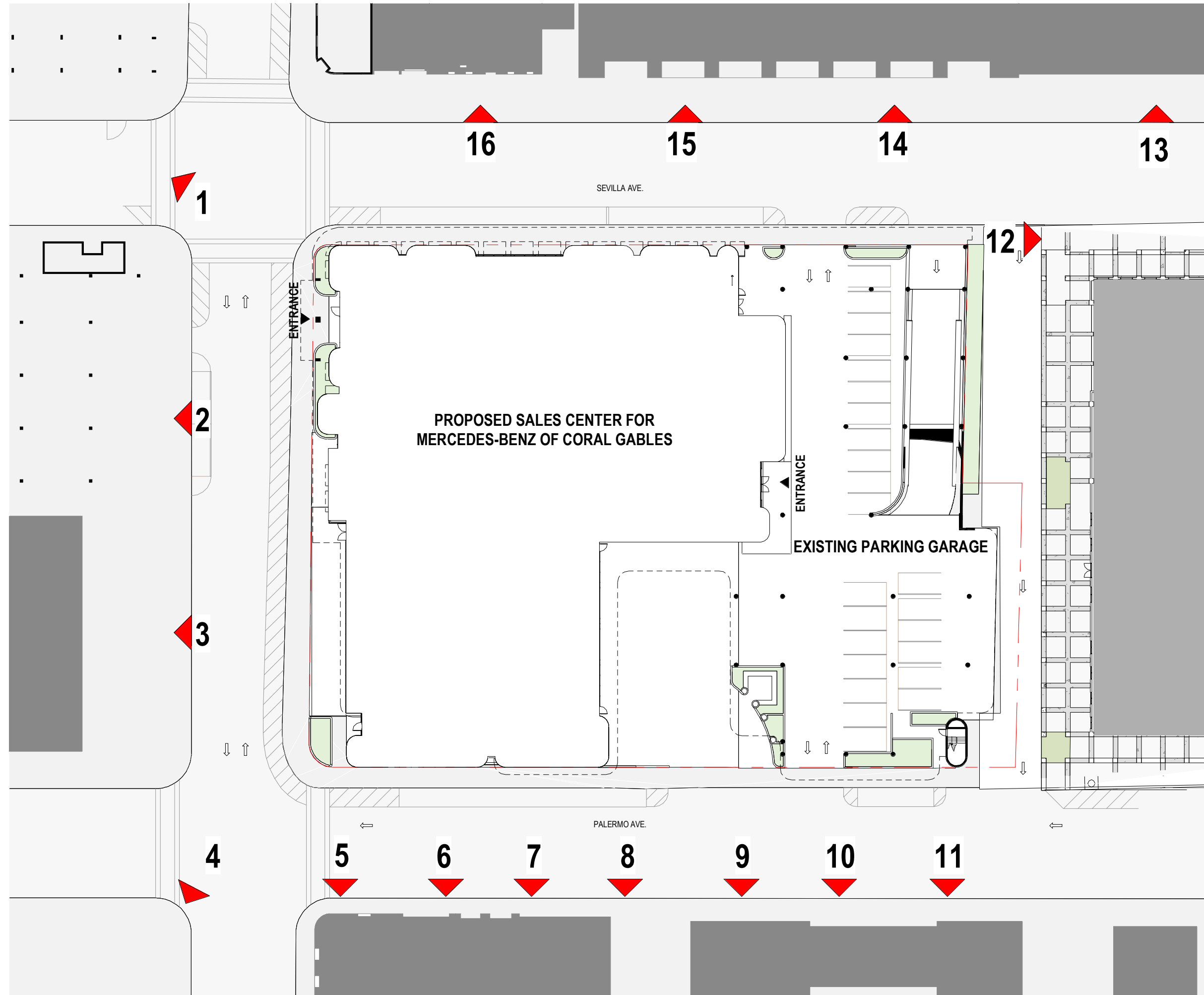
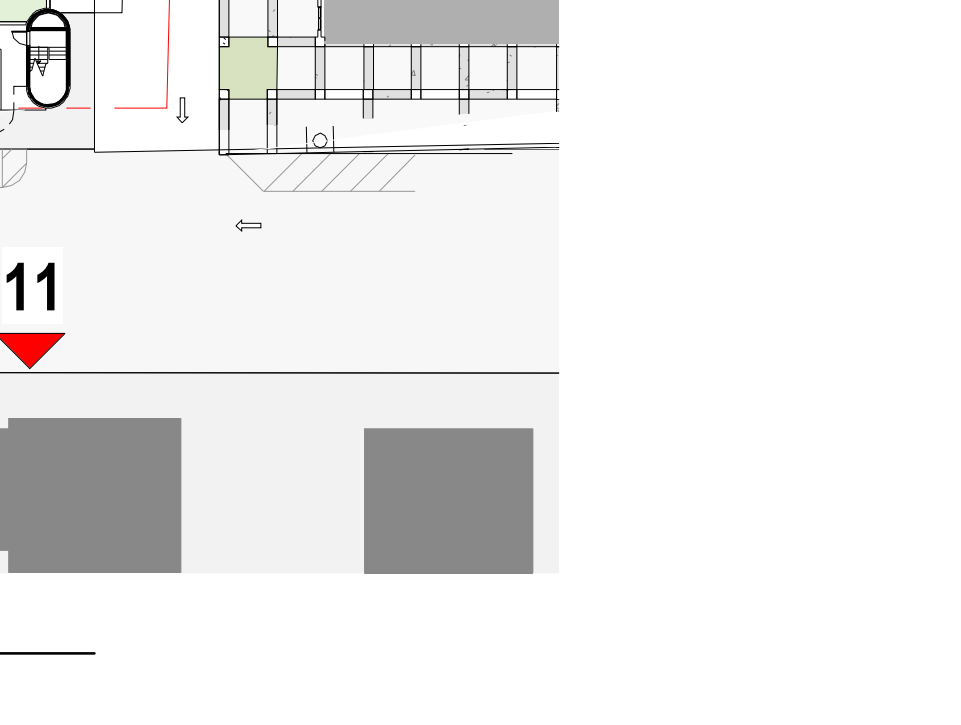
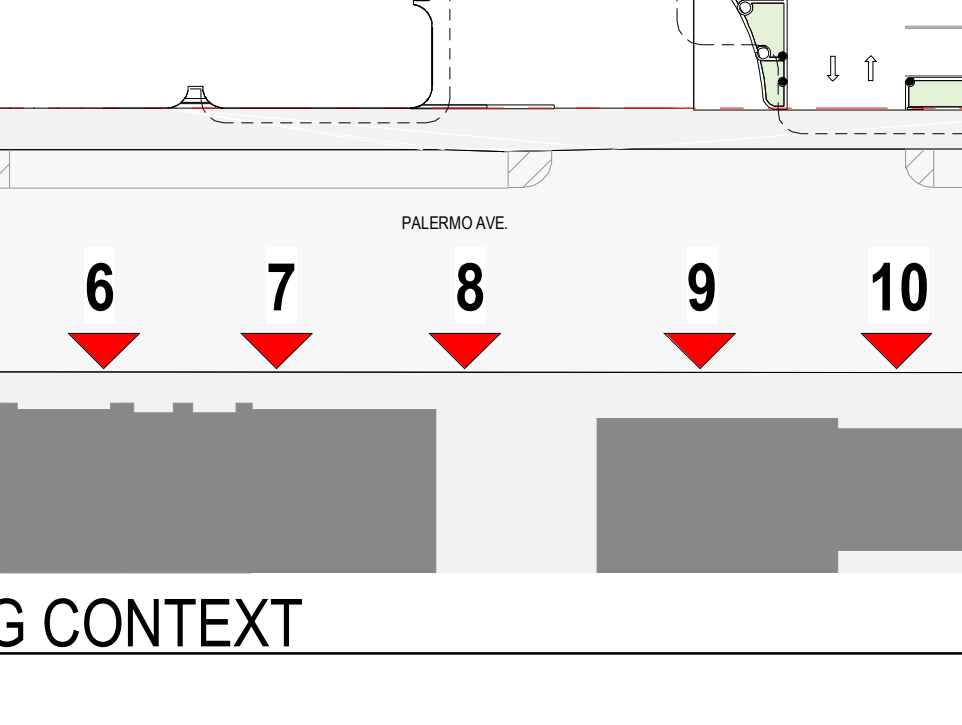
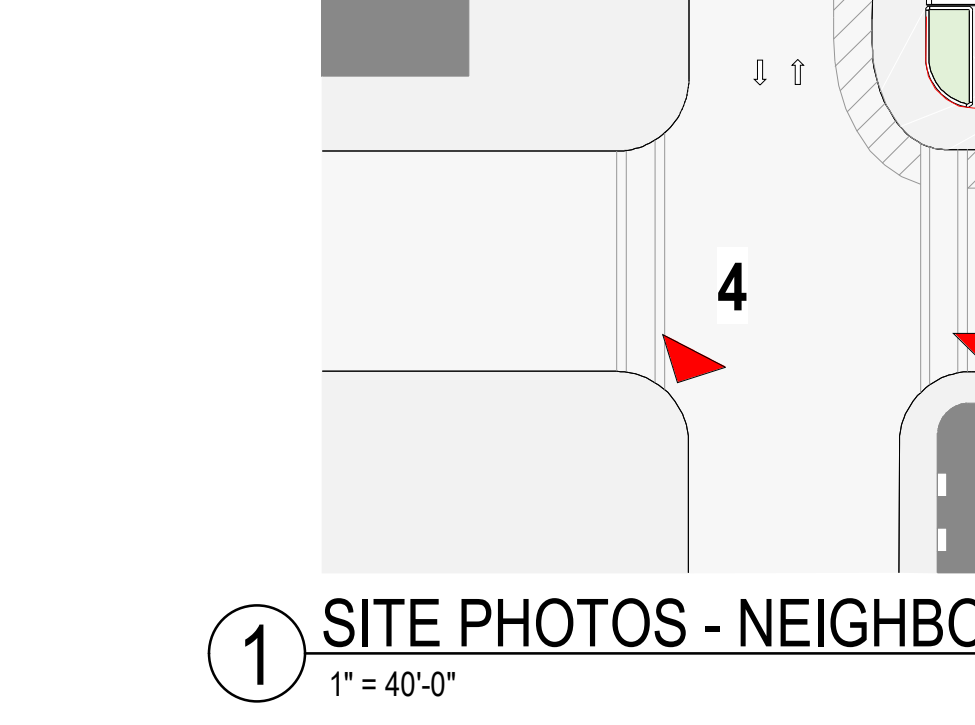
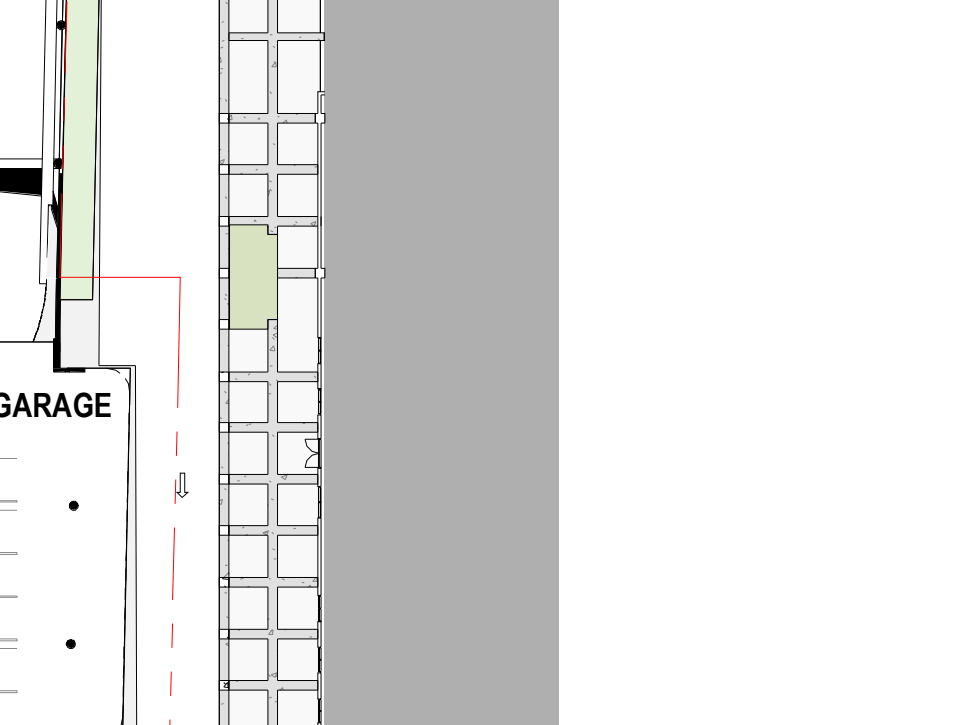
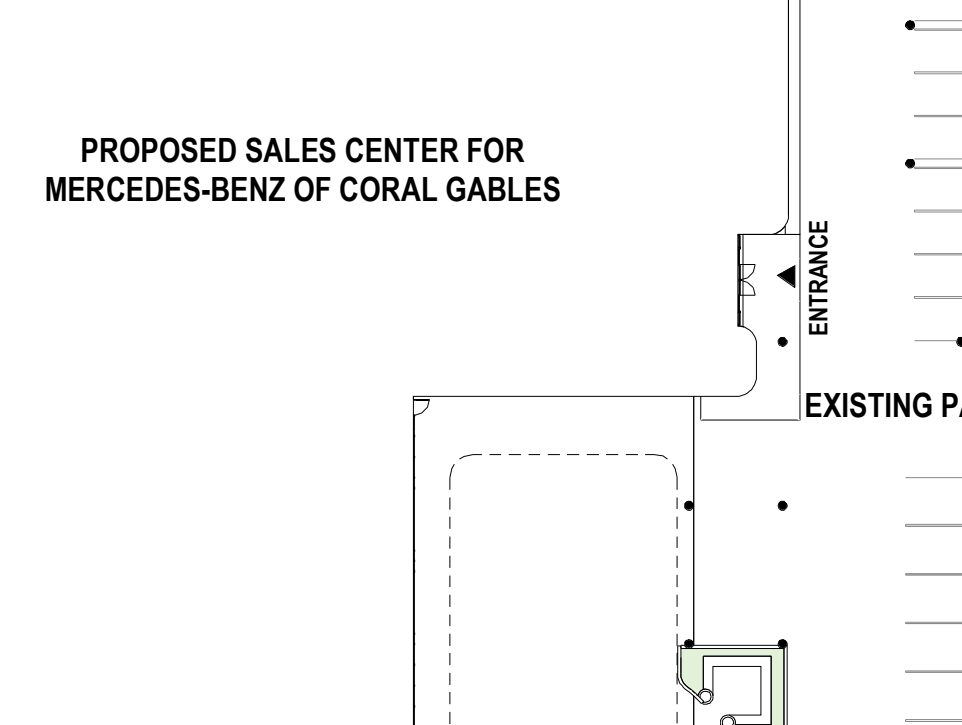
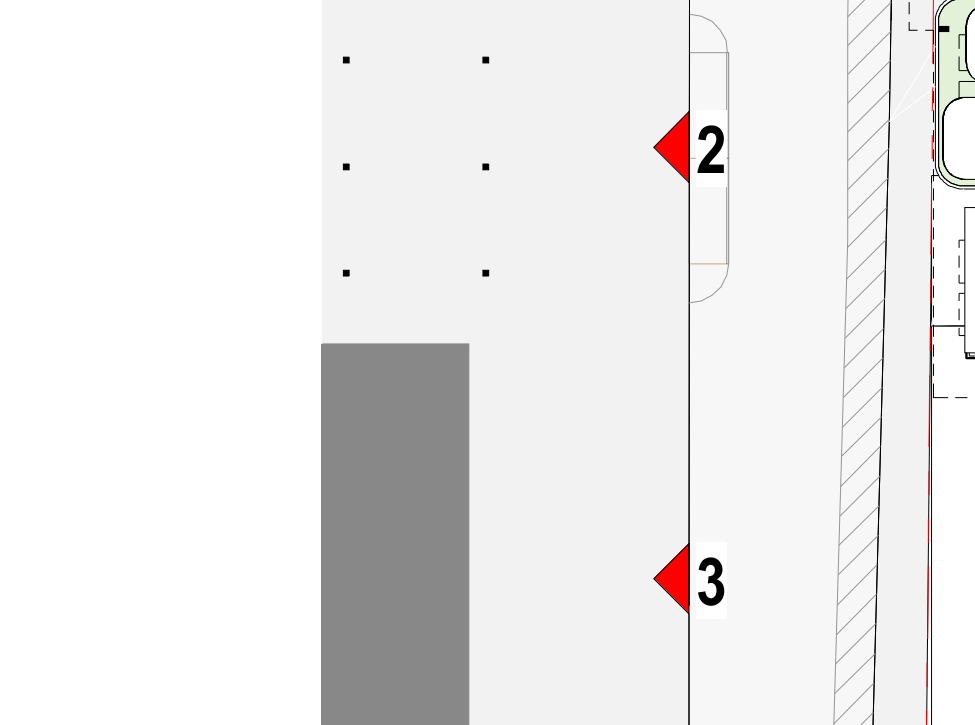
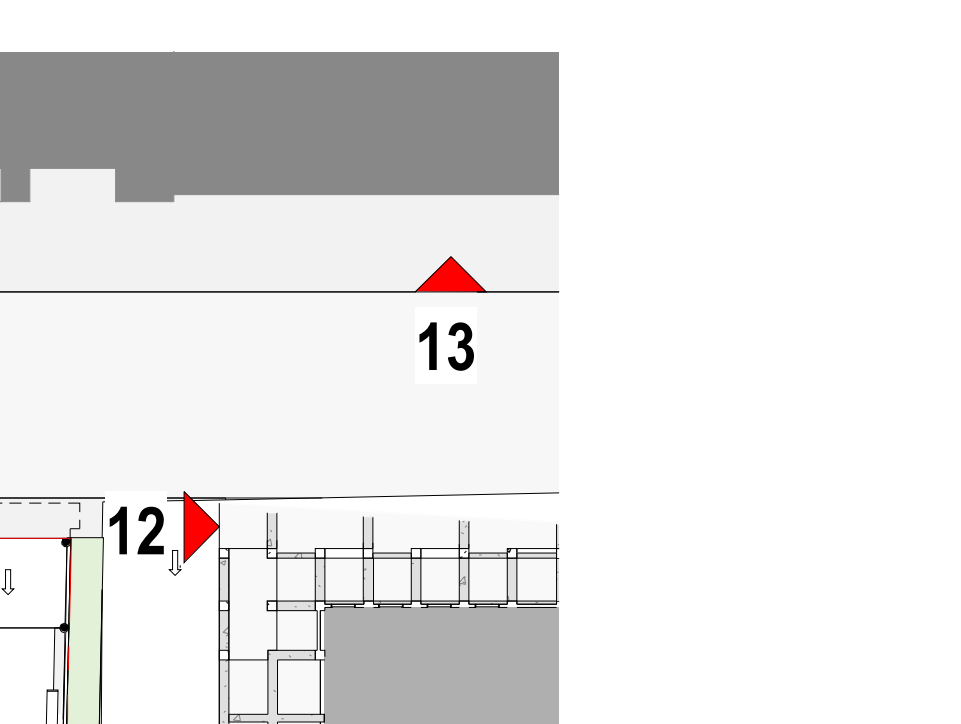
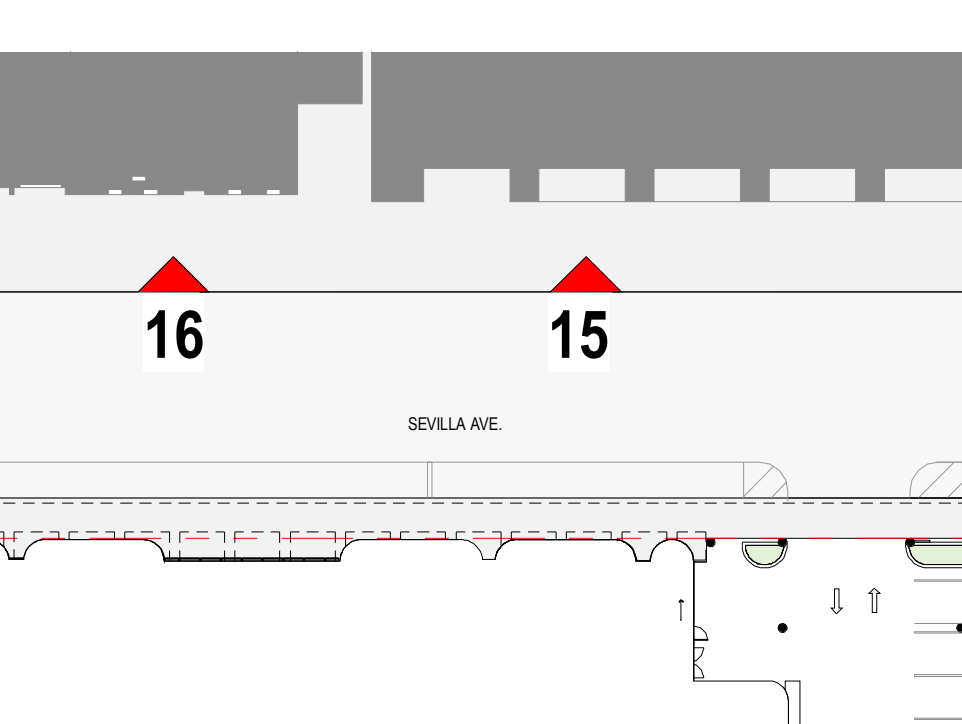
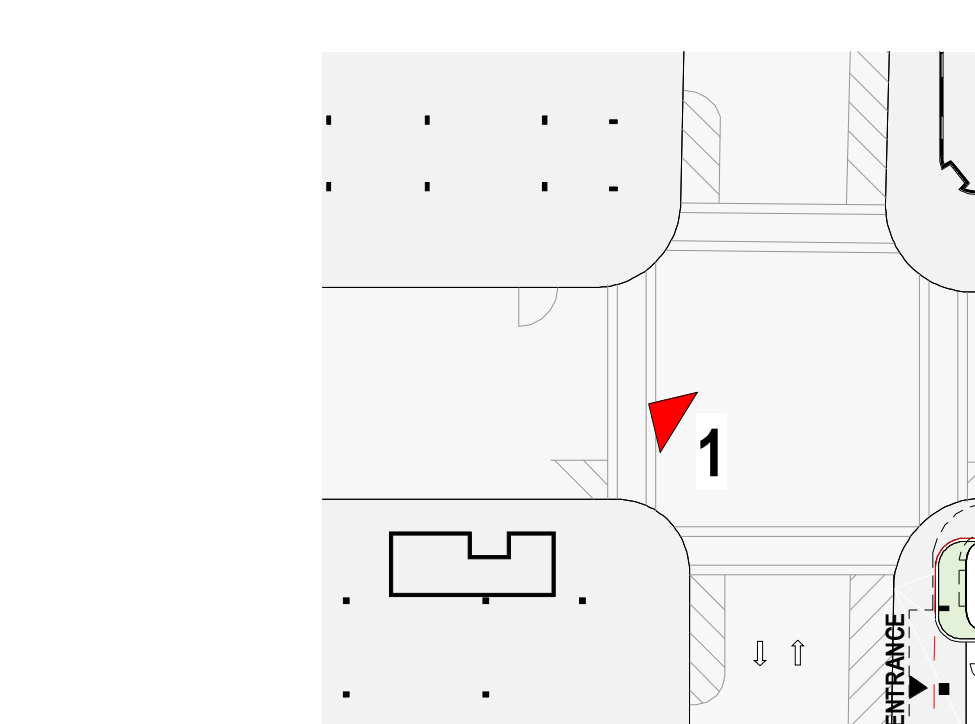
2801 SALZEDO ST, CORAL GABLES, FL 33134



OWNER		PROJECT		ARCHITECT		SHEET NUMBER	
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134		Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134		Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 1 305.569.1334 perkinswill.com		AERIAL DRC30-01 © 2014 Perkins and Will	

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134



1 SITE PHOTOS - NEIGHBORING CONTEXT
1" = 40'-0"

OWNER		PROJECT		ARCHITECT		SHEET NUMBER	
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134		Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134		Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 1 305.569.1334 perkinswill.com		SITE PHOTOS DRC30-02 © 2014 Perkins and Will	

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134



1



16



15



14



13



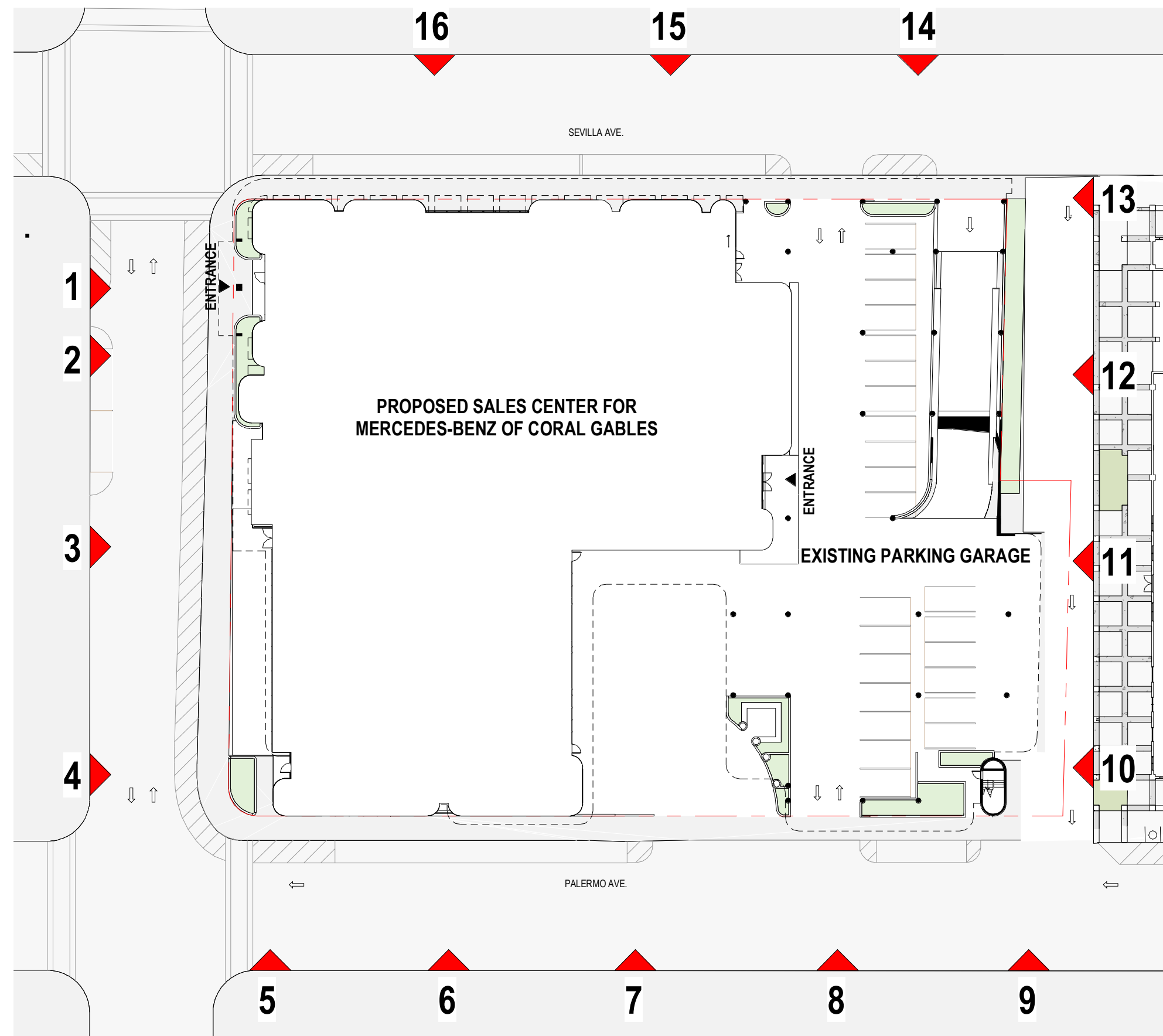
2



3



4



① SITE PHOTOS
1" = 40'-0"



12



11



10



5



6



7



8



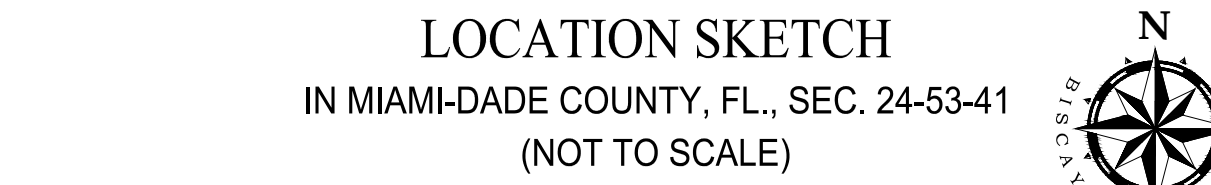
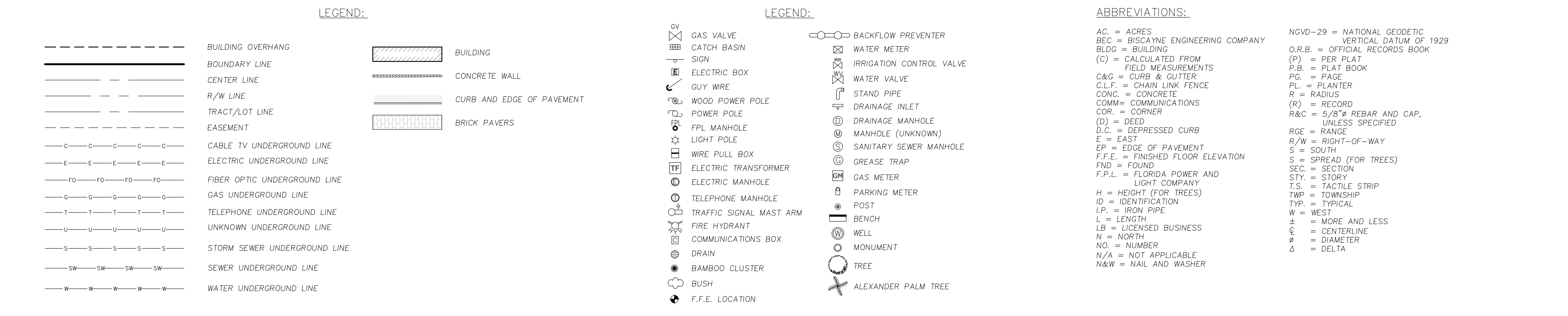
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OWNER	PROJECT	ARCHITECT	SHEET NUMBER
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134	Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134	Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 1 305.569.1334 perkinswill.com	SITE PHOTOS DRC30-04 © 2014 Perkins and Will

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

PALERMO AVENUE



ALBERTO J RABIONET, PSM, FOR THE FIRM
PROFESSIONAL SURVEYOR AND MAPPER NO. 7218
STATE OF FLORIDA

4/8/2021 1:50:47 PM BIM360://Mercedes-Benz.CG Showroom. Offices/MB_2801_SZDO.rvt





TREE DISPOSITION			
TREE TAG	COMMON NAME	SCIENTIFIC NAME	TREE DISPOSITION
1	VEITCHIA ARECINA	MONTGOMERY PALM	TO REMAIN
2	VEITCHIA ARECINA	MONTGOMERY PALM	TO REMAIN
3	VEITCHIA ARECINA	MONTGOMERY PALM	DEAD, TO BE REMOVED
4	VEITCHIA ARECINA	MONTGOMERY PALM	TO REMAIN
5	VEITCHIA ARECINA	MONTGOMERY PALM	TO REMAIN

BUILDING OVERHANG

PROPERTY LINE

LEGEND

 EXISTING PALM TO REMAIN

 EXISTING PALM TO BE REMOVED

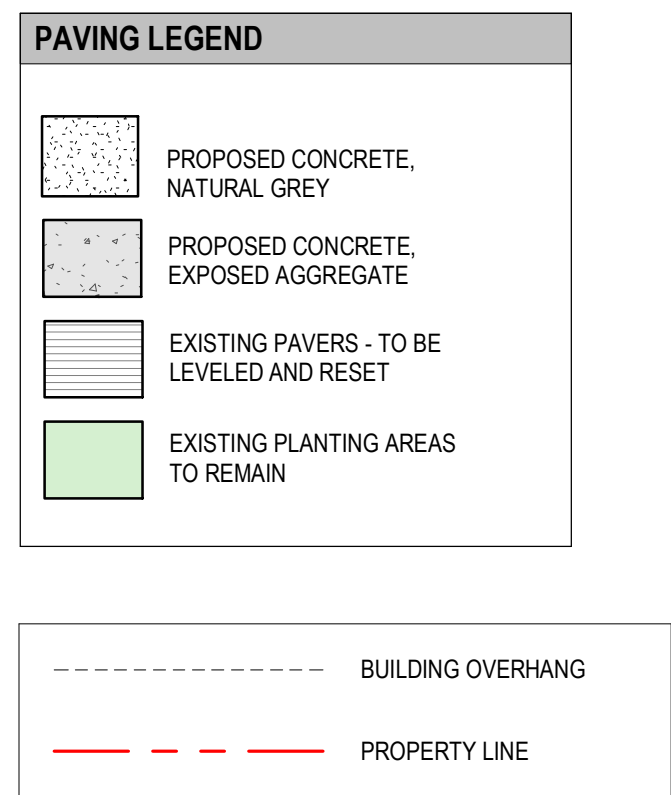
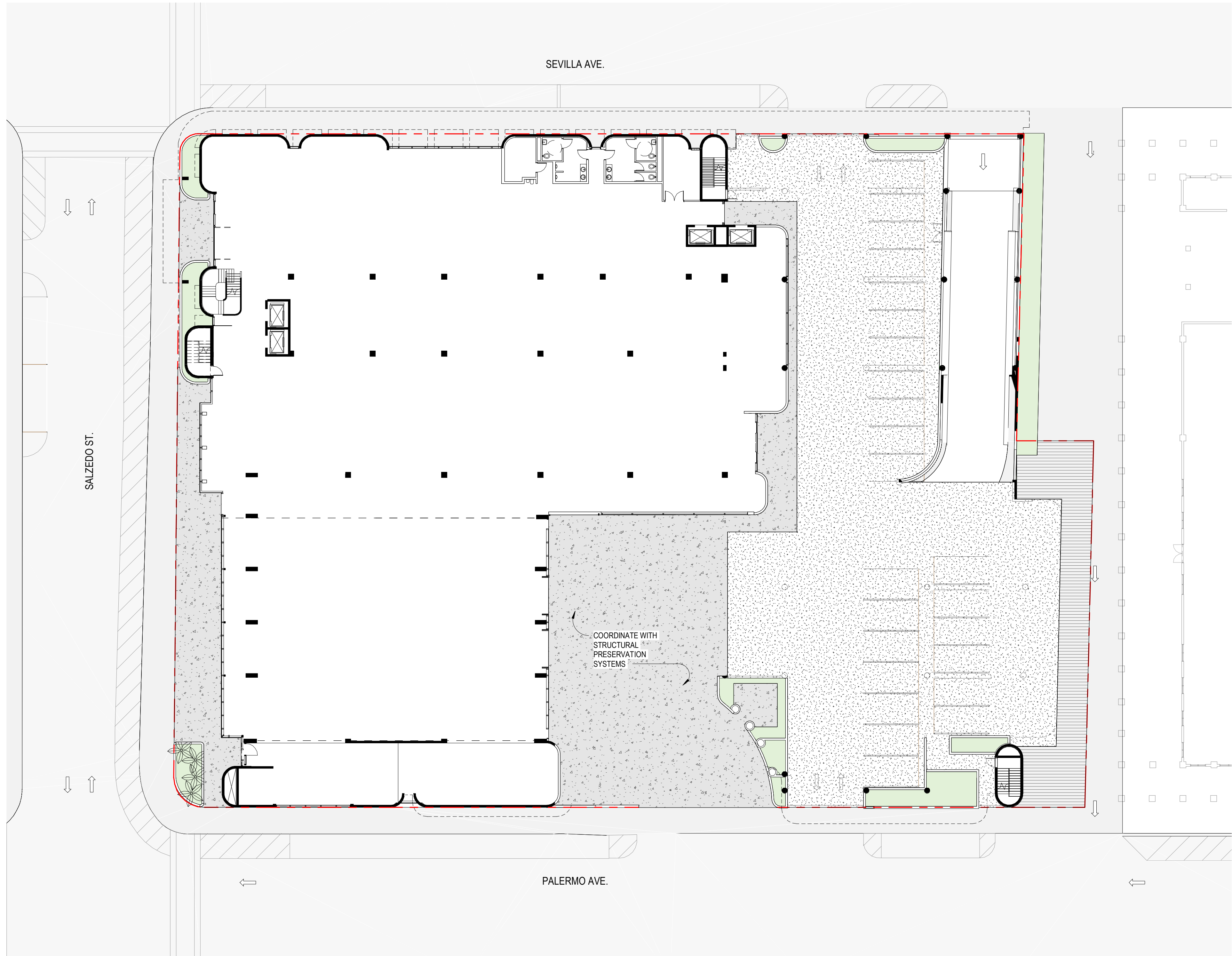
1 TREE DISPOSITION
1" = 20'-0"

OWNER		PROJECT		ARCHITECT		SHEET NUMBER	
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134		Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134		Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 f 305.569.1334 perkinswill.com		TREE DISPOSITION DRC30-06 © 2014 Perkins and Will	

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

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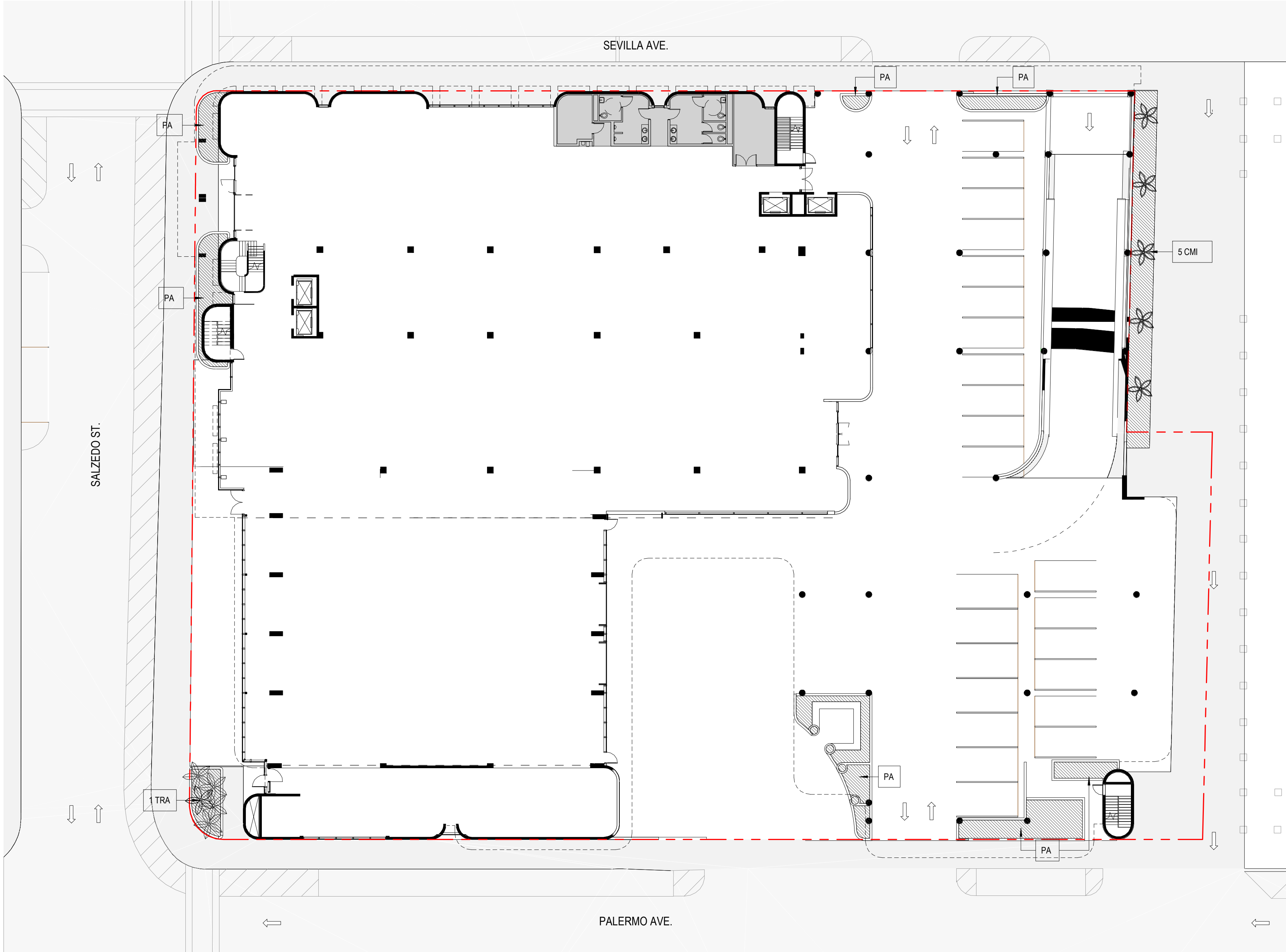


1 GROUND FLOOR OVERALL HARDSCAPE PLAN
1" = 20'-0"

OWNER		PROJECT		ARCHITECT		SHEET NUMBER	
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134		Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134		Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 f 305.569.1334 perkinswill.com		GROUND FLOOR OVERALL HARDSCAPE PLAN DRC30-07 © 2014 Perkins and Will	

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134



PLANTING LEGEND

(PA) PLANTING AREA

PALM LEGEND

CANOPY PALM

--- BUILDING OVERHANG
- - - PROPERTY LINE

NOTE: EXISTING IRRIGATION SYSTEM TO BE REUSED.
CONTRACTOR TO CONFIRM PERFORMANCE AND CORRECT DEFICIENCIES AS NEEDED.

Plant List - Mercedes Benz - 300 Almeria Ave

2.26.2021
All plants shall be Florida Fancy or Florida No. 1 grade as outlined by FDACS in the Florida Grades and Standards for Nursery Plants * = Native

CANOPY			
QTY	Botanical Name	Common Name	Specification
5	CMI	Caryota mitis	Fishtail palm
1	TRA	Thrinax radiata	Florida Thatch Palm
UNDERSTORY			
QTY	Botanical Name	Common Name	Specification
10	Agave attenuata	Century Plant	3 gal. 12" HT, 12" SP
9	Philodendron xanadu	same	3 gal. 2' HT, 2" SP
15	Codiaeum variegatum 'Yellow Petra'	Croton 'Yellow Petra'	3 gal.
15	Green Island Ficus	Green Island Ficus	3 gal.
12	Serenoa repens 'Cinerea'	Silver Saw Palmetto	7 gal. 2' HT, 2' SP
GROUNDCOVER (1,832 sf)			
QTY	Botanical Name	Common Name	Specification
50%	Ophiopogon japonicus	Mondo Grass	1 gal. @ 18" O.C.
50%	Tradescantia pallida	Purple Heart	1 gal. @ 12" O.C.

1 GROUND FLOOR OVERALL PLANTING PLAN
1" = 20'-0"

OWNER
USSERY AUTOMOTIVE GROUP
BILL USSERY MOTORS
300 ALMERIA AVE
CORAL GABLES, FL 33134

PROJECT
Mercedes-Benz of Coral Gables
USSERY AUTOMOTIVE GROUP
MERCEDES-BENZ CORAL
GABLES
2801 SALZEDO ST,
CORAL GABLES, FL 33134

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134

ARCHITECT

Perkins&Will

2800 Ponce De Leon Blvd.
Suite 1300,
Coral Gables, FL 33134
1 305.569.1333
f 305.569.1334
perkinswill.com

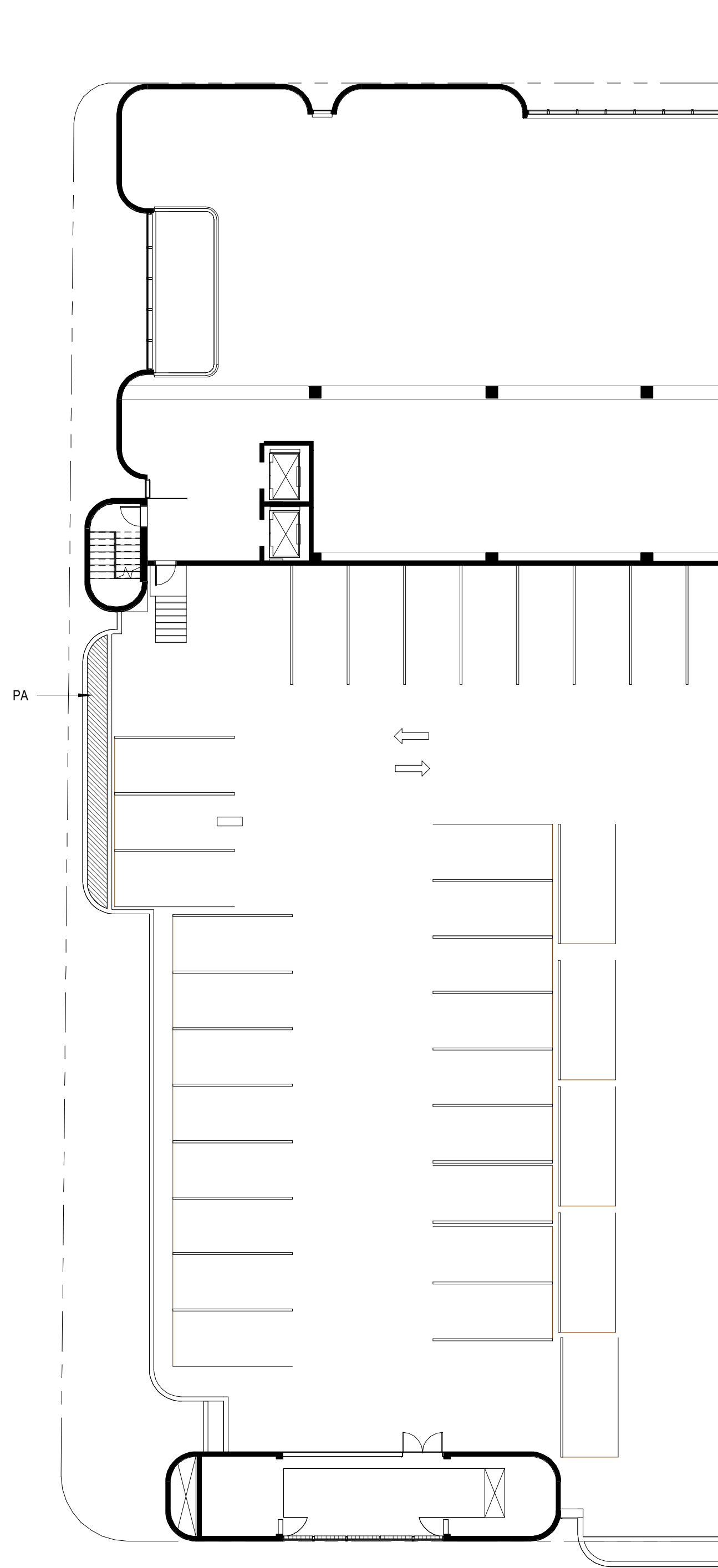
SHEET NUMBER

**GROUND FLOOR
OVERALL PLANTING
PLAN**

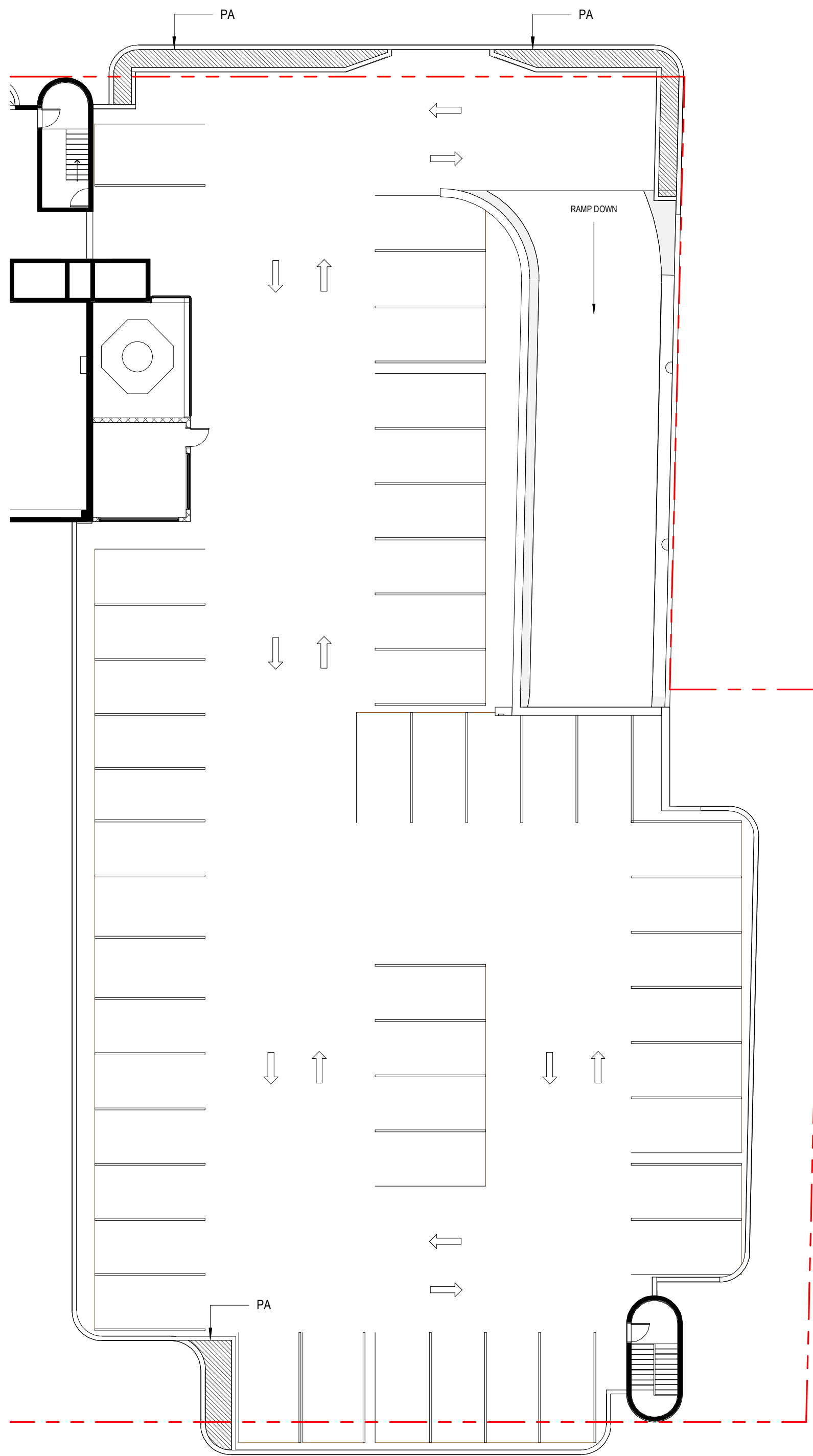
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2 PARKING LEVEL 03 PLANTING PLAN
1/16" = 1'-0"



1 TYPICAL GARAGE LEVELS 2-5 PLANTING PLAN
1/16" = 1'-0"

Plant List - Mercedes Benz - 300 Almeria Ave			
2.21.2021			
All plants shall be Florida Fancy or Florida No. 1 grade as outlined by FDACS in the Florida Grades and Standards for Nursery Plants			
GROUND COVER (468 sf)			
QTY	Botanical Name	Common Name	Specification
50%	Barleria repens	Coral Creeper	1 gal. @ 15" O.C.
50%	Philodendron burle-marxii	Same	1 gal. @ 15" O.C.

PLANTING LEGEND	
	(PA) PLANTING AREA
	BUILDING OVERHANG
	PROPERTY LINE

OWNER	PROJECT	ARCHITECT	SHEET NUMBER
USSERY AUTOMOTIVE GROUP BILL USSERY MOTORS 300 ALMERIA AVE CORAL GABLES, FL 33134	Mercedes-Benz of Coral Gables USSERY AUTOMOTIVE GROUP MERCEDES-BENZ CORAL GABLES 2801 SALZEDO ST, CORAL GABLES, FL 33134	Perkins&Will 2800 Ponce De Leon Blvd, Suite 1300, Coral Gables, FL 3313 1 305.569.1333 f 305.569.1334 perkinswill.com	TYPICAL GARAGE LEVELS 2-5 PLANTING PLAN DRC30-09 © 2014 Perkins and Will

SALES CENTER FOR MERCEDES-BENZ OF CORAL GABLES

2801 SALZEDO ST, CORAL GABLES, FL 33134



OFFICE OF THE PROPERTY APPRAISER

Detailed Report

Generated On : 2/1/2021

Property Information	
Folio:	03-4117-005-5110
Property Address:	2801 SALZEDO ST Coral Gables, FL 33134-6638
Owner	CITY OF CORAL GABLES
Mailing Address	CITY HALL 405 BILTMORE WAY CORAL GABLES, FL 33134
PA Primary Zone	6600 COMMERCIAL - LIBERAL
Primary Land Use	8940 MUNICIPAL : MUNICIPAL
Beds / Baths / Half	0 / 0 / 0
Floors	5
Living Units	0
Actual Area	Sq.Ft
Living Area	Sq.Ft
Adjusted Area	190,678 Sq.Ft
Lot Size	63,000 Sq.Ft
Year Built	1973



Assessment Information			
Year	2020	2019	2018
Land Value	\$19,530,000	\$10,710,000	\$10,710,000
Building Value	\$12,869,488	\$12,503,877	\$12,723,244
XF Value	\$652,811	\$664,460	\$676,109
Market Value	\$33,052,299	\$23,878,337	\$24,109,353
Assessed Value	\$26,266,170	\$23,878,337	\$24,109,353

Benefits Information				
Benefit	Type	2020	2019	2018
Non-Homestead Cap	Assessment Reduction	\$6,786,129		
Municipal	Exemption	\$26,266,170	\$23,878,337	\$24,109,353
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Taxable Value Information			
	2020	2019	2018
County			
Exemption Value	\$26,266,170	\$23,878,337	\$24,109,353
Taxable Value	\$0	\$0	\$0
School Board			
Exemption Value	\$33,052,299	\$23,878,337	\$24,109,353
Taxable Value	\$0	\$0	\$0
City			
Exemption Value	\$26,266,170	\$23,878,337	\$24,109,353
Taxable Value	\$0	\$0	\$0
Regional			
Exemption Value	\$26,266,170	\$23,878,337	\$24,109,353
Taxable Value	\$0	\$0	\$0

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Property Information

Folio: 03-4117-005-5110

Property Address: 2801 SALZEDO ST

Roll Year **2020** Land, Building and Extra-Feature Details

Land Information					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	CC	6600	Square Ft.	63,000.00	\$19,530,000

Building Information						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1973			86,107	\$6,492,330
1	2	1973			104,571	\$6,377,158

Extra Features			
Description	Year Built	Units	Calc Value
Cent A/C - Comm (Aprox 300 sqft/Ton)	1989	2	\$2,160
Chill Water A/C (Aprox 300 sqft/Ton)	1973	200	\$280,000
Elevator - Passenger, Automatic - 2500 lb Hi-rise	1973	20	\$156,800
Sprinkler System/Auto - Wet	1973	254,585	\$213,851

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Property Information

Folio: 03-4117-005-5110

Property Address: 2801 SALZEDO ST

Roll Year **2019** Land, Building and Extra-Feature Details

Land Information					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	CC	6600	Square Ft.	63,000.00	\$10,710,000

Building Information						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1973			86,107	\$6,307,889
1	2	1973			104,571	\$6,195,988

Extra Features			
Description	Year Built	Units	Calc Value
Cent A/C - Comm (Aprox 300 sqft/Ton)	1989	2	\$2,190
Sprinkler System/Auto - Wet	1973	254,585	\$217,670
Elevator - Passenger, Automatic - 2500 lb Hi-rise	1973	20	\$159,600
Chill Water A/C (Aprox 300 sqft/Ton)	1973	200	\$285,000

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Property Information

Folio: 03-4117-005-5110

Property Address: 2801 SALZEDO ST Coral Gables, FL 33134-6638

Roll Year **2018** Land, Building and Extra-Feature Details

Land Information					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	CC	6600	Square Ft.	63,000.00	\$10,710,000

Building Information						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1973			86,107	\$6,418,554
1	2	1973			104,571	\$6,304,690

Extra Features			
Description	Year Built	Units	Calc Value
Cent A/C - Comm (Aprox 300 sqft/Ton)	1989	2	\$2,220
Chill Water A/C (Aprox 300 sqft/Ton)	1973	200	\$290,000
Elevator - Passenger, Automatic - 2500 lb Hi-rise	1973	20	\$162,400
Sprinkler System/Auto - Wet	1973	254,585	\$221,489

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Property Information

Folio: 03-4117-005-5110

Property Address: 2801 SALZEDO ST

Full Legal Description

CORAL GABLES CRAFTS SEC PB 10-40

LOTS 1 THRU 11 & 27 THRU 38

& 20FT ALLEY LYG BET BLK 18

LOT SIZE IRREGULAR

Sales Information

Previous Sale	Price	OR Book-Page	Qualification Description
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