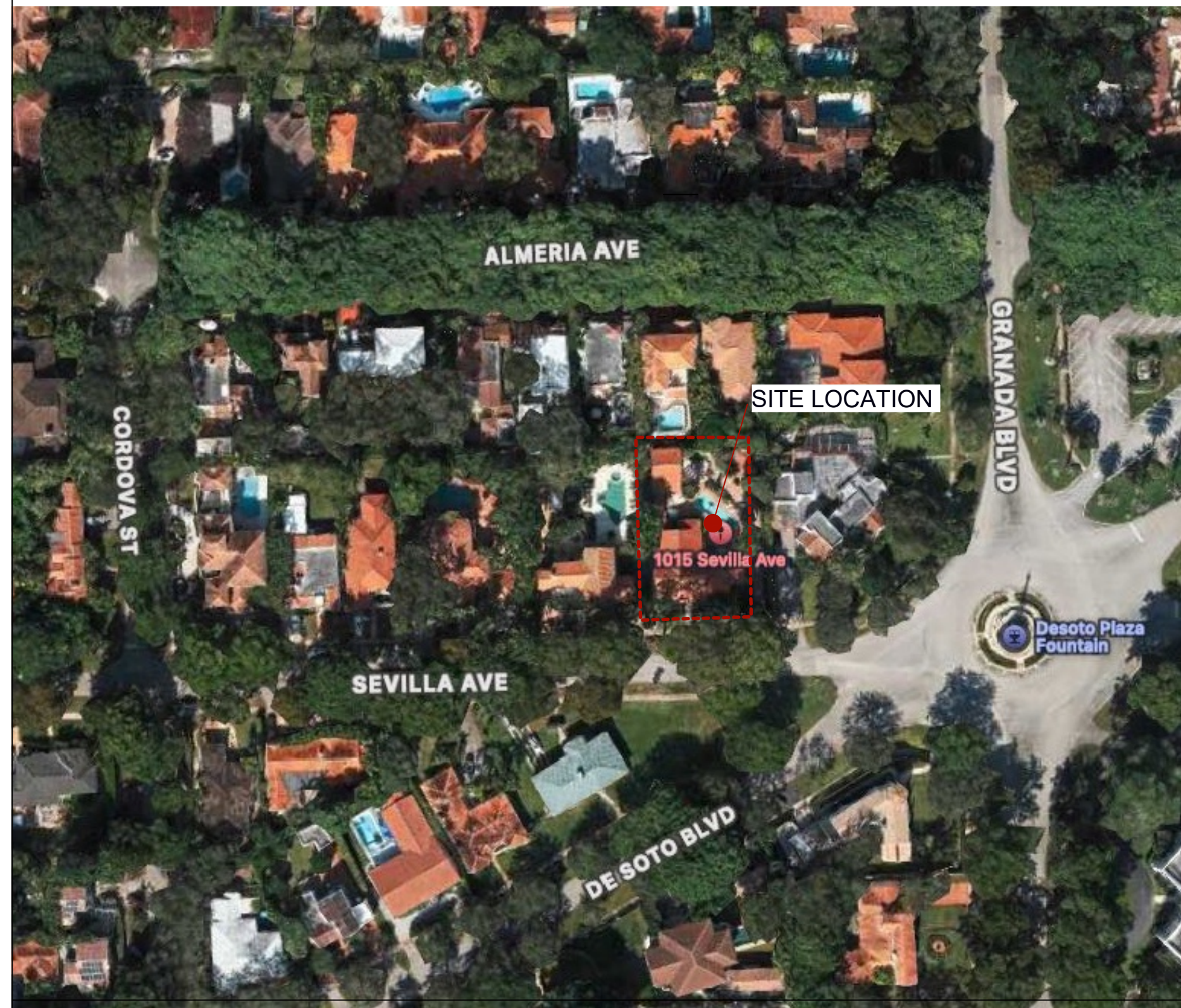


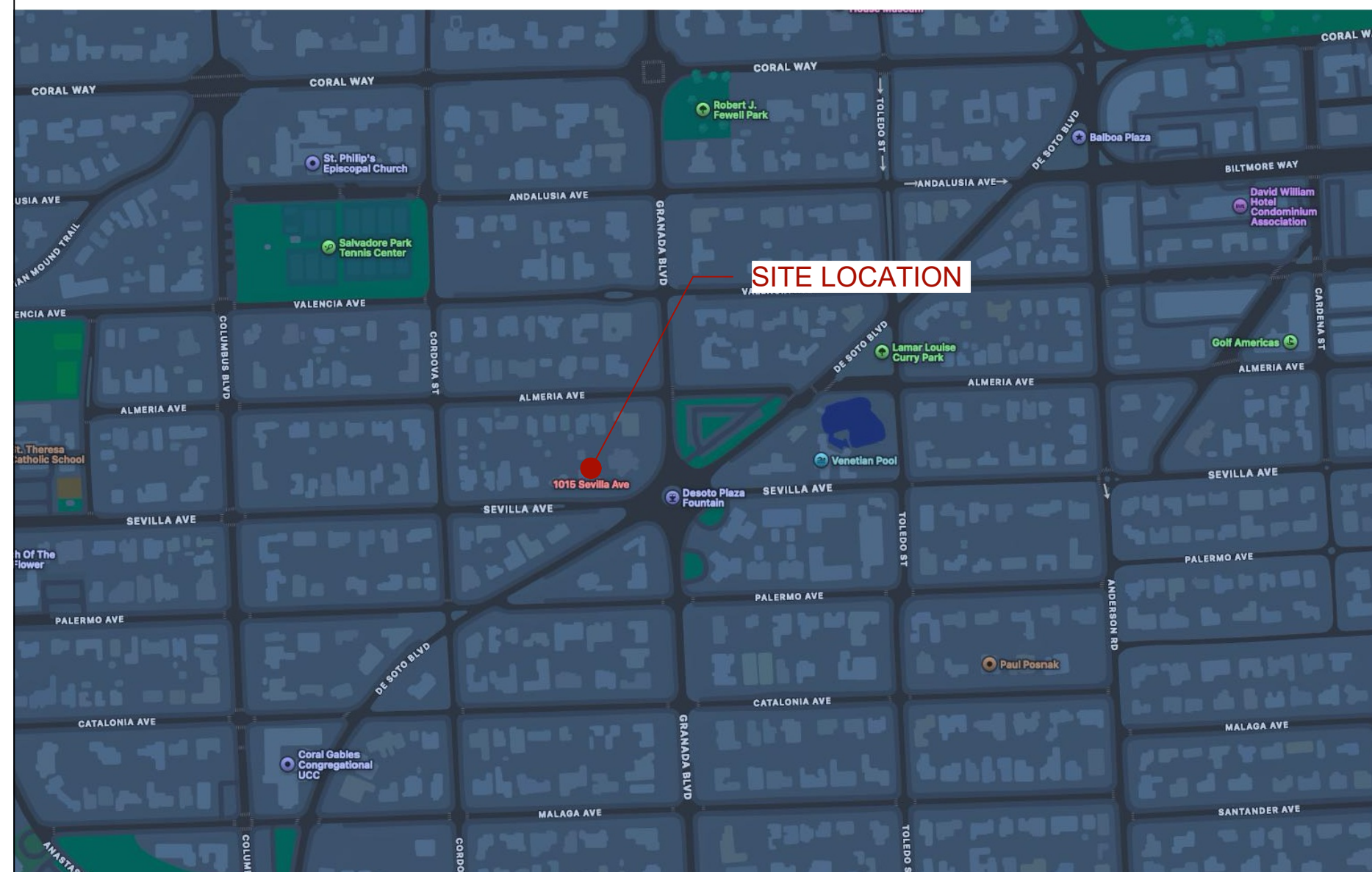
HISTORIC REVIEW ESKA RESIDENCE

1015 SEVILLA CORAL GABLES, FLORIDA 33134

SITE LOCATION



AERIAL PHOTO



GENERAL DATA

| | |
|--|--|
| NAME OF THE PROJECT: ESKA RESIDENCE | CODE ENFORCEMENT JURISDICTION: |
| PROPOSED USED: ADDITION AND INTERIOR REMODELING | FLORIDA FIRE PREVENTION CODE 2023 (FPFC) 8TH. EDITION FLORIDA BUILDING CODE 8TH. EDITION (2023) FLORIDA BUILDING CODE RESIDENTIAL 2020 (FBCR) 7TH EDITION NFPA 1, 2021 EDITION, "FIRE CODE" NFPA 101, 2021 EDITION, "LIFE SAFETY CODE" NFPA 10, 2019 EDITION, "STANDARD FOR PORTABLE FIRE EXTINGUISHER" NFPA 13, 2019 EDITION, "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEM" NFPA 70, 2020 EDITION, "NATIONAL ELECTRICAL CODE" NFPA 72, 2019 EDITION, "NATIONAL FIRE ALARM CODE" |
| LOCATION: 1015 SEVILLA, CORAL GABLES, FLORIDA 33134 | |
| OWNER: - | |
| PROJECT SUMMARY: ADDITION AND INTERIOR REMODELING | |
| ZONING: SFR (SINGLE FAMILY RESIDENTIAL) | |
| FOLIO: 03-4118-001-1380 | |

GENERAL NOTES

- THE GENERAL NOTES AND CONSTRUCTION DOCUMENTS HEREWITH SHALL APPLY TO THE WORK OF THIS PROJECT, AND SHALL BE CAREFULLY REVIEWED BY THE GENERAL CONTRACTOR AND ALL OF HIS SUB-CONTRACTORS. THE GENERAL CONTRACTOR SHALL COORDINATE EACH SUBCONTRACTORS PARTICULAR WORK WITH ALL OTHER SUBCONTRACTORS' WORK ASSOCIATED WITH THIS PROJECT.
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL CARRY WORKMENS COMPENSATION INSURANCE IN STATUTORY AMOUNTS AS REQUIRED BY LAW. LIABILITY, BODILY INJURY, AUTOMOTIVE, AND OTHER INSURANCES IN AMOUNTS AND FOR PERIODS SATISFACTORY TO THE GENERAL CONTRACTOR. TO THE FULLEST EXTENT PERMITTED BY LAW, THE GENERAL CONTRACTOR AND ALL OF HIS SUBCONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT AND HIS CONSULTING ENGINEERS AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES RESULTING FROM THE PERFORMANCE OF THE WORK ASSOCIATED WITH THIS PROJECT.
- EXISTING CONDITIONS: BEFORE BIDDING, THE CONTRACTOR SHALL VISIT THE JOB SITE AND ASCERTAIN ALL EXISTING CONDITIONS WHICH WILL AFFECT HIS WORK. FAILURE TO DO SO WILL NOT BE ACCEPTED AS A REASON FOR REQUESTING EXTRA PAY WHEN THE EXISTING CONDITIONS RESULT IN EXTRA MATERIALS. ANY EXISTING CONDITIONS FOUND BY THE CONTRACTOR WHICH WILL ADVERSELY AFFECT THE WORK SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETELY ASSESSED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENTS OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL WORK PERFORMED FOR THIS PROJECT SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES HAVING JURISDICTION, THE FLORIDA BUILDING CODE 2014, AND WITH THE REQUIREMENTS OF THE UTILITY COMPANIES WHOSE SERVICES SHALL BE UTILIZED. ALL MODIFICATIONS REQUIRED BY THE BUILDING DEPARTMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO, OR AT THE TIME OF PERMITTING. ANY REQUIRED CHANGES WILL BE SHOWN, AS DETERMINED BY THE ARCHITECT, ON REVISED DRAWINGS ISSUED TO THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL MAKE ARRANGEMENTS FOR, OBTAIN, AND PAY FOR ALL PERMITS, TESTS, INSPECTIONS, AND APPROVALS REQUIRED OR HIS PORTION OF WORK.
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ALL MANDATORY BUILDING INSPECTIONS REQUIRED BY THE BUILDING DEPARTMENT TO BE MADE BY THE ARCHITECT OR ANY OF HIS ENGINEERS UPON ISSUANCE OF THE PERMIT. THE GENERAL CONTRACTOR MUST ENSURE THAT THE INSPECTIONS PROCESS IS IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2014.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE TO BE AWARE OF ALL COMMENTS AND NOTES MADE BY THE BUILDING OFFICIAL UPON THE PERMITTED, SIGNED AND SEALED JOBSITE SET OF CONSTRUCTION DOCUMENTS, AND SHALL INCORPORATE ALL INFORMATION WITHIN THE APPLICABLE CONTRACTORS SCOPE OF WORK. IT SHALL, AS WELL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KEEP AN AS-BUILT SET OF CONSTRUCTION DOCUMENTS, AND TO NOTIFY THE ARCHITECT OF ANY AND ALL CHANGES MADE DUE TO FIELD DIRECTIVES BY THE BUILDING INSPECTORS. AT SUBSTANTIAL COMPLETION OF THE PROJECT, THE GENERAL CONTRACTOR SHALL DELIVER THE AS-BUILT SET OF DRAWINGS TO THE ARCHITECT, WITH ALL AUTHORIZED FIELD CHANGES CLEARLY INDICATED IN RED INK OR PENCIL.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE INDIVIDUALLY RESPONSIBLE FOR THE PROTECTION OF BUILDING OCCUPANTS FROM ALL HAZARDS ASSOCIATED WITH HIS PARTICULAR WORK. THE CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN ALL BARRICADES, BARRIERS, AND DUST CONTROL SYSTEMS NECESSARY TO PROTECT THE HEALTH AND SAFETY OF THE BUILDING OCCUPANTS.
- WRITTEN DIMENSIONS AND NOTES ARE TYPICAL FOR SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS OR NOTES ARE NOT INDICATED, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR RESOLUTION.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO PROPERLY COMPLETE THE WORK OF HIS CONTRACT. NO CONTRACTOR SHALL ENDANGER THE WORK OF ANY OTHER CONTRACTOR. ANY FEES/COSTS INCURRED TO REPAIR DEFECTIVE OR LIMITED WORK SHALL BE BORNE BY THE SUBCONTRACTOR RESPONSIBLE THEREFOR.
- THE GENERAL CONTRACTOR SHALL SUBMIT PRODUCT APPROVALS, SHOP DRAWINGS, SAMPLES, AND EQUIPMENT SPECIFICATION SHEETS AS CALLED FOR IN THE CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: ELECTRICAL AND AIR CONDITIONING EQUIPMENT, PLUMBING FIXTURES, APPLIANCES, CABINETRY, AND FINISHES. ALL SUBMITTALS SHALL BE DELIVERED TO THE OWNER SUFFICIENTLY IN ADVANCE TO ALLOW FOR REVIEW AND CORRECTION OR APPROVAL. PROCUREMENT AND/OR FABRICATION SHALL NOT COMMENCE UNTIL SUBMITTALS ARE REVIEWED AND APPROVED BY THE OWNER.
- ALL REQUIRED TESTS PERTAINING TO THIS PROJECT SHALL BE PERFORMED AT THE EXPENSE OF THE GENERAL CONTRACTOR, AND BY A LICENSED TESTING LABORATORY UNDER THE SUPERVISION OF A FLORIDA REGISTERED ENGINEER. TEST RESULTS SHALL BE SUBMITTED EACH TIME A TEST IS COMPLETED.
- THE GENERAL CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS. THIS SHALL APPLY EVEN TO THOSE STRUCTURAL MEMBERS NOT INDICATED IN THE CONSTRUCTION DOCUMENTS.
- NO STRUCTURAL MEMBER SHALL BE CUT, REMOVED, OR MODIFIED (UNLESS SPECIFIED IN THE CONSTRUCTION DOCUMENTS) WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR HIS ENGINEER.
- ALL EXISTING DISTURBED OR DAMAGED SURFACES (I.E. DRYWALL, STUCCO, PAINT, ETC.), WITHIN THE AREA OF CONSTRUCTION, SHALL BE REPAIRED, AS NECESSARY, TO MATCH EXISTING FINISHES.
- AFTER COMPLETION OF CONSTRUCTION, ALL WORK AREAS SHALL BE LEFT CLEAN AND FREE OF ANY PLASTER, PAINT SMEARS OR SPLATTERS, AND THE BUILDING IS TO BE BROOM CLEANED.
- THE GENERAL CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS SHALL PROVIDE AND INSTALL 2X WOOD BACKING BETWEEN STUDS FOR ANY BASE AND WALL-MOUNTED CABINETRY AND SURFACE-MOUNTED ACCESSORIES PRIOR TO THE INSTALLATION OF ANY WALLBOARD. PROVIDE BACKING EVEN IF CABINETRY AND ACCESSORIES ARE "BY OTHERS" OR "NOT IN CONTRACT" (N.I.C.). CONTRACTOR SHALL MARK LOCATION OF BACKING ON WALLBOARD FOR THE USE OF THE CABINET/EQUIPMENT INSTALLERS.
- CABINET MANUFACTURER SHALL FIELD MEASURE EXACT FINISHED LOCATION OF ALL CABINETRY AND ELECTRICAL RECEPTACLES AT THE JOBSITE PRIOR TO FABRICATION OF ANY CABINETRY. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS FOR RESOLUTION.
- ALL WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS, AND PERFORMED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS, SHALL BE GIVEN A ONE (1) YEAR WARRANTY FROM THE DATE OF THE CITY OR COUNTY'S FINAL INSPECTION, AND WITH THE OWNER'S APPROVAL OF SATISFACTION. DURING THIS PERIOD, THE CONTRACTOR AGREES TO REPAIR AND/OR REPLACE, AS NECESSARY, ANY WORK PERFORMED UNDER HIS CONTRACT WHICH IS DEFECTIVE OR DAMAGED DUE TO CIRCUMSTANCES ASSOCIATED WITH THE WORKMANSHIP OF THE GENERAL CONTRACTORS WORK FORCE, OR THAT OF HIS SUBCONTRACTORS.
- THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF CONSTRUCTION AND REMAIN THE PROPERTY OF THE ARCHITECT. ANY REPRODUCTION OF SAID DRAWINGS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT, IS STRICTLY PROHIBITED BY COPYRIGHT PROTECTION LAWS.
- PLANS: DRAWINGS ARE BASICALLY DIAGRAMS INTENDED TO DEPICT APPROXIMATELY EQUIPMENT LOCATIONS AND ARRANGEMENTS, NOT TO SHOW EVERY MINOR DETAIL. PLANS SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION AND DIMENSIONS.
- INTERFERENCE: THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TENANTS OPERATING IN THE CENTER AS WELL AS OTHER TRADES SO THAT INTERFERENCE WITH EXISTING CONDITIONS, CONDUITS, PIPING, EQUIPMENT AND STRUCTURAL MEMBERS BE AVOIDED.
- SUBSTITUTIONS: PRODUCTS AND MATERIALS CALLED OUT BY TRADE NAME AND/OR CATALOG NUMBERS ESTABLISH A STANDARD OF QUALITY, APPEARANCE, PERFORMANCE AND DIMENSION. CONTRACTORS SHALL BASE HIS PROPOSAL ON THOSE ITEMS AS THEY SHALL BE CONSIDERED AS A BASIS OF BIDDING. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT / ENGINEER, DEMONSTRATING THAT PRODUCT IS OF COMPARABLE AND BASIC DESIGN, CONSTRUCTION, STANDARDS AND WARRANTIES, DIMENSIONS TO FIT WITHOUT CHANGE, AND DOES NOT CAUSE EXTRA WORK TO OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EQUALITY OF SUBSTITUTION. ARCHITECT/ENGINEER WILL, UNDER NO CIRCUMSTANCES, BE REQUIRED TO PROVE SUCH ITEM IS OR IS NOT OF EQUAL QUALITY TO THE SPECIFIED ITEM. ARCHITECT/ENGINEER EXPENSES INCURRED DUE TO CONTRACTOR'S REQUESTED REVISIONS OR SUBSTITUTIONS SHALL BE PAID BY CONTRACTOR.
- RECORD DRAWINGS: MAINTAIN A COMPLETE SET OF PRINTS FOR INDICATING ALL CHANGES. USE COLORED PENS TO MARK CHANGES AT THE TIME OF EXECUTION AND DELIVER THE SET TO THE ARCHITECT/ENGINEER UPON COMPLETION. CONTRACTOR SHALL STAMP "AS BUILT" ON PRINTS AND PLANS, DATE AND SIGN IN INK.
- SCHEDULING: CONTRACTOR SHALL COORDINATE WITH OWNER APPROPRIATE TIMES TO PERFORM WORK. CONTRACTOR MUST BE AWARE OF VARYING AVAILABILITY OF APPROPRIATE TIME WINDOWS. CLOSE CONSULTATION WITH OWNER IS THEREFORE NECESSARY.

INDEX OF DRAWINGS

| SUBMITTAL GRAPHIC SYMBOLS DEFINITIONS | |
|---------------------------------------|--|
| NEW / REVISED | |
| RE-ISSUED WITHOUT REVISION | |
| PREVIOUSLY SUBMITTED | |

| ARCHITECTURAL | |
|---------------|---|
| T-0.1 | COVER SHEET |
| T-0.2 | LOCATION PLAN |
| T-0.3 | EXISTING PHOTOS |
| C-1.0 | EXISTING SITE PLAN |
| C-1.1 | PROPOSED SITE PLAN |
| C-1.2 | COVERGAE PLAN |
| C-1.3 | SITE PLAN DETAILS |
| D-1.0 | DEMOLITION PLAN |
| L-1.0 | EXISTING LANDSCAPE PLAN |
| L-1.1 | PROPOSED LANDSCAPE PLAN |
| L-2.0 | LANDSCAPE DETAIL & NOTES |
| A-1.0 | PROPOSED INTERIOR REMODELING FLOOR PLAN |
| A-1.1 | PROPOSED GARAGE CONVERSION FLOOR PLAN |
| A-1.2 | PROPOSED GARAGE/PORCH FLOOR PLAN |
| A-2.0 | EXISTING ROOF PLAN |
| A-2.1 | PROPOSED ROOF PLAN |
| A-3.0 | SOUTH ELEVATIONS |
| A-3.1 | EAST ELEVATIONS |
| A-3.2 | WEST ELEVATIONS |
| A-3.3 | NORTH ELEVATIONS |
| A-3.4 | ADU ELEVATIONS |
| A-3.5 | GARAGE/ PORCH ELEVATIONS |
| A-4.0 | RENDERING |
| A-4.1 | RENDERING |



14688 NW 82nd AVE.
MIAMI LAKES, FL 33016
(305) 439-6266



PATRICK VALENT
RA # 13834

PREPARED FOR:

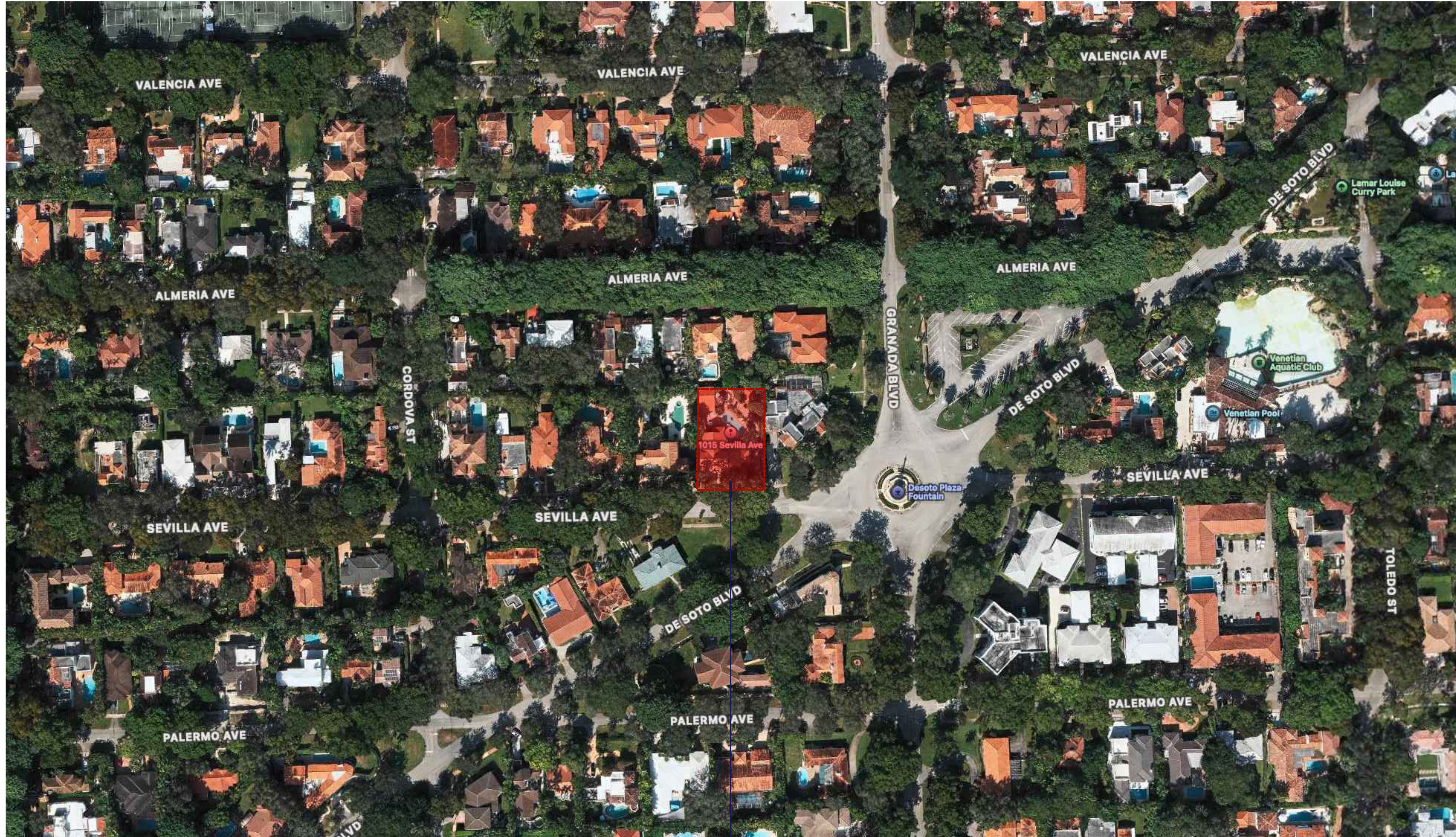
PROJECT INFORMATION:

| No. | Description | Date |
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| 1 | HISTORIC REVIEW | 04-01-26 |

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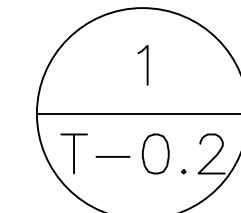
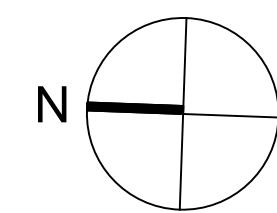
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T-0.1

HISTORIC REVIEW
PROPOSED REMODELING
 1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134



1015 SEVILLA
AVE

AERIAL VIEW



SITE PLAN_EXISTING

SCALE :1/8"=1'-0"



PATRICK VALENT
RA # 13834

PREPARED FOR:

PROJECT INFORMATION:

HISTORIC REVIEW

PROPOSED REMODELING
1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

| No. | Description | Date |
|-----|-----------------|----------|
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| 1 | HISTORIC REVIEW | 04-01-26 |

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LOCATION PLAN

SHEET NUMBER:

T-0.2

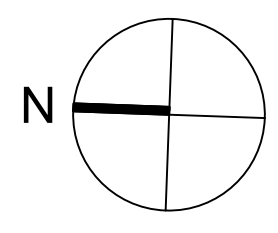
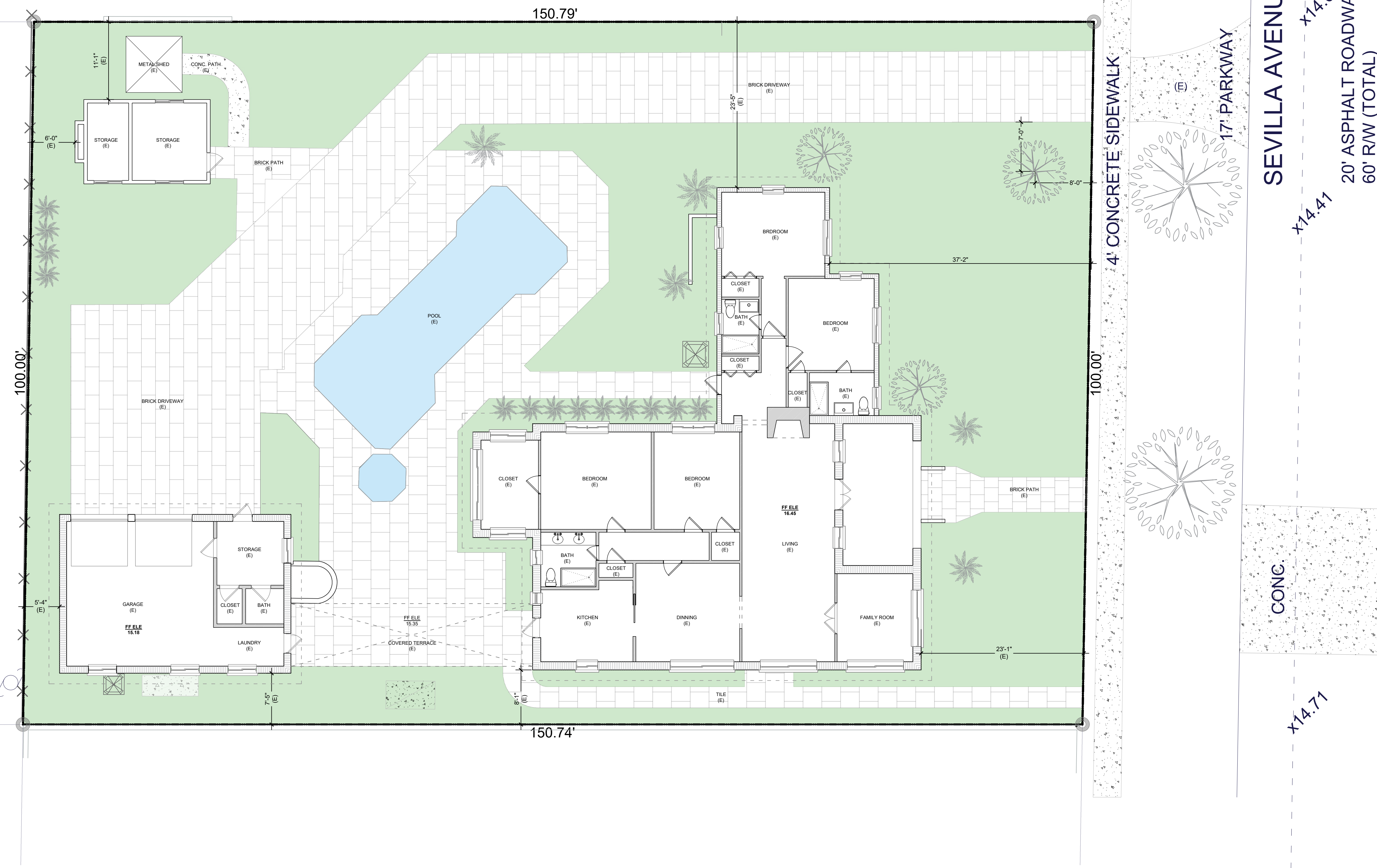


HISTORIC REVIEW
PROPOSED REMODELING
1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

| No. | Description | Date |
|-----|-----------------|----------|
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| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME
EXISTING PHOTOS

SHEET NUMBER
T-0.3



1
C-1.0

SITE PLAN_EXISTING

SCALE : 1/8"=1'-0"

PREPARED BY
V.ALENT ARCHITECT

14668 NW 82nd AVE.
MIAMI LAKES, FL 33096
(305) 439-6266

DESCRIPTION:
SCHEMATIC DEVELOPMENT, TRANSMISSION OF EXISTING INFORMATION AND PORTION OF THESE DRAWINGS TO WHICH A OR PARTIAL ARE TO BE USED WITHOUT THE ARCHITECT'S PERMISSION. ALL INFORMATION CONTAINED HEREIN IS PROVIDED AS IS. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT.

PROFESSIONAL SEAL

PATRICK STEPHEN VALENT
RA # 13834

PREPARED FOR:

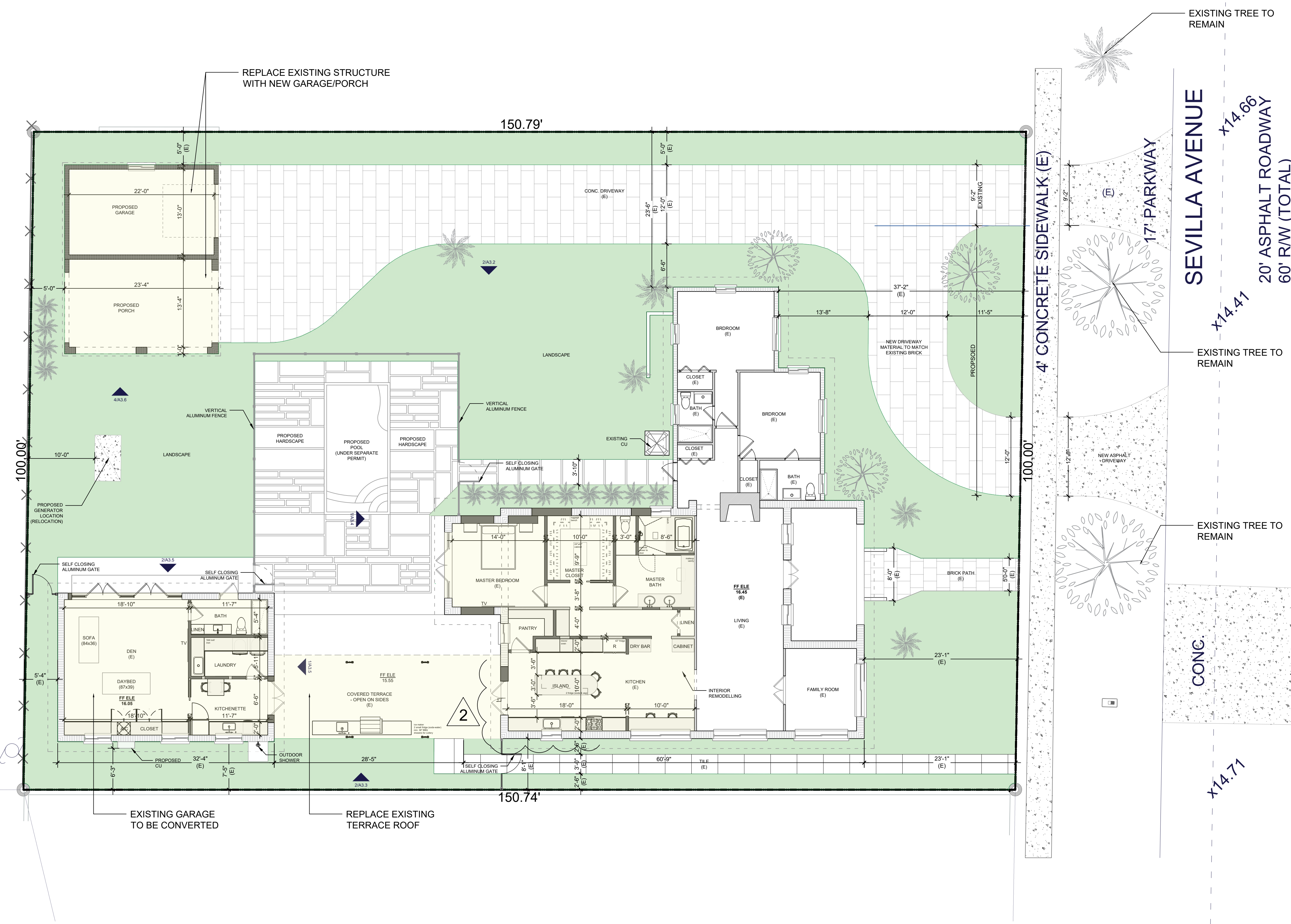
PROJECT INFORMATION

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PROPOSED REMODELING
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| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME
EXISTING SITE PLAN

SHEET NUMBER
C-1.0



GENERAL NOTES

PROPERTY INFORMATION

PROJECT ADDRESS: 1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

FOLIO NUMBER: 03-4118-001-1380

LEGAL DESCRIPTION: LOTS 14 AND 15, BLOCK 14, OF "CORAL GABLES A" ACCORDING TO PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 102, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ZONING DISTRICT: SINGLE-FAMILY RESIDENTIAL (SFR)

ZONING LAND USE: RESIDENTIAL - SINGLE FAMILY - 1 UNIT

PROJECT DATA

NET LOT AREA: 15,100 SQ.FT.

EXISTING BLDG YEAR BUILT: 1924

EXIST BUILDING AREA: 3,878 SQ.FT.

BASE FLOOD ELEVATION: FLOOD X

EXIST BLDG FLOOR ELEVATION: 15.85' N.G.V.D. (0'-0" ARCH)

ZONING SETBACKS

| ITEM | REQUIRED | PROVIDED | NOTE |
|----------------------------|----------|------------|----------------------|
| PRINCIPAL BLDG- FRONT | 25'-0" | 23'-1" (E) | EXISTING - NO CHANGE |
| PRINCIPAL BLDG- REAR | 10'-0" | 5'-4" (E) | EXISTING - NO CHANGE |
| PRINCIPAL BLDG- SIDE- WEST | 5'-0" | 7'-5" (E) | EXISTING - NO CHANGE |
| PRINCIPAL BLDG- SIDE- EAST | 15'-0" | 5'-0" (E) | EXISTING - NO CHANGE |

SITE INFORMATION

ZONING DATA

FOLIO # 03-4118-001-1380
LOT SIZE = 15,100 SF

| F.A.R. (Floor Area Ratio) | ALLOWED | PROVIDED |
|---------------------------|----------|----------|
| 5,000 SF X 48% = 2,400 SF | | |
| 5,000 SF X 35% = 1,750 SF | | |
| 5,100 SF X 30% = 1,530 SF | | |
| | 5,680 SF | 3,167 SF |

LOT COVERAGE

| DESCRIPTION | ALLOWED | PROVIDED |
|-------------------------------------|----------|----------|
| MAIN HOUSE (35% x 15,100 SF) | 5,285 SF | 2,749 SF |
| DEN | | 741 SF |
| COVERED TERRACE | | 435 SF |
| ACCESSORY STRUCT. (10% x 15,100 SF) | 1,510 SF | 669 SF |
| | 6,795 SF | 4,594 SF |

LANDSCAPE

| DESCRIPTION | ALLOWED | PROVIDED |
|-------------|---------|----------|
| 40% = | 6040 SF | 6,048 SF |
| 20% FRONT = | 1208 SF | 1,392 SF |

PROPERTY POOL SAFETY NOTE

- CONTRACTOR TO INSTALL AUDIBLE ALARM AT ALL GROUND FLOOR DOORS AND WINDOWS THAT OPEN TO EXTERIOR
 - EXIT ALARM TO COMPLY WITH UL-2017 AND HAVE A MINIMUM SOUND PRESSURE RATING OF 85 DBA AT 10'-0"
 - REFER TO DOOR SCHEDULE ON A7.00 AND GLAZING SCHEDULE ON A7.10
- CONTRACTOR TO COORDINATE ALL EXTERIOR ACCESS GATES:
 - TO BE SELF-CLOSING AND SWING AWAY FROM DIRECTION OF POOL
 - TO HAVE A MAX OF 3.5" OF VERTICAL CLEARANCE BETWEEN THE TOP OF THE WALKWAY/GRADE AND THE BOTTOM OF THE GATE
 - TO HAVE A SELF-LATCHING LOCKING DEVICE ON POOL SIDE AND DEVICE RELEASE SHALL BE LOCATED NO LESS THAN 54" FROM THE BOTTOM OF THE GATE
 - REFER TO GATE ELEVATIONS 02 AND 03 ON A1.00
- CONTRACTOR TO COORDINATE GATE TO HAVE 1/2" GAP BETWEEN BOARDS FOR 18" MIN SURROUNDING LATCH DEVICE

POOL NOTE

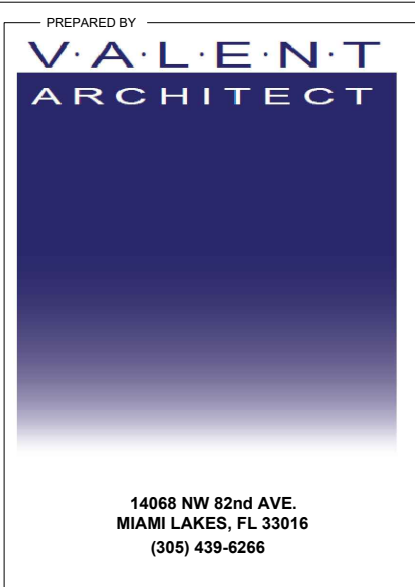
POOL UNDER SEPARATE PERMIT - POOL LAYOUT PROVIDED FOR DESIGN INTENT ONLY
CONTRACTOR TO COORDINATE WITH POOL COMPANY AND TO SUBMIT SHOP DRAWINGS AND CALCULATIONS BY FLORIDA LICENSED ENGINEER TO ARCHITECT PRIOR TO PURCHASE AND INSTALLATION

FENCE NOTE

FENCE/LOW WALL AND GATE ELEVATIONS PROVIDED FOR DESIGN INTENT ONLY
CONTRACTOR TO COORDINATE WITH FENCE COMPANY AND TO SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION
CONTRACTOR TO COORDINATE PROPERTY POOL SAFETY NOTE WITH FENCE COMPANY

POOL BARRIER SAFETY NOTE

- CONTRACTOR TO COORDINATE POOL SAFETY BARRIER ALONG POOL PERIMETER:
 - TOP OF BARRIER TO BE AT LEAST 48" ABOVE POOL DECK SURFACE
 - BOTTOM OF BARRIER TO BE A MAX OF 2" ABOVE POOL DECK SURFACE
 - BARRIER TO NOT HAVE ANY GAPS, ANY OPENINGS IN BARRIER TO NOT ALLOW PASSAGE OF 4" DIA SPHERE
 - BARRIER TO NOT BE REMOVABLE WITHOUT THE AID OF TOOLS
 - IF BARRIER HAS VERTICAL AND HORIZONTAL MEMBERS AND THE DISTANCE BETWEEN HORIZONTAL MEMBERS IS LESS THAN 45", HORIZONTAL MEMBERS MUST BE LOCATED ON POOL SIDE OF BARRIER
- CONTRACTOR TO COORDINATE ALL POOL ACCESS GATES:
 - TO BE SELF-CLOSING AND SWING AWAY FROM DIRECTION OF POOL
 - TO HAVE A MAX OF 3.5" OF VERTICAL CLEARANCE BETWEEN THE TOP OF THE WALKWAY/GRADE AND THE BOTTOM OF THE GATE
 - TO HAVE A SELF-LATCHING LOCKING DEVICE ON POOL SIDE AND DEVICE RELEASE SHALL BE LOCATED NO LESS THAN 54" FROM THE BOTTOM OF THE GATE
 - GATE AND BARRIER TO HAVE 1/2" MAX GAP BETWEEN BOARDS FOR 18" MIN SURROUNDING LATCH DEVICE



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(305) 439-6266



PATRICK VALENT
RA # 13834

PREPARED FOR:

HISTORIC REVIEW

PROJECT INFORMATION

HISTORIC REVIEW

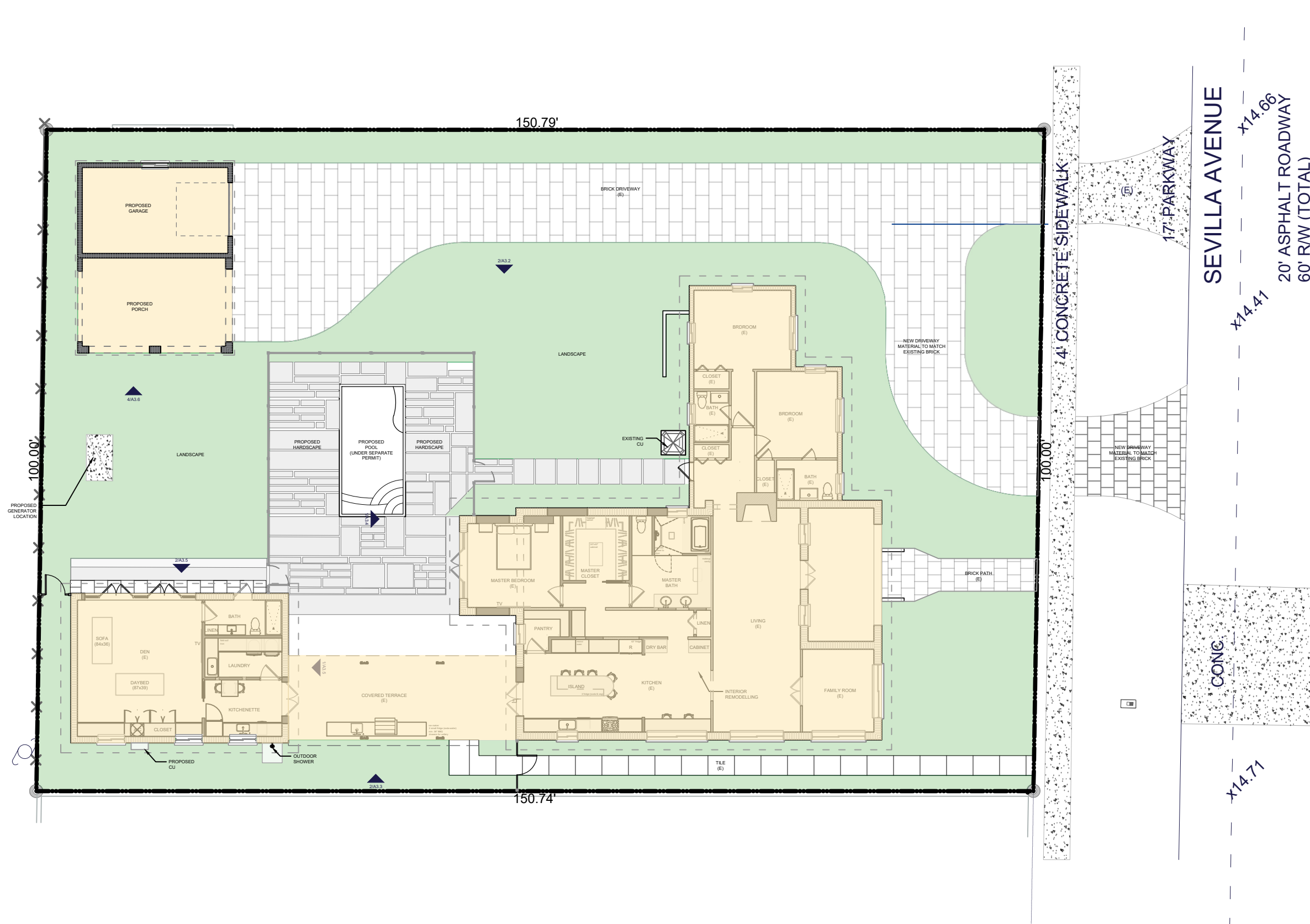
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SHEET NAME
PROPOSED SITE PLAN

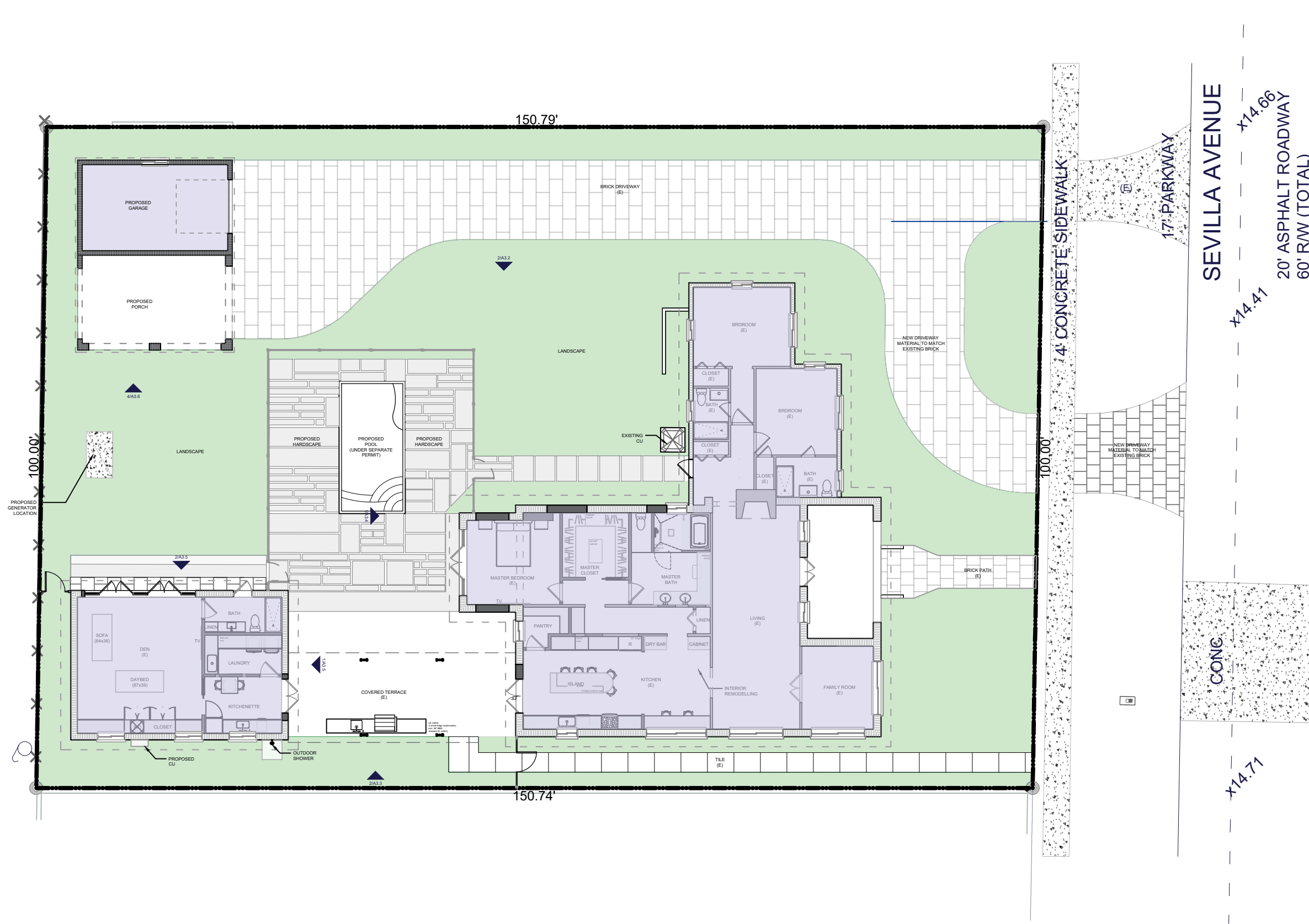
SHEET NUMBER
C-1.1

PROPOSED SITE PLAN
SCALE : 1/8"=1'-0"



LOT COVERAGE 4,594 SF

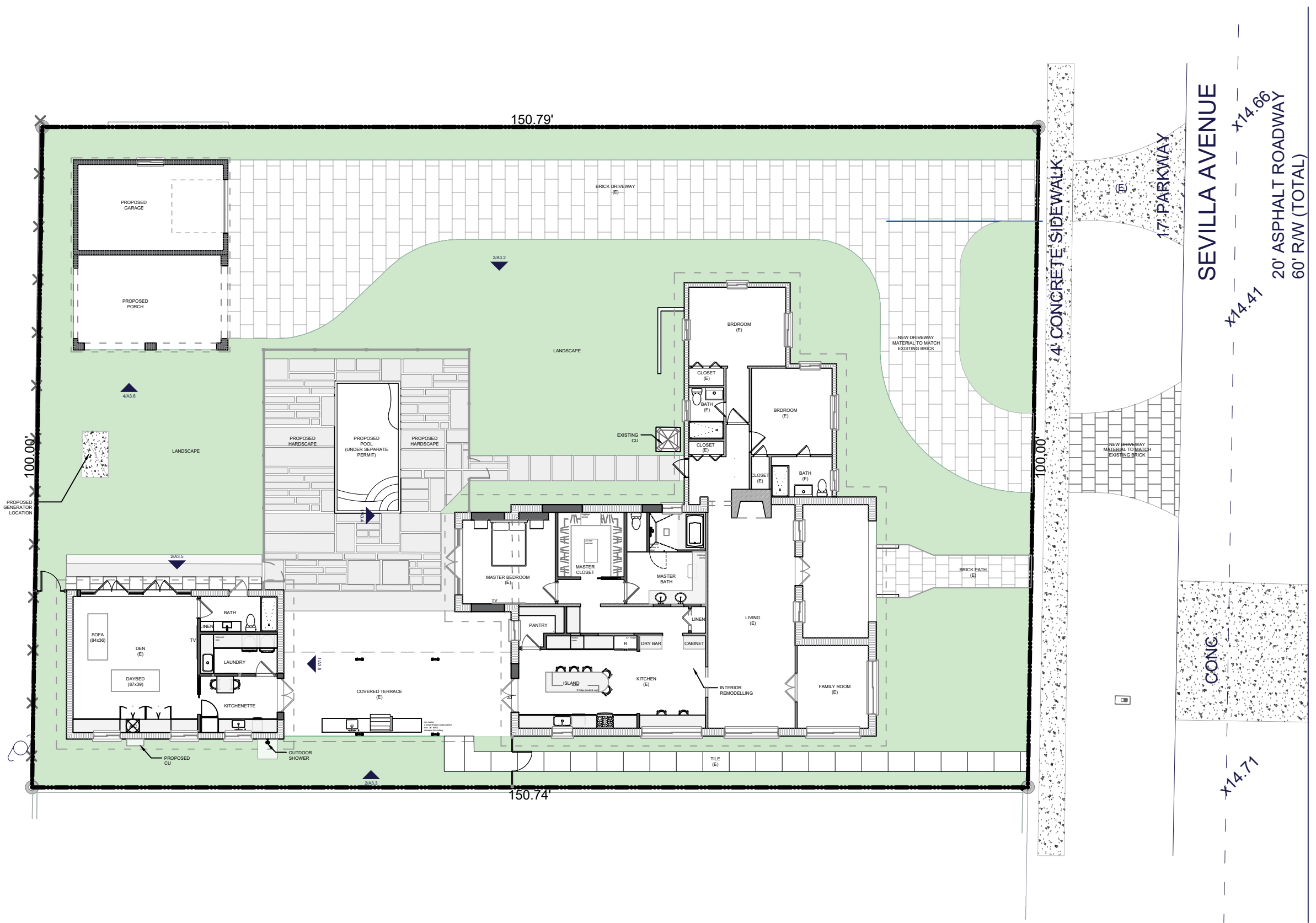
| LOT COVERAGE | ALLOWED | PROVIDED |
|------------------------------------|----------|----------|
| MAIN HOUSE (35% x LOT SIZE) | 5,285 SF | 2,749 SF |
| DEN | | 741 SF |
| COVERED TERRACE | | 435 SF |
| PROPOSED ACCESSORY STRUCTURE (10%) | 1,510 SF | 669 SF |
| | 6,795 SF | 4,594 SF |



F.A.R. 3,167 SF

| | ALLOWED | PROVIDED |
|--------------------------|----------|----------|
| FIRST 5,000 SF x 48% | 2,400 SF | |
| SECOND 5,000 SF x 35% | 1,750 SF | |
| REMAINING 5,100 SF x 30% | 1,530 SF | |
| | 5,680 SF | 3,167 SF |

COVERED PLAN
SCALE :1/8"=1'-0"



LANDSCAPE DIAGRAM 6,048 SQ.FT.

| | ALLOWED | PROVIDED |
|----------------|----------|----------|
| LOT SIZE x 40% | 6,040 SF | 6,048 SF |
| 20% FRONT YARD | 1,208 SF | 1,392 SF |

DISCLAIMER: NO OTHER PROFESSIONAL TRANSDISCIPLINARIES OR ENGINEERS HAVE REVIEWED ANY PORTION OF THESE DRAWINGS TO VERIFY OR CORRECT ANY OF THE INFORMATION OR DATA CONTAINED HEREIN. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS AND AGREEMENTS FROM ALL APPLICABLE CONTRACTORS AND SUPPLIERS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS AND AGREEMENTS FROM ALL APPLICABLE CONTRACTORS AND SUPPLIERS.



PATRICK VALENT
RA # 13834

PREPARED FOR:

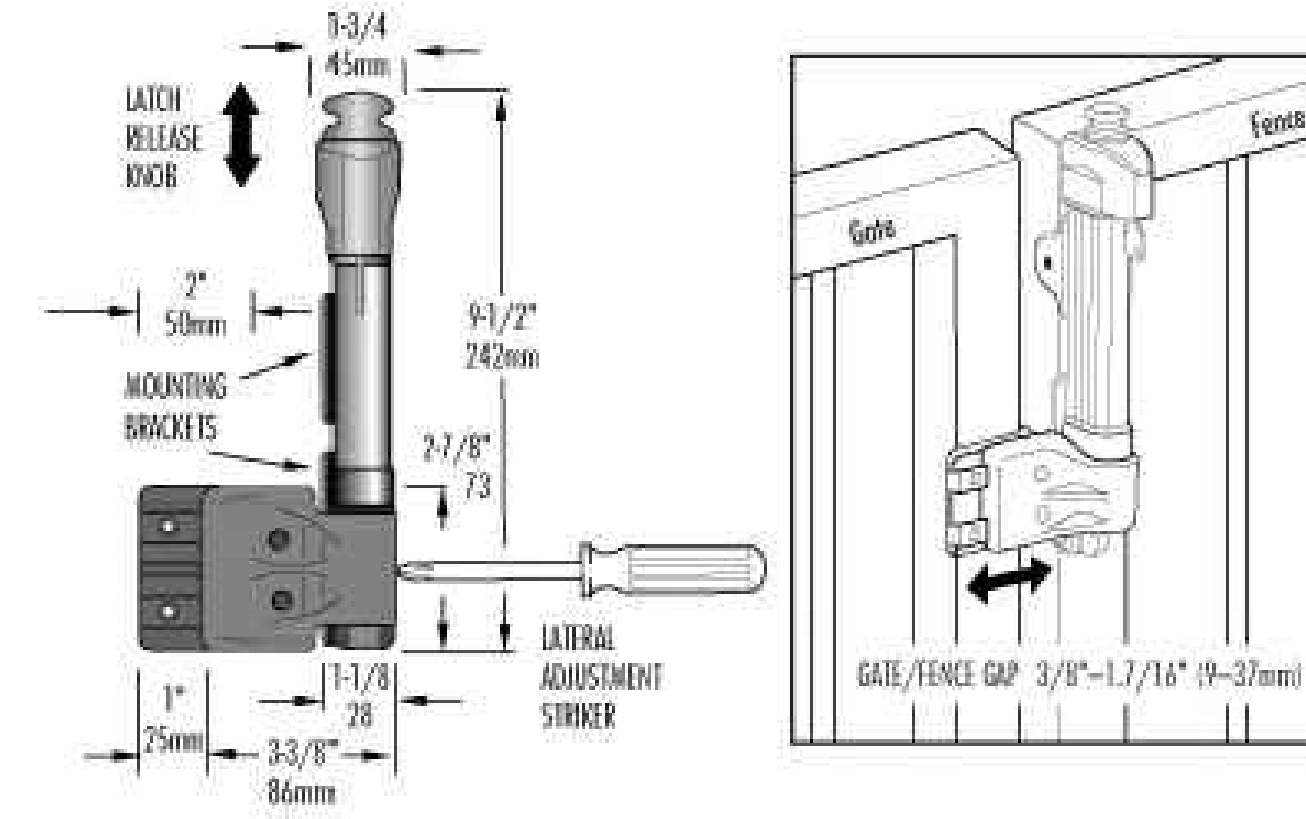
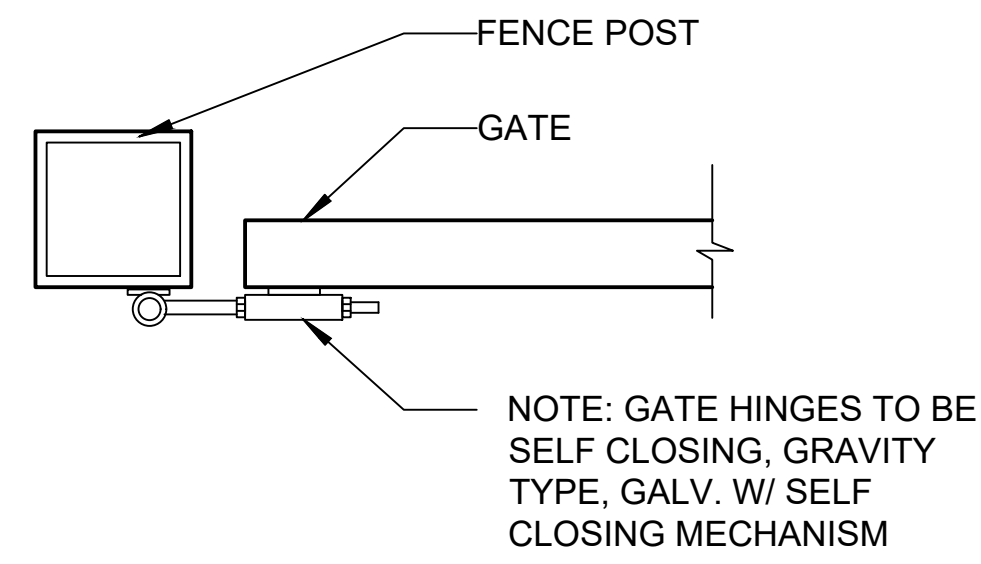
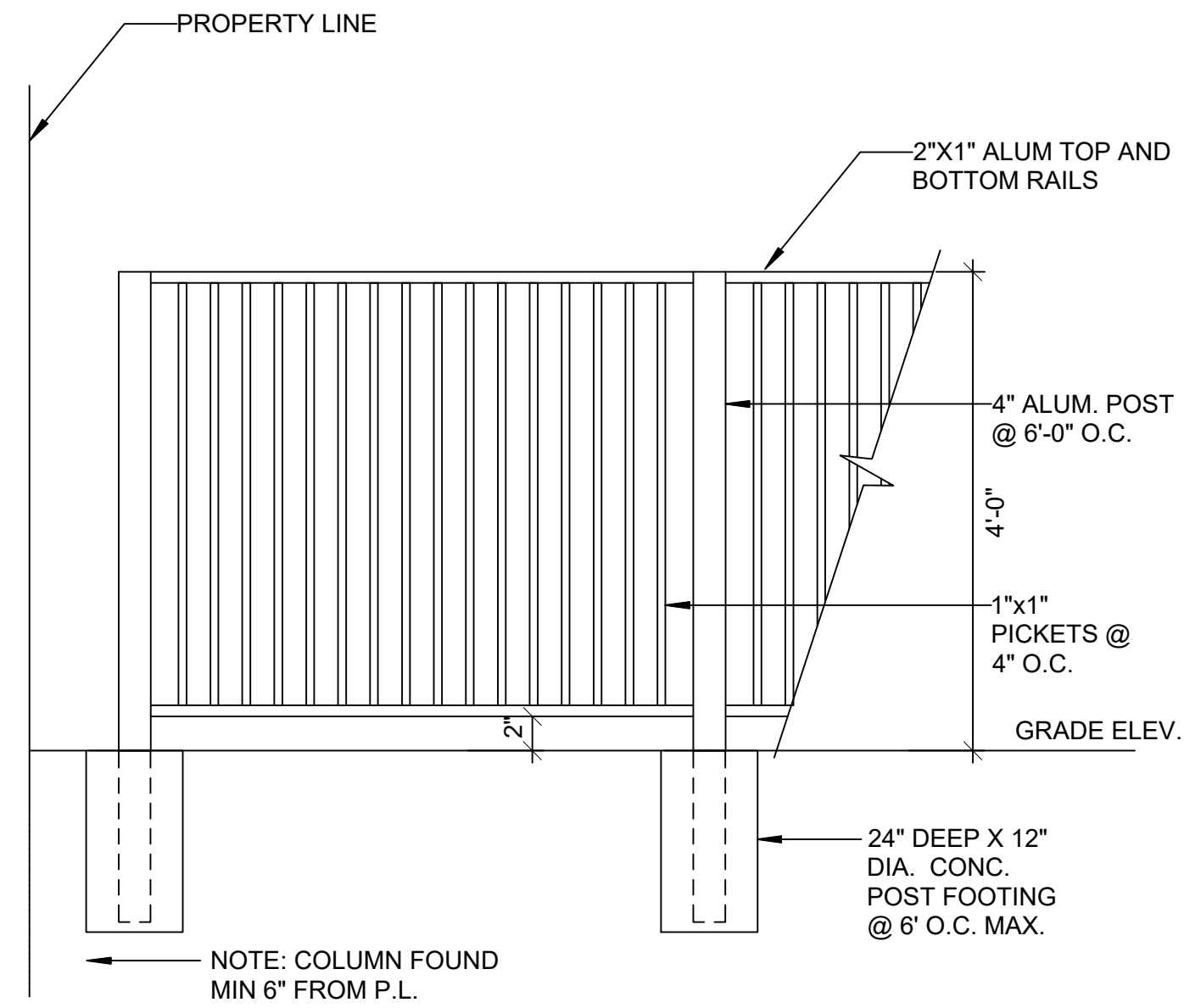
PROJECT INFORMATION:

HISTORIC REVIEW
PROPOSED REMODELING
1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

| No. | Description | Date |
|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME
COVERED PLAN

SHEET NUMBER
C-1.2



1 ALUMINUM FENCE DETAIL

NOT TO SCALE

2 POOL GATE SELF-CLOSING DETAIL

NOT TO SCALE

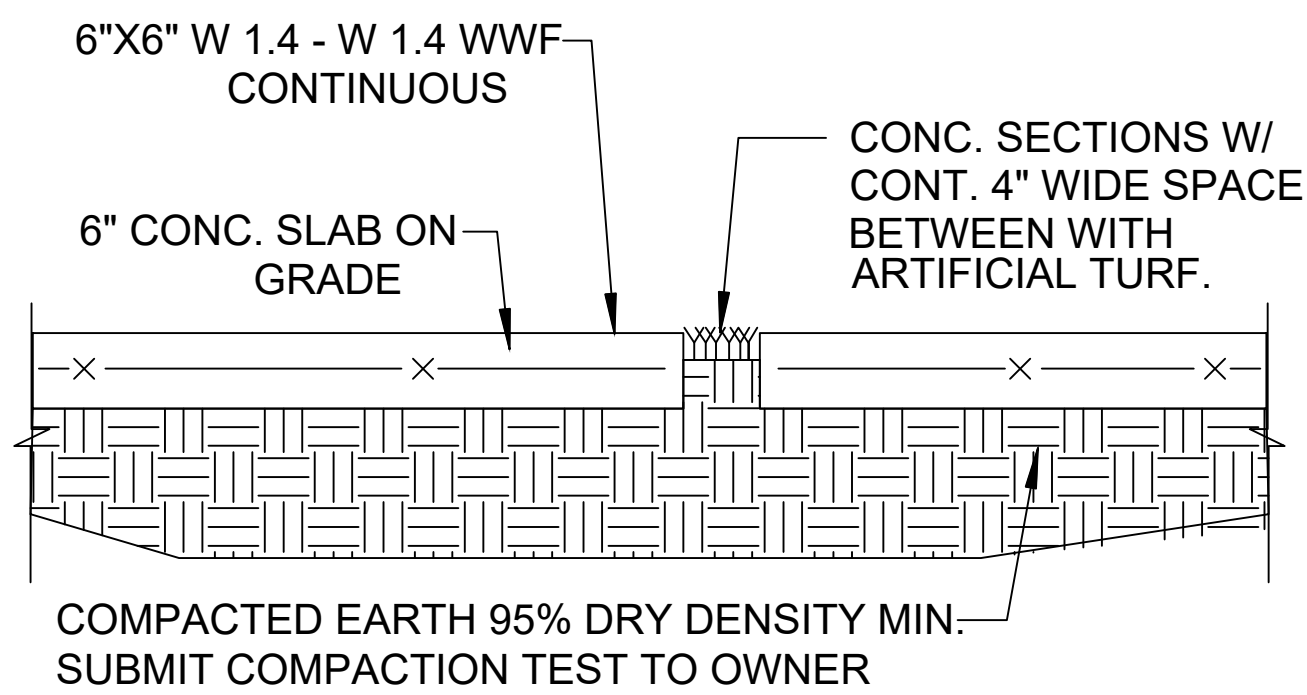
3 ALUMINUM GATE

NOT TO SCALE

4 ALUMINUM GATE

NOT TO SCALE

DRIVEWAY / WALKS AREA IN FRONT SETBACK



5 CONCRETE DRIVEWAY DETAIL

NOT TO SCALE

6 NOT USED

NOT TO SCALE

7 NOT USED

NOT TO SCALE

8 NOT USED

NOT TO SCALE

9 NOT USED

NOT TO SCALE

10 NOT USED

NOT TO SCALE

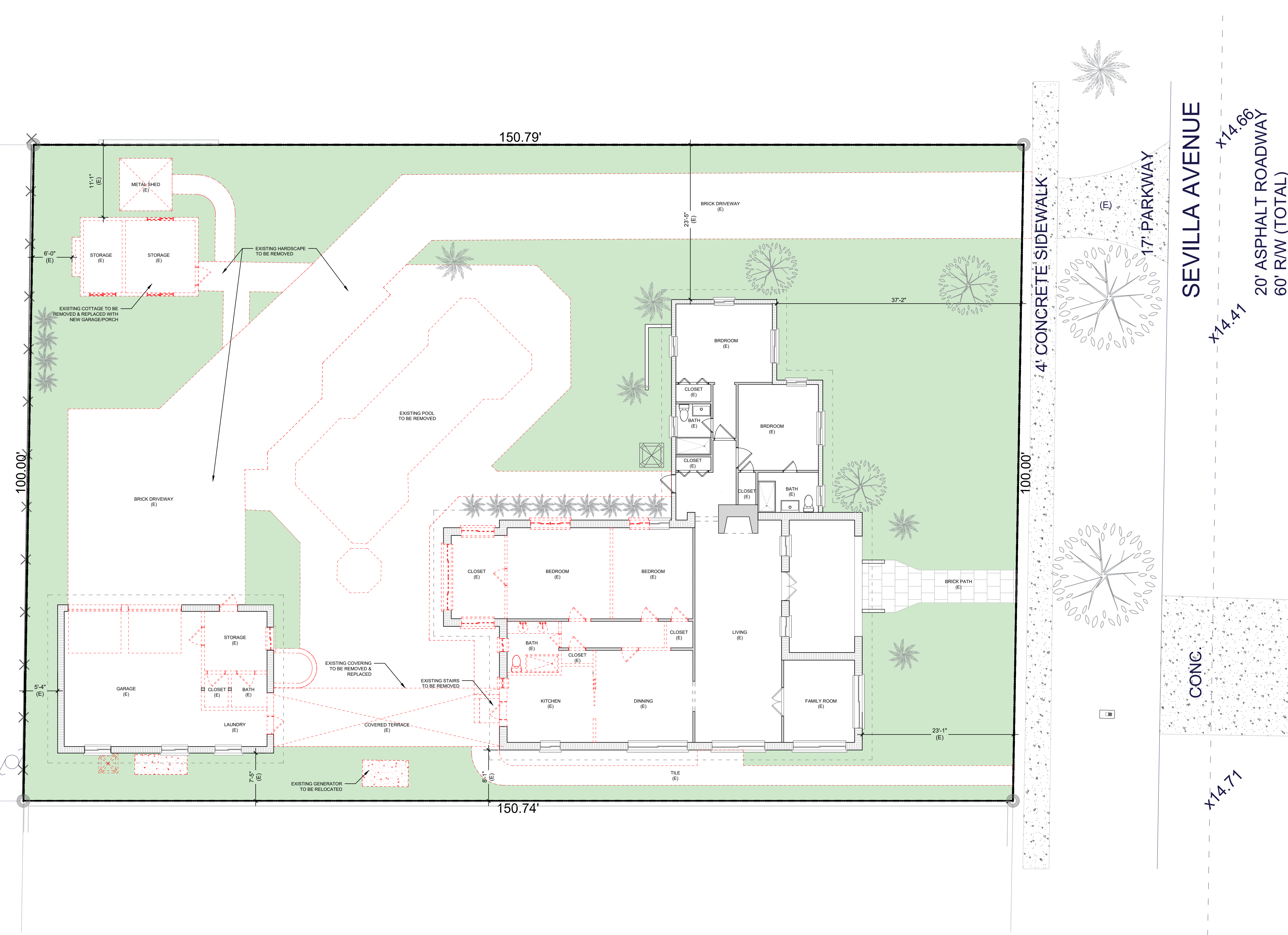
11 NOT USED

NOT TO SCALE

12 NOT USED

NOT TO SCALE

| No. | Description | Date |
|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |



GENERAL NOTES
DEMOLITION SCOPE OF WORK

1. CONTRACTOR TO REMOVE EXISTING FINISH FLOOR IN ALL ROOMS IN SCOPE OF WORK.
2. CONTRACTOR TO DEMOLISH AND REMOVE ALL FINISHES AND EQUIPMENT AT EXISTING LAUNDRY ROOM .
3. CONTRACTOR TO REMOVE EXISTING CEILING IN ALL ROOMS IN SCOPE OF WORK.
4. CONTRACTOR TO COORDINATE RE-LOCATION OF EXISTING ELECTRICAL WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS.
5. CONTRACTOR TO COORDINATE RE-LOCATION OF EXISTING WATER HEATER WITH ARCHITECTURAL AND PLUMBING DRAWINGS.

DEMOLITION SCOPE

| | |
|---------------|--|
| ARCHITECTURAL | REMOVE NOTED WALLS, CEILING, DOORS, MILLWORK AND FINISH FLOORING IN AREA OF WORK AS PER DEMOLITION LEGEND AND DEMOLITION PLAN. CONTRACTOR TO COMPLY WITH DEMOLITION GENERAL NOTES |
| STRUCTURAL | CONTRACTOR NOT TO DEMOLISH OR OTHERWISE REMOVE, DAMAGE OR IMPAIR STRUCTURAL ELEMENTS NOT CALLED OUT FOR DEMOLITION. CONTACT ARCHITECT IF ANY STRUCTURAL ELEMENTS ARISE DURING DEMOLITION |
| MECHANICAL | REMOVE ALL EXISTING DUCTS, VENTS, AND EQUIPMENT IN AREAS EFFECTED AS PER DEMOLITION LEGEND AND DEMOLITION PLAN |
| ELECTRICAL | REMOVE EXISTING ELECTRICAL OUTLETS, CONDUIT, AND EQUIPMENT IN AREAS EFFECTED AS PER DEMOLITION LEGEND AND DEMOLITION PLAN |
| PLUMBING | REMOVE EXISTING PLUMBING, LINES AND FIXTURES IN AREAS EFFECTED AS PER DEMOLITION LEGEND AND DEMOLITION PLAN |

DEMOLITION NOTES

1. CONTRACTOR SHALL PROTECT EXISTING WALL(S), FLOOR(S), STRUCTURE(S), MATERIAL(S) AND ITEM(S) IDENTIFIED AS REMAINING AT ALL TIMES FROM ANY DAMAGE OR REMOVAL
2. WALL(S), FLOOR(S), STRUCTURE(S), MATERIAL(S) AND ITEM(S) IDENTIFIED AS REMAINING, WHEN CUT, DAMAGED, OR OTHERWISE DISTURBED DURING DEMOLITION, INSTALLATION OR AT ANY TIME DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE RESTORED TO ORIGINAL CONDITION OR REPLACED AT THE CONTRACTOR'S EXPENSE
3. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND BUILDING MATERIALS AS WELL AS THE PROPER DISPOSAL OF ALL MATERIALS INCLUDING ANY THAT ARE/CAN BE IDENTIFIED AS "HAZARDOUS"
4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND ELECTRICAL, WATER, SEWER AND GAS LINES THAT ARE IN, AND LEAD INTO THE PROPERTY, BEFORE COMMENCEMENT OF DEMOLITION
5. CONTRACTOR TO COORDINATE THE LOCATION OF EXISTING UNDERGROUND UTILITIES WITH WWW.CALLSUNSHINE.COM
6. CONTRACTOR TO CAP OFF OR OTHERWISE CUT SERVICE TO PROPERTY AS PER FLORIDA BUILDING CODE PRIOR TO ANY DEMOLITION
7. CONTRACTOR SHALL VERIFY WITH THE ARCHITECT THE REMOVAL OF ANY STRUCTURAL COMPONENT THAT MAY BE IDENTIFIED FOR DEMOLITION

DEMOLITION EROSION CONTROL NOTES

1. THE PURPOSE OF EROSION CONTROL IS TO PREVENT POLLUTION OF BODIES OF WATER ON OR ADJACENT TO THE PROJECT SITE. IN ADDITION, EROSION CONTROL SHALL PREVENT DAMAGE TO ADJACENT PROPERTY, AIRPORT PROPERTY AND WORK IN PROGRESS.
2. ALL EROSION AND SILTATION MEASURES ARE TO BE PLACED PRIOR TO CONSTRUCTION.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSPECT ALL EROSION CONTROL DEVICES PERIODICALLY AND AFTER EVERY RAINFALL. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
4. DURING CONSTRUCTION, ALL IN PAVEMENT STORM DRAIN INLETS WILL BE PROTECTED BY SILT TRAPS, MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS. REFER TO THE TYPICAL DRAINAGE INLET SEDIMENTATION PROTECTION DETAIL THIS SHEET AND THE OTHER OPTIONS SHOWN ON THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
5. ALL CONSTRUCTION DISCHARGE WATER SHALL BE ADEQUATELY FILTERED TO REMOVE SILT PRIOR TO DISCHARGE INTO WATERWAYS AND WETLANDS.
6. ALL STREAM CROSSINGS AND STREAM DIVERSIONS REQUIRE ENVIRONMENTAL APPROVAL PRIOR TO ANY IN-STREAM CONSTRUCTION

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V.A.L.E.N.T
 ARCHITECT

14668 NW 82nd AVE.
 MIAMI LAKES, FL 33196
 (305) 439-6266

STATE OF FLORIDA
 REGISTERED ARCHITECT

PATRICK STEPHEN VALENT
 RA # 13834

PROJECT INFORMATION

HISTORIC REVIEW

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 1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

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| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME
 DEMOLITION PLAN

SHEET NUMBER
D-1.0

N

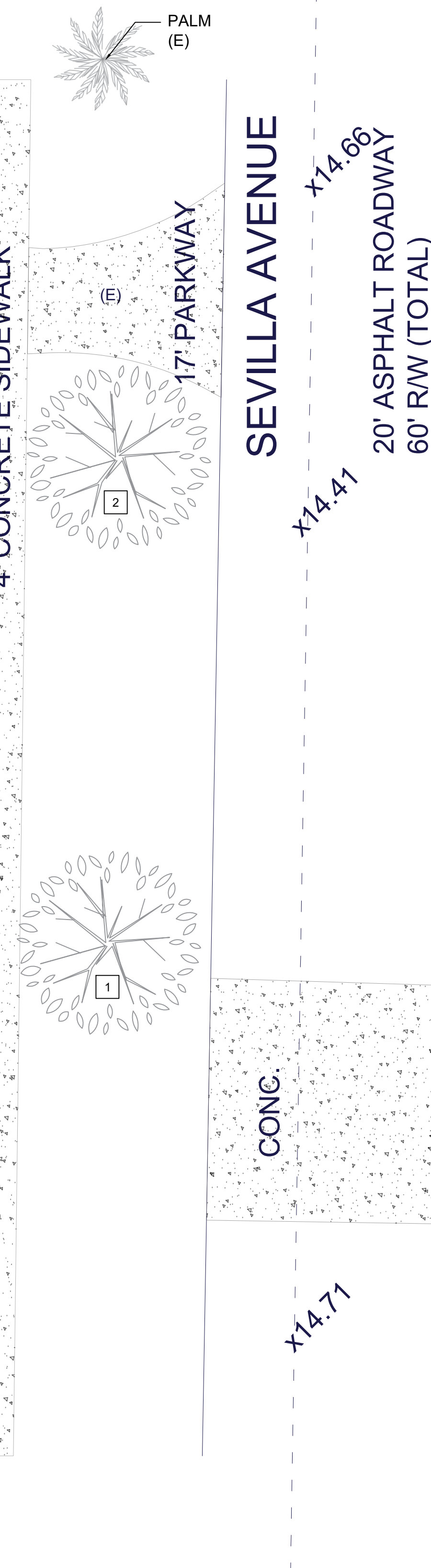
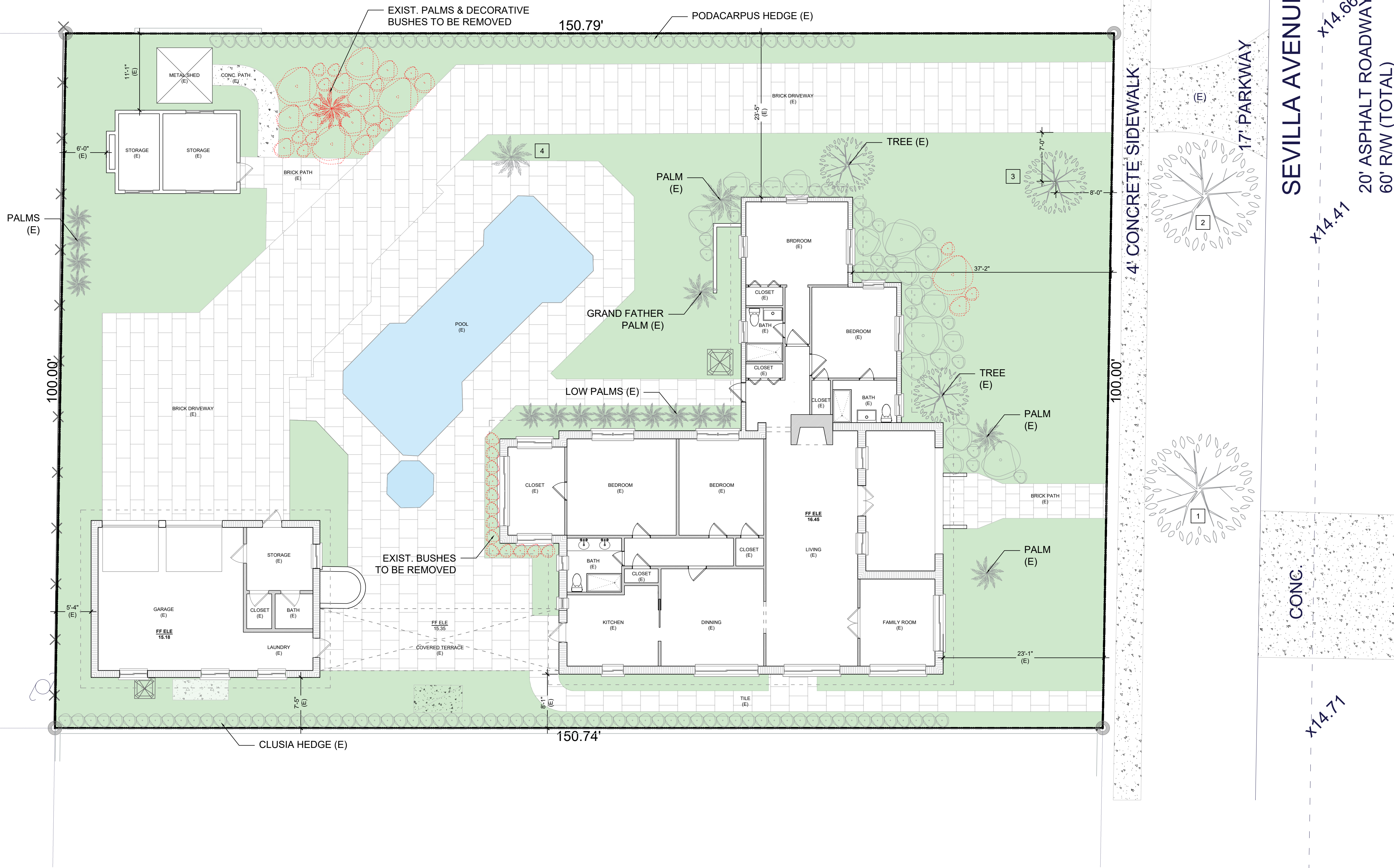
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 D-1.0

DEMOLITION SITE PLAN

SCALE : 1/8"=1'-0"

| EXISTING TREE LEGEND | | | | |
|----------------------|-------------|-----------------|--------------|--------------------|
| MK | SPECIES | DBH (in inches) | HT (in feet) | ACTION |
| 1 | MAHOGANY | 48 | 30 | EXISTING TO REMAIN |
| 2 | LOQUAT TREE | 65 | 30 | EXISTING TO REMAIN |
| 3 | LYCHEE TREE | 12 | 20 | EXISTING TO REMAIN |
| 4 | ROYAL PALM | 14 | 30 | EXISTING TO REMAIN |

| TREE SYMBOL LEGEND | |
|--------------------|--|
| | EXISTING TREE TO REMAIN (REFER TO SCHEDULE) |
| | EXISTING PALM TO REMAIN (REFER TO SCHEDULE) |
| | EXISTING SHRUB TO REMAIN (REFER TO SCHEDULE) |
| | EXISTING TREE TO BE REMOVED (REFER TO SCHEDULE) |
| | EXISTING PALM TO BE REMOVED (REFER TO SCHEDULE) |
| | EXISTING SHRUB TO BE REMOVED (REFER TO SCHEDULE) |



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RA # 13834

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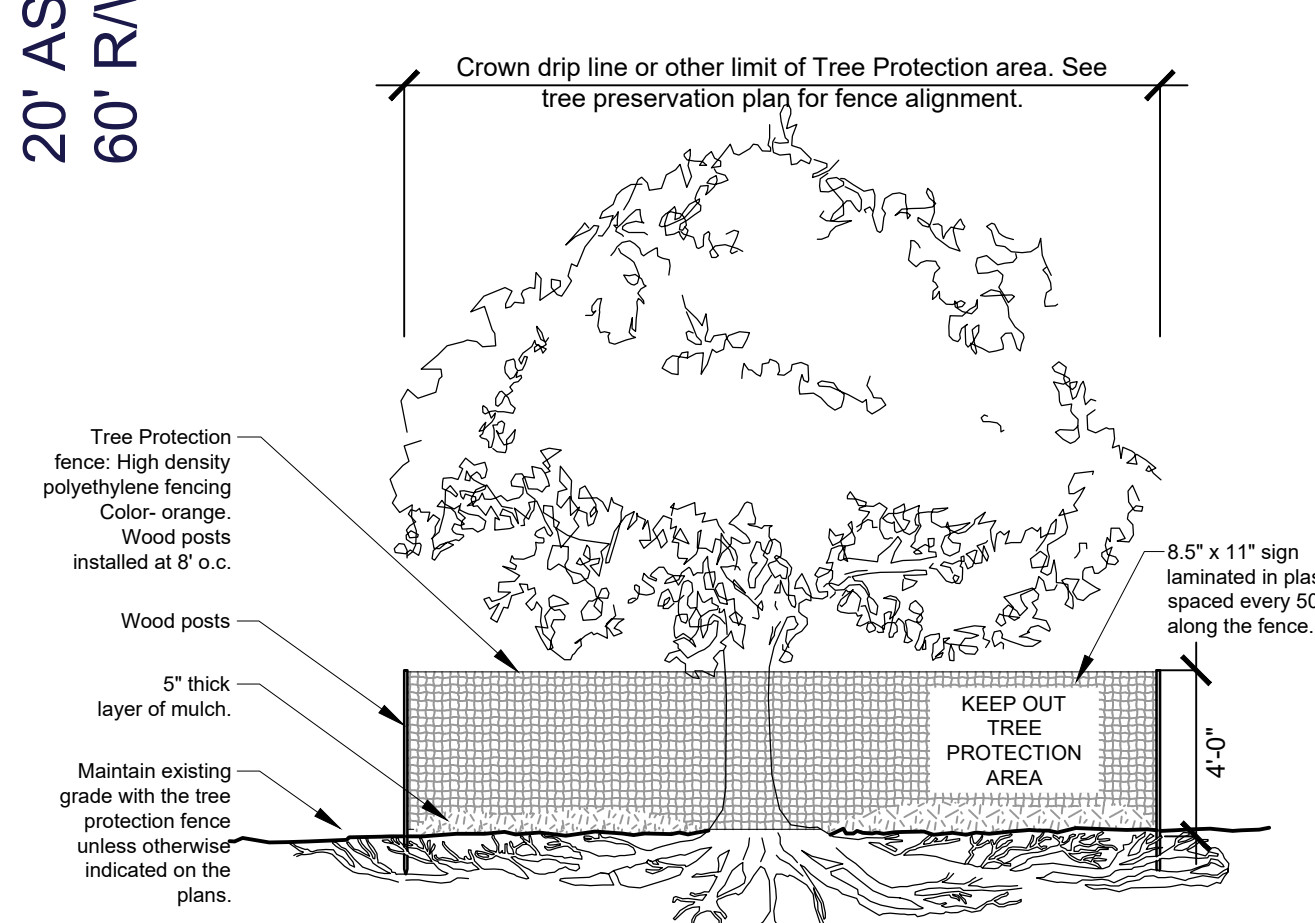
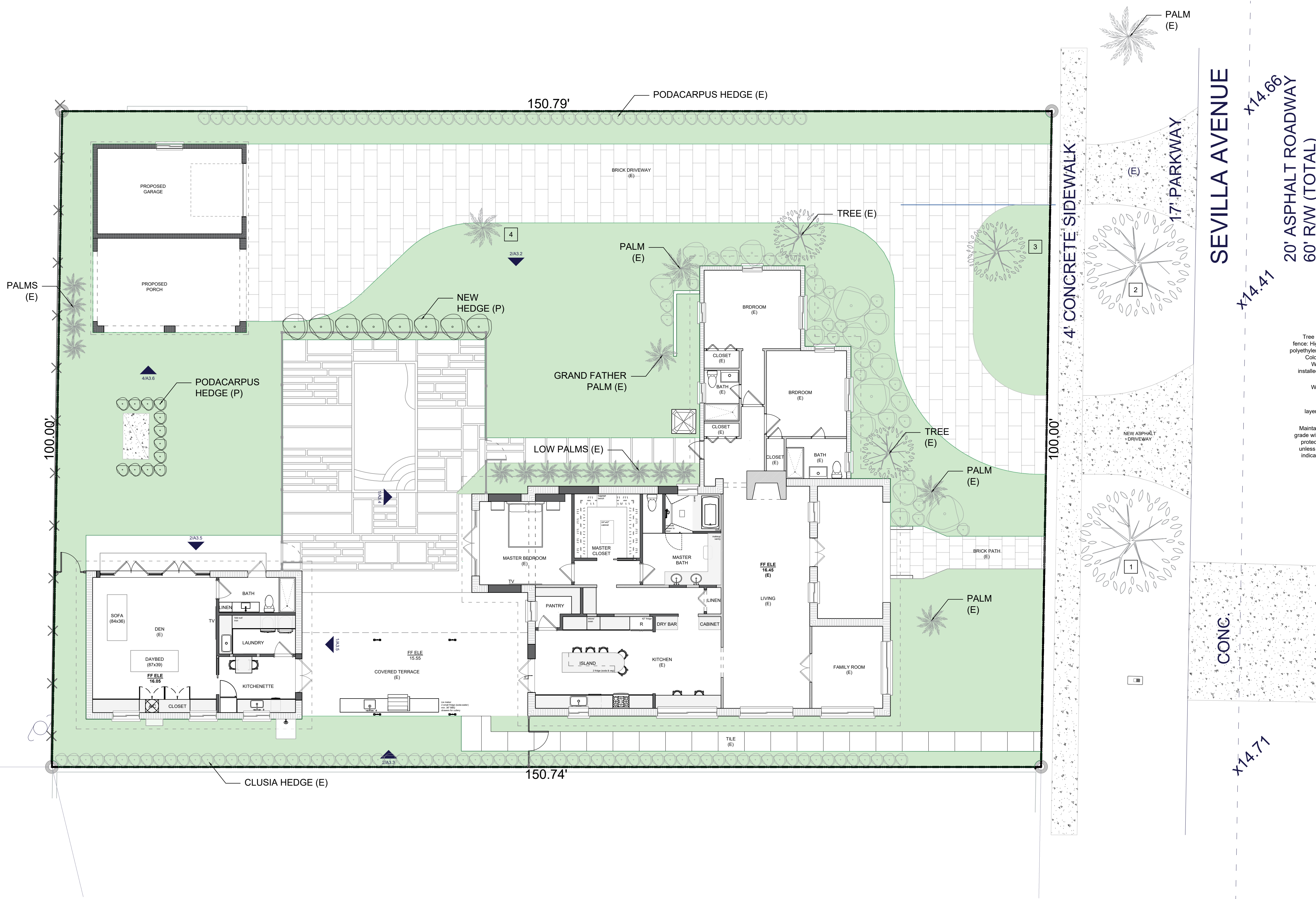
LANDSCAPING PLAN_EXISTING
SCALE : 1/8"=1'-0"

SHEET NAME
EXISTING LANDSCAPE PLAN
SHEET NUMBER
L-1.0

| LANDSCAPE REQUIREMENTS | | |
|------------------------|---|--------------|
| DESCRIPTION | REQUIRED | PROVIDED |
| STREET TREES | 100 FT / 30 = 3 TREES (1 PER 30 LF) | 3 TREES |
| SITE TREES | 15,100 SF / 5000 = 3 TREES (1 PER 5000 SF) | 12 TREES |
| HEDGES | 15,100 SF / 5000 = 3 3 x 15 = 45 HEDGES (15 HEDGES PER 5000 SF) | 180 + HEDGES |

* TWO PALMS = 1 TREE

| TREE SYMBOL LEGEND | |
|--------------------|----------------|
| | EXISTING TREE |
| | EXISTING PALM |
| | EXISTING SHRUB |
| | PROPOSED SHRUB |



TREE PROTECTION

NTS

- Notes:
- 1- See specifications for additional tree protection requirements.
 - 2- If there is no existing irrigation, see specifications for watering requirements.
 - 3- No pruning shall be performed except by approved arborist.
 - 4- No equipment shall operate inside the protective fencing including during fence installation and removal.
 - 5- See site preparation plan for any modifications with the Tree Protection area.

VALENT ARCHITECT

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DISCLAIMER: NO OTHER PROFESSIONAL TRANSDISCIPLINE OR ENGINEERING INVOLVED IN ANY PORTION OF THESE DOCUMENTS TO WHICH OR IN WHICH ANY OTHER PROFESSIONAL SEAL OR LICENSED PROFESSIONAL ENGINEER OR ARCHITECT IS REQUIRED. ALL WORK SHOWN IS THE PROPERTY OF VALENT ARCHITECT. ALL OTHER PROFESSIONAL ENGINEERS, ARCHITECTS, AND OTHER PROFESSIONALS ARE TO BE CONSULTED TO OBTAIN NECESSARY PERMITS AND APPROVALS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS BEFORE CONSTRUCTION. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS BEFORE CONSTRUCTION.

PROFESSIONAL SEAL

PATRICK VALENT
RA # 13834

THIS SEAL HAS BEEN REGISTERED WITH THE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS OF THE STATE OF FLORIDA. IT IS VALID FOR THE PRACTICE OF ARCHITECTURE IN THE STATE OF FLORIDA. IT IS NOT VALID FOR THE PRACTICE OF ARCHITECTURE IN ANY OTHER STATE. IT IS NOT VALID FOR THE PRACTICE OF ARCHITECTURE IN ANY OTHER COUNTRY. IT IS NOT VALID FOR THE PRACTICE OF ARCHITECTURE IN ANY OTHER JURISDICTION.

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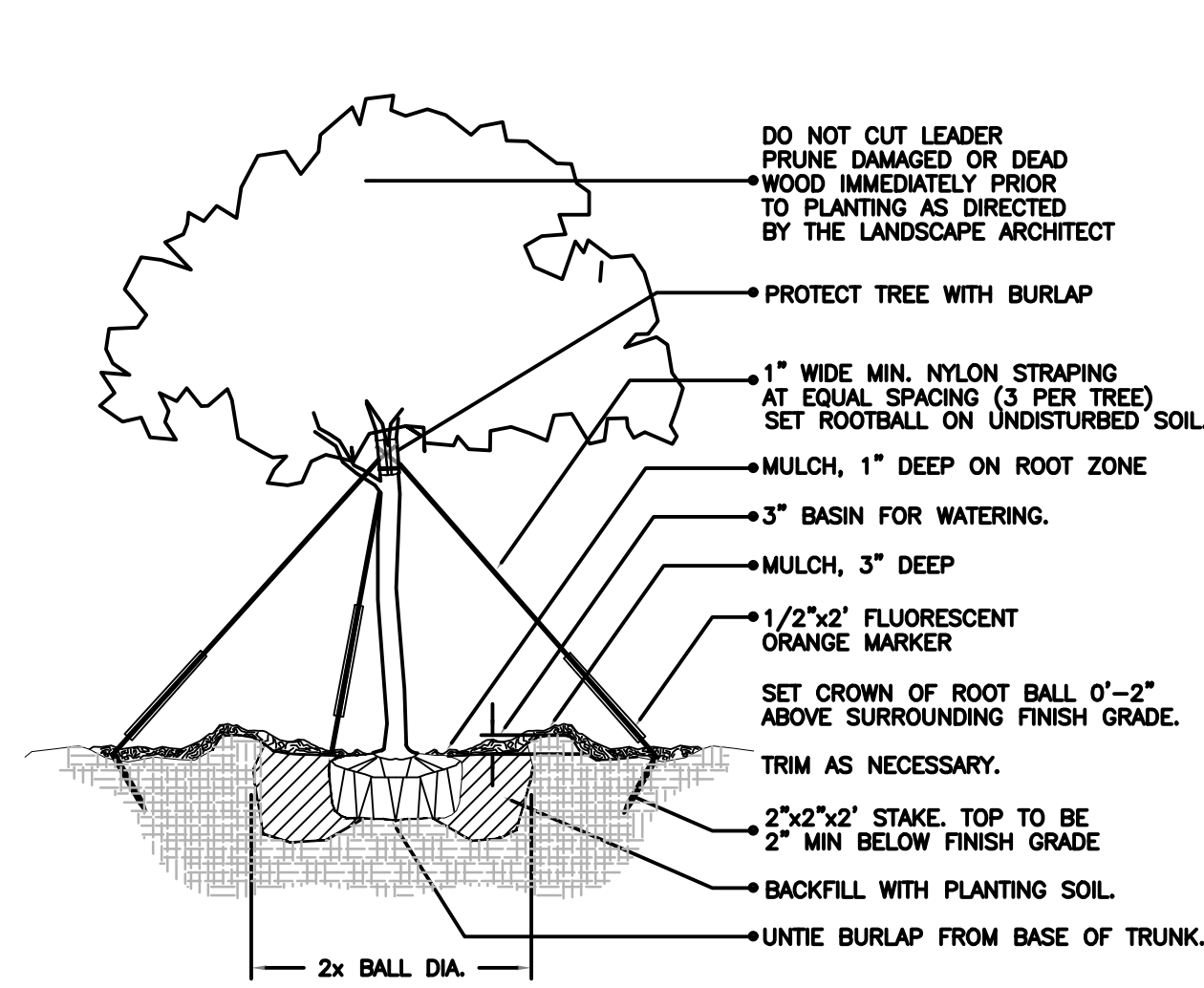
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L-1.1

LANDSCAPING PLAN_PROPOSED

SCALE : 1/8"=1'-0"

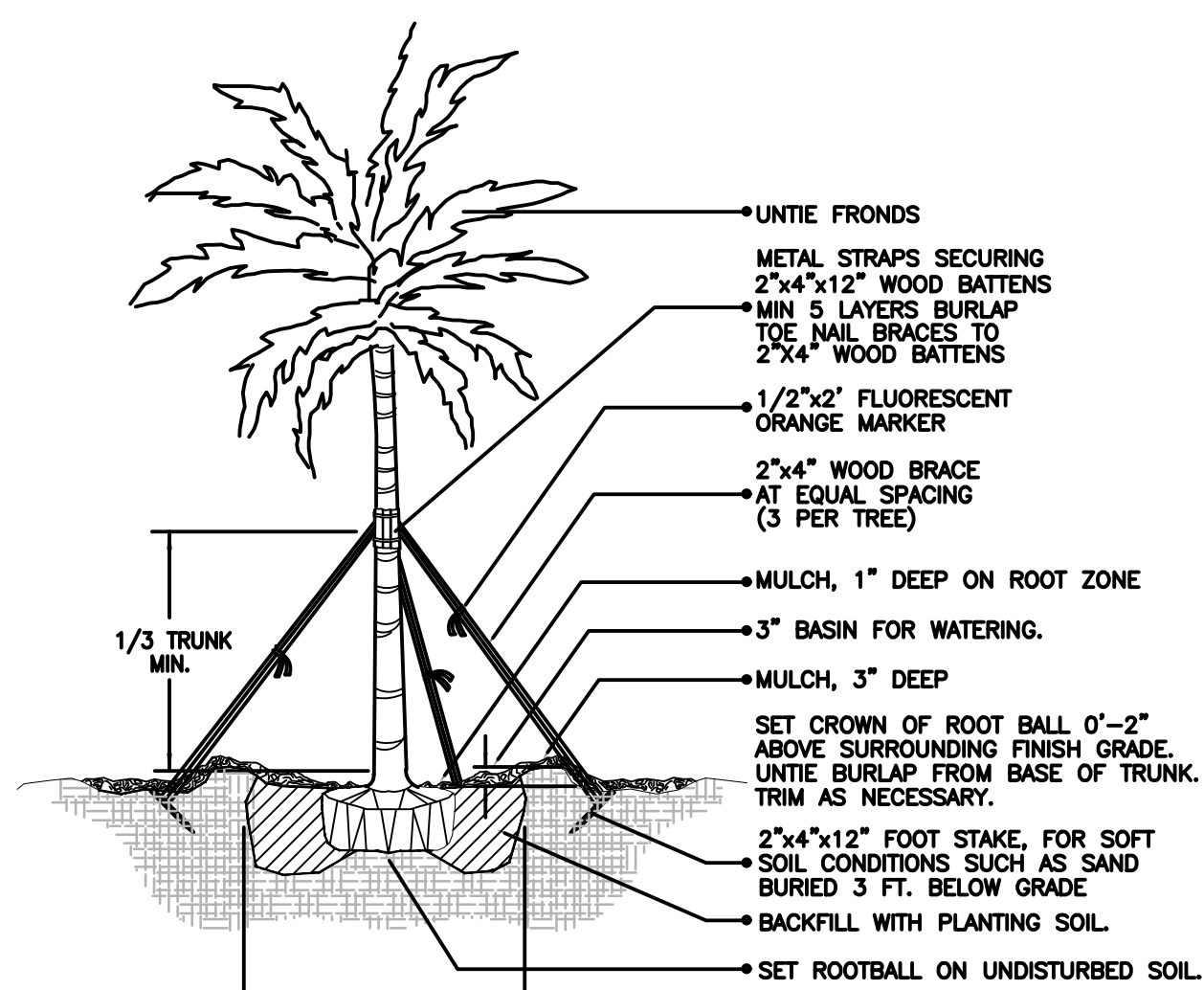
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PROPOSED LANDSCAPE PLAN

SHEET NUMBER
L-1.1



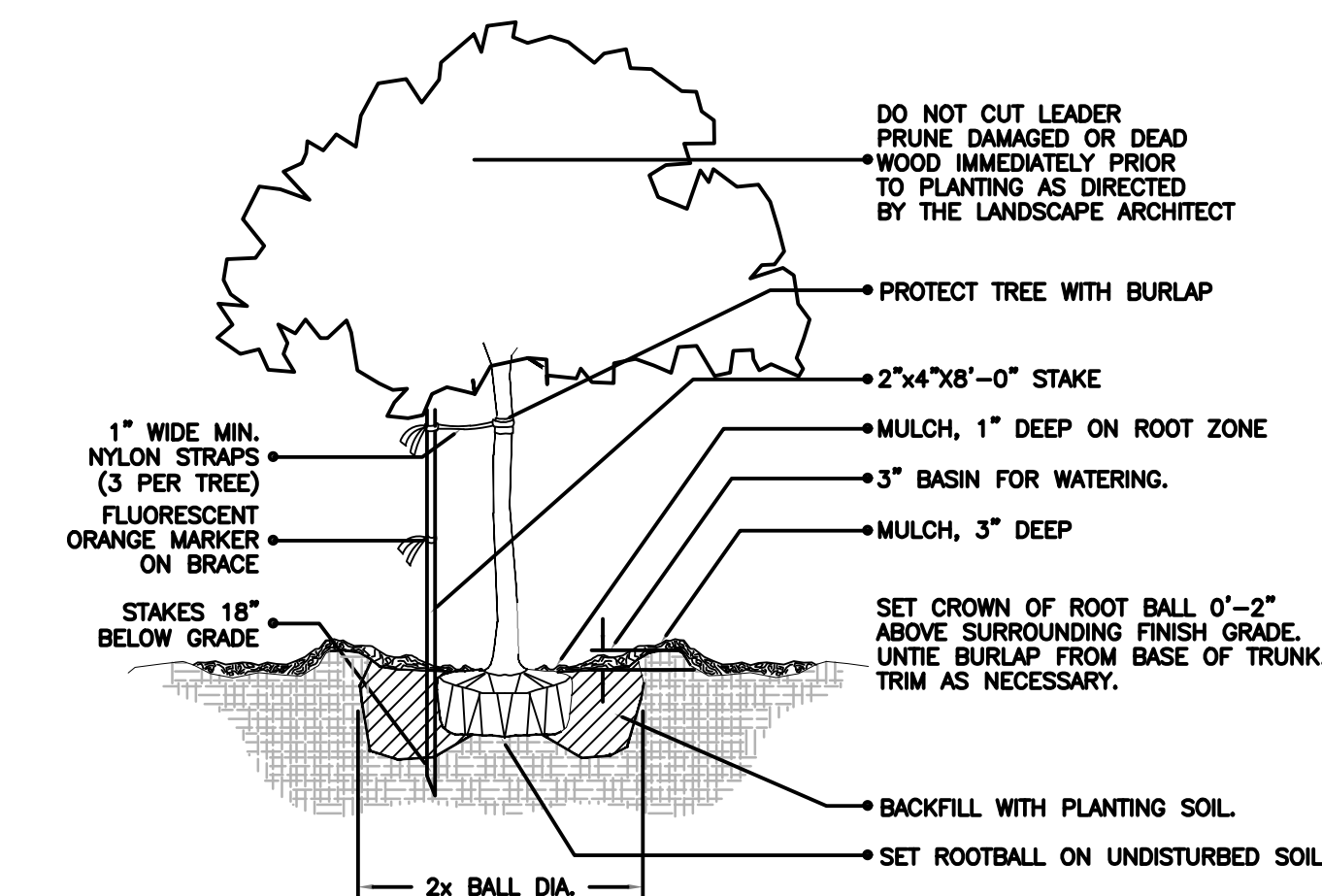
(2" cal. and over)
LARGE TREE PLANTING DETAIL

NTS.



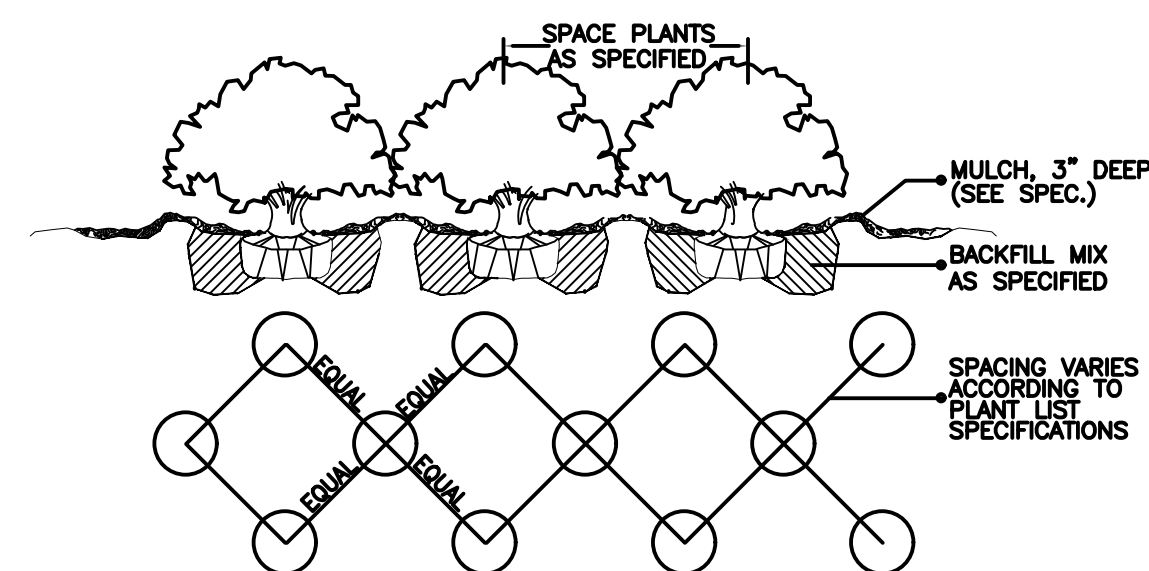
LARGE PALM PLANTING DETAIL

NTS.



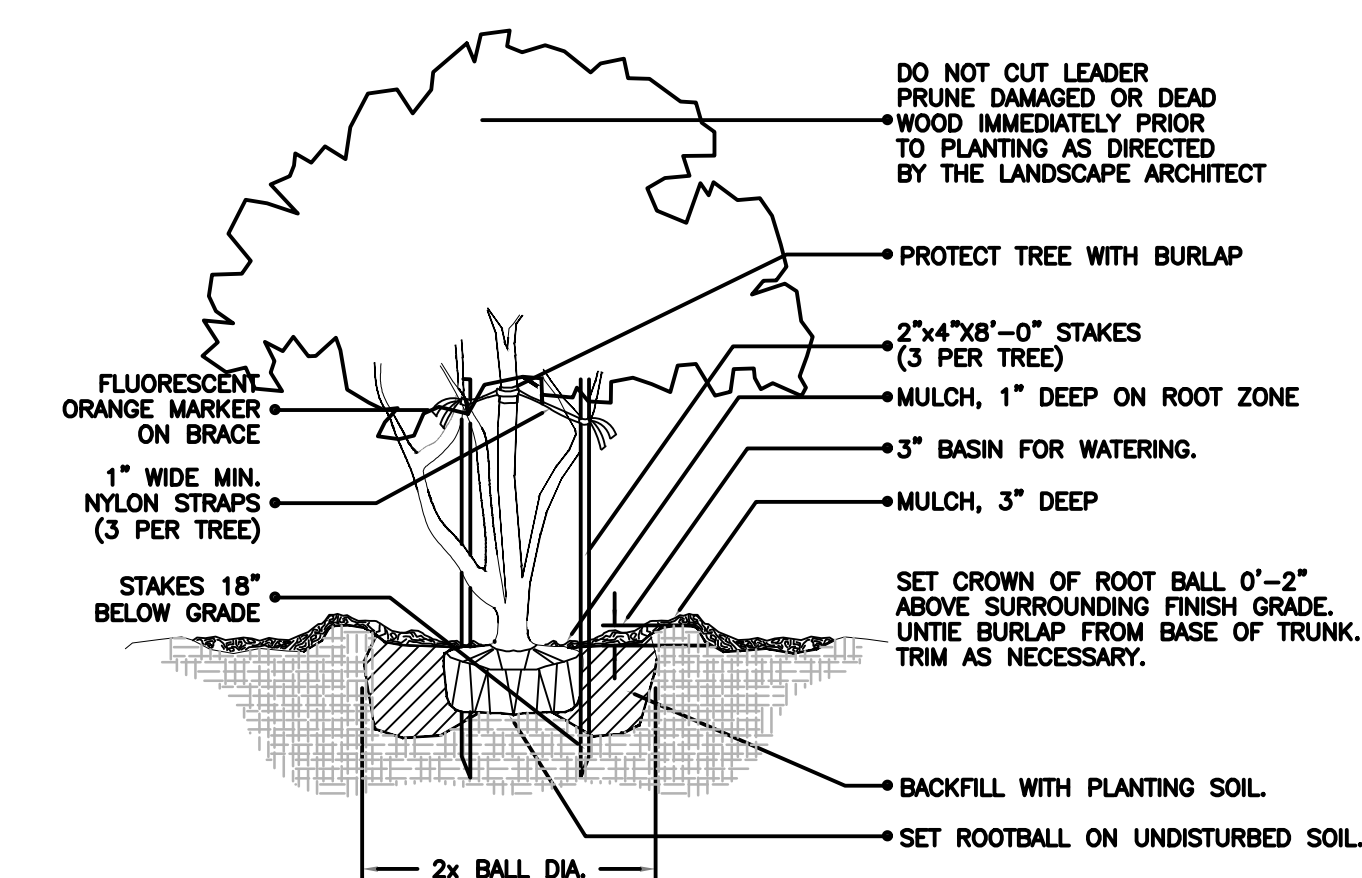
(2" cal. and under)
SMALL TREE PLANTING DETAIL

NTS.



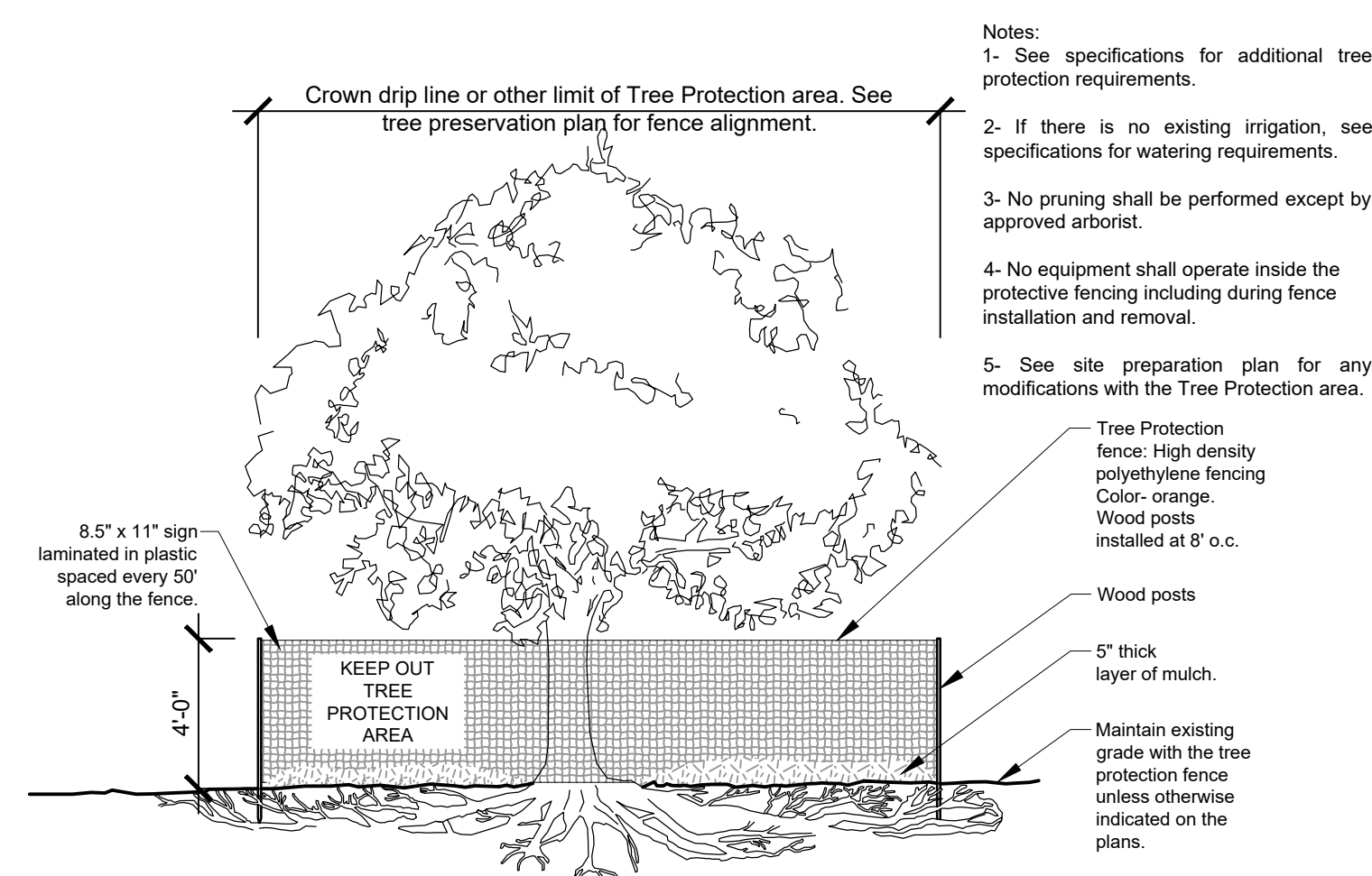
SHRUB / GROUNDCOVER SPACING / PLANTING DETAIL

NTS.



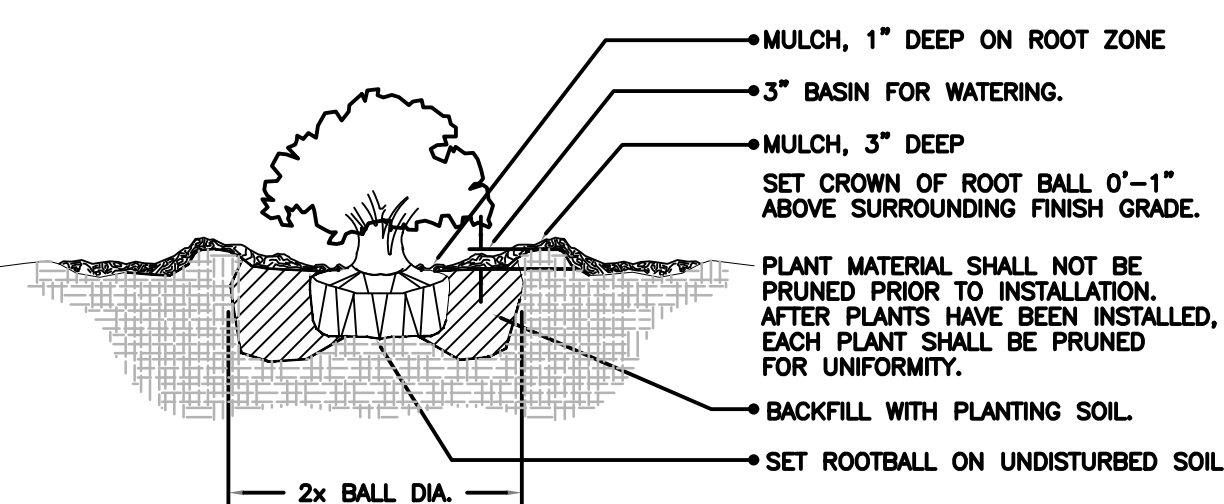
MULTI-TRUNK AND SMALL TREE (2" cal. and under) PLANTING DETAIL

NTS.



TREE PROTECTION

NTS.



SHRUB PLANTING DETAIL

NTS.

- PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
- ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE OF THE SIZES AS SPECIFIED IN THE PLANT LIST.
- QUANTITIES LISTED ON THE THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES. MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS.
- WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE.
- ALL PLANTING BEDS AND WATER BASINS FOR TREES SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF SHREDDED EUCALYPTUS OR FLORIMULCH GRADE 'B' OR BETTER.
- THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.
- SOD: ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY.
- PLANTING SOIL: ALL TREES AND SHRUBS SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL. MINIMUM TOPSOIL SHALL BE 6" FOR GROUNDCOVER AREAS AND 2" FOR SODDED GRASS AREAS.
- PLANTING SOIL TO BE A WEED-FREE MIXTURE OF 50% SAND, 40% MUCK, AND 10% CANADIAN PEAT. ALL PLANT MATERIAL TO RECEIVE PLANTING SOIL AS PER DETAILS.
- CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENTS CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO NOTIFY "SUNSHINE" AT 1-800-638-4097 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.
- AFTER FINAL GRADE, AREA TO BE RAKED TO 6" DEPTH AND ALL ROCK AND FOREIGN INORGANIC MATERIALS REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
- ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT OR DAMAGE UTILITIES OR IMPROVEMENTS (SEE NOTE 8).
- NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED. ALL PLANTS TO BE PLANTED AT THE NURSERY GRADE OR SLIGHTLY HIGHER.
- CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT PERIOD.
- FERTILIZER FOR GRASS AREAS SHALL BE NPK 16-4-8 @ 12.5 LBS/1000 S.F. OR 545 LBS/ACRE. NITROGEN 50% SLOW RELEASE FORM & FERTILIZER TO INCLUDE SECONDARY MICRONUTRIENTS.
- SUBSTITUTIONS AND CHANGES: ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT, THE OWNER AND GOVERNING MUNICIPALITY.
- WATERING: ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND AS NEEDED THEREAFTER FOR A PERIOD OF 2 MONTHS.
- ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 45 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 75 MPH, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS. THE OWNER MAY, AT ITS DISCRETION, ADD OR DELETE FROM THE MATERIALS UTILIZING THE UNIT PRICE BREAKDOWN SUBMITTED.
- NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED.
- PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.
- ROOT-PRUNE ALL TREES A MINIMUM OF (8) WEEKS PRIOR TO PLANTING.
- ALL LANDSCAPED AREAS WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND 100% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SERVICES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE SHALL BE INSTALLED TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.
- ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS (SEE PLAN) SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.
- NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.
- GROUND COVER PLANTINGS SHALL PROVIDE NOT LESS THAN 50 PERCENT COVERAGE IMMEDIATELY UPON PLANTING AND 100 PERCENT COVERAGE WITHIN 6 MONTHS AFTER PLANTING.
- TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND EXISTING TREES THAT MAY BE IMPACTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO LANDSCAPE DETAIL FOR TREE PRESERVATION BARRICADE FENCING.
- IN ALL PEDESTRIAN AREAS, ALL TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE AT AN 8 FOOT CLEAR TRUNK.
- ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 10' FROM ANY FIRE HYDRANT.
- TREE SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS 'ESTABLISHED.' THIS IS TO BE DONE SIX MONTHS FOR SHADE TREES AND ONE YEAR FOR PALMS.

1
L-2.0

LANDSCAPE DETAIL + NOTES

SCALE :1/8"=1'-0"

PREPARED BY
VALENT ARCHITECT

14688 NW 82nd AVE.
MIAMI LAKES, FL 33196
(305) 439-6266

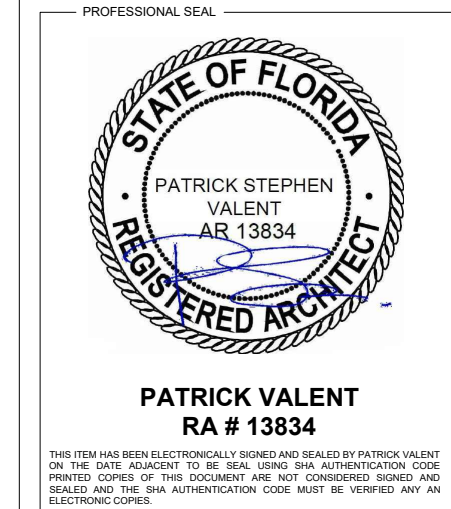
STATE OF FLORIDA
REGISTERED ARCHITECT
PATRICK STEPHEN VALENT
ARS 13834
PATRICK VALENT
RA # 13834

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1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

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| 1 | HISTORIC REVIEW | 04-01-26 |
| SHEET NAME LANDSCAPE DETAIL & NOTES | | |
| SHEET NUMBER L-2.0 | | |

I, THE ARCHITECT, HEREBY CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF FLORIDA AND THAT I AM THE AUTHOR OF THE DESIGN AND CONSTRUCTION DOCUMENTS HEREON. I AM NOT PROVIDING ANY PROFESSIONAL SERVICES OTHER THAN ARCHITECTURAL SERVICES. I AM NOT PROVIDING ANY ENGINEERING, MECHANICAL, ELECTRICAL, OR PLUMBING SERVICES. I AM NOT PROVIDING ANY LANDSCAPE ARCHITECTURE SERVICES. I AM NOT PROVIDING ANY INTERIOR DESIGN SERVICES. I AM NOT PROVIDING ANY OTHER PROFESSIONAL SERVICES.



PREPARED FOR:

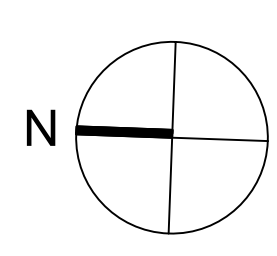
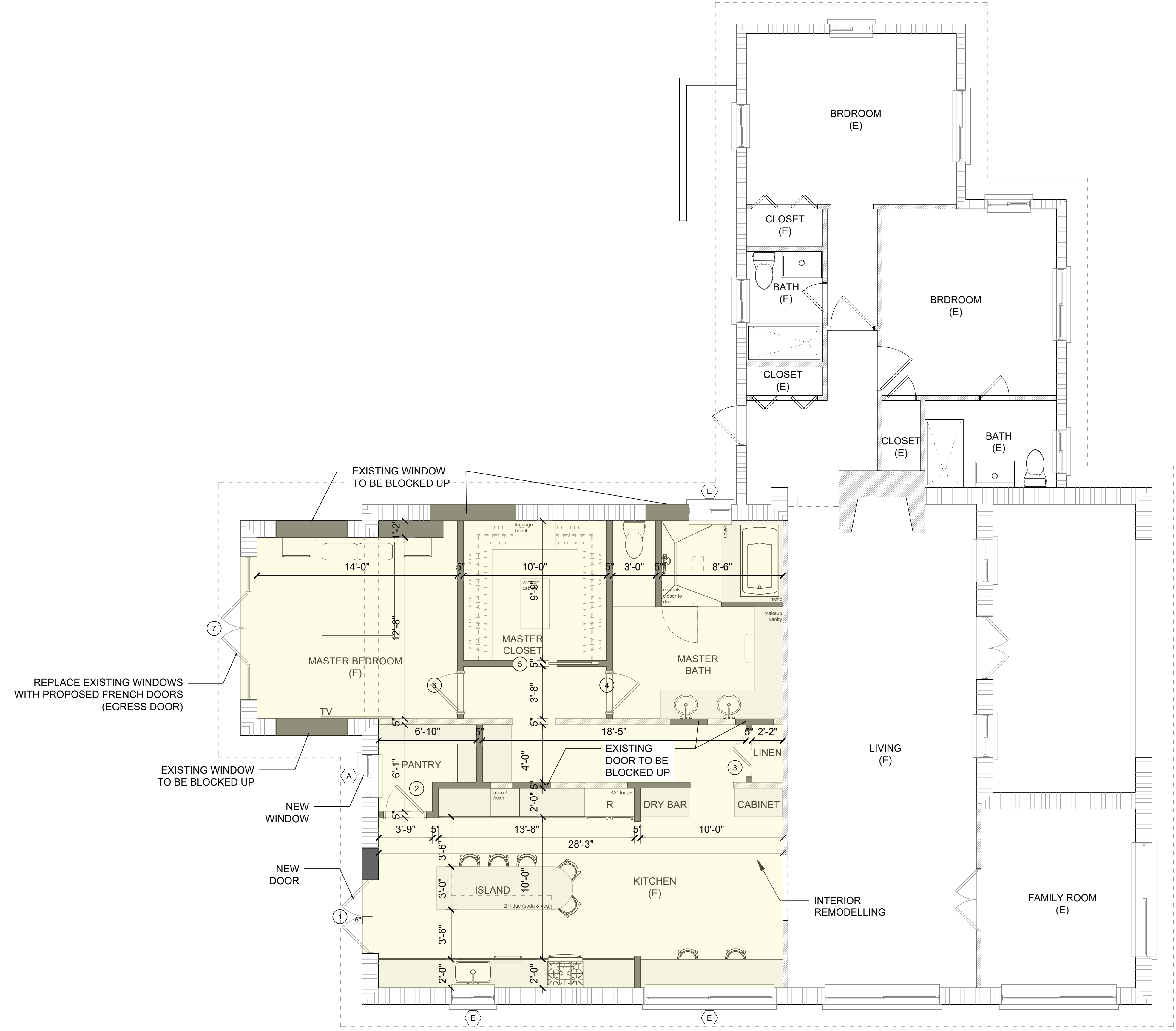
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PROPOSED INTERIOR
 REMODELING
 FLOOR PLAN

SHEET NUMBER
A-1.0

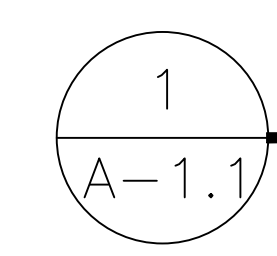
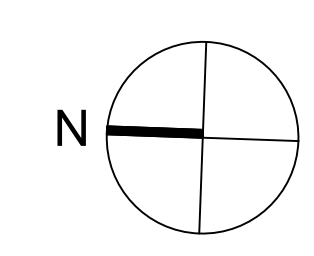
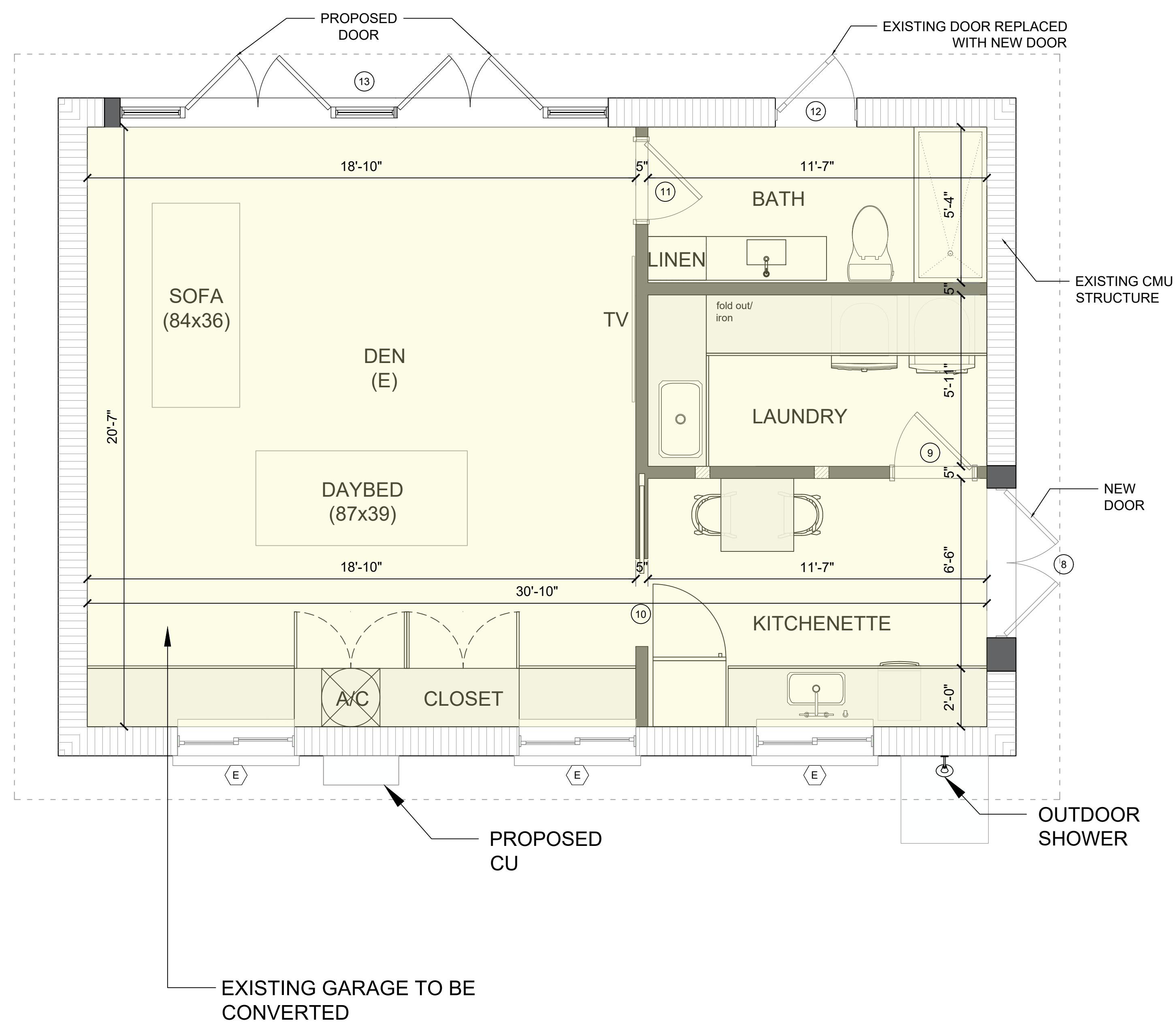


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INTERIOR REMODELING PLAN_PROPOSED

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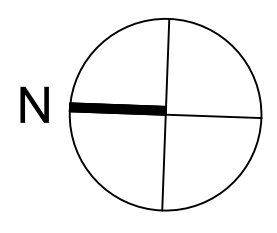
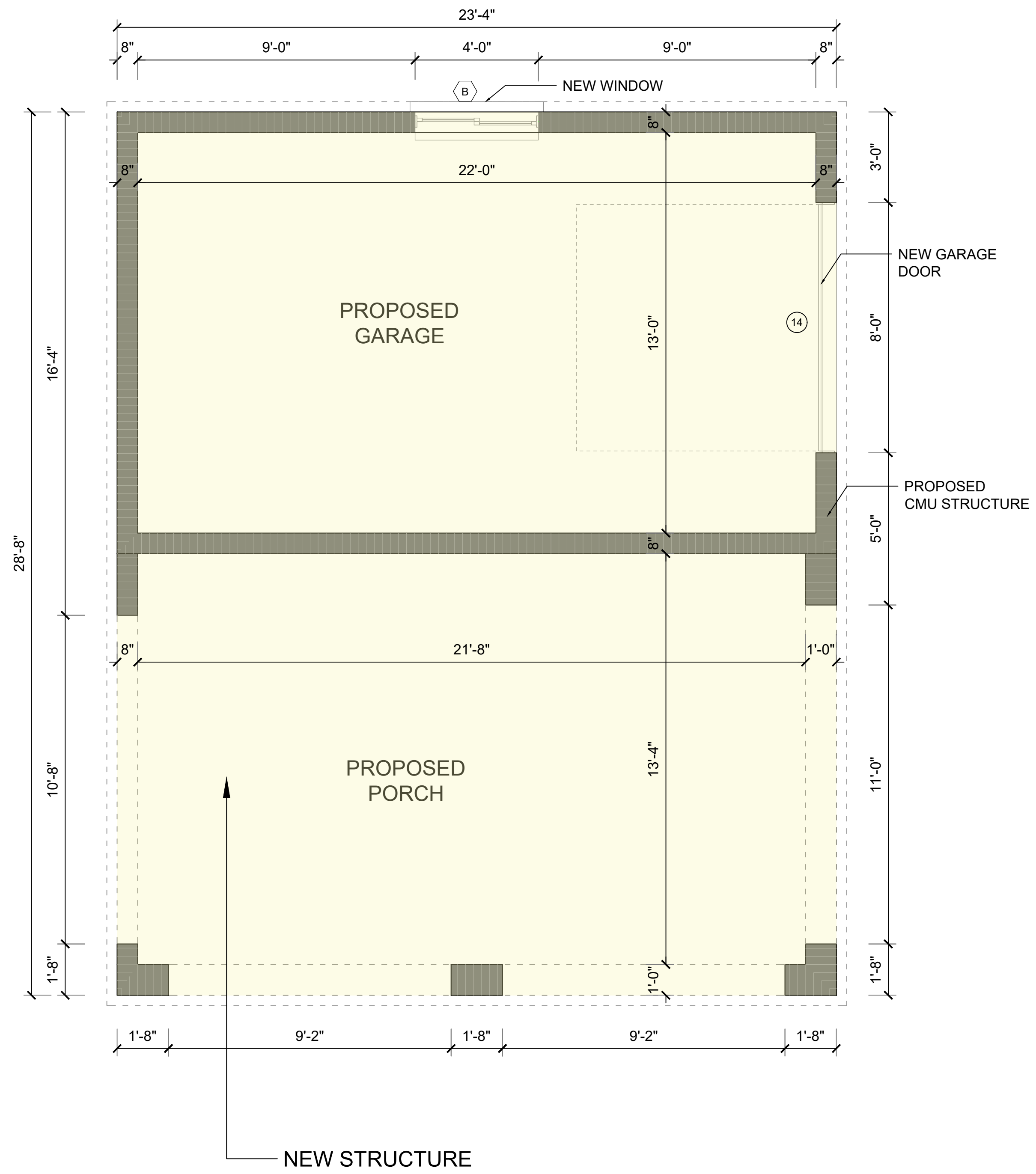
| No. | Description | Date |
|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |



GARAGE CONVERSION FLOOR PLAN_PROPOSED

SCALE :3/8"=1'-0"

| No. | Description | Date |
|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |

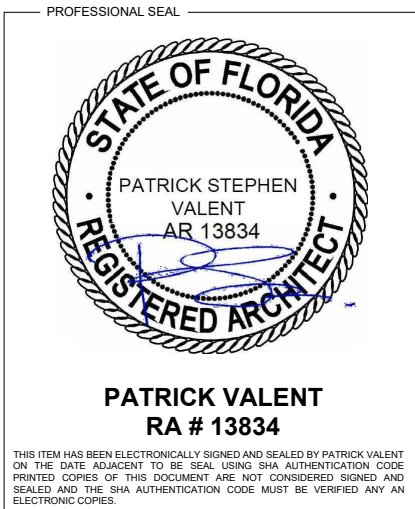


1
 A-1.2

GARAGE/ PORCH FLOOR PLAN_PROPOSED

SCALE :3/8"=1'-0"

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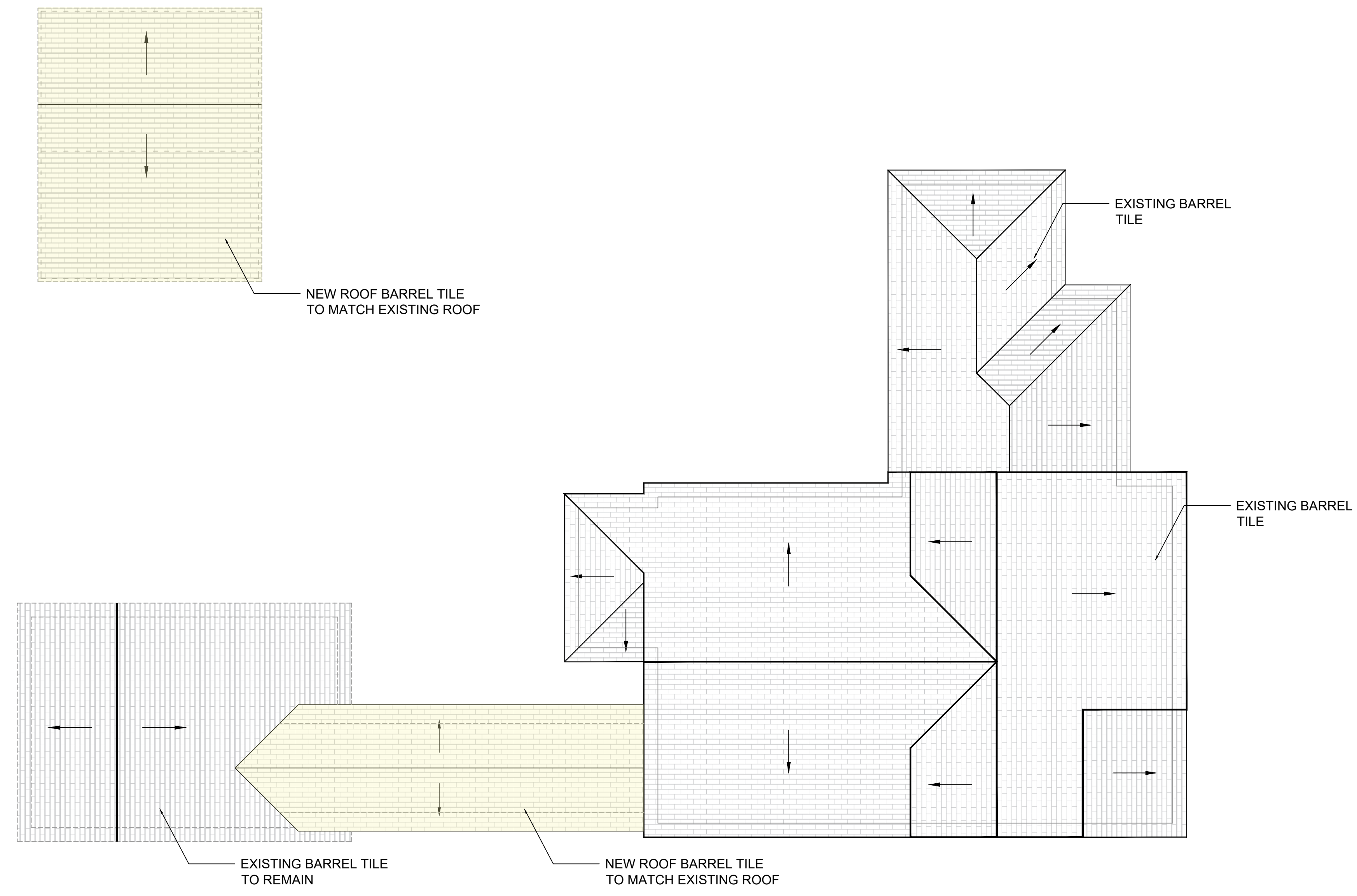
PROJECT INFORMATION:

HISTORIC REVIEW
PROPOSED REMODELING
 1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

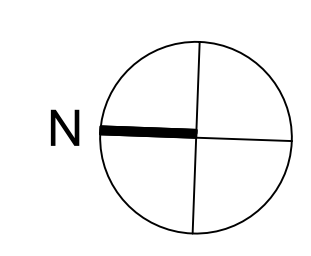
| No. | Description | Date |
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| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME:
PROPOSED ROOF PLAN

SHEET NUMBER:
A-2.1

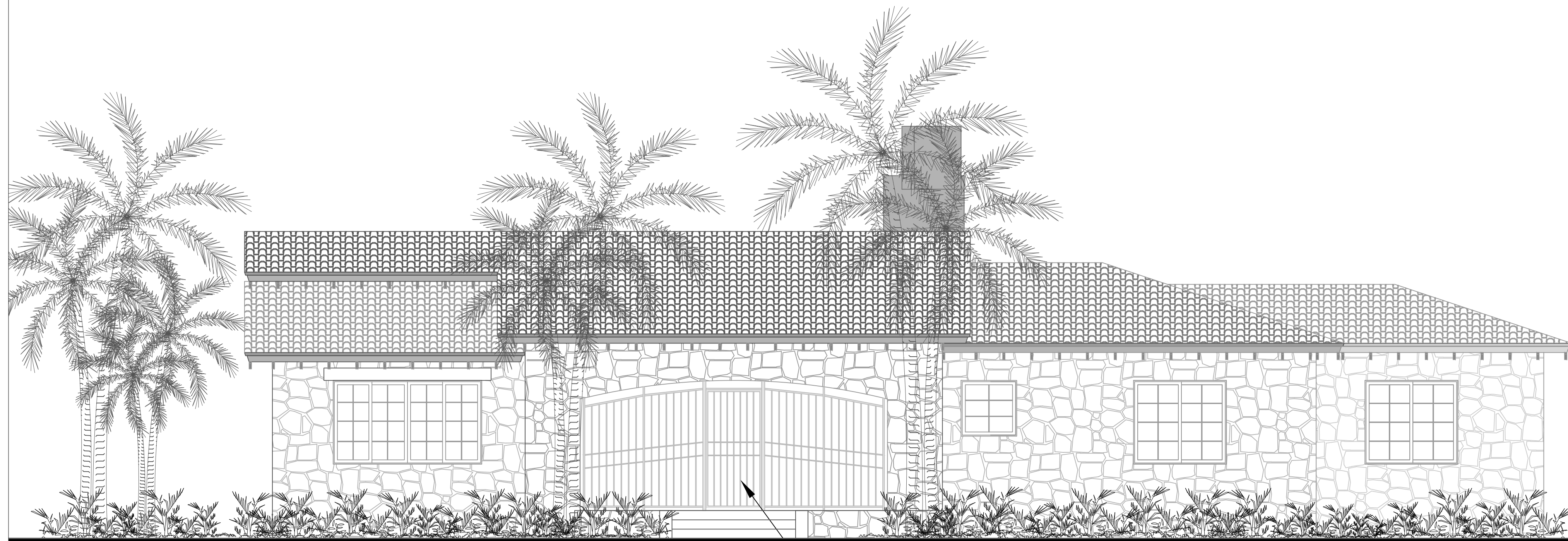


NOTE:
 ROOFING UNDER SEPARATE PERMIT.



1
 A-2.1

ROOF PLAN_PROPOSED
 SCALE : 1/4"=1'-0"



EXISTING STEEL FENCE
TO BE REMOVED

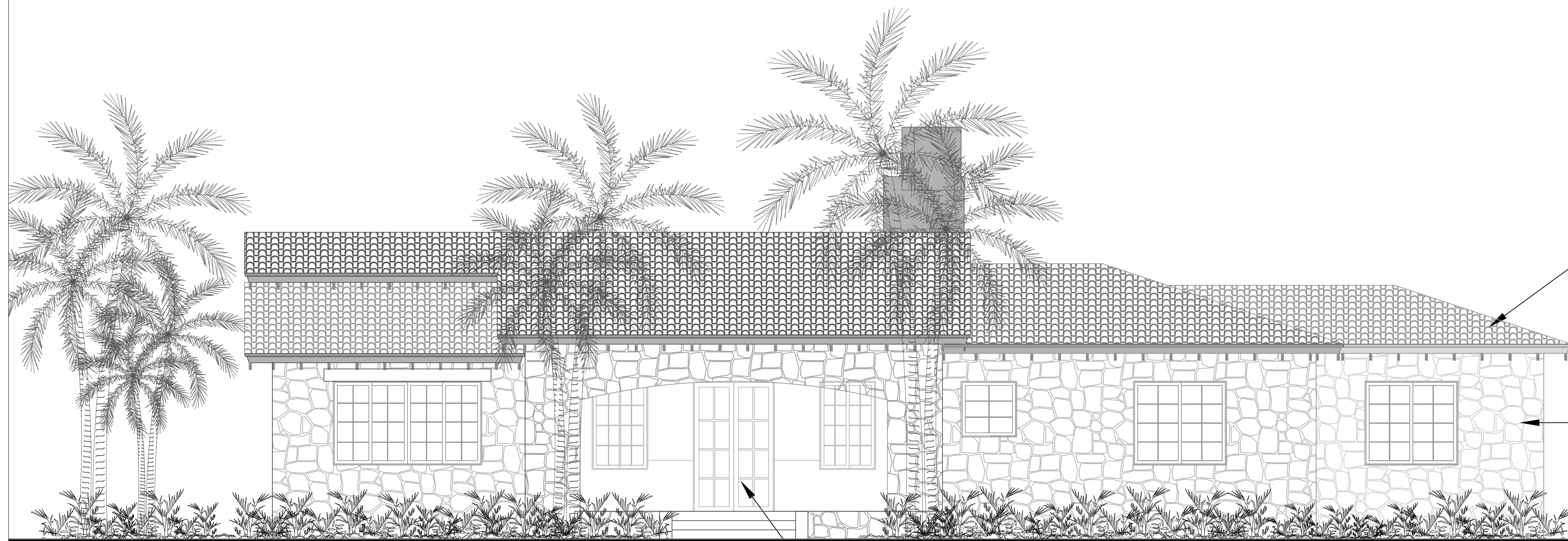
1
A-3.0 **SOUTH ELEVATION_EXISTING**
SCALE :1/4"=1'-0"



TOP OF WALL
+10'-6"

FINISHED FLOOR ELEVATION
+1'-6"

F.F. GROUND LEVEL
0'-0"



EXISTING BARREL TILE
ROOF

EXISTING CORAL ROCK
VENEER TO REMAIN

EXISTING STEEL FENCE
TO BE REMOVED

1
A-3.0 **SOUTH ELEVATION_PROPOSED**
SCALE :1/4"=1'-0"

TOP OF WALL
+10'-6"

FINISHED FLOOR ELEVATION
+1'-6"

F.F. GROUND LEVEL
0'-0"

DESCRIPTION:
UNLESS OTHERWISE SPECIFIED, TRANSMISSIONS OR ELECTRICAL
INSTALLATIONS OF ANY PORTION OF THESE DRAWINGS TO BE MADE IN
ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL
CODE AND THE LATEST EDITIONS OF THE NATIONAL MECHANICAL
AND PLUMBING CODES. ALL WORK SHALL BE IN ACCORDANCE WITH THE
LATEST EDITIONS OF THE NATIONAL BUILDING CODE AND THE LATEST
EDITIONS OF THE NATIONAL FIRE ALARMS CODE. THE CONTRACTOR SHALL
OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE
APPLICABLE AGENCIES AND AUTHORITIES.



PATRICK VALENT
RA # 13834

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PREPARED FOR:

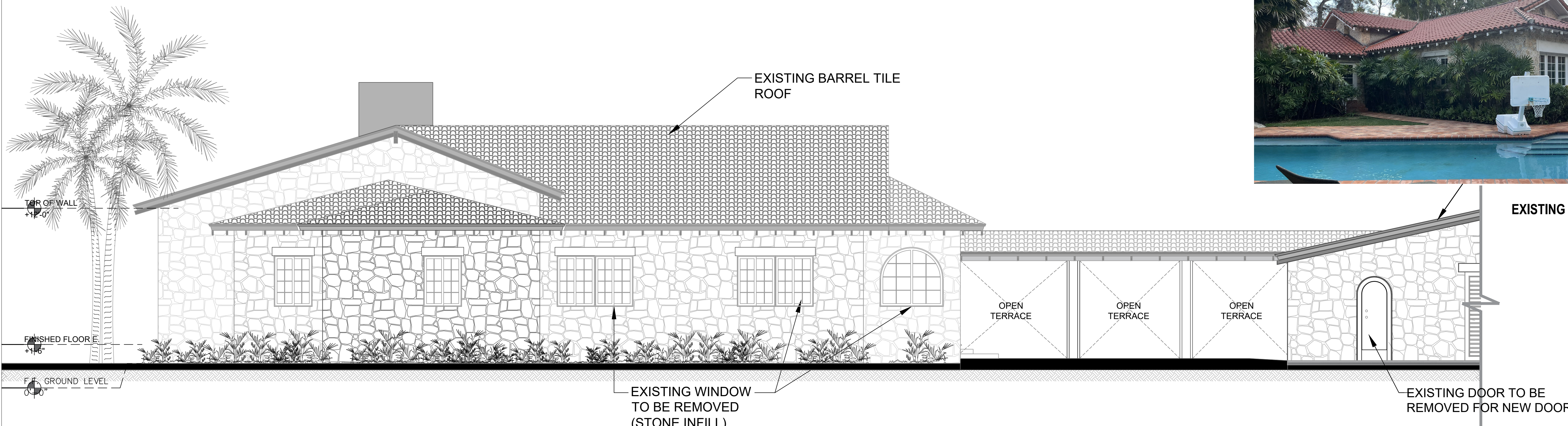
PROJECT INFORMATION:

HISTORIC REVIEW
PROPOSED REMODELING
1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

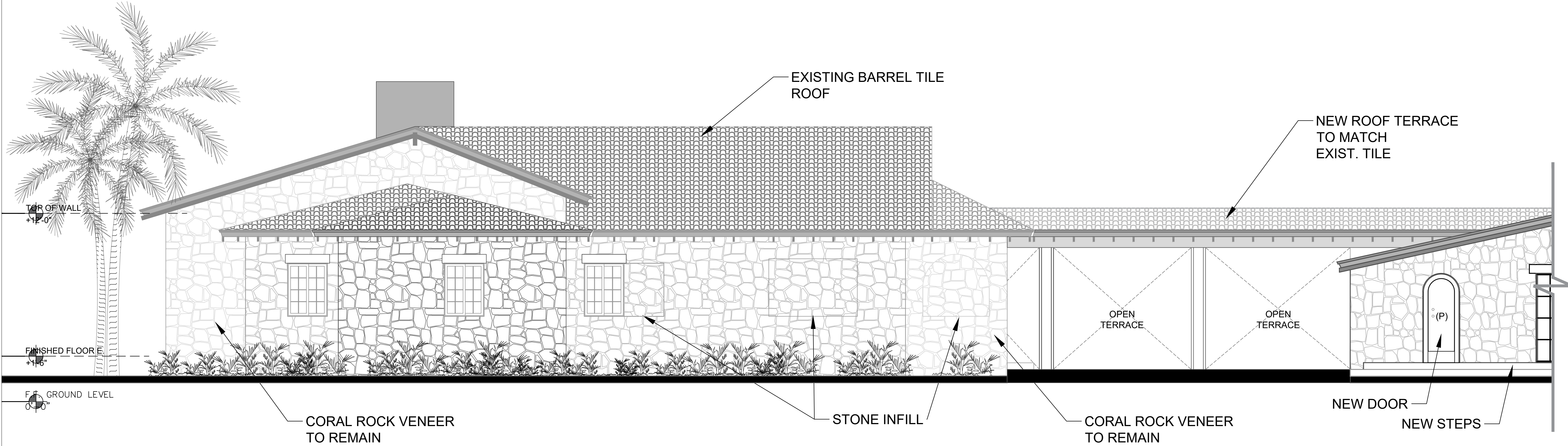
| No. | Description | Date |
|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME
SOUTH ELEVATIONS

SHEET NUMBER
A-3.0



1
A-3.1 EAST ELEVATION_EXISTING
SCALE :1/4"=1'-0"



1
A-3.1 EAST ELEVATION_PROPOSED
SCALE :1/4"=1'-0"



EXISTING SIDE VIEW

PREPARED BY
V.ALENT ARCHITECT
14668 NW 82nd AVE.
MIAMI LAKES, FL 33176
(305) 439-6266

DESCRIPTION:
ARCHITECTURAL DRAWINGS FOR THE PROPOSED HISTORIC REVIEW AND REMODELING OF THE EXISTING HOUSE AT 1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA. ALL WORK SHALL BE IN ACCORDANCE WITH THE HISTORIC PRESERVATION CODE AND THE ARCHITECTURAL REVIEW BOARD'S REQUIREMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH THE HISTORIC PRESERVATION CODE AND THE ARCHITECTURAL REVIEW BOARD'S REQUIREMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH THE HISTORIC PRESERVATION CODE AND THE ARCHITECTURAL REVIEW BOARD'S REQUIREMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH THE HISTORIC PRESERVATION CODE AND THE ARCHITECTURAL REVIEW BOARD'S REQUIREMENTS.



PATRICK VALENT
RA # 13834

PREPARED FOR:

HISTORIC REVIEW
PROPOSED REMODELING
1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

PROJECT INFORMATION

| No. | Description | Date |
|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME
EAST ELEVATIONS

SHEET NUMBER
A-3.1

I, THE ARCHITECT, HEREBY CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF FLORIDA AND THAT I AM THE AUTHOR OF THE DESIGN AND CONSTRUCTION DOCUMENTS HEREIN. I AM NOT PROVIDING ANY PROFESSIONAL SERVICES TO ANY OTHER PARTY.



PATRICK VALENT
 RA # 13834

PREPARED FOR:

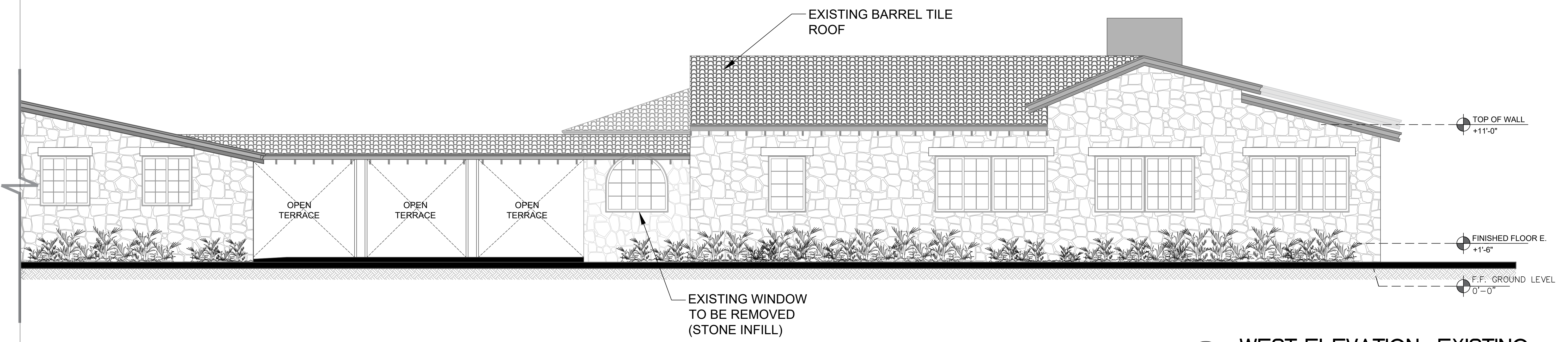
 PROJECT INFORMATION:

HISTORIC REVIEW
PROPOSED REMODELING
 1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

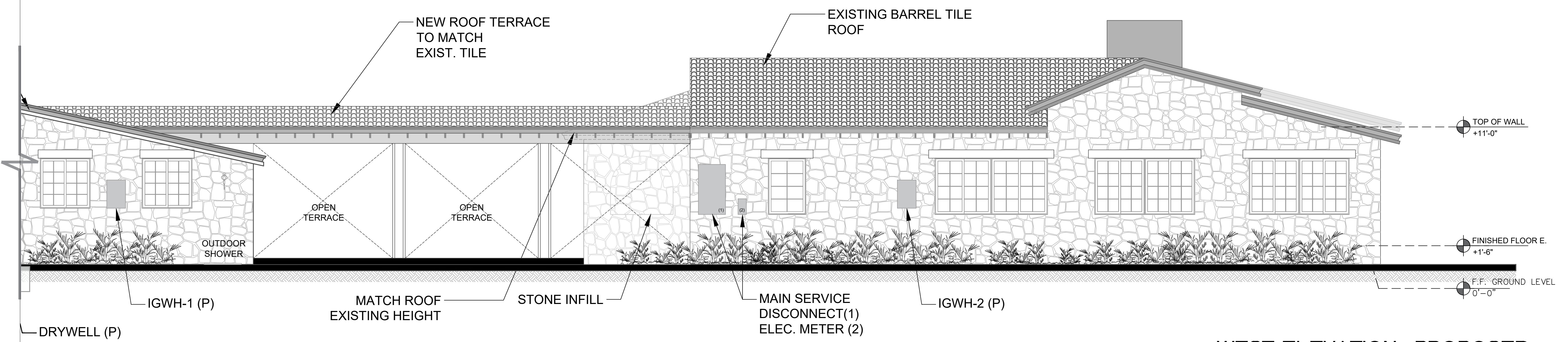
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|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME:
 WEST ELEVATIONS

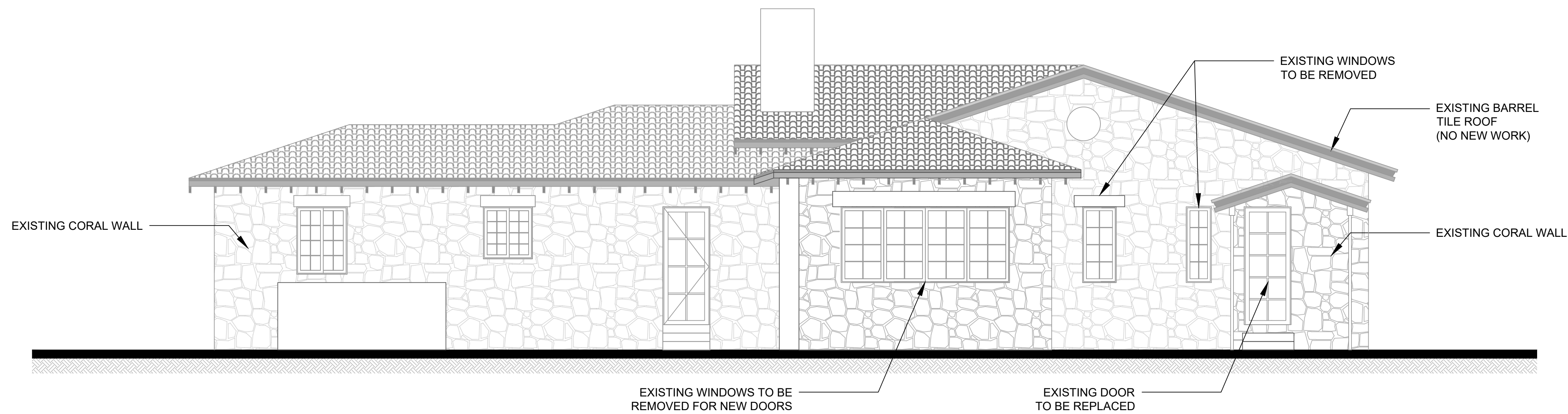
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A-3.2



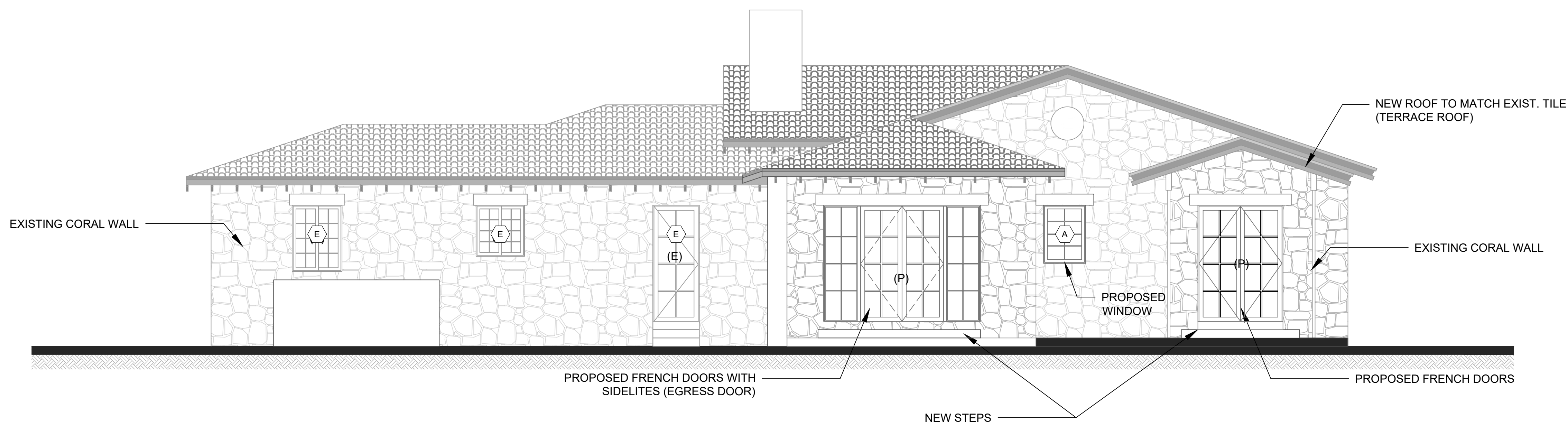
1
 A-3.2 **WEST ELEVATION_EXISTING**
 SCALE :1/4"=1'-0"



1
 A-3.2 **WEST ELEVATION_PROPOSED**
 SCALE :1/4"=1'-0"



1 NORTH ELEVATION_EXISTING
A-3.3 SCALE :1/4"=1'-0"



1 NORTH ELEVATION_PROPOSED
A-3.3 SCALE :1/4"=1'-0"



PREPARED BY
V.ALENT ARCHITECT
1468 NW 82nd AVE.
MIAMI LAKES, FL 33176
(305) 439-6266

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RA # 13834

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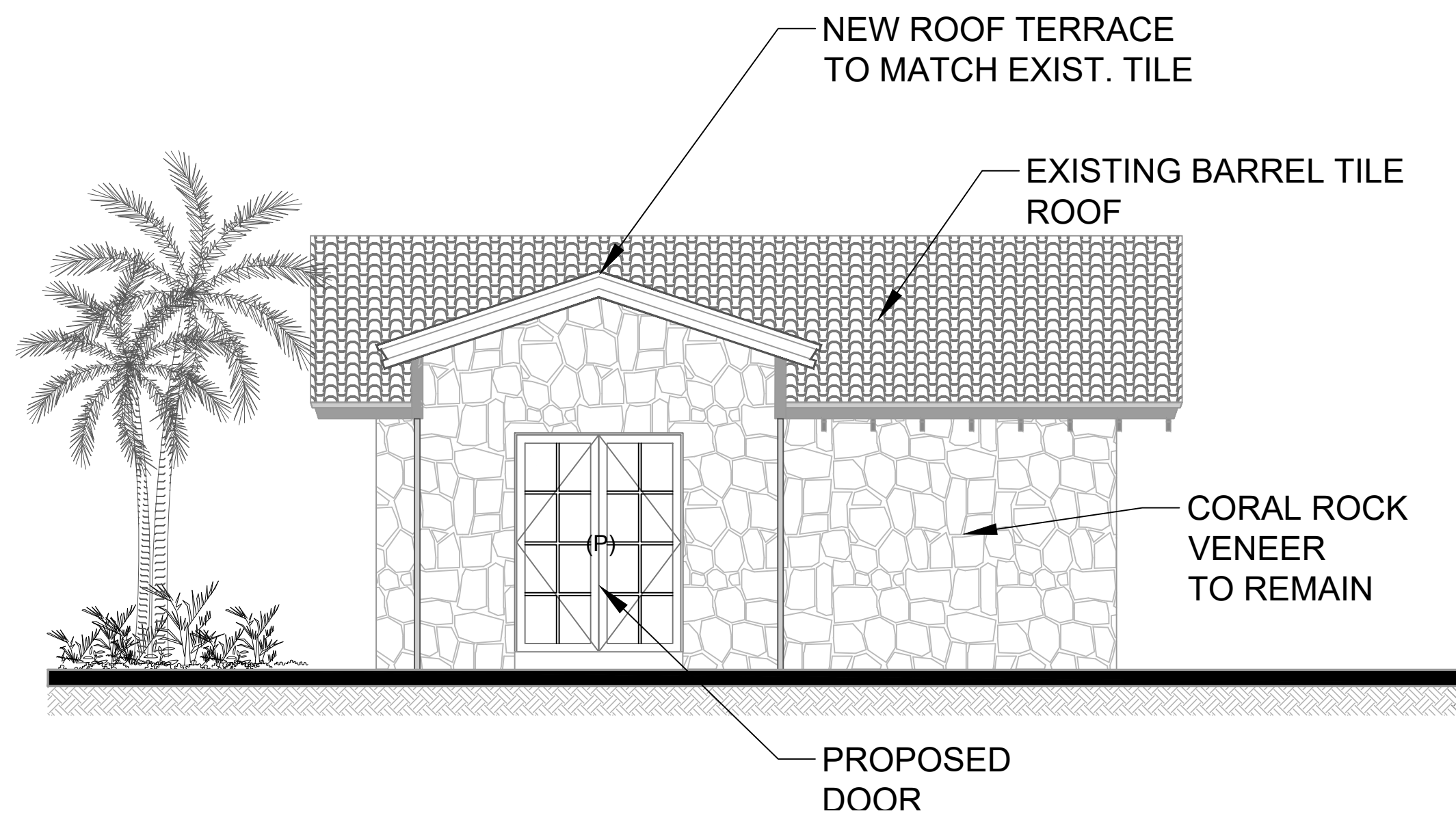
PROJECT INFORMATION:

HISTORIC REVIEW
PROPOSED REMODELING
1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

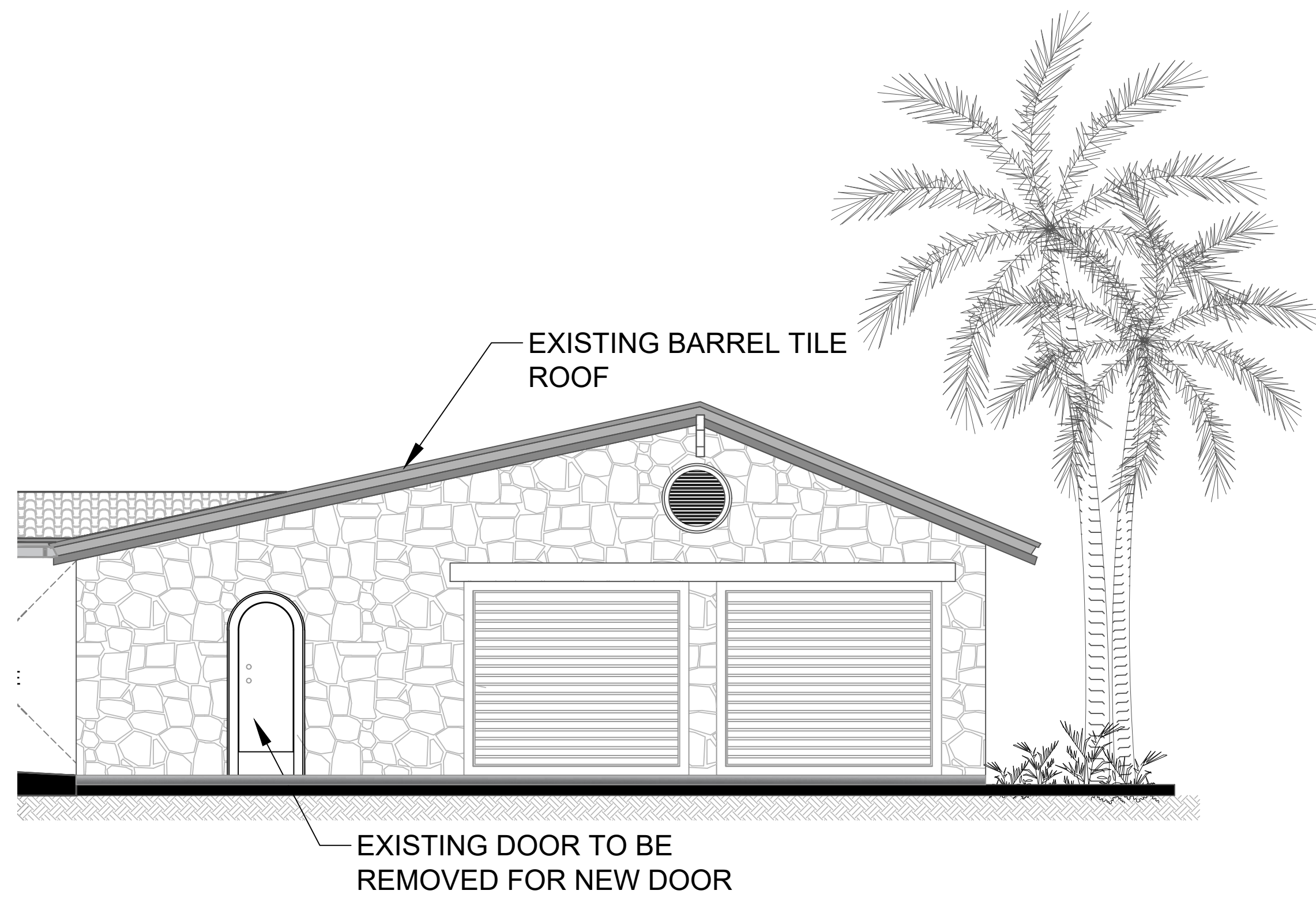
| No. | Description | Date |
|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME
NORTH ELEVATIONS

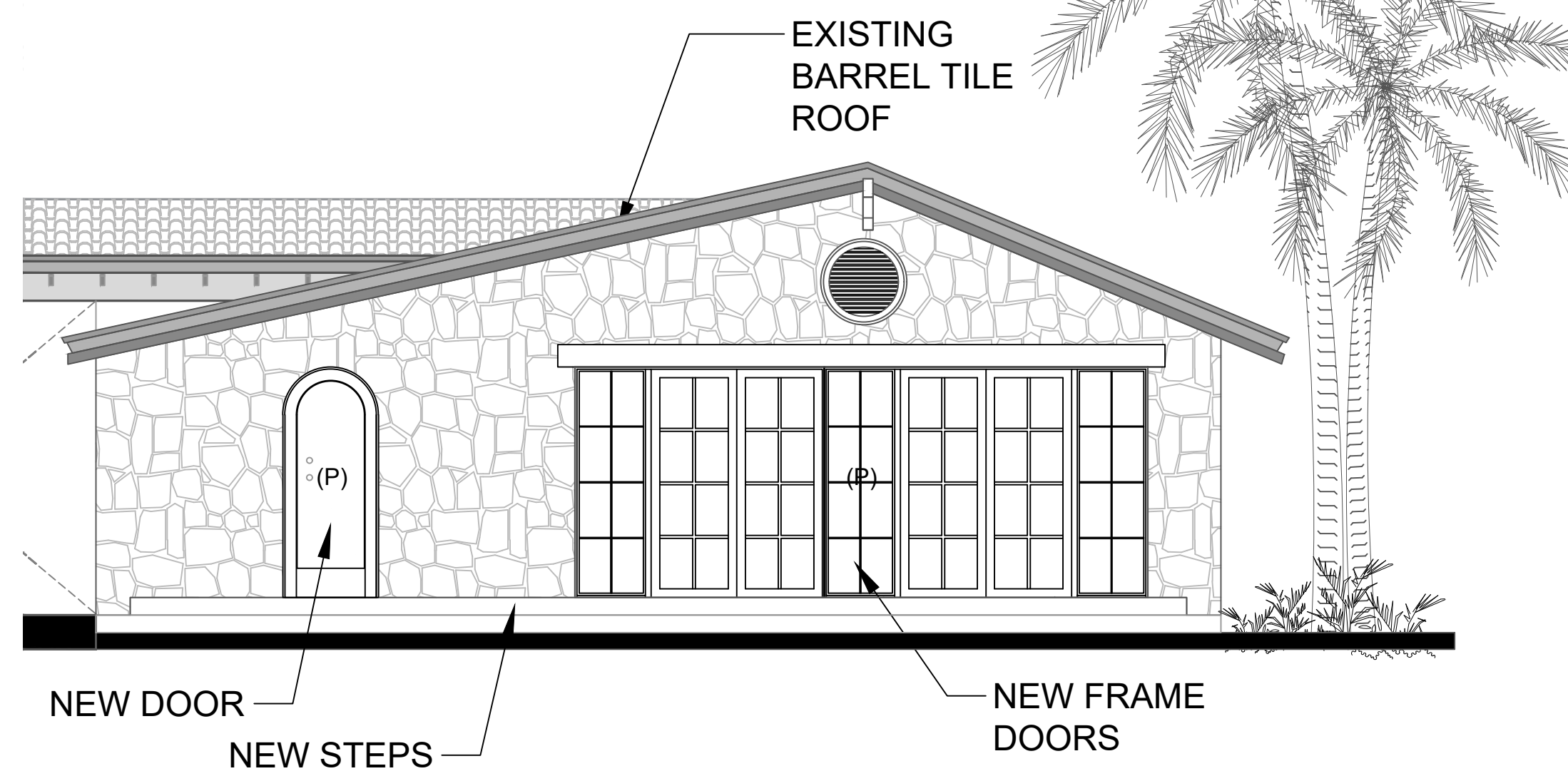
SHEET NUMBER
A-3.3



1
A-3.4 NORTH ELEVATION_PROPOSED
SCALE : 1/4"=1'-0"



1
A-3.4 EAST ELEVATION_EXISTING
SCALE : 1/4"=1'-0"



1
A-3.4 EAST ELEVATION_PROPOSED
SCALE : 1/4"=1'-0"



EXISTING GARAGE VIEW

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PATRICK VALENT
RA # 13834

PREPARED FOR:

PROJECT INFORMATION:

HISTORIC REVIEW
PROPOSED REMODELING
1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

| No. | Description | Date |
|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |

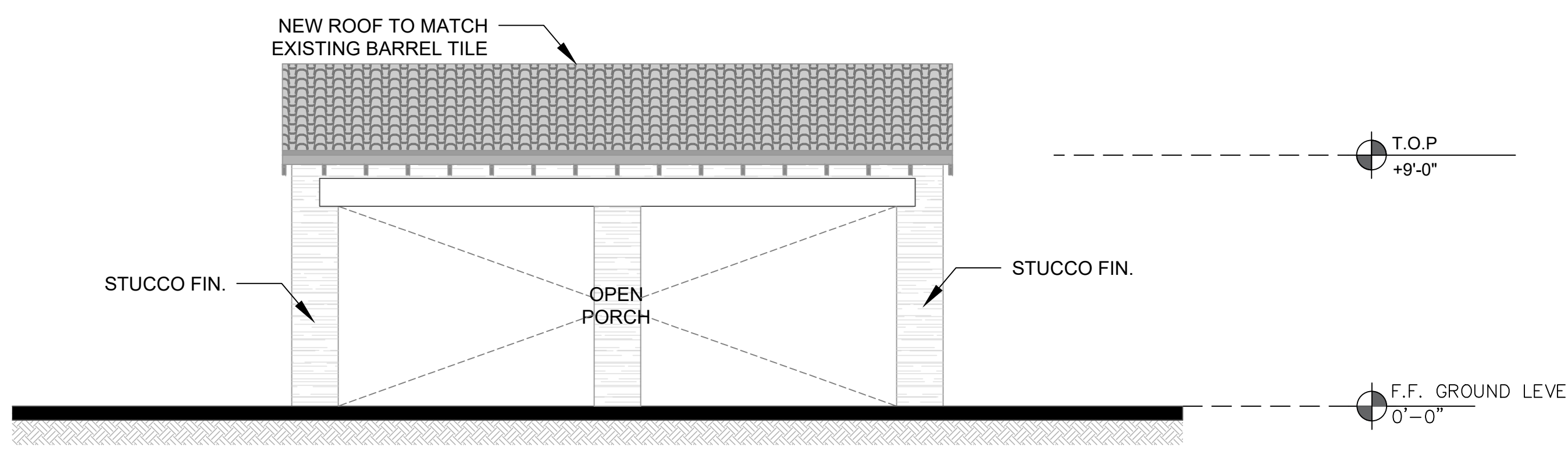
SHEET NAME:
ADU ELEVATIONS

SHEET NUMBER:
A-3.4

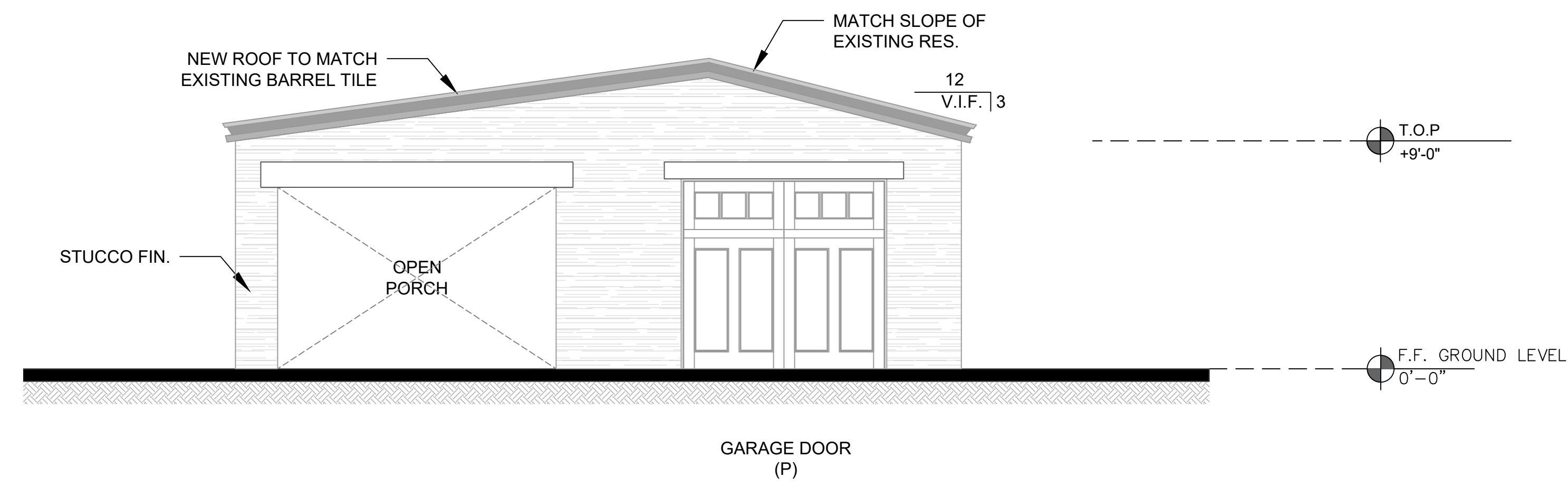
| No. | Description | Date |
|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME:
 GARAGE/ PORCH
 ELEVATIONS

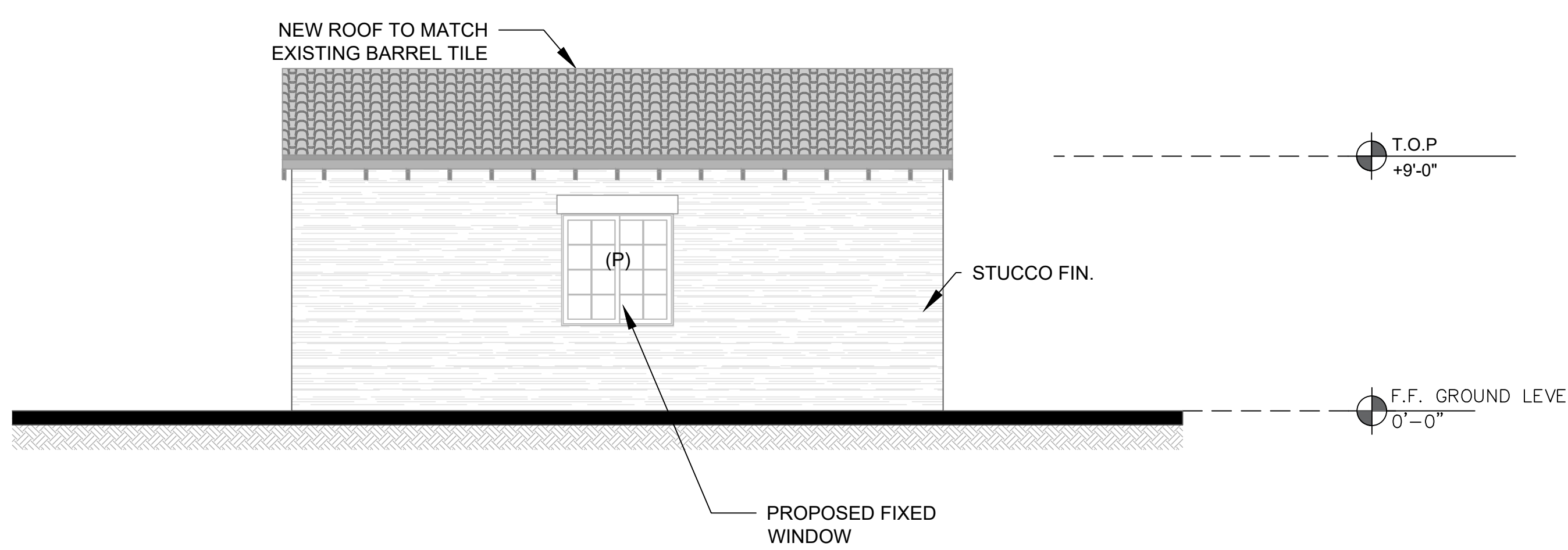
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A-3.5



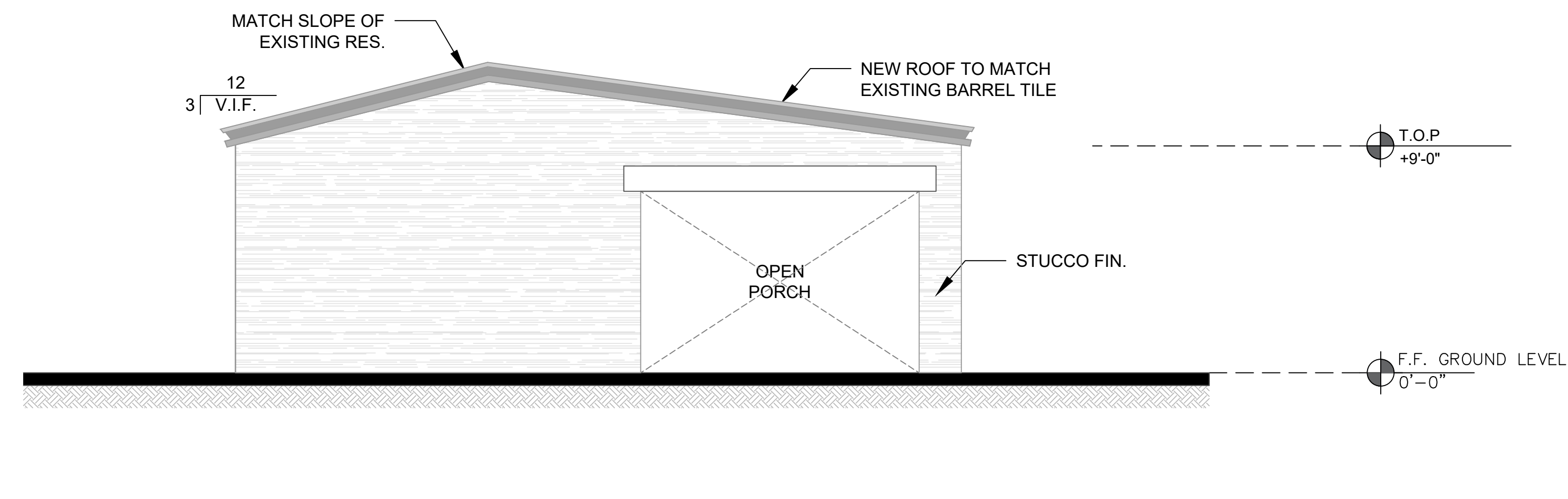
1
 A-3.5 **WEST ELEVATION_PROPOSED**
 SCALE :1/4"=1'-0"



1
 A-3.5 **SOUTH ELEVATION_PROPOSED**
 SCALE :1/4"=1'-0"



1
 A-3.5 **EAST ELEVATION_PROPOSED**
 SCALE :1/4"=1'-0"



1
 A-3.5 **NORTH ELEVATION_PROPOSED**
 SCALE :1/4"=1'-0"



PERSPECTIVE A



PERSPECTIVE B



PERSPECTIVE C



PERSPECTIVE D



PATRICK VALENT
RA # 13834

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PROJECT INFORMATION

HISTORIC REVIEW
PROPOSED REMODELING
1015 SEVILLA AVENUE, CORAL GABLES, FLORIDA, 33134

| No. | Description | Date |
|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME
RENDERING

SHEET NUMBER
A-4.0



PERSPECTIVE A



PERSPECTIVE B



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RA # 13834

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HISTORIC REVIEW

PROPOSED REMODELING
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| No. | Description | Date |
|-----|-----------------|----------|
| 0 | HISTORIC PLANS | 02-04-26 |
| 1 | HISTORIC REVIEW | 04-01-26 |

SHEET NAME:
RENDERING

SHEET NUMBER:
A-4.1