



## City of Coral Gables Planning and Zoning Staff Report

Property: **Gables Crest Preparatory (2000 Ponce de Leon Boulevard)**

Applicant: Gables Crest Preparatory

Application: Conditional Use Review

Public Hearing: Planning and Zoning Board

**Date & Time: September 10, 2018; 6:00 – 9:00 p.m.**

Location: City Commission Chambers, City Hall,  
405 Biltmore Way, Coral Gables, Florida 33134

### 1. APPLICATION REQUEST

Application request is for conditional use review to allow a school on property zoned Commercial District, which is permitted as a conditional use, on the property located at 2000 Ponce de Leon Boulevard. The Resolution under consideration is as follows:

*A Resolution of the City Commission of Coral Gables, Florida granting conditional use approval pursuant to Zoning Code Article 3, "Development Review," Division 4, "Conditional Uses" and Article 4, "Zoning Districts," Division 3, "Nonresidential Districts," Section 4-302, "Commercial District" for a school on property zoned Commercial District for the property legally described as Lots 17 thru 24, Block 17, Coral Gables Section "K" (2000 Ponce de Leon Blvd), Coral Gables, Florida; including required conditions; providing for a repealer provision, providing for a severability clause, and providing for an effective date.*

An application for conditional use review requires review and recommendation by the Planning and Zoning Board at one (1) public hearing, and consideration by the City Commission at one (1) public hearing (Resolution format).

### 2. APPLICATION SUMMARY

As directed by the Commission, Staff is drafting a Zoning Code text amendment to allow schools as a conditional use in Commercial districts. Currently schools are only allowed as a conditional use in Special Use districts.

An application for a new school within the existing building at 2000 Ponce de Leon Boulevard has been submitted by Gables Crest Preparatory. The application package submitted by the Applicant is provided as Attachment A. At the present time, the Commission has not approved the conditional use Zoning Code text amendment. The current application has been processed in anticipation of the Commission approval of the conditional use text amendment.

The Applicant is requesting approval for a boutique private school to serve grades 6 through 12, which will utilize the existing 7-story building at 2000 Ponce de Leon Boulevard. Enrollment is proposed to start at 80 students and grow over a 8-year period to 448 students. The themed school will focus on music, entertainment, and STEM (science, technology, engineering and math). At full enrollment, the school will use approximately 82 of the 99 existing spaces within the parking structure. The request requires public hearing review with a recommendation to be provided by the Planning and Zoning Board and City Commission approval as it is a conditional use.

The property is legally described as lots 17 thru 24, Block 17, Coral Gables Section “K” (2000 Ponce de Leon Blvd), Coral Gables, Florida, and is shown on the following location map and aerial:

**Location Map**



**Property Designations and Surrounding Uses**

The following tables provide the subject property’s designations and surrounding land uses:

**Existing Property Designations**

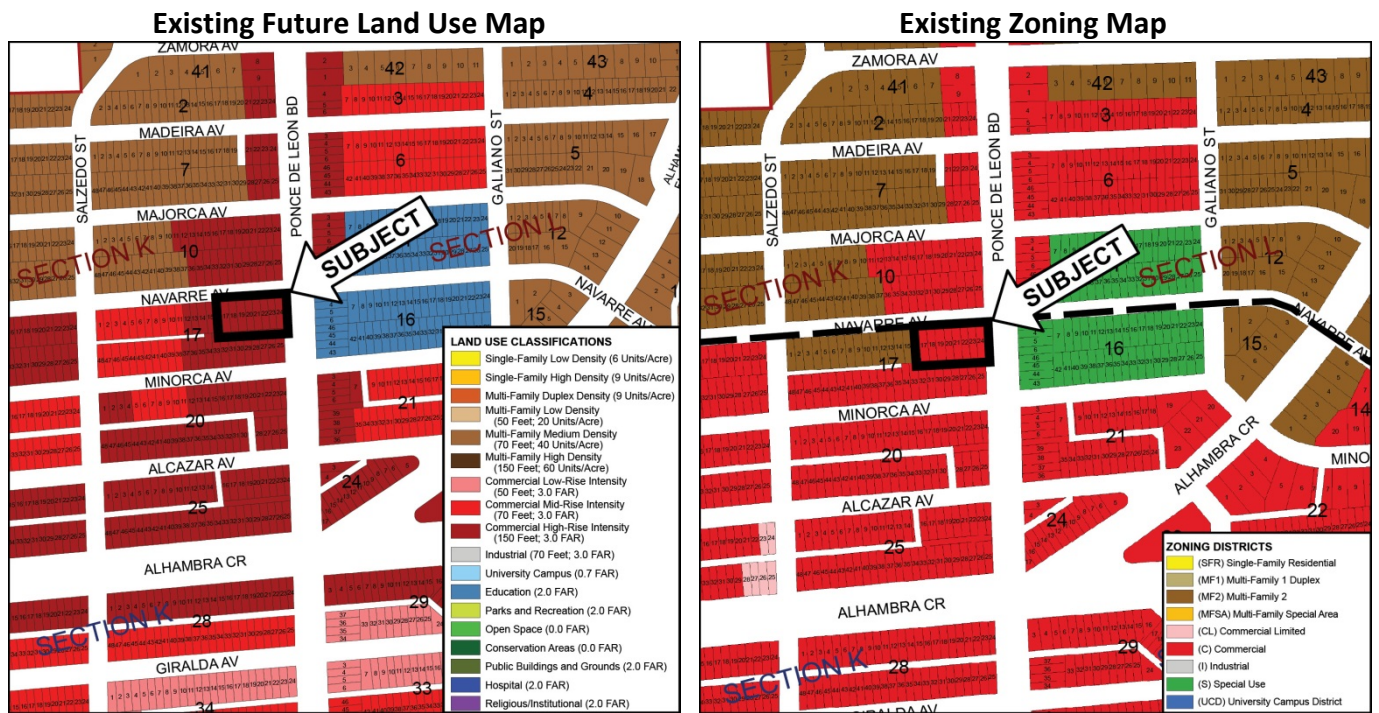
Comprehensive Plan Future Land Use Map designation	Commercial, High-Rise Intensity
Zoning Map designation	Commercial (C) District

**Surrounding Land Uses**

Location	Existing Land Uses	CP Designations	Zoning Designations
North	One (1) story commercial building	Commercial, High-Rise Intensity	Commercial (C) District

Location	Existing Land Uses	CP Designations	Zoning Designations
South	Fifteen (15) story commercial building	Commercial, High-Rise Intensity	Commercial (C) District
East	Two (2) story school (Coral Gables Elementary School)	Education	Special Use (S) District
West	Surface parking lot (City of Coral Gables Lot 13)	Commercial, High-Rise Intensity	Multi-Family 2 (MF2) District

The subject property currently has the existing land use and zoning designations, as illustrated in the following maps:



**City Review Timeline**

The submitted application has undergone the following City reviews:

Type of Review	Date
Board of Architects (If signage is proposed)	TBD
Planning and Zoning Board	09.10.18
City Commission	TBD

**Proposal – Conditional Use Review**

Staff is in the process of drafting a Zoning Code text amendment to Zoning Code Section 4-302, “Commercial District (C)” to allow for a school as a permitted conditional use on property zoned commercial. Conditional uses require public hearing reviews with a recommendation provided by the Planning and Zoning Board and review and approval granted by the City Commission pursuant to the requirements established in Zoning Code Article 3, “Development Review,” Division 4, “Conditional Uses.”

### *Parking*

The existing building offers 99 parking spaces total on floors 2, 3, and 4. The existing uses (5,150 sqft of office and bank on the ground, and 3,322 sqft of office on the 7<sup>th</sup> floor) currently occupy approximately 30 spaces. At the proposed maximum enrollment of 448 students which will eventually occupy the entire building, the school will utilize 82 spaces. The applicant has proposed a student driver policy to limit the number of student drivers. If needed in the future, additional parking can be obtained from the abutting City surface parking lot. Other transportation options include the Metrorail/Ponce de Leon Trolley located in the front, and the future Gables Greenways biking routes on Salzedo.

### **3. FINDINGS OF FACT**

This section of the report presents City Staff's evaluation of the Application and Findings of Facts. The City's responsibility is to review the Application for consistency with the City's Comprehensive Plan (CP) Goals, Objectives and Policies and compliance with the Zoning Code and City Code.

#### **Findings of Fact - Conditional Use Site Plan Review**

The Applicant's proposal for conditional use review in order to allow a school on property zoned Commercial District, which will be permitted as a conditional use with the proposed Zoning Code text amendment, requires review and evaluation pursuant to various sections of the City's Official Zoning Code. To provide an overview of the purpose and intent of the Conditional Use provisions, Zoning Code Article 3, "Development Review," Division 4, "Conditional Uses," Section 3-401, "Purpose and Applicability" provides for the following:

*"The purpose of providing for conditional uses within each zoning district is to recognize that there are uses which may have beneficial effects and serve important public interests, but which may, but not necessarily, have adverse effects on the environment, particularly residential areas, overburden public services, or change the desired character of an area. Individualized review of these uses is necessary due to the potential individual or cumulative impacts that they may have on the surrounding area or neighborhood. The review process allows the imposition of conditions to mitigate identified concerns or to deny the use if concerns cannot be resolved."*

**Staff's Findings:** Based upon the Findings of Facts provided herein, Staff finds the Application satisfies the provisions of the Zoning Code for the Conditional Use Review for the proposed school. Staff review finds that the proposed plans and Staff's recommended conditions of approval incorporate measures to mitigate potentially negative impacts that could have adverse effects on neighboring properties.

Staff's responsibility is to review the application in accordance with the criteria provided in Zoning Code Article 3, "Development Review", Division 4, "Conditional Uses", Section 3-408, "Standards for review" and provide Findings of Fact regarding the proposed application. Staff has compared the Applicant's proposal with the review criteria set out in Zoning Code Section 3-408, and found that the application complies with the following standards and criteria:

- A. *“The proposed conditional use is consistent with and furthers the goals, objectives and policies of the Comprehensive Land Use Plan and furthers the purposes of these regulations and other City ordinances and actions designed to implement the Plan.”*

*Staff comments:* As concluded in this Staff report, this Application is “consistent” with the CP’s Goals, Objectives and Policies to expand educational facilities with the recommended conditions of approval.

- B. *“The available use to which the property may be put is appropriate to the property that is subject to the proposed conditional use and compatible with existing and planned uses in the area”.*

*Staff comments:* A school as a conditional use on property zoned Commercial District will be permitted with the corresponding Zoning Code text amendment, as directed by the Commission. The proposed conditional use is compatible with the surrounding uses which include the Coral Gables Preparatory School and many large mixed-use buildings along Ponce de Leon Boulevard.

- C. *“The proposed conditional use does not conflict with the needs and character of the neighborhood and the City”.*

*Staff comments:* The proposed school will not conflict with other commercial uses and will serve the growing population from the mixed-use buildings on Ponce de Leon and established residential neighborhood of multi-family buildings. The proposed secondary school will complement the existing elementary school located across the street and offer easy access for parents working in nearby offices and commercial spaces.

- D. *“The proposed conditional use will not adversely or unreasonably affect the use of other property in the area.”*

*Staff comments:* The Application will not adversely or unreasonably affect the use of properties in the area and will supplement them by providing additional secondary school options for the neighborhood. Easy access to the Ponce de Leon Trolley and future Gables Greenways biking routes on Salzedo will offer car alternatives to relieve congestion.

- E. *“The proposed use is compatible with the nature, condition and development of adjacent uses, buildings and structures and will not adversely affect the adjacent uses, buildings or structures.”*

*Staff comments:* The proposed use is part of a proposed City-initiated Zoning Code text amendment to allow schools as a permitted conditional use on property zoned Commercial District, which is the Zoning designation of this property. If approved, the school would add a secondary school to the area.

F. *“The parcel proposed for development is adequate in size and shape to accommodate all development features.”*

*Staff comments:* The school’s classes are kept small to 15 or less students. The spaces for 11 classrooms with various cyber cafes, activity rooms, wellness rooms, etc are designed to be adequately sized for small classes.

G. *“The nature of the proposed development is not detrimental to the health, safety and general welfare of the community.”*

*Staff comments:* The school will not be detrimental to the health, safety and general welfare of the community. The proposed school use will be beneficial to the area as it will offer a secondary school to nearby neighborhoods and complement the existing elementary school.

H. *“The design of the proposed driveways, circulation patterns and parking is well defined to promote vehicular and pedestrian circulation.”*

*Staff comments:* The Applicant will utilize the on-street parking to not interfere with the vehicular circulation on Navarre or Ponce de Leon Boulevard. The addition of the school use on Ponce de Leon Boulevard will contribute to the pedestrian circulation patterns of the recently improved Ponce de Leon streetscape.

I. *“The proposed conditional use satisfies the concurrency standards of Article 3, Division 13 and will not adversely burden public facilities, including the traffic-carrying capacities of streets, in an unreasonable or disproportionate manner”.*

*Staff comments:* The Application will not adversely impact public facilities as there will be no increase in the overall building square footage.

**Consistency Evaluation of the Comprehensive Plan (CP) Goals, Objectives and Policies**

The Planning and Zoning Division has reviewed the CP and finds the following CP Goals, Objectives and Policies are applicable.

Consistent CP Goals & Objectives and Policies are as follows:

Ref. No.	CP Goal, Objective and Policy	Basis for Consistency
1.	<b>Goal FLU-1.</b> Protect, strengthen, and enhance the City of Coral Gables as a vibrant community ensuring that its neighborhoods, business opportunities, shopping, employment centers, cultural activities, historic value, desirable housing, open spaces, and natural resources make the City a very desirable place to work, live and play.	Complies

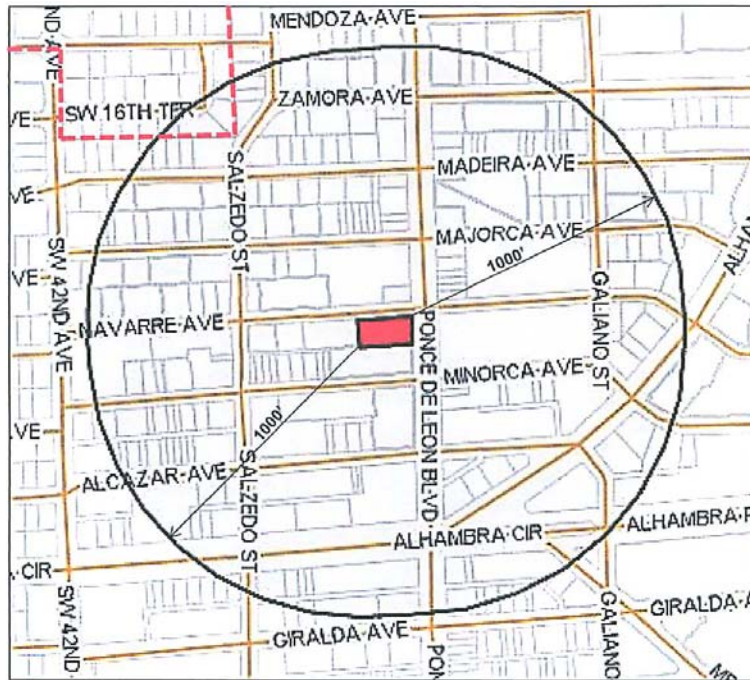
Ref. No.	CP Goal, Objective and Policy	Basis for Consistency
2.	<b>Objective FLU-1.1.</b> Preserve Coral Gables as a “placemaker” where the balance of existing and future uses is maintained to achieve a high quality living environment by encouraging compatible land uses, restoring and protecting the natural environment, and providing facilities and services which meet or exceed the minimum Level of Service (LOS) standards and meet the social and economic needs of the community through the Comprehensive Plan and Future Land Use Classifications and Map (see FLU-1: Future Land Use Map).	Complies
3.	<b>Policy FLU-1.9.2.</b> Encourage the detailed planning of downtown, which is defined as the central business district, to establish sound economic, aesthetic and land use principles for effective utilization of both public and private resources.	Complies
4.	<b>Objective FLU-1.12.</b> The City shall enforce the Zoning Code which maintains the high aesthetic community design standards.	Complies
5.	<b>Objective FLU-1.14.</b> The City shall enforce Zoning Code provisions which continue to preserve and improve the character of neighborhoods.	Complies
6.	<b>Policy FLU-1.14.1.</b> The City shall enforce Zoning Code provisions which continue to address the location and extent of residential and non-residential land uses consistent with the Future Land Use Map in order to preserve the character of existing neighborhoods.	Complies
7.	<b>Goal FLU-3.</b> The City as a part of its development review process shall engage public/community participation and collaboration to provide for a transparent development review process.	Complies
8.	<b>Objective FLU-3.1.</b> The City shall continue its efforts to notify stakeholders, residents, property owners and neighborhood associations of pending development reviews to provide transparency within the development process.	Complies
9.	<b>Policy EDU-1.8.2.</b> The location of future educational facilities should occur where capacity of other public facilities and services is available to accommodate the infrastructure needs of the educational facility.	Complies
10.	<b>Goal DES-1.</b> Maintain the City as a livable city, attractive in its setting and dynamic in its urban character.	Complies
11.	<b>Policy DES-1.1.6.</b> Maintain the character of the residential and nonresidential districts, and their peculiar suitability for particular uses.	Complies

*Staff Comments:* Staff’s determination that this Application is “consistent” with the CP’s goals, objectives and policies that are identified is based upon compliance with conditions of approval recommended by Staff. The conditions of approval included will prevent any potential negative impacts in the surrounding area.

**4. PUBLIC NOTIFICATION**

The Applicant completed the mandatory neighborhood meeting with notification to all property owners within 1,000 feet of the property boundary on 08.13.18. The Zoning Code requires that a courtesy notification be provided to all property owners within 1,000 feet of the boundary of the property. The notice indicates: Application filed; public hearing dates/time/location; where the application files can be

reviewed and provides for an opportunity to submit comments. Approximately 721 notices were mailed.



**Courtesy Notification Radius Map**

The following has been completed to solicit input and provide notice of the application:

**Public Notice**

Type	Date
Public information meeting	08.13.18
August PZB Courtesy notification - 1,000 feet	08.17.18
August PZB Posting of property	08.17.18
August PZB Legal advertisement	08.17.18
Posted August agenda on City web page/City Hall	08.17.18
September PZB Courtesy notification - 1,000 feet	08.30.18
September PZB Posting of property	08.30.18
September PZB Legal advertisement	08.31.18
Posted September agenda on City web page/City Hall	08.31.18
Posted Staff report on City web page	09.06.18

**5. STAFF RECOMMENDATION**

The Planning and Zoning Division based upon the complete Findings of Fact contained within this Report recommends **approval with conditions** of the Application.



## Summary of the Basis for Approval

Consistency with the Comprehensive Plan Goals, Objective and Policies. Staff's support of the application for Conditional Use Review in order to allow a school on property zoned Commercial District, which will be allowed as a conditional use with corresponding proposed Zoning Code text amendments, is based on compliance with the Comprehensive Plan (CP) Goals, Objectives and Policies, Zoning Code and other applicable Codes as enumerated in the complete Findings of Fact presented herein.

## Conditions of Approval

In furtherance of the Comprehensive Plan (CP) Goals, Objectives and Policies, Zoning Code and other applicable City provisions, the recommendation for approval of the Application is subject to the following conditions of approval:

- i. Student enrollment for current application request shall not exceed 170 students, grades 6-10. Additional student enrollment will be reviewed by Staff and considered by the Commission at the time of the school's enrollment expansion.
- ii. Applicant shall obtain applicable County approval(s) and execute a 3-year contract with the Parking Department for on-street parking spaces for purpose of pick-up/drop-off use and use of parking lot for vehicle route / queue area. After 3 years, the vehicle route / queue area shall be relocated, as approved by the Parking Director.
- iii. Passageway improvements with permeable pavers, lighting, and other pedestrian amenities to be approved by Public Works and Planning & Zoning Directors.
- iv. Modify arcade to remove island curb at garage entrance and minimize the existing plantings between columns for easier building access.
- v. Permeable pavers and landscape within the existing grass strip along the drop-off zone to be approved by Public Works and Planning & Zoning Directors.
- vi. Supply 3 bike spaces per classroom for bike parking within the property.
- vii. Pick-up/drop-off shall not interfere with the pedestrian circulation on adjoining Navarre sidewalks.

## 6. ATTACHMENTS

- A. Applicant's submittal package.
- B. Courtesy notice mailed and legal advertisement published.

Please visit the City's webpage at [www.coralgables.com](http://www.coralgables.com) to view all application materials. The complete application also is on file and available for examination during business hours at the Planning and Zoning Division, 427 Biltmore Way, Suite 201, Coral Gables, Florida, 33134.

Respectfully submitted,



Ramon Trias  
Assistant Director of Development Services  
for Planning and Zoning  
City of Coral Gables, Florida



# PLANNING & ZONING APPLICATION

## SEPTEMBER 10, 2018

### **GABLES CREST PREPARATORY**

**2000 Ponce de Leon Blvd.**

**5<sup>th</sup> and 6<sup>th</sup> Floors**

**Coral Gables, Florida 33134**

*A passion to learn . . . the creativity to invent . . . the courage to take action*

## GABLES CREST PREPARATORY

### Table of Contents

- a. Cover Letter and Comprehensive Summary
- b. Planning Application
- c. Application Representation
- d. Aerial
- e. Site Plan, Building Elevations and Building Floor Plans
- f. Photographs of property
- g. Parking Analysis
- h. Traffic: Preliminary Site Assessment; Traffic Operation Plan; Drop  
Off & Pick UP Times
- i. Concurrency Information Statement and Concurrency Application
- j. City of Coral Gables Annual Registration Applications

Law Office  
of  
**LAURA L. RUSSO, ESQ.**  
2655 Le Jeune Road, Suite PH-1F  
Coral Gables, Florida 33134

Tel: 305-476-8300  
Fax: 305-476-8383

Email: [Laura@LauraRussoLaw.com](mailto:Laura@LauraRussoLaw.com)

September 5, 2018

Mr. Ramon Trias  
Planning & Zoning Director  
427 Biltmore Way, 2<sup>nd</sup> Floor  
Coral Gables, Florida 33134

Re: Eads – Gables Crest Preparatory  
File No.: 17L-125

Dear Mr. Trias,

I represent Dr. Linda Eads, the founder of Gables Crest Preparatory.

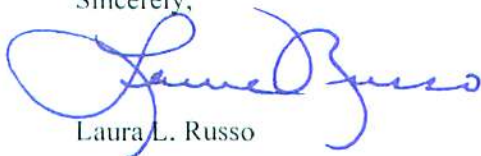
Dr. Eads, founder of the original MAST Academy in Key Biscayne, is recognized by the United States Department of Education and Florida Department of Education among other national organizations, for her leadership and insightfulness resulting in MAST Academy becoming a national senior high school model, and a USDOE Blue Ribbon School of Excellent. Linda Eads now seeks to develop an innovative college bound boutique secondary school serving students in grades 6 through 12 in downtown Coral Gables.

She identified a commercial building on Ponce de Leon Blvd. with two floors available to her to start the school. Over the next few years, her goal is to occupy the entire building that includes the first and seventh floors. The building has sufficient parking (floors 2, 3 and 4) to address the Zoning Code's requirement, and the school's needs when the school is at full capacity, which is over an eight-year period. The first floor of parking will also serve as the internal drop off & pick up location after year 3.

Dr. Eads prepared a comprehensive summary of the school's operation and anticipated growth that is included with the application.

Should you have any questions, or need additional information, please do not hesitate to contact me. We look forward to presenting this project to the Planning & Zoning Board.

Sincerely,



Laura L. Russo

LLR/jp

**GABLES CREST PREPARATORY  
PLANNING & ZONING PRESENTATION  
SEPTEMBER 10, 2019**

**DESCRIPTION**

Gables Crest Preparatory, referred to as “The Crest,” is a college bound boutique private secondary school ultimately serving 448 students in grades 6 through 12 with curriculum focused on music and entertainment technology and STEM (science, technology, engineering, and mathematics). Students enroll in core, foundation, and elective courses infused with entrepreneurship and career education. Skills are strengthened by practical application and knowledge expanded in diverse learning environments within the community.

**OVERVIEW**

The Crest is a themed school appealing to students who seek college studies and career opportunities in the media and entertainment industry. The M & E Industry is expected to surpass \$18 billion in 2020. Related careers include music production and recording, digital technologies, gaming design, virtual and augmented reality, and publishing. STEM is included in all of the M & E Industry.

The teacher student ratio at Crest is 1:15, with 65 students per grade level for a total of 448 students in the total school over an 8-year period. Students/families make choices. They will choose their major in the 10<sup>th</sup> grade:

- Music Production Technology & Entrepreneurship
- Game Innovation Design & Entrepreneurship
- Business of Communication
- Business of Science

and also choose a plan for graduation:

- Four-year high school diploma and an AA Degree
- Four-year high school diploma
- Three-year high school diploma

Diplomas will be noted with: Superlative, Exemplary or with Distinction

Middle school students earn 21 credits. Senior high school students earn 30 credits to graduate, which is 6 credits more than required by the State of Florida. Universities will view “The Crest” among the high expectation schools.

There will be athletics, but none on the site, and varied student activities including a student run Jazz Club! Students wear uniforms and eat on campus. Arrival and dismissal times will be supervised.

Scholarships are available based on merit and need. Discounts are available for families with more than one child at the school. A corporate plan through scholarships encourages corporations to move to the City of Coral Gables by providing reserved seats for qualifying employee's children. Additionally, the first ten students accepted will receive "The Mustard Seed" 10% discount until graduation. As well, children of City of Coral Gables employees will also be considered for discounts.

### **TRANSPORTATION OPTIONS**

Students and staff may choose from the following transportation options:

- Metrorail links with the City Trolley
- Trolley from within City locations, stops in front of the school
- Parent/family drop off in designated drop off zone
- Car pool and van pool drop off
- Bike routes linked with the City's new biking plan
- Drive to school (adequate parking for students and staff)

### **PROJECTED STUDENT ENROLLMENT BY YEAR AND GRADES**

2019-2020	80 students	Grades 6-9	9 teachers
2020-2021	167 students	Grades 6-10	13 teachers
2021-2022	211 students	Grades 6-11	16 teachers
2022-2023	278 students	Grades 6-12	20 teachers
2023-2024	330 students	Grades 6-12	23 teachers
2024-2025	390 students	Grades 6-12	26 teachers
2025-2026	425 students	Grades 6-12	28 teachers
2026-2027	448 students	Grades 6-12	30 teachers

### **Student Driver Policy**

Although a student may be of the legal age to drive, the school policy is the student must earn the privilege to drive to school. Grades, behavior, attendance, and extenuating circumstances will be taken into consideration before granting a student a parking garage permit. Students who are permitted to drive must pay the going rate for parking directly to the building operator as assessed by the building.

### **PARKING**

There are 99 parking spaces and the school will maximize use at approximately 82 spaces.

## **PROJECTED SCHOOL OPERATIONAL HOURS**

7:30 am	Building opens, custodian arrives
7:45 am	Director of Security and School Receptionist arrive
8:15 am	Middle School faculty, administration, office staff Arrive
8:30 am	Middle School student classes begin
8:45 am	Senior High faculty arrive
9:00 am	Senior High student classes begin
3:30 pm	Middle School student dismissal (under supervision)
3:45 pm	Middle School faculty depart
4:15 pm	Senior High school student dismissal (under supervision) Director of Security departs
4:30 pm	Senior High faculty depart
4:00-6:00 pm	Afterschool programs conducted
6:00 pm	Building closes



# City of Coral Gables Planning Division Application

305.460.5211

planning@coralgables.com

www.coralgables.com

## Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- Abandonment and Vacations
- Annexation
- Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- Comprehensive Plan Map Amendment - Small Scale
- Comprehensive Plan Map Amendment - Large Scale
- Comprehensive Plan Text Amendment
- Conditional Use - Administrative Review
- Conditional Use without Site Plan
- Conditional Use with Site Plan
- Development Agreement
- Development of Regional Impact
- Development of Regional Impact - Notice of Proposed Change
- Mixed Use Site Plan
- Planned Area Development Designation and Site Plan
- Planned Area Development Major Amendment
- Restrictive Covenants and/or Easements
- Site Plan
- Separation/Establishment of a Building Site
- Subdivision Review for a Tentative Plat and Variance
- Transfer of Development Rights Receiving Site Plan
- University Campus District Modification to the Adopted Campus Master Plan
- Zoning Code Map Amendment
- Zoning Code Text Amendment
- Other: \_\_\_\_\_

## General information

Street address of the subject property: 2000 Ponce de Leon Blvd.

Property/project name: Gables Crest Preparatory

Legal description: Lot(s) Lots 17-24, inclusive

Block(s) 17 Section (s) Coral Gables Section "K"

Property owner(s): 2000 Ponce de Leon Square, Inc.

Property owner(s) mailing address: 2000 Ponce de Leon Blvd., Suite 600, Coral Gables, FL 33134

Telephone: Business 305-443-1414 Fax 305-443-1603

Other \_\_\_\_\_ Email CSilvestre @ 2000pbc.com





# City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Laura L. Russo, Esq.

Applicant(s)/agent(s) mailing address: 2655 Le Jeune Road, Suite PH 1-F, Coral Gables, Florida 33134

Telephone: Business 305-476-8300 Fax 305-476-8383

Other Cell: 305-801-9002 Email Laura @ Laurarussolaw.com

## Property information

Current land use classification(s): Commercial

Current zoning classification(s): Commercial

Proposed land use classification(s) (if applicable): Same

Proposed zoning classification(s) (if applicable): Same

## Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Division Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- Aerial.
- Affidavit providing for property owner's authorization to process application.
- Annexation supporting materials.
- Application fees.
- Application representation and contact information.
- Appraisal.
- Architectural/building elevations.
- Building floor plans.
- Comprehensive Plan text amendment justification.
- Comprehensive Plan analysis.
- Concurrency impact statement.
- Encroachments plan.
- Environmental assessment.
- Historic contextual study and/or historical significance determination.
- Landscape plan.
- Lighting plan.
- Massing model and/or 3D computer model.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Parking study.
- Photographs of property, adjacent uses and/or streetscape.
- Plat.
- Property survey and legal description.



## City of Coral Gables Planning Division Application

- Property survey and legal description.
- Public Realm Improvements Plan for mixed use projects.
- Public school preliminary concurrency analysis (residential land use/zoning applications only).
- Sign master plan.
- Site plan and supporting information.
- Statement of use and/or cover letter.
- Streetscape master plan.
- Traffic accumulation assessment.
- Traffic impact statement.
- Traffic impact study.
- Traffic stacking analysis.
- Utilities consent.
- Utilities location plan.
- Vegetation survey.
- Video of the subject property.
- Warranty Deed.
- Zoning Analysis (Preliminary).
- Zoning Code text amendment justification.
- Other: Preliminary Traffic Site Assessment for School location

### Application submittal requirements

1. Hard copies. The number of application binders to be submitted shall be determined by Staff at the preapplication meeting. The application shall include all the items identified in the preapplication meeting.
2. Digital media copy. One (1) thumb-drive of the entire application including all items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 MB.

### Applicant/agent/property owner affirmation and consent

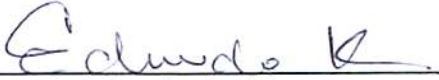
(I) (We) affirm and certify to all of the following:

1. Submission of the following:
  - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request;  
or
  - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.



# City of Coral Gables Planning Division Application

5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

Property owner(s) signature(s):  Edmundo J. Kronfle, President	Property owner(s) print name: Edmundo Kronfle 2000 Ponce de Leon Square, Inc.
Property owner(s) signature(s):	Property owner(s) print name:
Property owner(s) signature(s):	Property owner(s) print name:

Address: 2000 Ponce de Leon Blvd., Suite 600  
Coral Gables, Florida 33134

Telephone: 305-443-1414

Fax: 305-443-1603

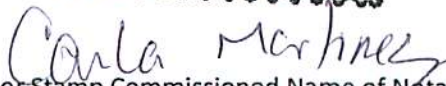
Email: c.silvestre@2000pbc.com

### NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 13 day of August by Edmundo Kronfle  
(Signature of Notary Public - State of Florida)





(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_



# City of Coral Gables Planning Division Application

Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:
Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:

Address:

Telephone:	Fax:	Email:
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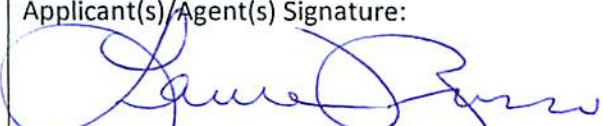
### NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_  
(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_

Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: Laura L. Russo
--	---

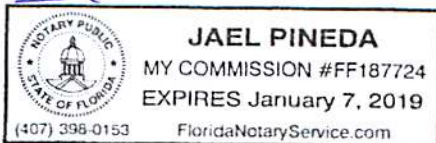
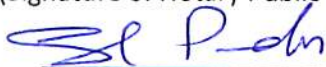
Address: 2655 Le Jeune Road, Suite PH 1-F  
Coral Gables, Florida 33134

Telephone: 305-476-8300	Fax: 305-476-8383	Email: Laura@Laurarussolaw.com
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### NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 13<sup>th</sup> day of Aug. 2018 by Laura L. Russo  
(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_

## **APPLICATION REPRESENTATION**

### **APPLICANT:**

Linda J. Eads, Ed.D  
900 Biscayne Blvd., #5106  
Miami, Florida 33132  
Tel: 305-496-3237  
Email: lindajeads@me.com

### **ARCHITECT:**

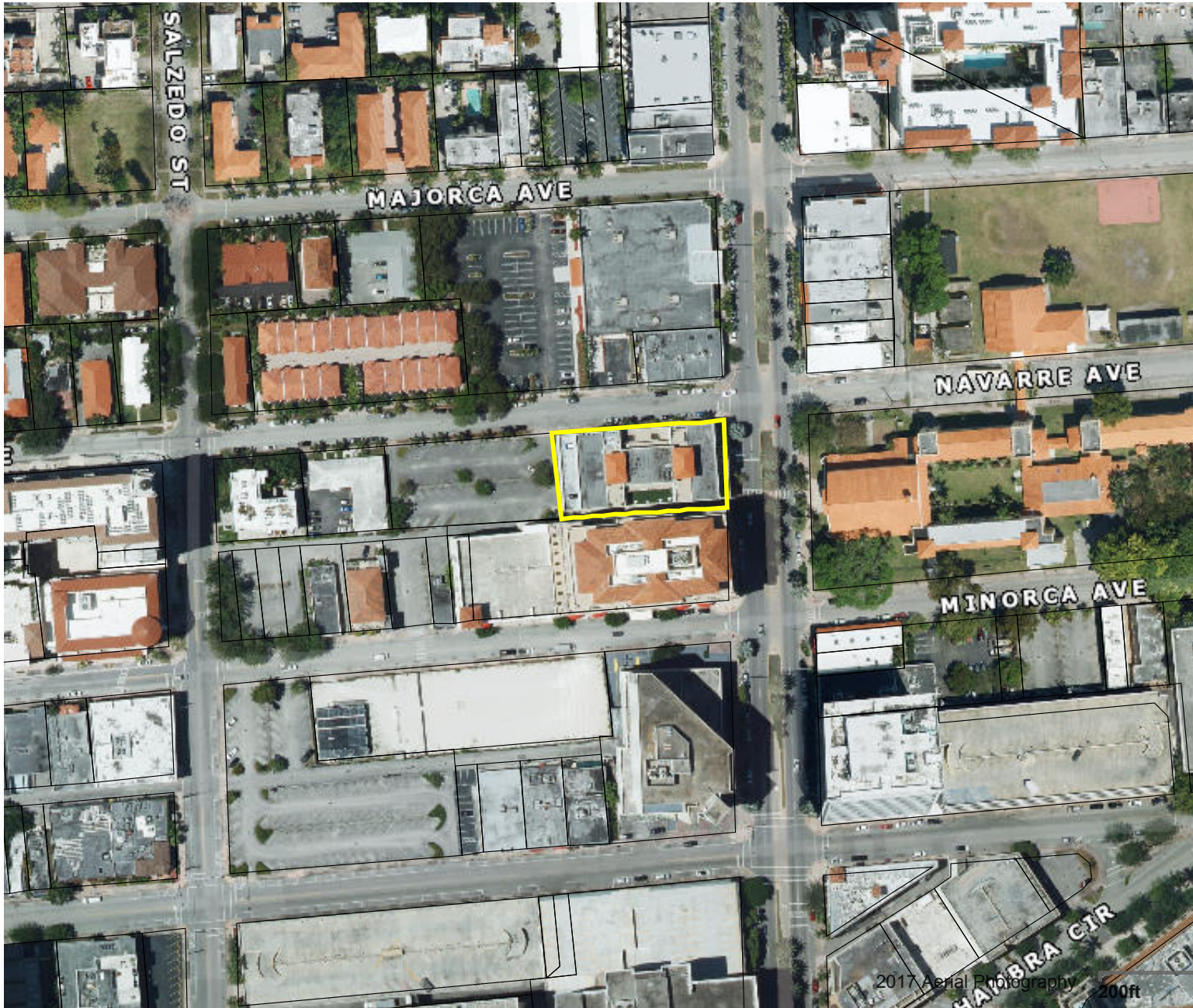
Agustin Barrera  
Bermello Ajamil & Partners, Inc.  
2601 S. Bayshore Drive, Suite 1000  
Miami, Florida 33133  
Tel: 305-859-2050  
Email: abarrera@bermelloajamil.com

### **TRAFFIC ENGINEER:**

Timothy J. Plummer, PE  
David Plummer & Associates  
1750 Ponce de Leon Boulevard  
Coral Gables, Florida 33134  
Tel: 305-447-0900  
Email: tim.plummer@dplummer.com

### **ATTORNEY:**

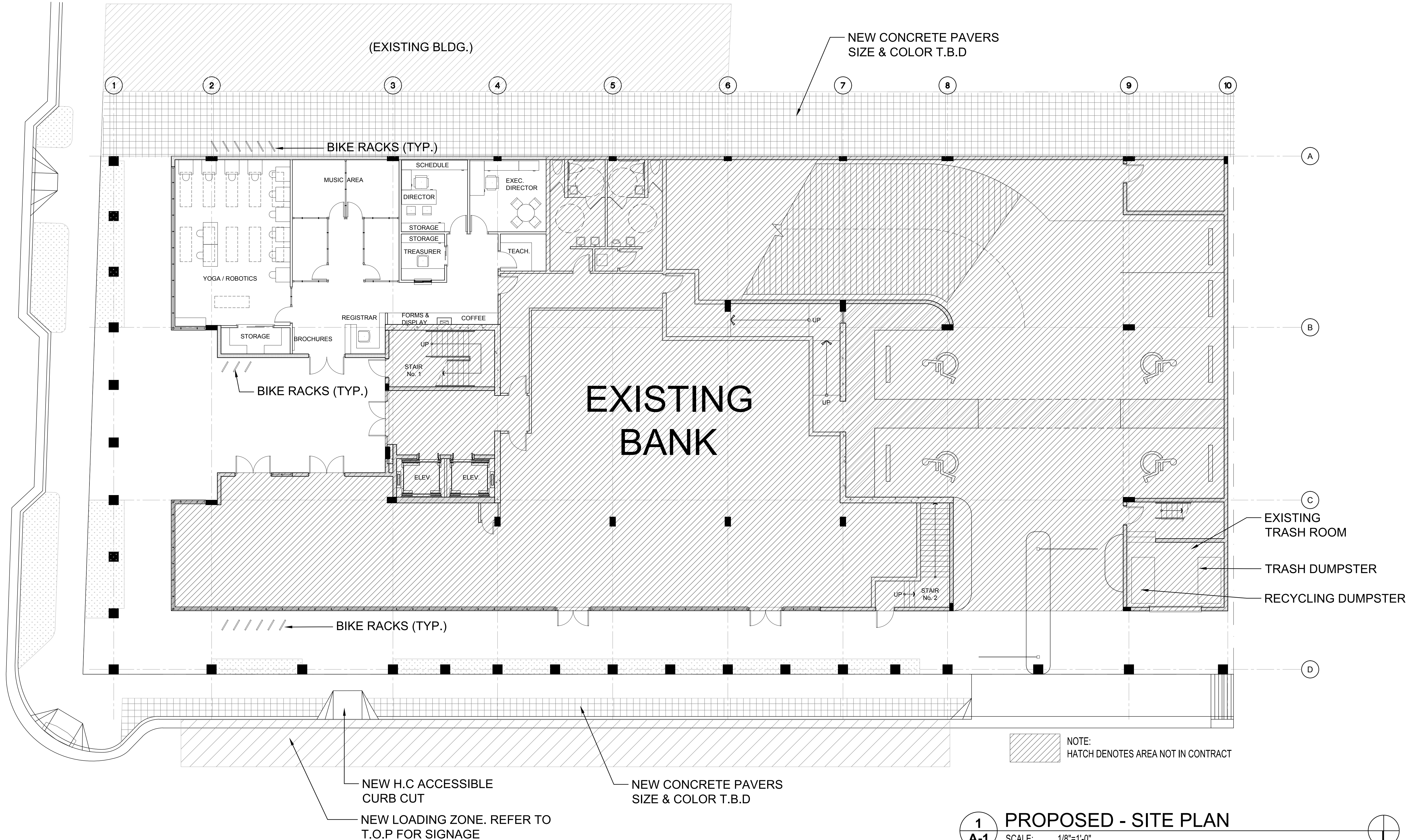
Laura L. Russo, Esq.  
Laura L. Russo, Esq., LLC  
2655 LeJeune Road, Suite PH 2-B  
Coral Gables, Florida 33134  
Tel: (305) 476-8300  
Fax: (305) 476-8383  
Email: Laura@Laurarussolaw.com



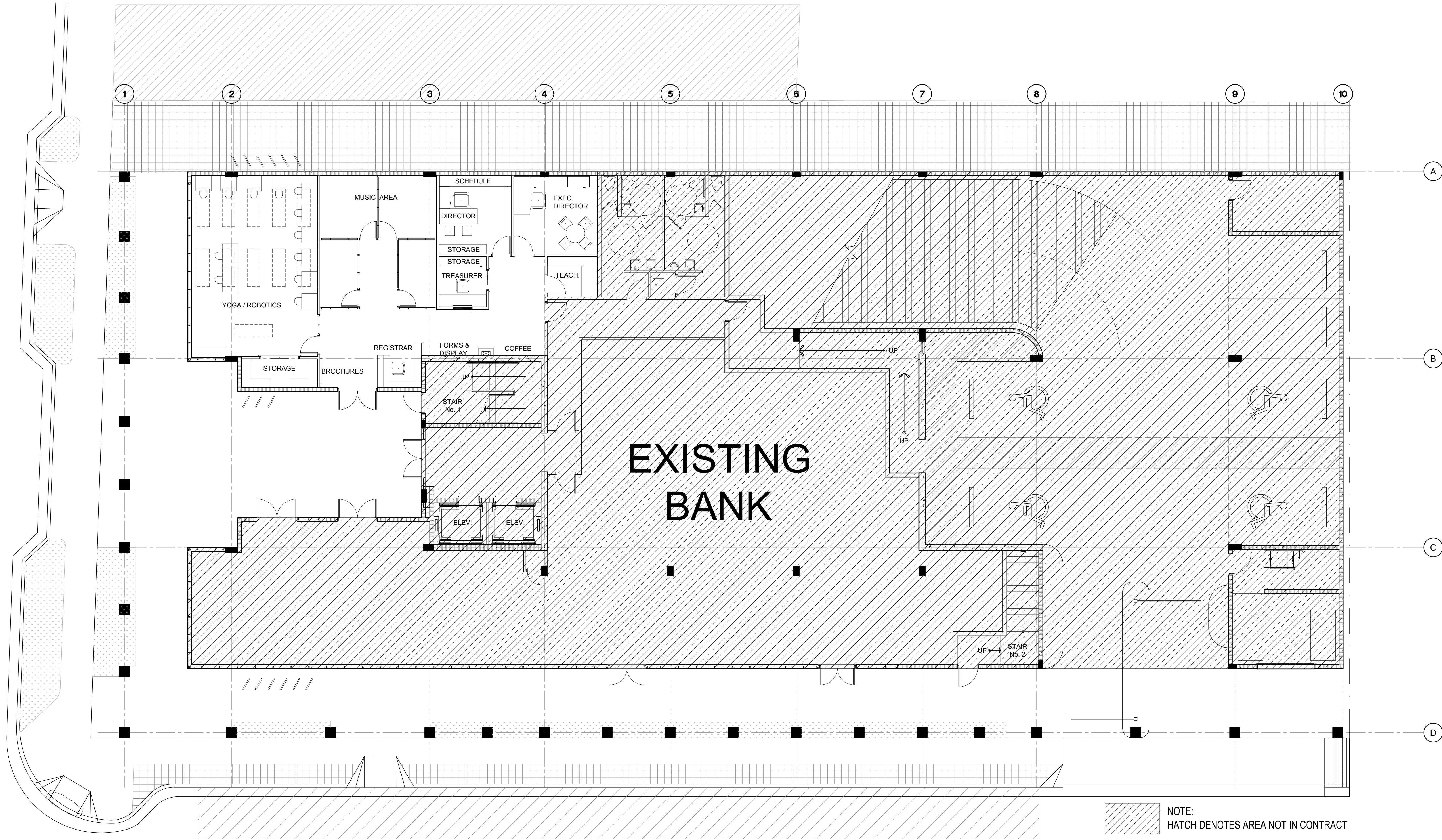
Property Information	
Address:	2000 Ponce de Leon Blvd.
Property Size:	19,745 square feet
Total Square Footage of Building:	34,610 square feet
Legal Description:	Lots 17- 24 inclusive, Block 17, Coral Gables Section K, PB 8/33
Current land use:	Commercial High Rise Intensity
Current zoning designation:	Commercial District
Existing Use:	Office building
Proposed Use:	Office building & School initially - eventually all School

School Operation Information				
Year	Grade	Students	Teachers	
2019-2020	6-9	80	9	
2020-2021	6-10	167	13	
2121-2022	6-11	211	16	
2022-2023	6-12	278	20	
2023-2024	6-12	330	23	
2024-2025	6-12	390	26	
2025-2026	6-12	425	28	
2026-2027	6-12	448*	30	

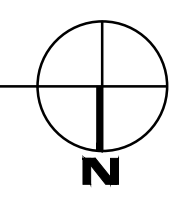
\*Maximum School Population is based on 16 Students per classroom, 4 classrooms per grade level



**1**  
**A-1** PROPOSED - SITE PLAN  
SCALE: 1/8"=1'-0"



**1**  
**ID-1** PROPOSED - GROUND FLOOR PLAN  
SCALE: 1/8"=1'-0"



SHEET NO.  
**ID-1**

COMM. NO.	AS SHOWN
SCALE:	AUGUST 15, 2018
DATE:	JG, CP, RL
DRAWN:	CONCEPTUAL
CHECKED:	
PHASE:	

**GABLES CREST PREPARATORY**

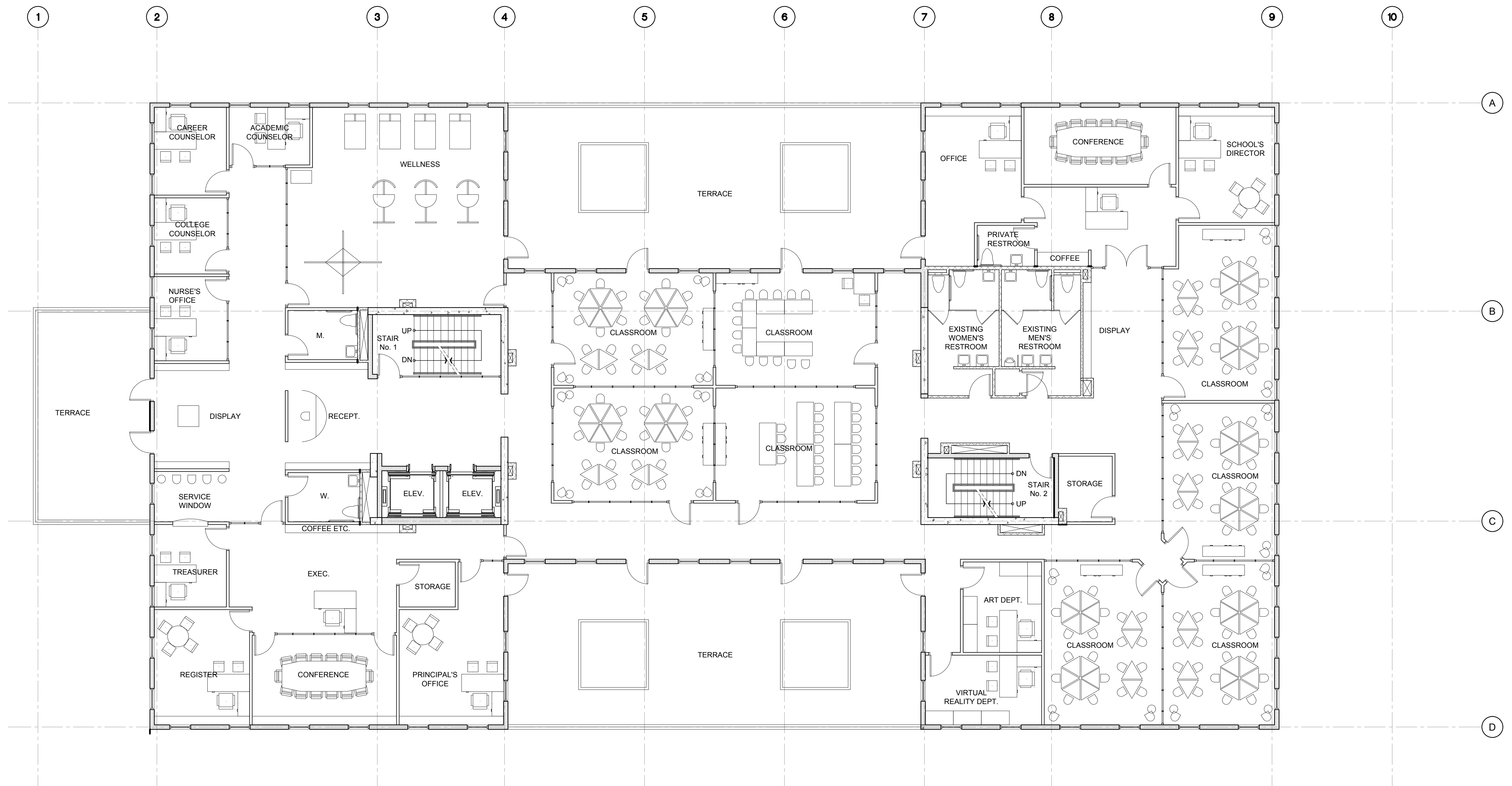
2000 Ponce De Leon Boulevard  
Coral Gables, Florida



**GABLES CREST PREPATORY**  
 2000 Ponce De Leon Boulevard  
 Coral Gables, Florida

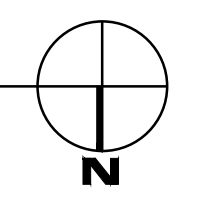
COMM. NO. --  
 SCALE: AS SHOWN  
 DATE: AUGUST 15, 2018  
 DRAWN: JG, CP, RL  
 CHECKED: --  
 PHASE: CONCEPTUAL

SHEET NO. **ID-2**

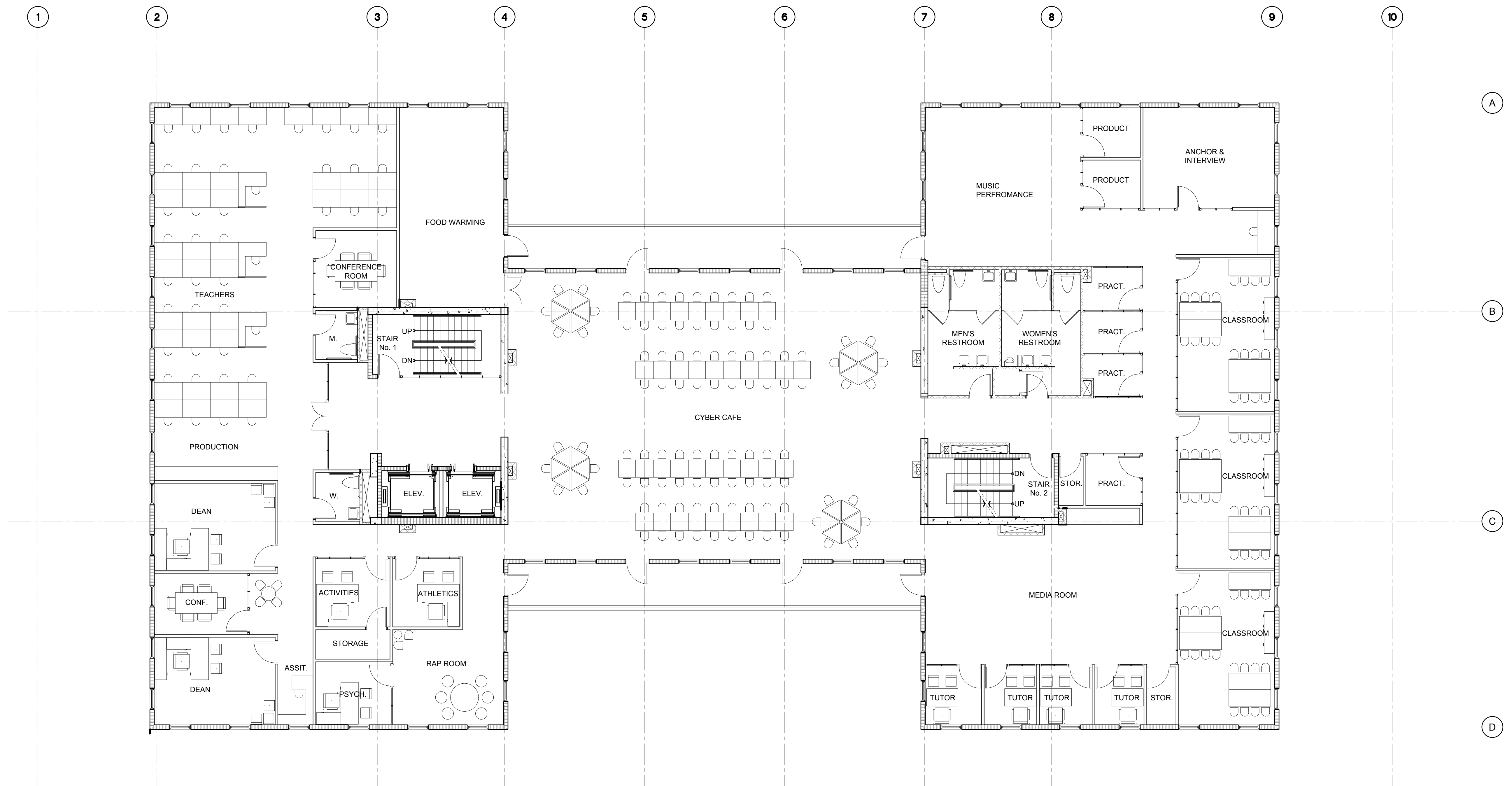


MIN. PLUMBING FIXTURE COUNT (PUBLIC SPACES)								
OCCUPANCY / CLASSIFICATION	NO. OF OCCUPANTS		WATER CLOSETS / URINALS		LAVATORIES		EWC	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE		
<b>FIFTH FLOOR</b>								
- CLASSROOMS	96	96	1 WC / 1U (1/50)	2 WC (1/50)	2 (1/50)	2 (1/50)	2 (1/100)	N/A
- OFFICE	10	10	1 WC (1/25)	1 WC (1/25)	1 (1/40)	1 (1/40)	1 (1/100)	1
<b>PROJECT GRAND TOTAL:</b>	<b>106</b>	<b>106</b>	<b>2 WC / 1 U</b>	<b>3 WC</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>1</b>

**1**  
**ID-2** **PROPOSED - FIFTH FLOOR PLAN**  
 SCALE: 1/8"=1'-0"

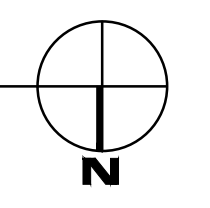


**GABLES CREST PREPATORY**  
 2000 Ponce De Leon Boulevard  
 Coral Gables, Florida



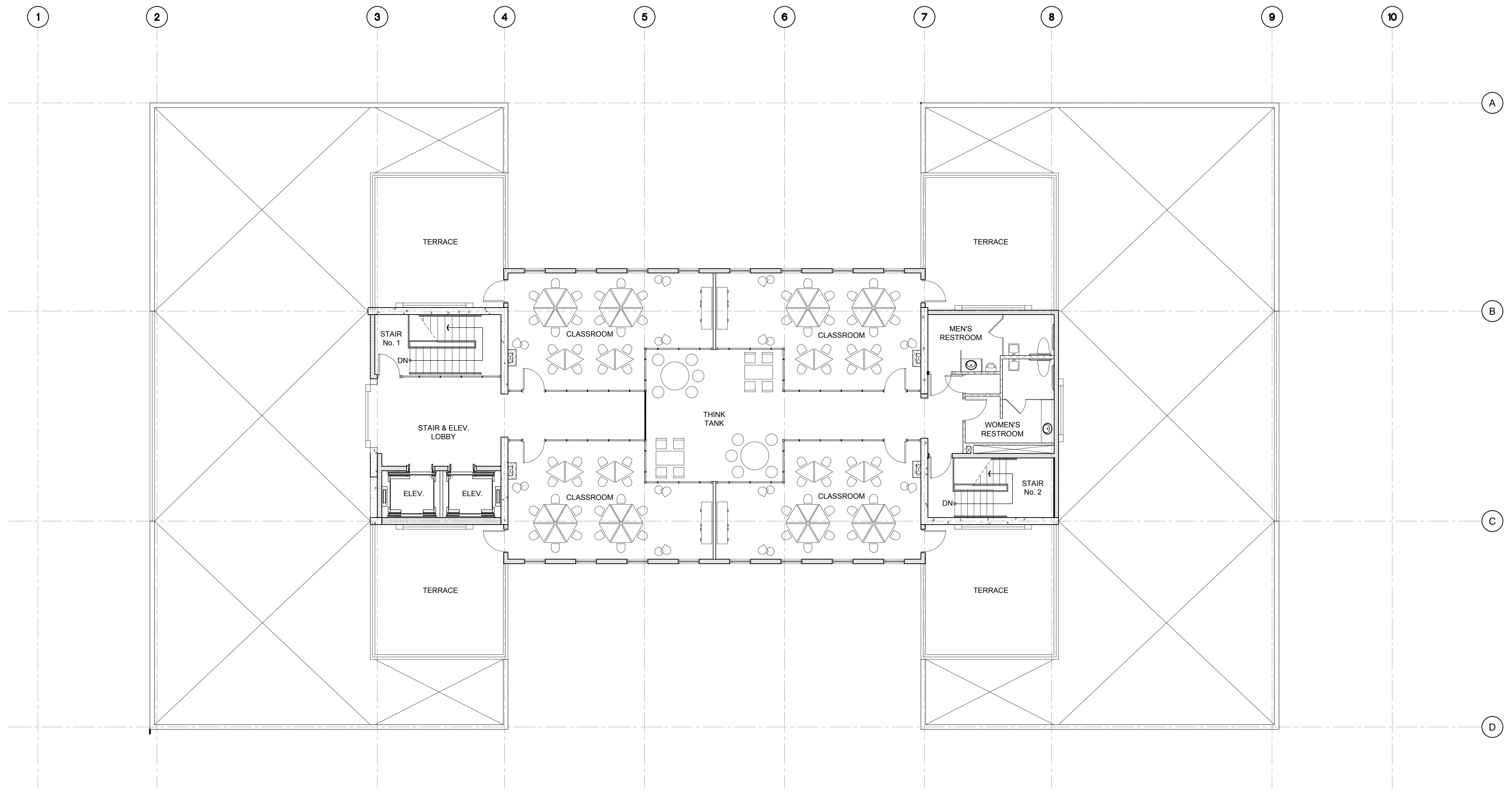
MIN. PLUMBING FIXTURE COUNT (PUBLIC SPACES)								
OCCUPANCY / CLASSIFICATION	NO. OF OCCUPANTS		WATER CLOSETS / URINALS		LAVATORIES		EWC	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE		
<b>SIXTH FLOOR</b>								
- CLASSROOMS	96	96	1 WC / 1U (1/50)	2 WC (1/50)	2 (1/50)	2 (1/50)	2 (1/100)	N/A
- OFFICE	10	10	1 WC (1/25)	1 WC (1/25)	1 (1/40)	1 (1/40)	1 (1/100)	1
<b>PROJECT GRAND TOTAL:</b>	<b>106</b>	<b>106</b>	<b>2 WC / 1 U</b>	<b>3 WC</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>1</b>

**1**  
**ID-3** **PROPOSED - SIXTH FLOOR PLAN**  
 SCALE: 1/8"=1'-0"



COMM. NO. --  
 SCALE: AS SHOWN  
 DATE: AUGUST 15, 2018  
 DRAWN: JG, CP, RL  
 CHECKED: --  
 PHASE: CONCEPTUAL

**GABLES CREST PREPATORY**  
 2000 Ponce De Leon Boulevard  
 Coral Gables, Florida



MIN. PLUMBING FIXTURE COUNT (PUBLIC SPACES)								
OCCUPANCY / CLASSIFICATION	NO. OF OCCUPANTS		WATER CLOSETS / URINALS		LAVATORIES		EWC	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE		
SEVENTH FLOOR								
- CLASSROOMS	32	32	1 WC / 1U (1/50)	1 WC (1/50)	2 (1/50)	2 (1/100)	2 (1/100)	N/A
<b>PROJECT GRAND TOTAL:</b>	<b>32</b>	<b>32</b>	<b>1 WC / 1 U</b>	<b>1 WC</b>	<b>2</b>	<b>2</b>	<b>2</b>	<b>1</b>

**1**  
**ID-4** PROPOSED - SEVENTH FLOOR PLAN  
 SCALE: 1/8"=1'-0"

COMM. NO. --  
 SCALE: AS SHOWN  
 DATE: AUGUST 15, 2018  
 DRAWN: JG, CP, RL  
 CHECKED: --  
 PHASE: CONCEPTUAL

SHEET NO.  
**ID-4**

## BUILDING CODE & LIFE SAFETY GENERAL INFORMATION

THE LIFE SAFETY IS BASED ON THE FOLLOWING INFORMATION: THE INFORMATION INDICATED ON THIS SHEET (LS-0.0)

### APPLICABLE CODES AND GUIDELINES

- FLORIDA BUILDING CODE (2017 6TH EDITION)
- FLORIDA FIRE PREVENTION CODE (FFPC 2017 5TH EDITION)
- NFPA LIFE SAFETY CODE (2012 EDITION)

THESE CONSTRUCTION DOCUMENTS ARE COMPLIANT WITH THE ADA ACCESSIBILITY GUIDELINES (ADAAG) AND UNIFORM ACCESSIBILITY STANDARDS (UFAS), WHERE APPLICABLE.

### OCCUPANCY TYPE

GABLES CREST PREPARATORY PROJECT IS CLASSIFIED PRIMARILY AS: GROUP "E", EDUCATIONAL OCCUPANCY PER (FBC), SECTION 305.1

THE FOLLOWING OCCUPANCY TYPES ARE USED WITHIN GABLES CREST PREPARATORY PROJECT. SOME MINOR ACCESSORY USES DO NOT OCCUPY MORE THAN 10 PERCENT OF A FLOOR AREA AND ARE THEREFORE CONSIDERED INCIDENTAL TO THE MAJOR USE AND ARE TREATED AS A PART OF THE PREDOMINANT OCCUPANCY.

### OCCUPANCIES

USE	OCCUPANCY	GROUP	NFPA 101	FBC
PRIVATE SCHOOL	EDUCATIONAL	E	--	305.1
--	--	--	--	--

### OCCUPANCY SEPARATION

THE FOLLOWING FIRE-RESISTANT RATINGS (FRR) FOR OCCUPANCY SEPARATIONS BETWEEN THE VARIOUS GROUPS AND DIVISIONS OF OCCUPANCIES ARE AS ESTABLISHED IN FBC, 508.3.3, TABLE 508.4.

### OCCUPANCY SEPARATIONS

REQUIREMENT OCCUPANCY SEPARATIONS, IN HOURS (MIXED OCCUPANCY) FBC 508.3.3				
GROUP	E		--	
	S	NS	S	NS
E	N	N	1	2
--	1	2	N	N

S = SPRINKLERED BLDG.  
 NS = BLDGS NOT EQUIPPED W/ SPRINKLER PER FBC 903.3.1.1  
 N = NO SEPARATION REQUIREMENT  
 E = EDUCATIONAL BUILDING

### CONSTRUCTION TYPE

GABLES CREST PREPARATORY EDUCATIONAL PROJECT IS AN EXISTING CONSTRUCTION TYPE 2B BUILDING OF NON-COMBUSTIBLE MATERIALS BASED UPON ITS CLASSIFICATION AS A GROUP E EDUCATIONAL OCCUPANCY OF UNLIMITED HEIGHT AND AREA LIMITS. THIS PROJECT FALLS UNDER THE CLASSIFICATION OF REMODEL CONSTRUCTION.

### CLASSIFICATION OF HAZARD

THE HAZARD OF CONTENTS SHALL BE THE RELATIVE DANGER OF THE START AND SPREAD OF FIRE, THE DANGER OF SMOKE OR GASES GENERATED, AND THE DANGER OF EXPLOSION OR OTHER OCCURRENCE POTENTIALLY ENDANGERING THE LIVES AND SAFETY OF THE BUILDING OCCUPANTS. HAZARD OF CONTENTS SHALL BE DETERMINED BY THE AHJ ON THE BASIS OF THE CHARACTER OF THE CONTENTS AND THE PROCESSES OR OPERATIONS CONDUCTED IN THE BUILDING. NFPA 6.2.1

EDUCATIONAL - ORDINARY HAZARD

MIN.PLUMBING FIXTURE COUNT (PUBLIC SPACES)									
OCCUPANCY / CLASSIFICATION	NO. OF OCCUPANTS		WATER CLOSETS / URINALS		LAVATORIES		EWC	SERVICE SINK	
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE			
<b>GROUND FLOOR</b>									
-	ADMIN (OFFICE)	9	9	1 WC / 1 U	1 WC	1	1	1 (1/100)	N/A
				1/25 FOR THE FIRST 50 AND 1/50 FOR THE REMAINDER EXCEEDING 50	1/40 FOR THE FIRST 80 AND 1/50 FOR THE REMAINDER EXCEEDING 80				
-	ASSEMBLY	118	118	1 WC (1/125)	1 WC (1/65)	1 (1/200)	1 (1/200)	1 (1/500)	1
GROUND FLOOR TOTAL:		127	127	2 WC / 1 U	2 WC	2	2	2	1
<b>FIFTH - SEVENTH FLOOR</b>									
-	CLASSROOMS	5	5	1 WC	1WC	1	1	1 (1/100)	N/A
				1/25 FOR THE FIRST 50 AND 1/50 FOR THE REMAINDER EXCEEDING 50	1/40 FOR THE FIRST 80 AND 1/50 FOR THE REMAINDER EXCEEDING 80				
-	ASSEMBLY	80	80	1 WC (1/125)	1 WC (1/65)	1 (1/200)	1 (1/200)	1 (1/500)	1
SECOND FLOOR TOTAL:		128	128	2 WC	2 WC	2	2	2	1
PROJECT GRAND TOTAL:		182	182	4 WC / 2 U	4 WC	4	4	4	2

CRITERIA FOR PLUMBING FIXTURE COUNT:  
 FOLLOWS FBC 2014, SECTION 2902.1 AND PLUMBING TABLES (403.1) FOR GROUP B OCCUPANCY

FOR EDUCATIONAL (WATER CLOSETS): PROVIDED AT A RATIO OF 1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50 (FBC 2902.1 PLUMBING 403.1)

LAVATORIES: (FBC PLUMBING 403.1) 1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80.

URINALS: (FBC PLUMBING 419.2) URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 50% OF REQUIRED WATER CLOSETS IN BUSINESS OCCUPANCIES.

DRINKING FOUNTAIN: 1 PER 100

SERVICE SINK: 1

## AREA OF LIFE SAFETY CALCULATIONS

OCCUPANT LOADS, EGRESS CAPACITIES AND TRAVEL DISTANCES FROM THESE AREAS ARE DESIGNED TO MEET FBC AND NFPA REQUIREMENTS.

### OCCUPANT LOAD FACTORS (OLF)

THE CALCULATION OF THE OCCUPANT LOADS IS BASED UPON OLF ESTABLISHED IN NFPA 101 LIFE SAFETY CODE.

ITEM	OCCUPANCY / USE OF SPACE	OCCUPANCY GROUP	TYPICAL LOCATION	LEVEL(S)	OLF REQ'D BY FBC (SQ. FT./OCCUPANT)(1)
1.	EDUCATIONAL	E	TOWER	5TH-6TH-7TH	200
2.	PARKING GARAGE	S-2	GARAGE	1ST-6TH	200

GROSS SQUARE FEET, UNLESS OTHERWISE NOTED.

FIRE RESISTANCE RATING OF STRUCTURAL ELEMENTS (FBC TABLE 601):

### STRUCTURAL FRAME

EXISTING BEARING WALLS (EXTERIOR) 0HR  
 EXISTING BEARING WALLS (INTERIOR) 0HR  
 EXISTING NON BEARING WALLS 0HR  
 EXISTING FLOOR CONSTRUCTION 0HR  
 EXISTING ROOF CONSTRUCTION 0HR

INTERIOR WALL AND CEILING FINISH REQUIREMENTS (FBC TABLE 803.5):  
 VERTICAL EXITS AND EXIT PASSAGEWAYS B  
 EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS C  
 ROOMS AND ENCLOSED SPACES C

ALLOWABLE TRAVEL DISTANCES:  
 MAX. TRAVEL DISTANCE TO EXIT: 250' (FBC 1016.1)  
 MAX. LENGTH OF DEAD END CORRIDORS: 50' (FBC 1017.3)  
 MAX. COMMON PATH OF TRAVEL: 75' (FBC 1014.3)

EGRESS WIDTHS (TABLE 1005.1):  
 LEVEL EXIT: 250' (FBC 1016.1)  
 MAX. LENGTH OF DEAD END CORRIDORS: 50' (FBC 1017.3)  
 MAX. COMMON PATH OF TRAVEL: 75' (FBC 1014.3)

### EGRESS CAPACITY FACTORS

THE FOLLOWING EGRESS CAPACITY FOR COMPONENTS OF MEANS OF EGRESS IS BASED UPON FFPC/ NFPA 101- 7-3.3

	NFPA TABLE 7.3.3.1	FBC
STAIRWAYS:	0.3 INCHES PER PERSON 44 INCHES MINIMUM CLEAR WIDTH FOR NEW STAIRS	0.3 PER PERSON 1005.3.1
LEVEL COMPONENTS, RAMPS, CORRIDORS & DOORS	0.2 INCHES PER PERSON 32 INCHES MIN. CLEAR DOOR WIDTH	0.2 PER PERSON 1005.3.1

### TRAVEL DISTANCES

TRAVEL DISTANCES LISTED ARE BASED UPON OCCUPANCIES PROTECTED THROUGHOUT BY AN APPROVED, AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 101, SECTION 9-7 AND TABLE A-7.6 ALL DISTANCES ARE IN MAXIMUM FEET

OCCUPANCY FBC GROUP	DESCRIPTION	TRAVEL DISTANCE	DEAD END	COMMON PATH OF TRAVEL
E	EDUCATIONAL	250 PER NFPA 101 39.2.6.1	50 PER NFPA 101 39.2.5.2	100 PER NFPA 101 - 39.2.5.3.1
--	--	--	--	--

### SYMBOLS LEGEND

	FIRE EXTINGUISHER
	EXIT SIGN-SHADED QUADRANT INDICATES # OF FACES ARROWS AS SHOWN
	DIRECTION OF EGRESS AND OCCUPANCY LOAD TO THE EXIT
	COMMON PATH OF TRAVEL DISTANCE
	BEGINNING OF TRAVEL DISTANCE INDICATED
WALL ASSEMBLIES FIRE RATING	
	EGRESS PATH
	ONE-HOUR FIRE RATED PARTITION
	TWO-HOUR FIRE RATED PARTITION
	THREE-HOUR FIRE RATED PARTITION
	FOUR-HOUR FIRE RATED PARTITION

NOTE: REFER TO ELECTRICAL PLANS FOR FIRE ALARM DEVICES

## FIRE RESISTANCE RATINGS:

BUILDING ELEMENT (TYPE I) [CODE REFERENCE]	REQUIRED FIRE RESISTANCE RATING [HOURS]	REQUIRED OPENING PROTECTIVES *** [HOURS]
PRIMARY STRUCTURAL FRAME [FBC 602.2] TABLE 601 EXTERIOR FRAME INTERIOR FRAME	3(*) 2(*)	--
EXTERIOR BEARING WALLS	3(*)	1-1/2
EXTERIOR NON-BEARING WALLS	0	0
INTERIOR BEARING WALLS	3(*)	1-1/2
INTERIOR NON-BEARING FIXED AND PERMANENT PARTITIONS	1(**)	3/4
INTERIOR EXIT STAIRWAYS CONNECTING 4 STORIES OR MORE	2	1-1/2
SHAFT ENCLOSURES [FBC 707.4]CONNECTING 4 STORIES OR MORE CONNECTING 3 STORIES OR LESS	2	1-1/2
HORIZONTAL EXITS [NFPA 7.2.4]	2	1-1/2
EXIT PASSAGEWAYS [NFPA 7.2.6 & 7.1.3.2]	2	1-1/2
FLOORS	2(*)	1-1/2
ROOFS LESS THAN 15' CLEAR HEIGHT 15' TO 20' CLEAR HEIGHT	2(*) 1(*)	1 1/2 3/4
ELECTRICAL, TELEPHONE, COMMUNICATIONS, SECURITY ROOMS	2	1 1/2
EXIT ACCESS CORRIDORS	1	3/4
EXIT ENCLOSURES	2	1 1/2
JANITOR'S CLOSETS / STORAGE ROOMS	1	3/4
ROOMS W/ FIRE ALARM PANELS / EQUIPMENT	2	1 1/2

(\*) THE FIRE RATINGS SHOWN REFLECT A 1-HOUR REDUCTION, ACCORDING TO: FBC903.3.1.1 & FBC 602.2 TABLE 601  
 (\*\*\*) FBC 715.4

### FIRE EXTINGUISHERS

PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED, INSPECTED AND MAINTAINED IN ACCORDANCE WITH NFPA 10. FIRE EXTINGUISHERS SHALL BE SELECTED FOR THE SPECIFIC CLASS(ES) OF HAZARDS TO BE PROTECTED IN ACCORDANCE WITH THE FOLLOWING: CLASS "A" HAZARDS SHALL BE SELECTED FROM WATER-TYPE AND MULTIPURPOSE DRY CHEMICAL. NFPA 10-2.2.1 EXTINGUISHERS SHALL BE LOCATED SO THAT THE MAXIMUM TRAVEL DISTANCES SHALL NOT EXCEED 75 FT. NFPA 10-3.2.1, TABLE 3-2.1

### FIRE HOSE VALVES

HOSE SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 14. THE NUMBER OF STAND PIPE RISERS AND HOSE STATIONS SHALL BE SUCH THAT A STREAM OF WATER CAN BE BROUGHT TO BEAR ON ALL PARTS OF ALL FLOORS WITHIN 30 FEET OF A NOZZLE CONNECTED TO NOT MORE THAN 100 FEET OF HOSE CONNECTED TO A STANDPIPE...

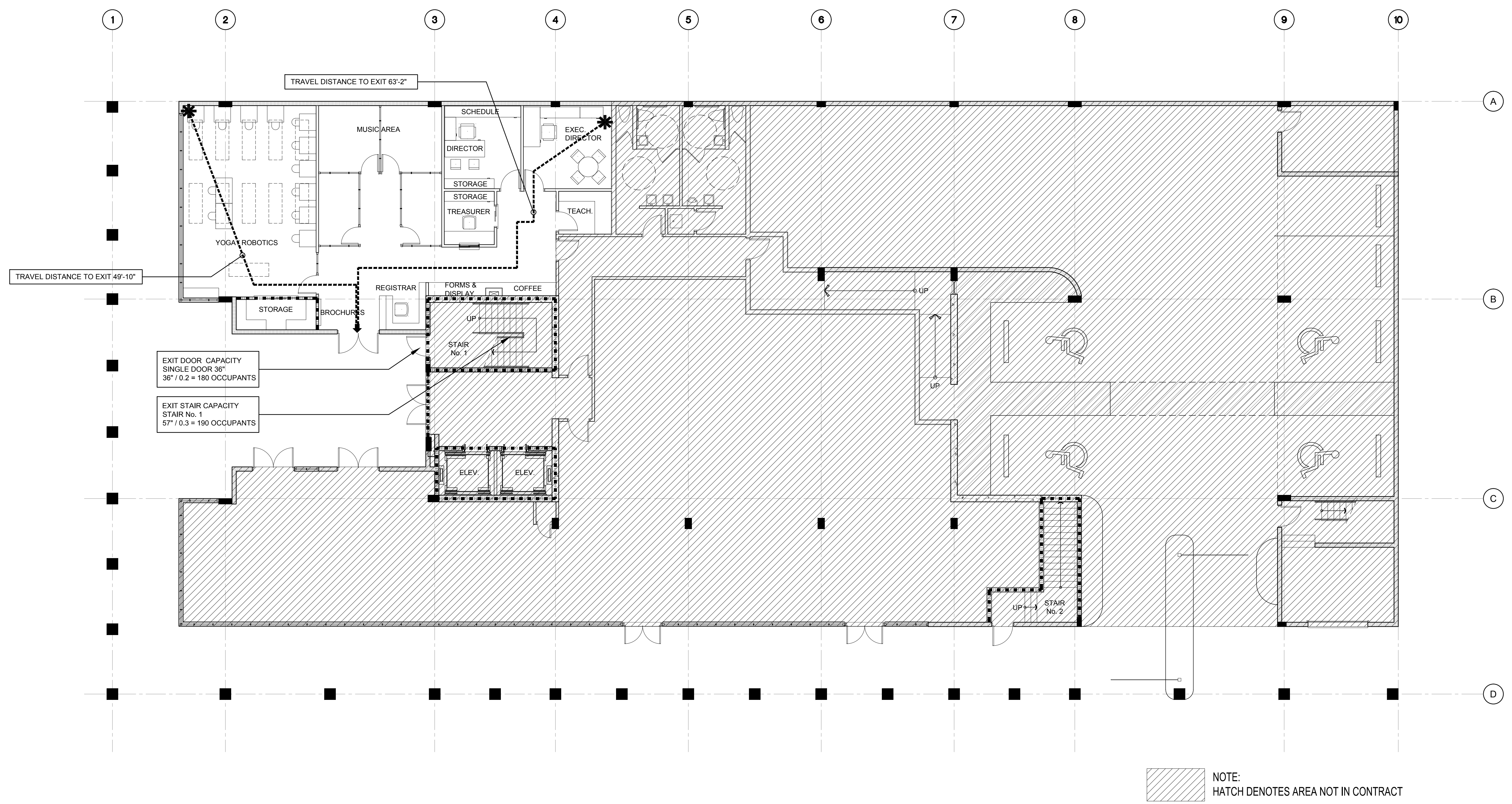
### FIRE RESISTIVE SPRAY

ALL EXPOSED STRUCTURAL MEMBERS SHALL BE SPRAYED WITH CAFCO BLAZE-SHIELD FIRE RESISTIVE INSULATION. SEE SHEET A-10.5, DETAIL 1 FOR MORE INFORMATION.

**GABLES CREST PREPARATORY**  
 2000 Ponce De Leon Boulevard  
 Coral Gables, Florida

COMM. NO. ---  
 SCALE: AS SHOWN  
 DATE: AUGUST 15, 2018  
 DRAWN: JG, CP, RL  
 CHECKED: ---  
 PHASE: CONCEPTUAL

SHEET NO.  
**LS-0.1**



NOTE:  
 HATCH DENOTES AREA NOT IN CONTRACT

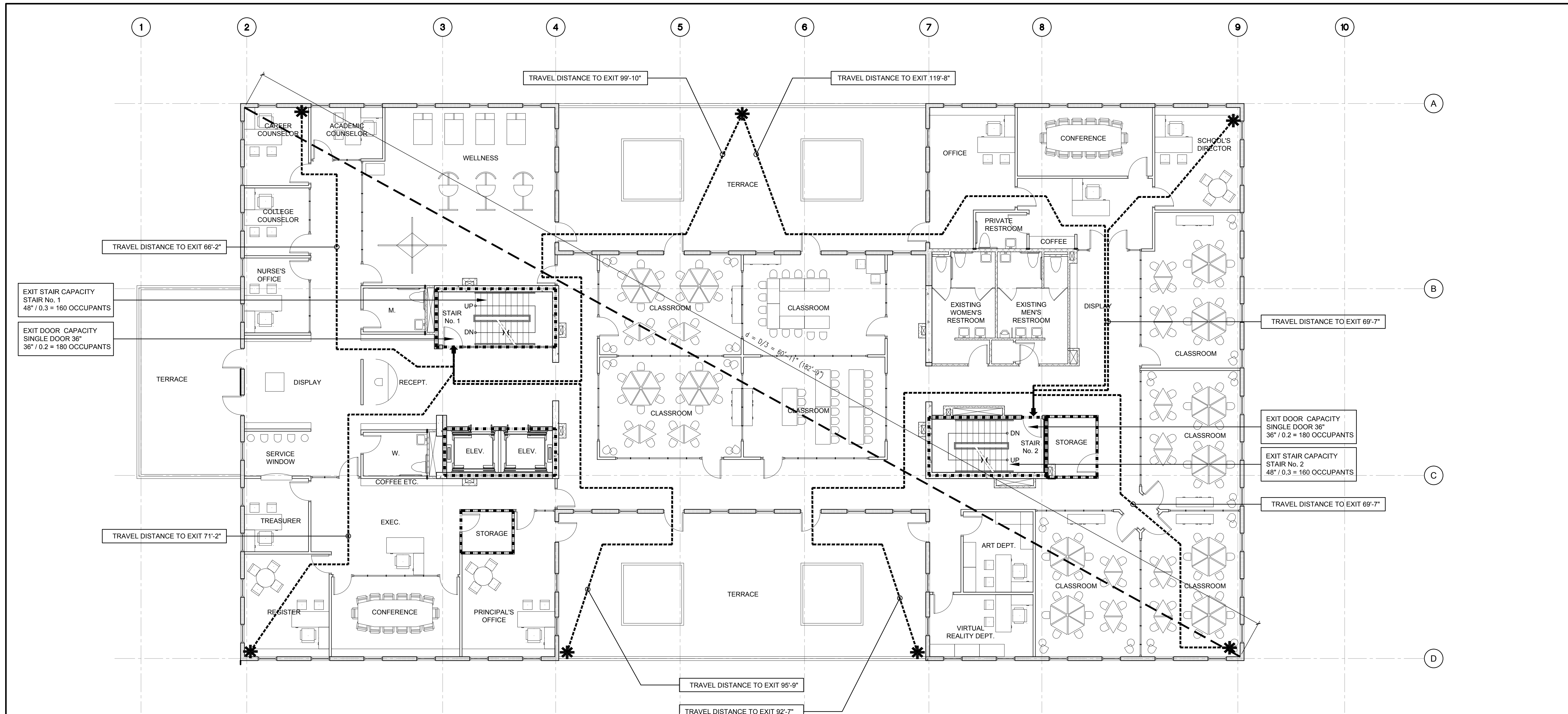
**1** LIFE SAFETY - PROPOSED GROUND FLOOR PLAN  
 LS-01 SCALE: 1/8"=1'-0"

	NFPA TABLE 7.3.3.1		FBC
STAIRWAYS:	0.3 INCHES PER PERSON 44 INCHES MINIMUM CLEAR WIDTH FOR NEW STAIRS	0.3 PER PERSON	1005.3.1
LEVEL COMPONENTS, RAMPS, CORRIDORS & DOORS	0.2 INCHES PER PERSON 32 INCHES MIN. CLEAR DOOR WIDTH	0.2 PER PERSON	1005.3.1

**SYMBOL LEGEND**

<ul style="list-style-type: none"> <li>----- ONE HOUR FIRE RATED WALL</li> <li>----- TWO HOUR FIRE RATED WALL</li> <li>----- THREE HOUR FIRE RATED WALL</li> <li>----- 250' MAX. TRAVEL DISTANCE TO REACH AN EXIT</li> <li>--- EXIT DIRECTION OF TRAVEL</li> <li>* BEGINNING OF TRAVEL DISTANCE INDICATED</li> <li>⊗ FIRE ALARM / HORN (SEE ELECTRICAL DWGS.)</li> <li>⊙ EXIT LIGHT (SEE ELECTRICAL DWGS.)</li> <li>⊙ EMERGENCY LIGHTS (SEE ELECTRICAL DWGS.)</li> <li>⊙ BRACKET MOUNTED FIRE EXTINGUISHER</li> <li>⊙ FIRE EXTINGUISHER CABINET</li> <li>⊙ SIGN "NOT AN EXIT"</li> <li>⊙ PHONE JACK (SEE ELECTRICAL DWGS.)</li> </ul>	<ul style="list-style-type: none"> <li>[FACP] FIRE ALARM CONTROL PANEL (SEE ELECTRICAL DWGS.)</li> <li>[M] MANUAL PULL STATION (SEE ELECTRICAL DWGS.)</li> <li>⊙ SMOKE/HEAT PHOTOELECTRIC DETECTOR (SEE ELECTRICAL DWGS.)</li> <li>⊙ HEAT DETECTOR (SEE ELECTRICAL DWGS.)</li> <li>⊙ SMOKE/HEAT PHOTOELECTRIC DETECTOR FOR ELEVATOR CAPTURE, CEILING MOUNTED. (SEE ELECTRICAL DWGS.)</li> <li>⊙ COMBINATION SPEAKER/STROBE, CEILING MOUNTED</li> <li>⊙ BEAM TYPE SMOKE DETECTOR</li> <li>⊙ SPEAKER HORN (SEE ELECTRICAL DWGS.)</li> <li>⊙ HEAT DETECTOR (SEE ELECTRICAL DWGS.)</li> <li>⊙ STROBE LIGHT (SEE ELECTRICAL DWGS.)</li> <li>⊙ ELEVATOR WARNING LIGHT "DO NOT USE ELEVATOR" CONTROL MODULE FOR ELEVATOR CAB RECALL (SEE ELECTRICAL DWGS.)</li> <li>⊙ FIRE ALARM MONITOR MODULE (SEE ELECTRICAL DWGS.)</li> </ul>
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\*BUILDING TO HAVE FULLY SPRINKLED FIRE PROTECTION SYSTEM IN ACCORDANCE WITH N.F.P.A. 13  
 \*2 HOUR FIRE RATED SLAB BETWEEN FLOORS



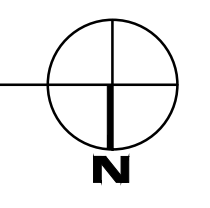
EXIT STAIR CAPACITY  
STAIR No. 1  
48' / 0.3 = 160 OCCUPANTS

EXIT DOOR CAPACITY  
SINGLE DOOR 36"  
36' / 0.2 = 180 OCCUPANTS

EXIT DOOR CAPACITY  
SINGLE DOOR 36"  
36' / 0.2 = 180 OCCUPANTS

EXIT STAIR CAPACITY  
STAIR No. 2  
48' / 0.3 = 160 OCCUPANTS

**1** LIFE SAFETY - PROPOSED FIFTH FLOOR PLAN  
LS-02 SCALE: 1/8"=1'-0"



SYMBOL LEGEND			
-----	ONE HOUR FIRE RATED WALL	[FACP]	FIRE ALARM CONTROL PANEL (SEE ELECTRICAL DWGS.)
-----	TWO HOUR FIRE RATED WALL	[F]	MANUAL PULL STATION (SEE ELECTRICAL DWGS.)
-----	THREE HOUR FIRE RATED WALL	[S]	SMOKE/HEAT PHOTOELECTRIC DETECTOR (SEE ELECTRICAL DWGS.)
-----	MAX. TRAVEL DISTANCE TO REACH AN EXIT	[H]	HEAT DETECTOR (SEE ELECTRICAL DWGS.)
-----	EXIT DIRECTION OF TRAVEL	[S]	SMOKE/HEAT PHOTOELECTRIC DETECTOR FOR ELEVATOR CAPTURE, CEILING MOUNTED. (SEE ELECTRICAL DWGS.)
*	BEGINNING OF TRAVEL DISTANCE INDICATED	[S]	COMBINATION SPEAKER/STROBE, CEILING MOUNTED
[X]	FIRE ALARM / HORN (SEE ELECTRICAL DWGS.)	[SD]	BEAM TYPE SMOKE DETECTOR
[E]	EXIT LIGHT (SEE ELECTRICAL DWGS.)	[S]	SPEAKER HORN (SEE ELECTRICAL DWGS.)
[E]	EMERGENCY LIGHTS (SEE ELECTRICAL DWGS.)	[H]	HEAT DETECTOR (SEE ELECTRICAL DWGS.)
[E]	BRACKET MOUNTED FIRE EXTINGUISHER	[L]	STROBE LIGHT (SEE ELECTRICAL DWGS.)
[E]	FIRE EXTINGUISHER CABINET	[W]	ELEVATOR WARNING LIGHT "DO NOT USE ELEVATOR"
[NE]	SIGN "NOT AN EXIT"	[C]	CONTROL MODULE FOR ELEVATOR CAB RECALL (SEE ELECTRICAL DWGS.)
[J]	PHONE JACK (SEE ELECTRICAL DWGS.)	[M]	FIRE ALARM MONITOR MODULE (SEE ELECTRICAL DWGS.)

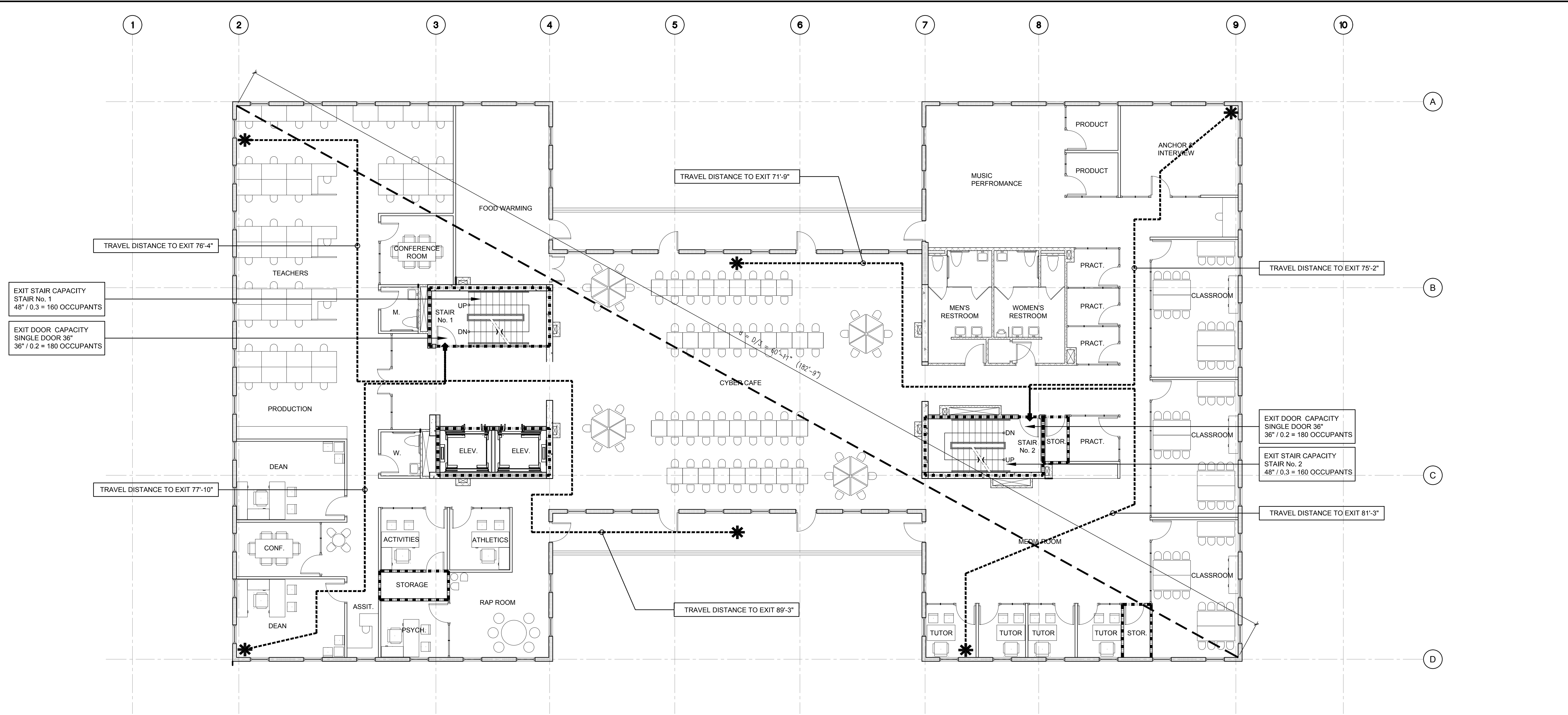
	NFPA TABLE 7.3.3.1	FBC
STAIRWAYS:	0.3 INCHES PER PERSON 44 INCHES MINIMUM CLEAR WIDTH FOR NEW STAIRS	0.3 PER PERSON 1005.3.1
LEVEL COMPONENTS, RAMPS, CORRIDORS & DOORS	0.2 INCHES PER PERSON 32 INCHES MIN. CLEAR DOOR WIDTH	0.2 PER PERSON 1005.3.1

\*BUILDING TO HAVE FULLY SPRINKLED FIRE PROTECTION SYSTEM IN ACCORDANCE WITH N.F.P.A. 13  
\*\*2 HOUR FIRE RATED SLAB BETWEEN FLOORS

**GABLES CREST PREPATORY**  
 2000 Ponce De Leon Boulevard  
 Coral Gables, Florida

COMM. NO. ---  
 SCALE: AS SHOWN  
 DATE: AUGUST 15, 2018  
 DRAWN: JG, CP, RL  
 CHECKED: ---  
 PHASE: CONCEPTUAL

SHEET NO. **LS-0.3**



EXIT STAIR CAPACITY  
 STAIR No. 1  
 48' / 0.3 = 160 OCCUPANTS

EXIT DOOR CAPACITY  
 SINGLE DOOR 36"  
 36' / 0.2 = 180 OCCUPANTS

EXIT DOOR CAPACITY  
 SINGLE DOOR 36"  
 36' / 0.2 = 180 OCCUPANTS

EXIT STAIR CAPACITY  
 STAIR No. 2  
 48' / 0.3 = 160 OCCUPANTS

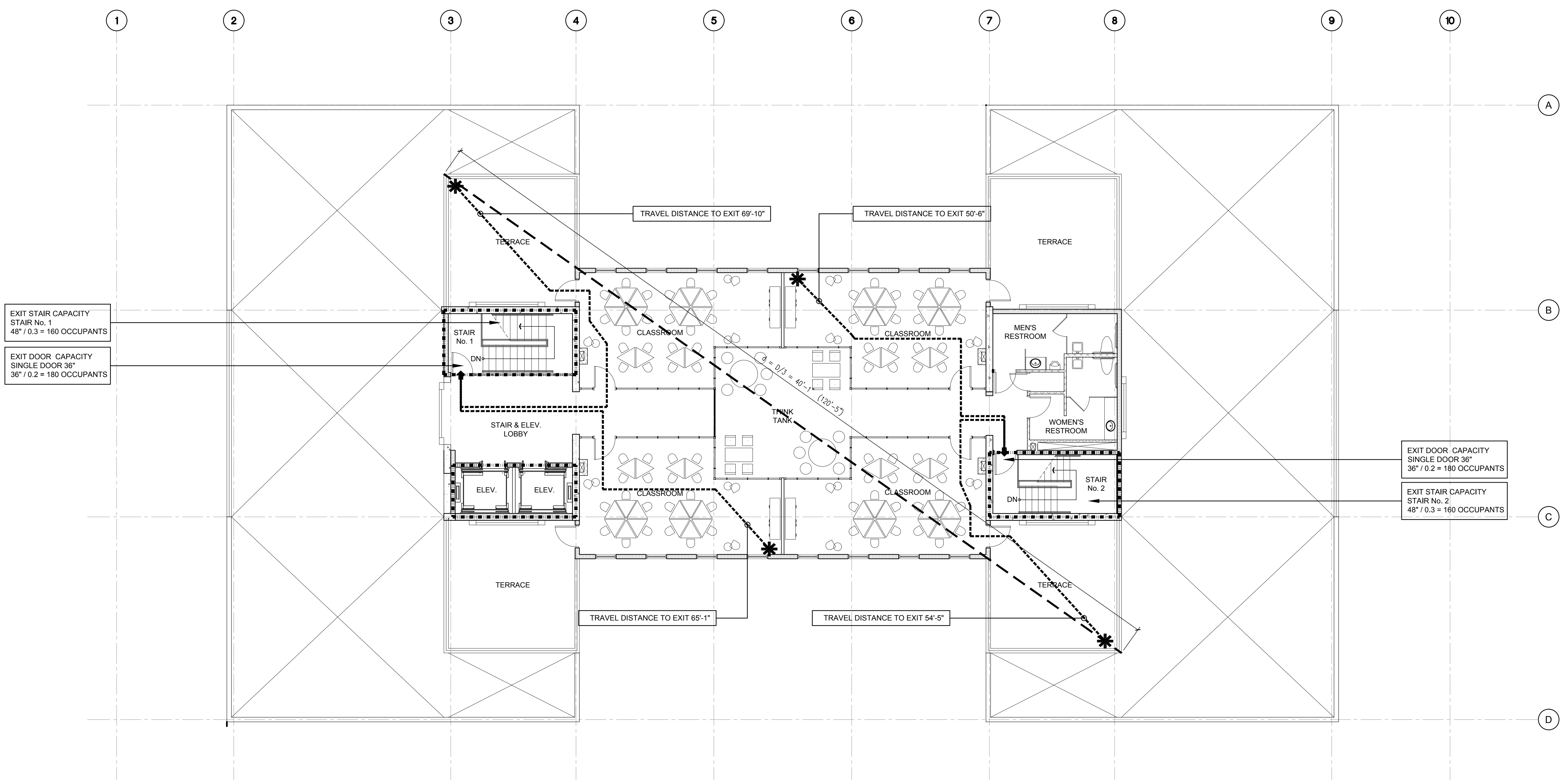
**1** LIFE SAFETY - PROPOSED SIXTH FLOOR PLAN  
 LS-03 SCALE: 1/8"=1'-0"

	NFPA TABLE 7.3.3.1	FBC
STAIRWAYS:	0.3 INCHES PER PERSON 44 INCHES MINIMUM CLEAR WIDTH FOR NEW STAIRS	0.3 PER PERSON 1005.3.1
LEVEL COMPONENTS, RAMPS, CORRIDORS & DOORS	0.2 INCHES PER PERSON 32 INCHES MIN. CLEAR DOOR WIDTH	0.2 PER PERSON 1005.3.1

**SYMBOL LEGEND**

<ul style="list-style-type: none"> <li>● ONE HOUR FIRE RATED WALL</li> <li>■ TWO HOUR FIRE RATED WALL</li> <li>■ THREE HOUR FIRE RATED WALL</li> <li>--- 250' MAX. TRAVEL DISTANCE TO REACH AN EXIT</li> <li>➔ BEGINNING OF TRAVEL DISTANCE INDICATED</li> <li>⊙ FIRE ALARM / HORN (SEE ELECTRICAL DWGS.)</li> <li>⊙ EXIT LIGHT (SEE ELECTRICAL DWGS.)</li> <li>⊙ EMERGENCY LIGHTS (SEE ELECTRICAL DWGS.)</li> <li>⊙ BRACKET MOUNTED FIRE EXTINGUISHER</li> <li>⊙ FIRE EXTINGUISHER CABINET</li> <li>⊙ SIGN "NOT AN EXIT"</li> <li>⊙ PHONE JACK (SEE ELECTRICAL DWGS.)</li> </ul>	<ul style="list-style-type: none"> <li>[FACP] FIRE ALARM CONTROL PANEL (SEE ELECTRICAL DWGS.)</li> <li>[M] MANUAL PULL STATION (SEE ELECTRICAL DWGS.)</li> <li>⊙ SMOKE/HEAT PHOTOELECTRIC DETECTOR (SEE ELECTRICAL DWGS.)</li> <li>⊙ HEAT DETECTOR (SEE ELECTRICAL DWGS.)</li> <li>⊙ SMOKE/HEAT PHOTOELECTRIC DETECTOR FOR ELEVATOR CAPTURE, CEILING MOUNTED. (SEE ELECTRICAL DWGS.)</li> <li>⊙ COMBINATION SPEAKER/STROBE, CEILING MOUNTED</li> <li>⊙ BEAM TYPE SMOKE DETECTOR</li> <li>⊙ SPEAKER HORN (SEE ELECTRICAL DWGS.)</li> <li>⊙ HEAT DETECTOR (SEE ELECTRICAL DWGS.)</li> <li>⊙ STROBE LIGHT (SEE ELECTRICAL DWGS.)</li> <li>⊙ ELEVATOR WARNING LIGHT "DO NOT USE ELEVATOR" CONTROL MODULE FOR ELEVATOR CAB RECALL (SEE ELECTRICAL DWGS.)</li> <li>⊙ FIRE ALARM MONITOR MODULE (SEE ELECTRICAL DWGS.)</li> </ul>
---	--

\*BUILDING TO HAVE FULLY SPRINKLED FIRE PROTECTION SYSTEM IN ACCORDANCE WITH N.F.P.A. 13  
 \*\*2 HOUR FIRE RATED SLAB BETWEEN FLOORS



EXIT STAIR CAPACITY  
 STAIR No. 1  
 48" / 0.3 = 160 OCCUPANTS

EXIT DOOR CAPACITY  
 SINGLE DOOR 36"  
 36" / 0.2 = 180 OCCUPANTS

EXIT DOOR CAPACITY  
 SINGLE DOOR 36"  
 36" / 0.2 = 180 OCCUPANTS

EXIT STAIR CAPACITY  
 STAIR No. 2  
 48" / 0.3 = 160 OCCUPANTS

**1** LIFE SAFETY - PROPOSED SEVENTH FLOOR PLAN  
 LS-04 SCALE: 1/8"=1'-0"

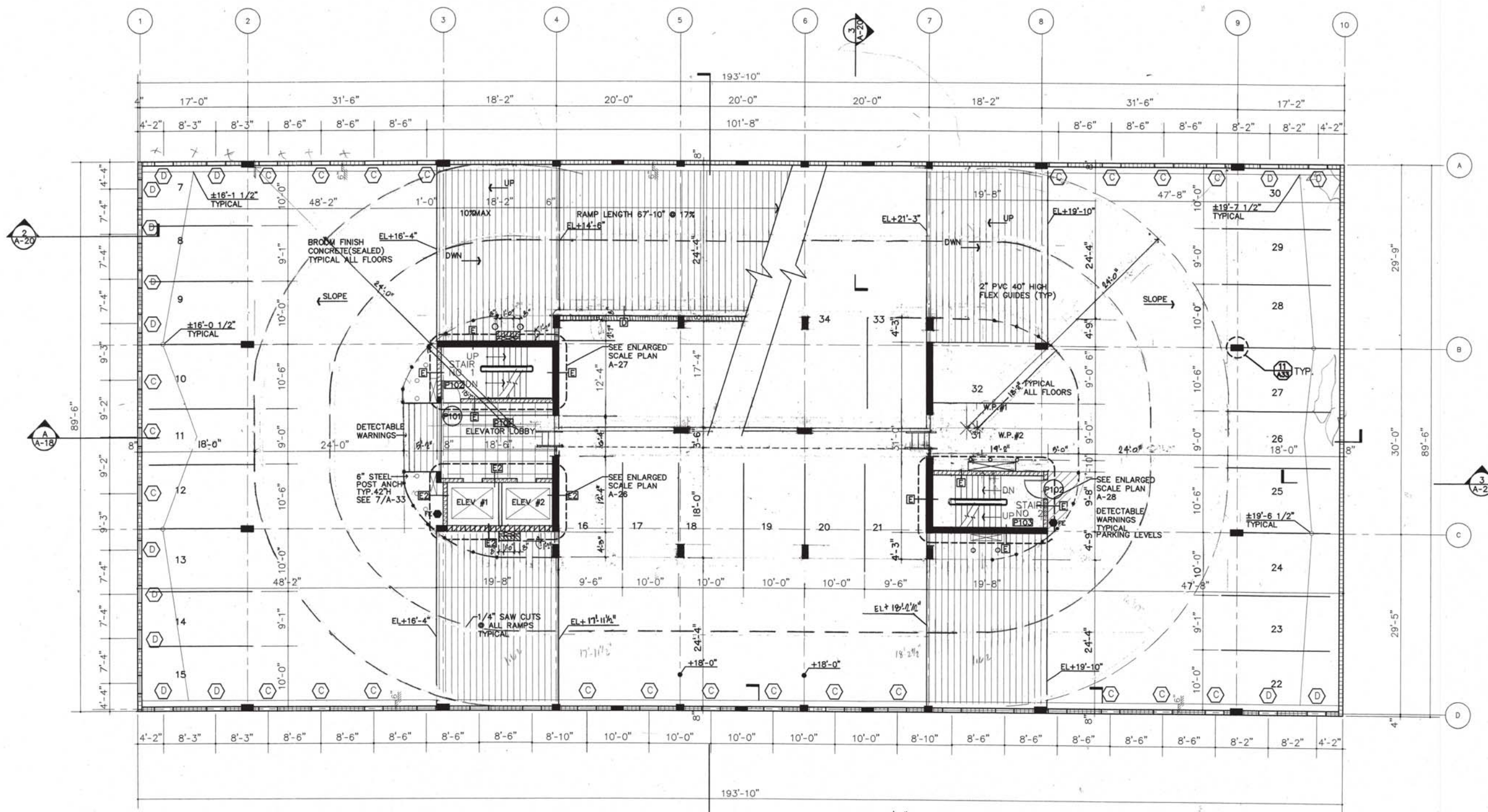
	NFPA TABLE 7.3.3.1		FBC
STAIRWAYS:	0.3 INCHES PER PERSON 44 INCHES MINIMUM CLEAR WIDTH FOR NEW STAIRS	0.3 PER PERSON	1005.3.1
LEVEL COMPONENTS, RAMPS, CORRIDORS & DOORS	0.2 INCHES PER PERSON 32 INCHES MIN. CLEAR DOOR WIDTH	0.2 PER PERSON	1005.3.1

**SYMBOL LEGEND**

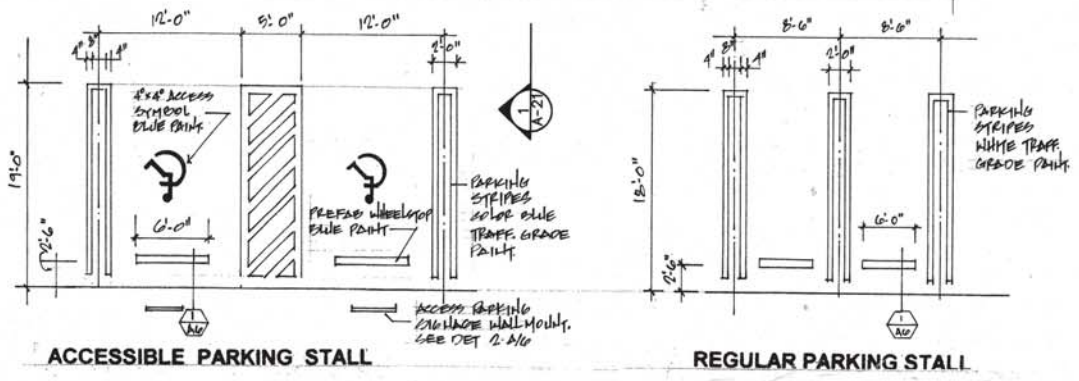
<ul style="list-style-type: none"> <li>----- ONE HOUR FIRE RATED WALL</li> <li>----- TWO HOUR FIRE RATED WALL</li> <li>----- THREE HOUR FIRE RATED WALL</li> <li>----- 250' MAX. TRAVEL DISTANCE TO REACH AN EXIT</li> <li>--- EXIT DIRECTION OF TRAVEL</li> <li>* BEGINNING OF TRAVEL DISTANCE INDICATED</li> <li>⊗ FIRE ALARM / HORN (SEE ELECTRICAL DWGS.)</li> <li>⊕ EXIT LIGHT (SEE ELECTRICAL DWGS.)</li> <li>⊖ EMERGENCY LIGHTS (SEE ELECTRICAL DWGS.)</li> <li>⊙ BRACKET MOUNTED FIRE EXTINGUISHER</li> <li>⊚ FIRE EXTINGUISHER CABINET</li> <li>⊛ SIGN "NOT AN EXIT"</li> <li>⊜ PHONE JACK (SEE ELECTRICAL DWGS.)</li> </ul>	<ul style="list-style-type: none"> <li>[FACP] FIRE ALARM CONTROL PANEL (SEE ELECTRICAL DWGS.)</li> <li>[M] MANUAL PULL STATION (SEE ELECTRICAL DWGS.)</li> <li>⊙ SMOKE/HEAT PHOTOELECTRIC DETECTOR (SEE ELECTRICAL DWGS.)</li> <li>⊕ HEAT DETECTOR (SEE ELECTRICAL DWGS.)</li> <li>⊖ SMOKE/HEAT PHOTOELECTRIC DETECTOR FOR ELEVATOR CAPTURE, CEILING MOUNTED. (SEE ELECTRICAL DWGS.)</li> <li>⊗ COMBINATION SPEAKER/STROBE, CEILING MOUNTED</li> <li>⊘ BEAM TYPE SMOKE DETECTOR</li> <li>⊙ SPEAKER HORN (SEE ELECTRICAL DWGS.)</li> <li>⊕ HEAT DETECTOR (SEE ELECTRICAL DWGS.)</li> <li>⊖ STROBE LIGHT (SEE ELECTRICAL DWGS.)</li> <li>⊗ ELEVATOR WARNING LIGHT "DO NOT USE ELEVATOR" CONTROL MODULE FOR ELEVATOR CAB RECALL (SEE ELECTRICAL DWGS.)</li> <li>[M] FIRE ALARM MONITOR MODULE (SEE ELECTRICAL DWGS.)</li> </ul>
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\*BUILDING TO HAVE FULLY SPRINKLED FIRE PROTECTION SYSTEM IN ACCORDANCE WITH N.F.P.A. 13  
 \*2 HOUR FIRE RATED SLAB BETWEEN FLOORS






**SECOND FLOOR PLAN (PARKING LEVEL 1)**  
 1/8" = 1'-0"

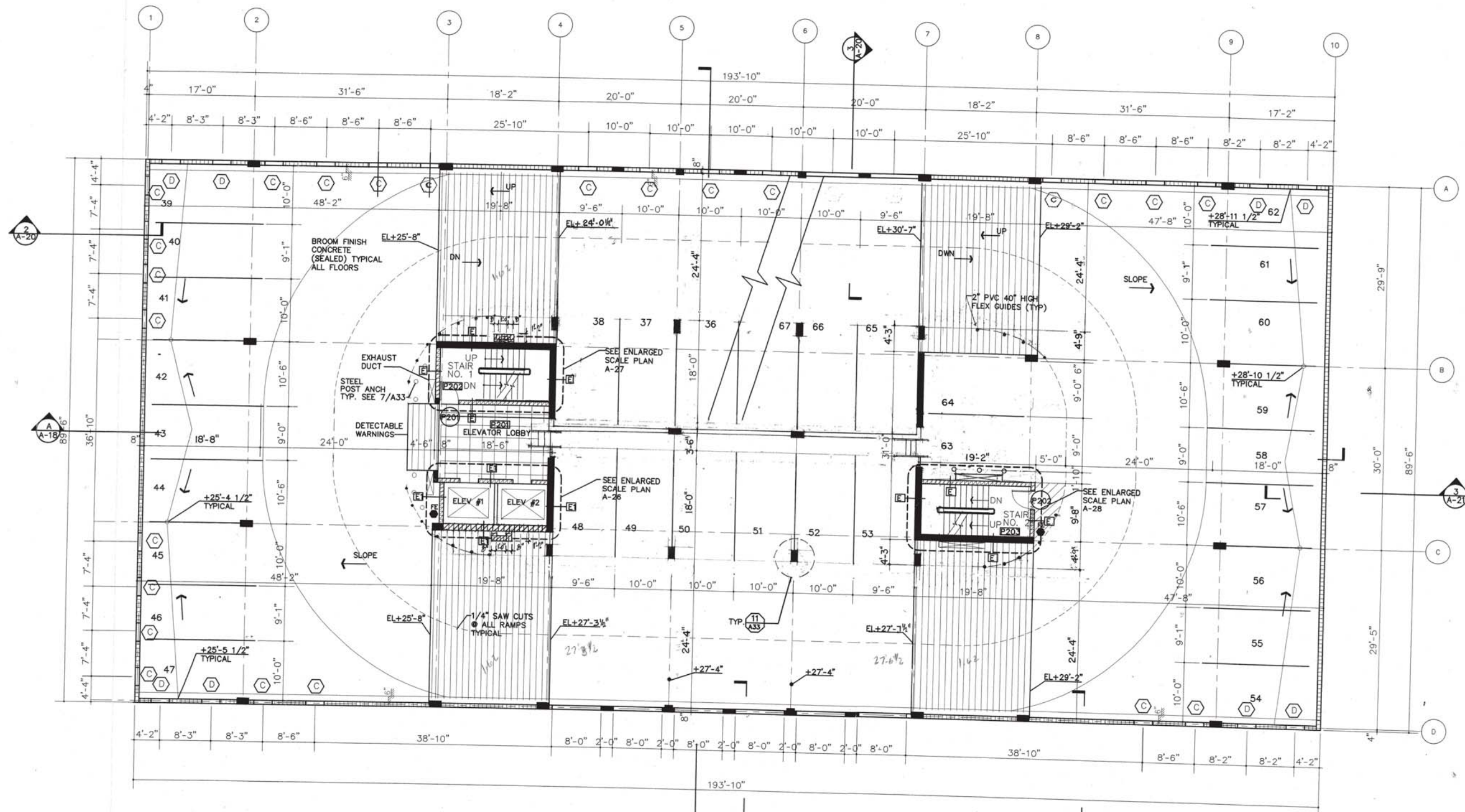


**P.J. GORDO architect**  
 5784 S.W. 28th STREET MIAMI, FL 33155  
 TEL (305) 866-5778

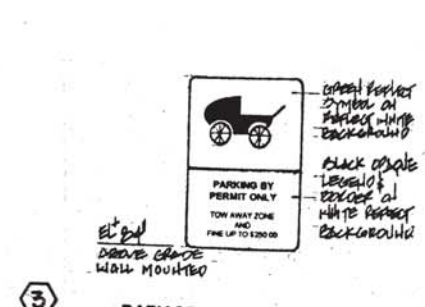
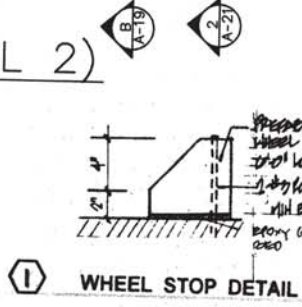
**P.G. FRAGA consulting architect**  
 OFFICE BUILDING  
**2000 PONCE DE LEON SQUARE INC.**  
 CORAL GABLES FLORIDA

LIC. NO.  
 AR 0008767  
 COMMISSION NO.  
 9816  
 DATE ISSUED  
 8/18/97  
 REVISIONS  
 BID SET 7-28-97  
 CS 1-20-98

sheet  
**A-5**  
 of:



**THIRD FLOOR PLAN (PARKING LEVEL 2)**  
 1/8" = 1'-0"

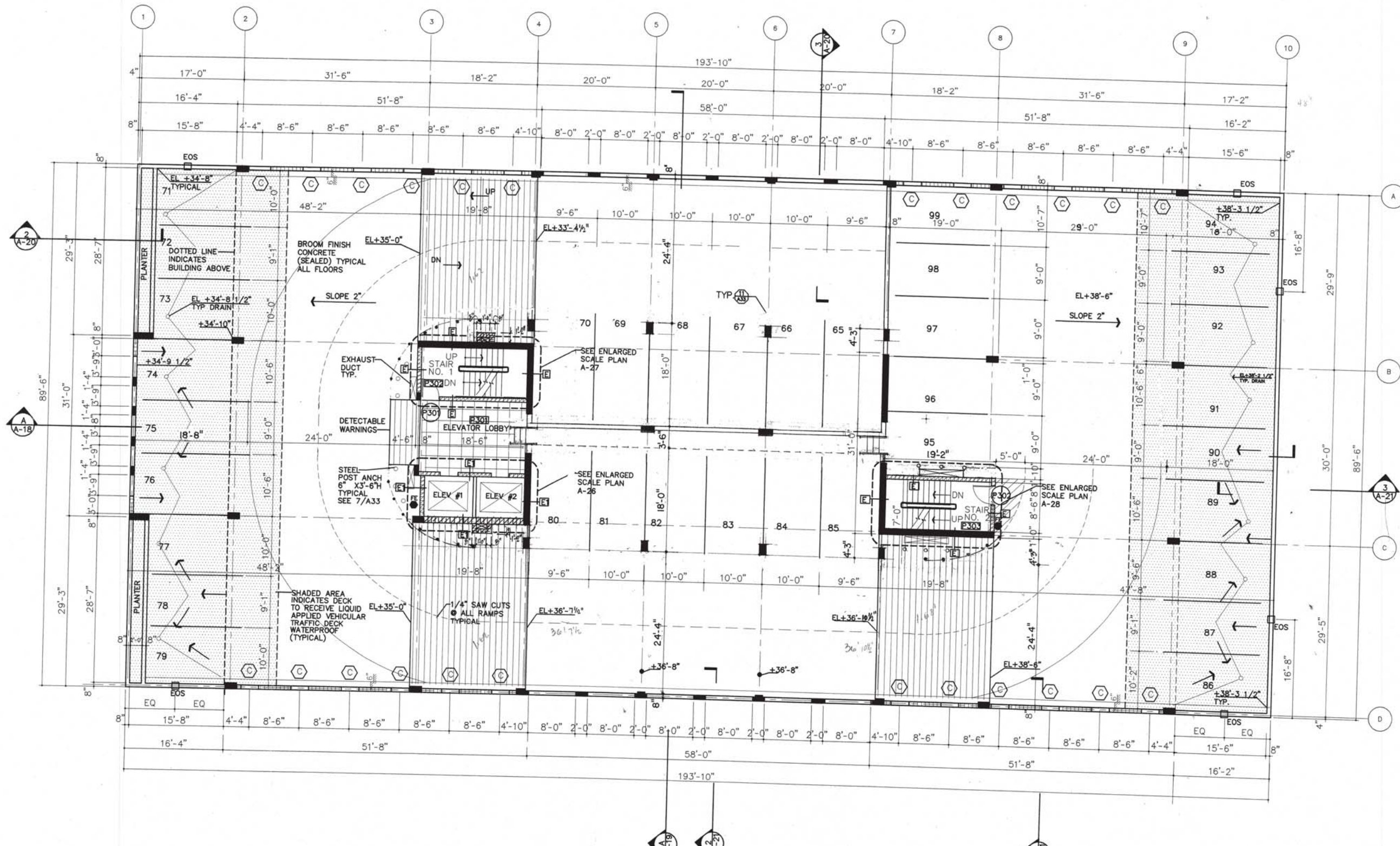


**P.J. GORDO architect**  
 5704 S.W. 26th STREET MIAMI, FL 33155  
 PH. (305) 666-5776

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**A-6**  
 of



FOURTH FLOOR PLAN (PARKING LEVEL 3)  
 1/8" = 1'-0"

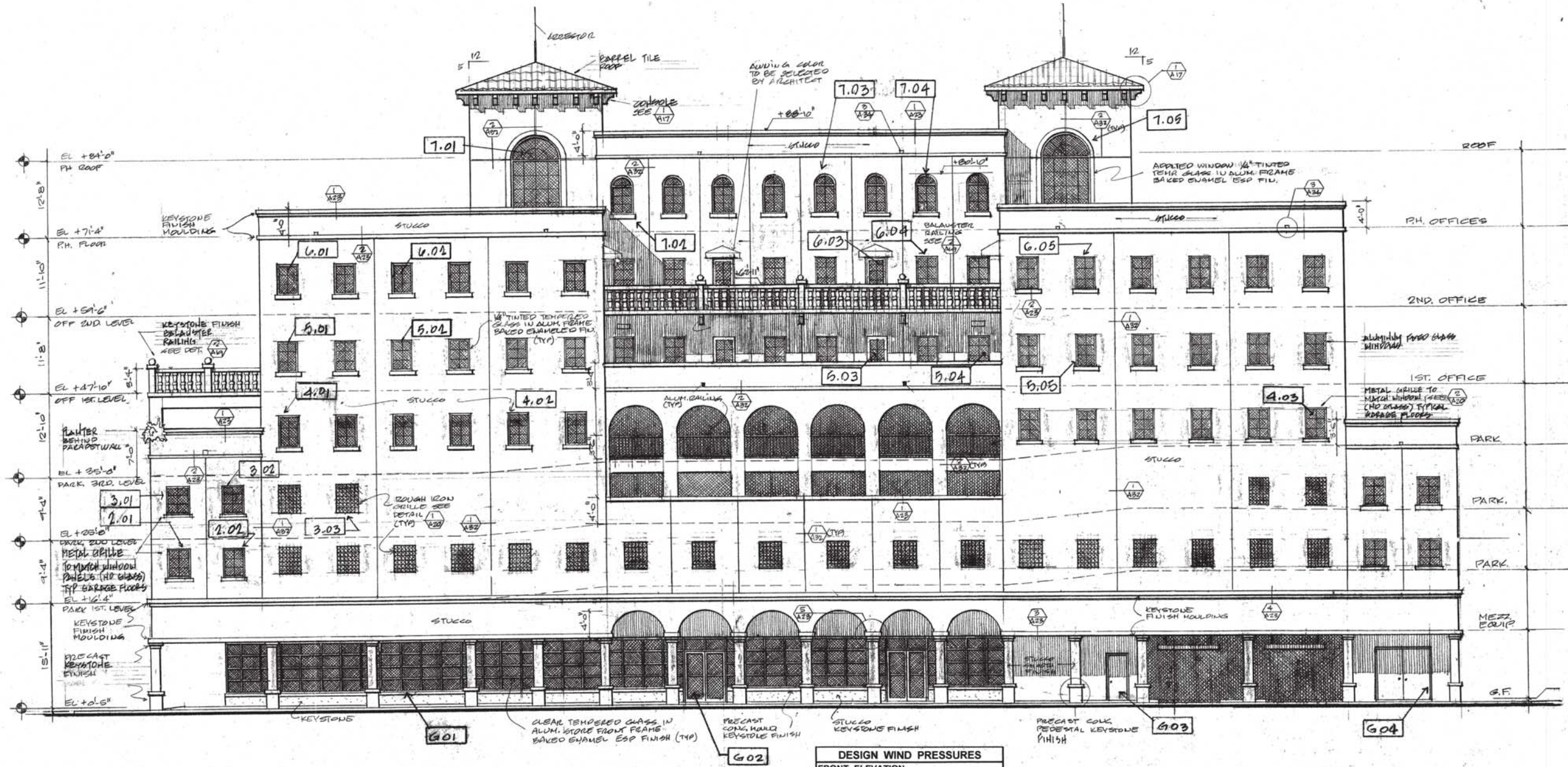
P.J. GORDO architect  
 5794 S.W. 26th STREET  
 MIAMI, FL 33155  
 PH. (305) 664-5778

P.G. FRAGA  
 consulting architect

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 CORAL GABLES, FLORIDA

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 CS 11/20/97

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 A-7  
 of:



**FRONT ELEVATION (NAVARRE AVENUE)**  
SCALE 1/8" = 1'-0"

FRONT ELEVATION						
AREA	Cp	ZONE	q(z) psf	p+ (psf)	p- (psf)	
11.0x7.0=	77.0 s.f.	1.2-1.44	4.5	44.90	+85.10	-75.88
3.0x5.0=	15.0 s.f.	1.36-1.91	5	43.20	+89.55	-93.31
3.0x5.0=	15.0 s.f.	1.36-1.46	4	43.20	+89.55	-73.87
3.0x5.0=	15.0 s.f.	1.36-1.91	5	41.49	+85.79	-89.81
3.0x5.0=	15.0 s.f.	1.36-1.46	4	41.49	+85.79	-71.77
3.0x5.0=	15.0 s.f.	1.36-1.48	4	39.22	+83.14	-84.71
3.0x5.0=	15.0 s.f.	1.36-1.91	5	39.22	+83.14	-67.85
3.0x5.0=	15.0 s.f.	1.36-1.48	4	36.20	+59.00	-80.72
3.0x4.5=	13.5 s.f.	1.38-1.98	5	36.20	+59.00	-62.63
3.0x4.5=	13.5 s.f.	1.38-1.48	4	36.20	+59.00	-57.56
3.5x4.0=	14.0 s.f.	1.37-1.47	4	33.47	+54.22	-74.30
3.5x4.0=	14.0 s.f.	1.37-1.97	5	33.47	+54.22	-52.85
3.5x4.0=	14.0 s.f.	1.37-1.47	4	30.73	+49.78	-68.22
3.5x4.0=	14.0 s.f.	1.37-1.97	5	30.73	+49.78	-68.22
<b>PANELS</b>						
8.0x12.0=	96.0 s.f.	1.15-1.28	4	27.32	+38.24	-41.79
<b>DOORS</b>						
6.0x8.0=	48.0 s.f.	1.21-1.36	4	27.32	+39.88	-43.98
3.0x8.0=	24.0 s.f.	1.30-1.42	4	27.32	+42.34	-45.62
3.0x8.0=	24.0 s.f.	1.30-1.42	4	41.49	+84.30	-69.28
3.0x8.0=	24.0 s.f.	1.30-1.42	4	39.22	+80.79	-65.46
3.0x8.0=	24.0 s.f.	1.30-1.80	5	43.20	+85.96	-88.56
8.0x8.0=	64.0 s.f.	1.21-1.47	4.5	27.32	+39.75	-46.99
<b>WINDOWS</b>						
3.0x6.0=	18.0 s.f.	1.33-1.44	4	43.20	+88.25	-73.00
3.0x7.0=	21.0 s.f.	1.31-1.42	4	41.49	+84.72	-69.28
3.0x7.0=	21.0 s.f.	1.31-1.42	4	39.22	+81.18	-65.49

FRONT ELEVATION			
AREA	P=	AREA	P=
G 01	+36.24 psf	5.01	+63.92 psf
	-41.79 psf		-87.48 psf
G 02	+39.88 psf	5.02	+63.92 psf
	-34.96 psf		-87.85 psf
G 03	+42.34 psf	5.03	+60.79 psf
	-45.62 psf		-65.40 psf
G 04	+39.75 psf	5.04	+61.18 psf
	-46.99 psf		-65.49 psf
2.01	+49.78 psf	6.01	+67.62 psf
	-68.22 psf		-92.52 psf
2.02	+49.78 psf	6.02	+67.62 psf
	-52.85 psf		-71.77 psf
3.01	+54.22 psf	6.03	+64.30 psf
	-74.30 psf		-69.28 psf
3.02	+54.22 psf	6.04	+64.72 psf
	-57.56 psf		-66.26 psf
3.03	+54.22 psf	6.05	+69.55 psf
	-57.56 psf		-73.87 psf
4.01	+59.00 psf	7.01	+65.10 psf
	-62.62 psf		-75.80 psf
4.02	+59.00 psf	7.02	+66.55 psf
	-62.62 psf		-93.31 psf
4.03	+59.00 psf	7.03	+69.55 psf
	-62.62 psf		-73.87 psf
		7.04	+88.25 psf
			-73.00 psf
		7.05	+85.10 psf
			-75.88 psf

1 BID SET  
7-28-97

P.J. GORDO architect  
5784 S.W. 20th STREET MIAMI, FL 33155  
PH (305) 866-3778

P.G. FRAGA  
consulting architect

OFFICE BUILDING  
2000 PONCE DE LEON SQUARE INC.  
FLORIDA  
CORAL GABLES,

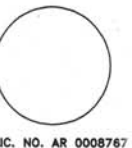
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9616  
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of 34



P.J. GORDO architect  
 P.G. FRAGA consulting architect

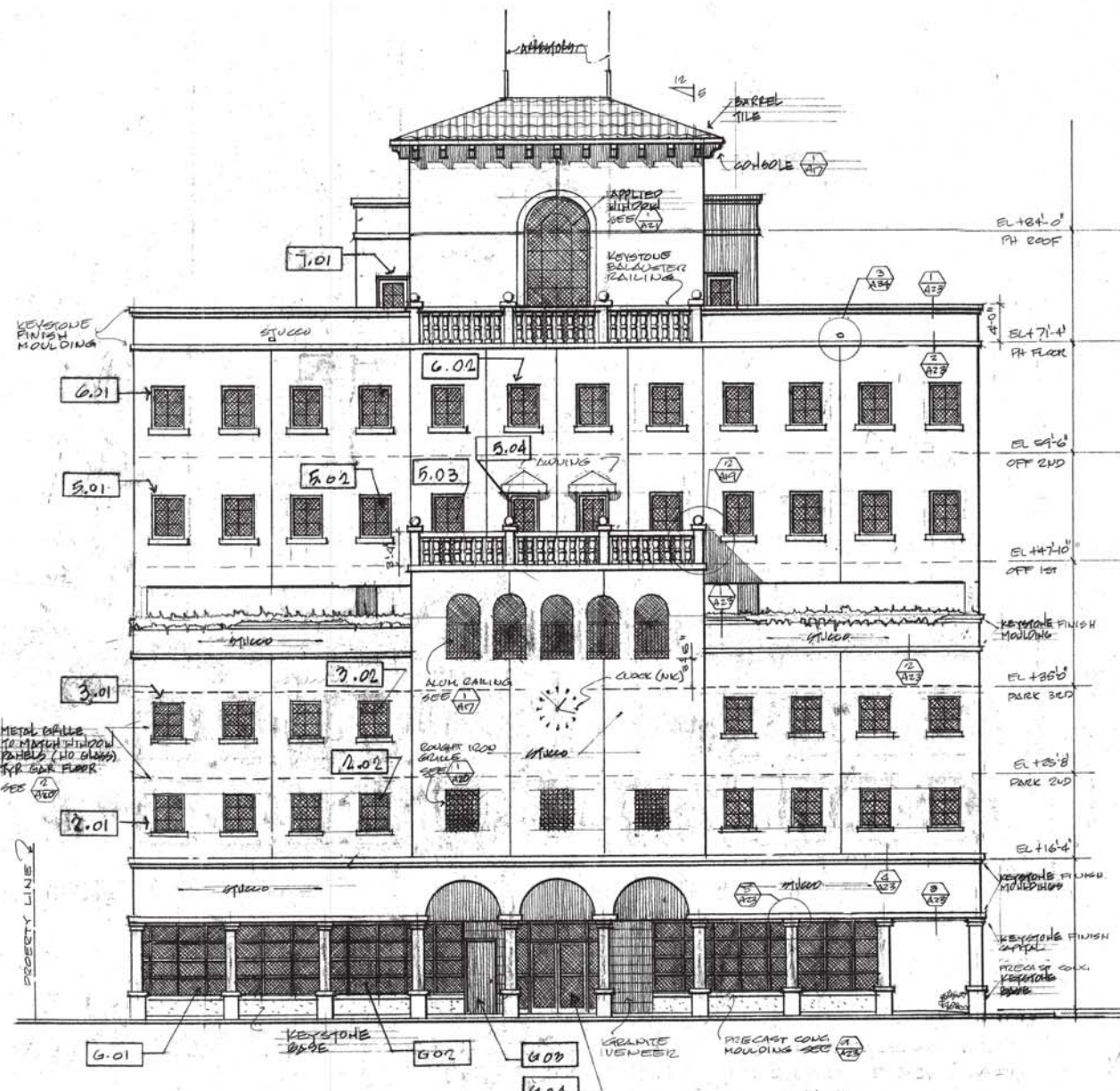
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 CORAL GABLES, FLORIDA



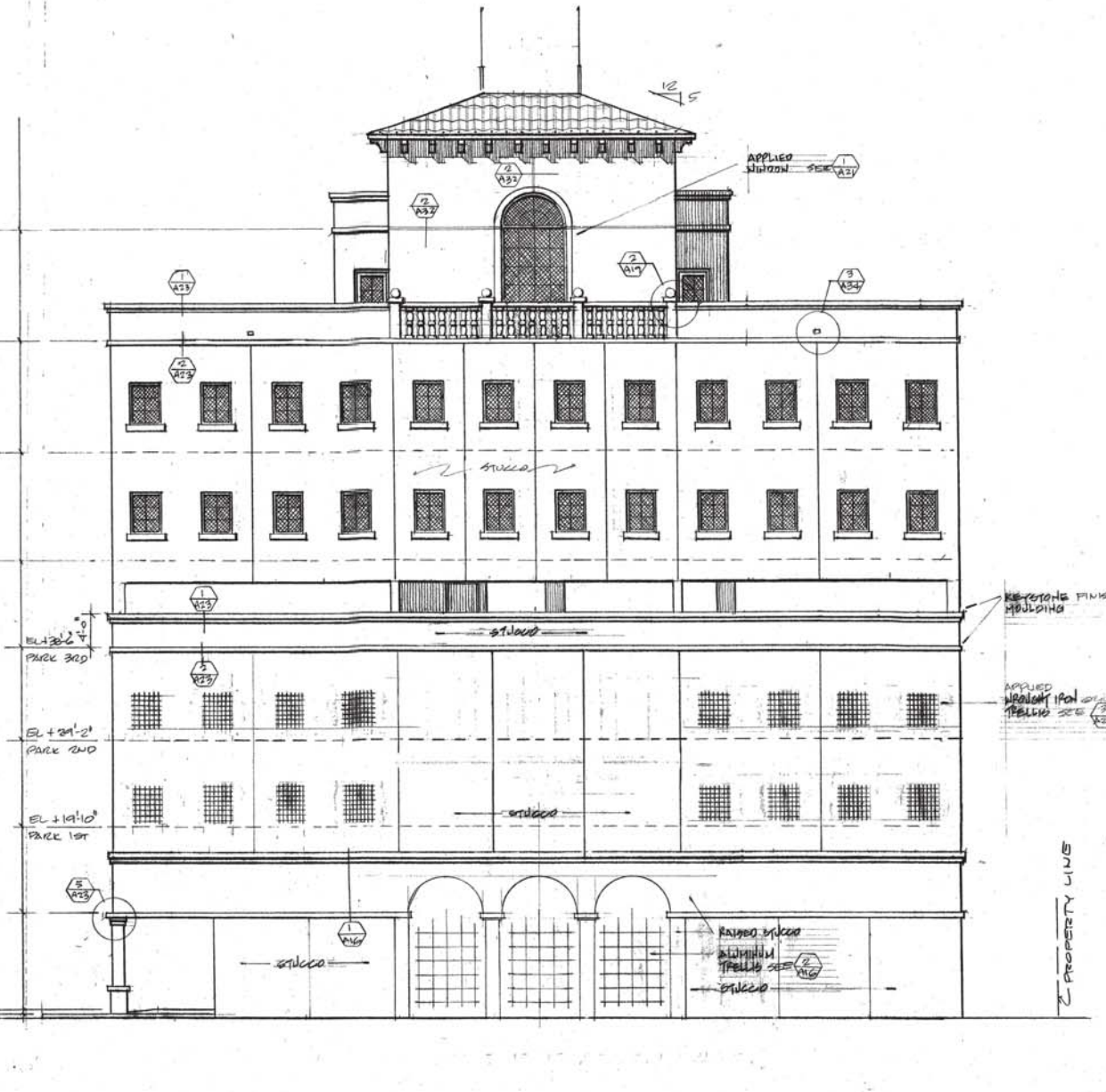
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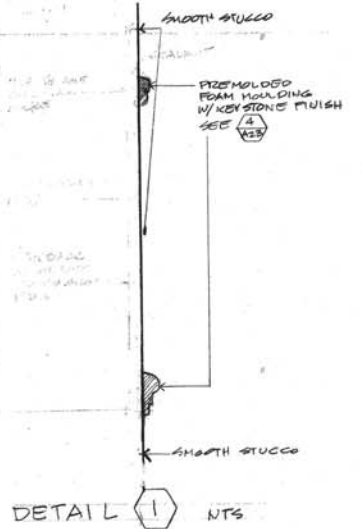
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 of 34



SIDE ELEVATION (PONCE DE LEON BOULEVARD)  
 SCALE 1/8" = 1'-0"

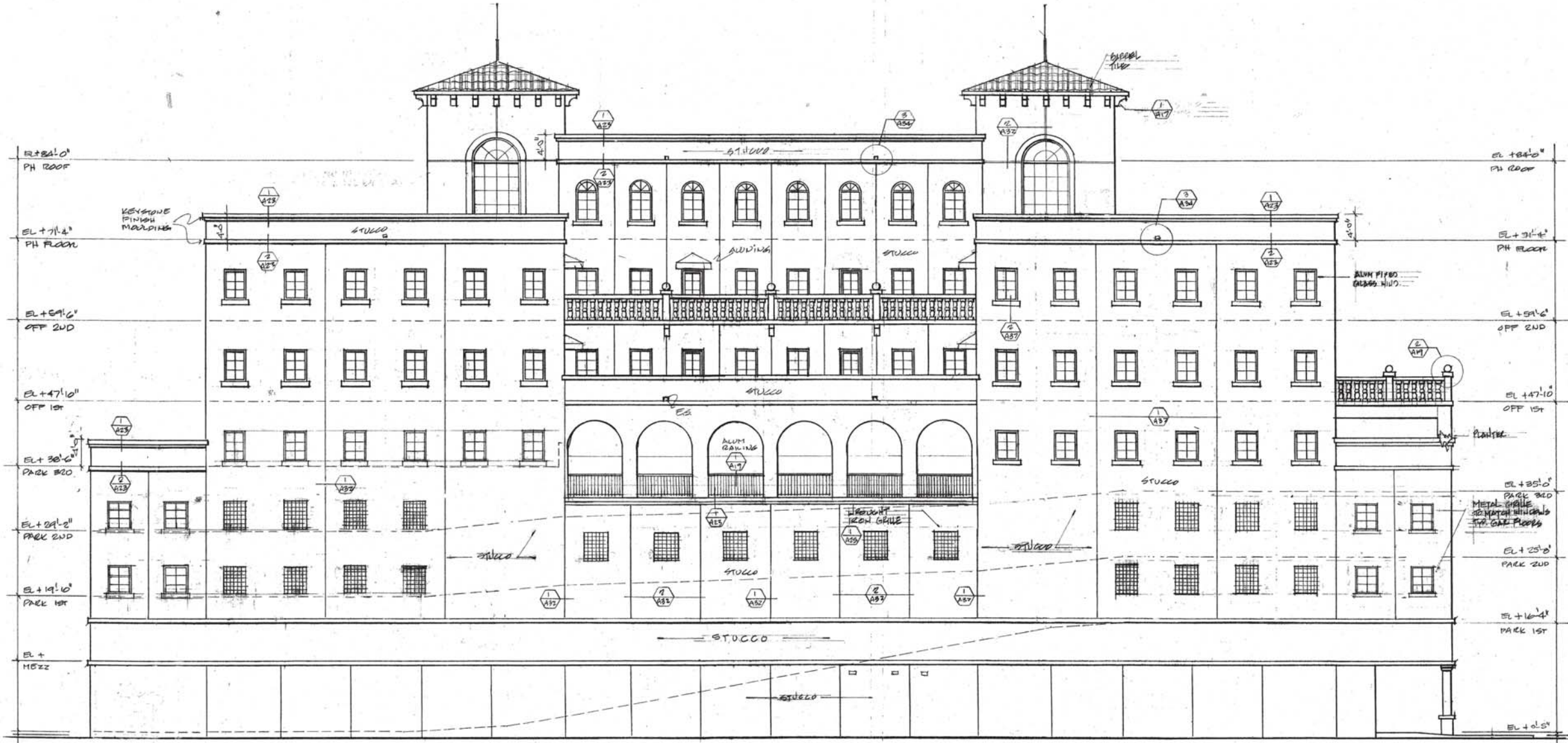


SIDE ELEVATION (WEST)  
 SCALE 1/8" = 1'-0"



DESIGN WIND PRESSURES	
SIDE ELEVATION	
AREA	AREA
G.01 P=+38.24 psf P=-47.28 psf	5.01 P=+83.14 psf P=-84.71 psf
G.02 P=+38.24 psf P=-41.79 psf	5.02 P=+83.14 psf P=-87.85 psf
G.03 P=+42.34 psf P=-45.62 psf	5.03 P=+81.18 psf P=-85.49 psf
G.04 P=+38.88 psf P=-43.98 psf	5.04 P=+80.79 psf P=-85.48 psf
2.01 P=+49.78 psf P=-68.22 psf	6.01 P=+86.79 psf P=-89.81 psf
2.02 P=+49.78 psf P=-52.85 psf	6.02 P=+86.79 psf P=-71.77 psf
3.01 P=+54.22 psf P=-74.30 psf	7.01 P=+86.96 psf P=-88.56 psf
3.02 P=+54.22 psf P=-57.86 psf	

DESIGN WIND PRESSURES					
SIDE ELEVATION					
AREA	Cp	ZONE	q(z) psf	p+(psf)	p-(psf)
11.0x7.0=77.0 s.f.	1.2-1.29	4	44.9	+65.10	-69.15
3.0x5.0=15.0 s.f.	1.36-1.91	5	44.5	+71.64	-96.12
PANELS					
6.0x12.0=96.0 s.f.	1.15-1.48	5	27.32	+38.24	-47.26



**REAR ELEVATION (SOUTH)**

SCALE 1/8" = 1'-0"

Dimension  
Determine  
Detail  
Grabs  
Grilles  
Cables

P. J. GORDO architect

5764 S.W. 26th STREET MIAMI, FL 33155  
TEL (305) 446-3776

P. G. FRAGA  
consulting architect

OFFICE BUILDING  
2000 PONCE DE LEON SQUARE INC.  
CORAL GABLES,  
FLORIDA

LIC. NO. AR 0008767  
COMMISSION NO.  
9616  
DATE ISSUED  
01/16/97  
REVISIONS  
CS 1-20-98

BID SET  
7-28-97

sheet  
A-17  
of 34



**2000 Ponce de Leon Blvd.**

## 2000 Ponce De Leon Blvd. Parking Analysis

Staff & Student Population		
<b>Total Staff</b>	<b>58</b>	
Staff (full-time)	50	
Adjunct (part-time)	8	
<b>Total Students</b>	<b>448</b>	
Students 16 years and older	128	(Grades 11-12)
Proposed Parking Requirements		
Zoning Code	Required	Provided
1 space per Full-Time Employee	50	50
1 space per every 4 students 16 and older	32	32
	<i>(128/4)=32</i>	
<b>Total Parking Required</b>	<b>82</b>	<b>82</b>
<b>Existing Parking (34,610 SF/350)</b>		<b>99</b>
<b>Surplus Parking</b>		<b>17</b>



## Memorandum

**To:** Linda Eads  
**From:** Juan Espinosa, PE  
**Date:** August 31, 2018  
**RE:** Gables Crest Preparatory – Preliminary Site Assessment - #17178  
**cc:** Tim Plummer, File

---

Gables Crest Preparatory is proposing a new 6<sup>th</sup> – 12<sup>th</sup> grade school at an existing office building located at 2000 Ponce de Leon Boulevard in Coral Gables, FL. The school anticipates opening for the 2019-2020 school year with an initial enrollment of 80 students (grades 6<sup>th</sup>-10<sup>th</sup>). The maximum number of students will be 448 (grades 6<sup>th</sup> – 12<sup>th</sup>) by the school year 2026-2027. The purpose of this memorandum is to provide a preliminary assessment of site access /circulation, parking, traffic and drop-off / pick-up operations.

### Roadway Characteristics

The existing building is located on the southwest corner of the Ponce de Leon Boulevard / Navarre Avenue intersection. This intersection is stop controlled for movements from Navarre Avenue. In this area, Ponce de Leon Boulevard is a four-lane divided roadway with parallel on-street parking on both sides of the roadway. Navarre Avenue is a two-lane undivided roadway with parallel on-street parking on both sides. East of Ponce de Leon Boulevard, Navarre Avenue is a dead-end street. There is currently a school speed zone on Ponce de Leon Boulevard from south of Majorca Avenue to south of Minorca Avenue. The speed zone serves the Coral Gables Elementary School which is located on the east side of Ponce de Leon Boulevard directly across from the proposed Eads School. Mid-block between Navarre and Minorca Avenues there is a signalized pedestrian crosswalk. There is a City of Coral Gables Trolley stop on the southeast corner of the Ponce de Leon Boulevard / Minorca Avenue intersection (NB route) and one on the northwest corner of the Ponce de Leon Boulevard / Navarre Avenue intersection (SB route).

### Site Access

Access to the building parking garage is via a two-way driveway located on Navarre Avenue. To the west of the building there is an existing City of Coral Gables parking lot (Lot #13). Entrance to the parking lot is via a one-way driveway located on the east side of the lot; exit is via a one-way driveway on the west side. The lot consist of two one-way parking aisles with angled parking. The parking aisle on the north side of the lot runs from west to east and the aisle on the south side runs from east to west.

## **Drop-off / Pick-up**

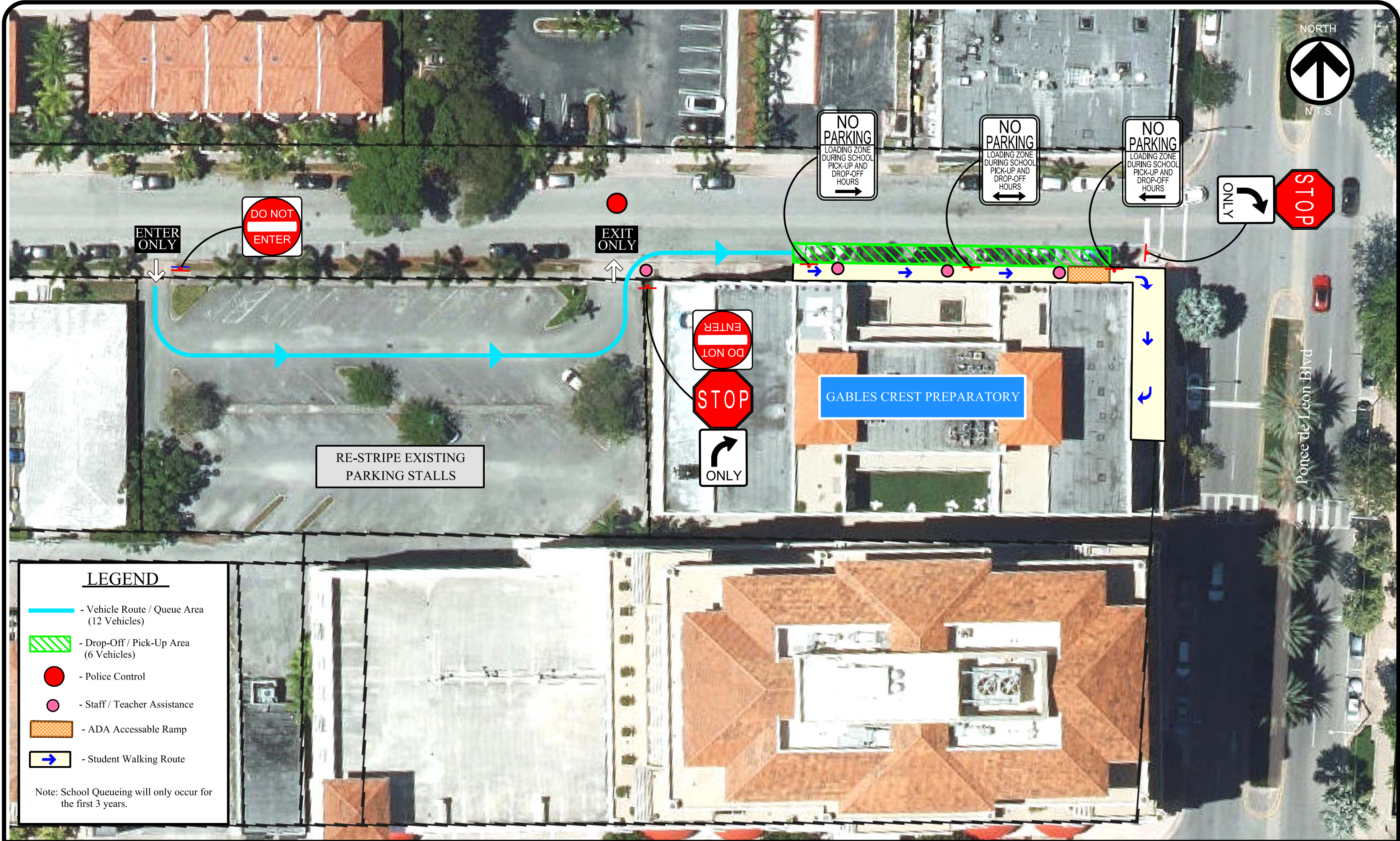
The school will be developed in phases and is proposing two operational configurations. The initial (Interim) configuration will be based on a maximum of 211 students and will be in place from 2019 through 2022. This configuration will use the existing City's parking lot for queuing and the on-street parking on the north side of Navarre Avenue for the drop-off / pick-up area (see Exhibit 1). This will require the reconfiguration of the parking lot entrance and exit driveways. Entrance to the lot should be through the west driveway with vehicles traveling east on the north aisle towards the building. Vehicles will exit through the east driveway. In essence the entrance and exit of the parking lot will have to be reversed.

The second (Final) configuration will be in place starting in the 2022-2023 school year and will have a maximum number of students of 448 (by 2027). This configuration will use the existing building parking garage for queuing and drop-off / pick-up area (see Exhibit 2). Access to the parking garage will be via an existing two-way driveway on Navarre Avenue.






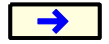
Other considerations to improve the operations of the school during arrival and dismissal include:

- Control east driveway with police officer during arrival and dismissal (Interim Plan)
- Control parking garage entrance/exit with police officer during arrival and dismissal (Final Plan)
- Consider two arrivals and dismissal periods at least 30 minute apart.
- Consider arrival and dismissal periods that do not coincide with Coral Gables Elementary arrival and dismissal times.
- Restrict the eastbound movement on the Navarre Avenue / Ponce de Leon Boulevard to right-turn only.
- Consider developing a Parent Handbook detailing the school traffic / parking policies.

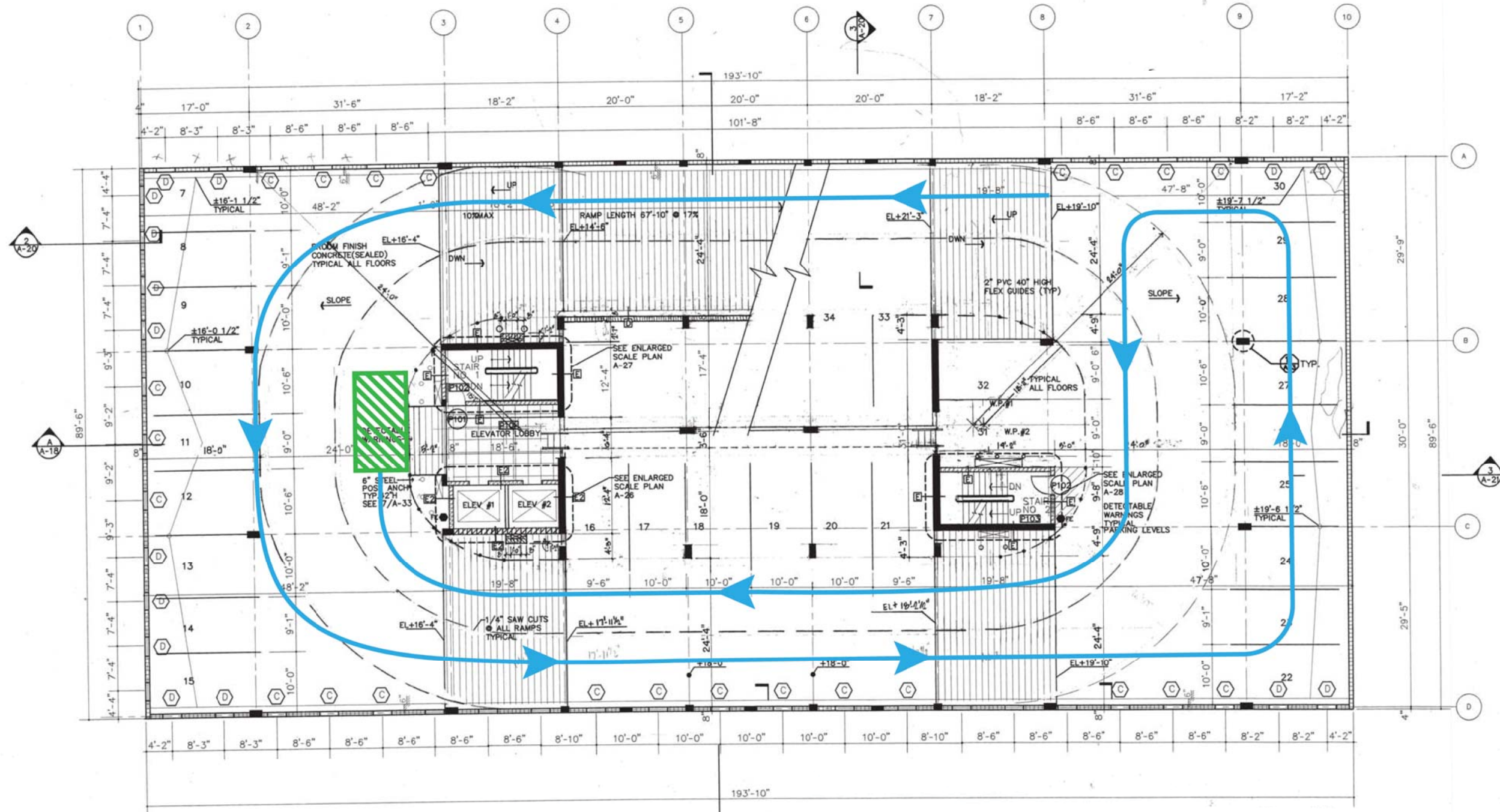
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**LEGEND**

-  - Vehicle Route / Queue Area (12 Vehicles)
-  - Drop-Off / Pick-Up Area (6 Vehicles)
-  - Police Control
-  - Staff / Teacher Assistance
-  - ADA Accessible Ramp
-  - Student Walking Route

Note: School Queuing will only occur for the first 3 years.



**LEGEND**

- Vehicle Route / Queue Area (28 Vehicles / 630 ft)
- Drop-Off / Pick-Up Area

**SECOND FLOOR PLAN (PARKING LEVEL 1)**  
 1/8" = 1'-0"

August 29, 2018

Ms. Jessica A. Keller  
Assistant Public Works Director  
City of Coral Gables  
Public Works Department  
2800 SW 72 Ave  
Miami, Florida 33155

**Re: Trip Generation – Gables Crest Preparatory - #17178**

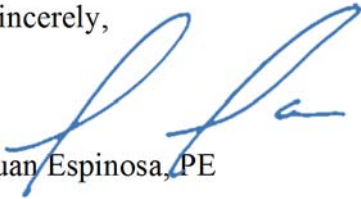
Dear Ms. Keller:

David Plummer & Associates has performed a trip generation analysis for Gables Crest Preparatory. Gables Crest Preparatory is proposing a new 6<sup>th</sup> – 12<sup>th</sup> grade school at an existing office building located at 2000 Ponce de Leon Boulevard in Coral Gables, FL. The school anticipates opening for the 2019-2020 school year with an initial enrollment of 80 students (grades 6<sup>th</sup>-10<sup>th</sup>). The maximum number of students will be 448 (grades 6<sup>th</sup> – 12<sup>th</sup>) by the school year 2026-2027.

Trip generation calculations for the proposed redevelopment were performed using Institute of Transportation Engineers' (ITE) *Trip Generation, 10<sup>th</sup> Edition*. ITE Land Use Codes (LUC) 522 (Middle School), 530 (High School), and 710 (General Office Building) were utilized for the existing and proposed trip generation. As shown in Table 1, the trip generation calculations indicate that the proposed redevelopment represents an increase of 831 daily, 183 AM peak hour, and 25 PM peak hour trips. Detailed trip generation calculations are provided in Attachment A.

Table 1: Trip Generation Summary			
Development Plan	Total Weekday	A.M. Peak Hour	P.M. Peak Hour
Existing	379	59	42
Proposed	1210	242	67
Δ Trips	831	183	25

Sincerely,



Juan Espinosa, PE

cc: Mr. Ed Santamaria, P.E., Public Works Director  
w:\17\17178\j\_kelle\_trip gen-let.docx

# Attachment A

# Gables Crest Preparatory

## Proposed Middle / High School

Proposed ITE Land Use Designation <sup>1</sup>	Number of Units	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
			In	Out	Total	In	Out	Total
Middle School / Junior High <i>Land Use Code: 522</i>	139 Students	296	44	37	81	12	12	24
High School <i>Land Use Code: 530</i>	309 Students	914	108	53	161	21	22	43
<b>TOTAL</b>	<b>448 Students</b>	<b>1,210</b>	<b>152</b>	<b>90</b>	<b>242</b>	<b>33</b>	<b>34</b>	<b>67</b>

## Existing Office Building

Proposed ITE Land Use Designation <sup>1</sup>	Number of Units	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
			In	Out	Total	In	Out	Total
General Office Building <i>Land Use Code: 710</i>	34,610 SF	379	51	8	59	7	35	42
<b>TOTAL</b>		<b>379</b>	<b>51</b>	<b>8</b>	<b>59</b>	<b>7</b>	<b>35</b>	<b>42</b>

	Daily Vehicle Trips	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
		In	Out	Total	In	Out	Total
<b>(Proposed) School</b>	<b>1,210</b>	<b>152</b>	<b>90</b>	<b>242</b>	<b>33</b>	<b>34</b>	<b>67</b>
<b>(Existing) Office</b>	<b>379</b>	<b>51</b>	<b>8</b>	<b>59</b>	<b>7</b>	<b>35</b>	<b>42</b>
<b>Difference</b>	<b>831</b>	<b>101</b>	<b>82</b>	<b>183</b>	<b>26</b>	<b>-1</b>	<b>25</b>

<sup>1</sup> Based on ITE Trip Generation Manual, 10th Ed.

## **Projected School Operation Hours**

7:00 AM	Custodian arrives, opens building
7:15 AM	School Receptionist, Director of Security
<b>7:30 AM</b>	<b>Middle School Faculty Arrive</b> Middle School Students arrive on campus (Cyber Café)
<b>7:45 AM</b>	<b>Middle School Classes Begin</b>
<b>8:30 AM</b>	<b>Senior High Faculty Arrive</b> Senior High School Students arrive on campus (Cyber Café)
<b>8:45 AM</b>	<b>Senior High Classes Begin</b>
<b>2:45 PM</b>	<b>Middle School Students depart</b> (under supervision)
<b>3:00 PM</b>	<b>Middle School Faculty Depart</b> Middle School Students who stay for afterschool Programs (Cyber Café for snacks before afterschool program begins)
3:15 PM	Middle School and Community After School Programs Begin (floor 5)
<b>3:45 PM</b>	<b>Senior High Students Depart (under supervision)</b> Senior High Students who stay for afterschool Programs (Cyber Café for snacks before afterschool programs begins)
<b>4:00 PM</b>	Senior High Afterschool Program Begins (floors 5 and 6) Director of Security Departs <b>Senior High Faculty Depart</b>
6:00 PM	Adult & Community music, entrepreneurship, and robotic classes (floors 5 and 6)
9:00 PM	Building Closes



# CORAL GABLES CONCURRENCY MANAGEMENT

## Concurrency Information Statement

This Concurrency Information Statement is for informational purposes only and reflects the availability of public services only at the time statement is issued.

The available capacity for each public service is monitored and updated as development orders are issued by the city, and the applicant cannot be assured that the necessary public services will be available for a development order (e.g. any change in use) at a future date.



GABLES CREST SCHOOL - Laura L. R  
2000 Ponce De Leon Blvd.  
Coral Gables, FL

Secondary Schools: 450 students  
STATUS=P

Date Printed: 8/16/2018  
Development Order: 0  
Record Number: 3279  
Assoc. Demolition Record: 0

### Zones:

Trffic	Fire Protection	Flood Protection	Parks and Recreation
31	201	X	3

### Concurrency Needs

Minimum Required Elevation (ft): 0

Adequate Water Flow for Commercial & Residential Fire Protection

	Site Demand	Zone Capacity	Zone Demand	Concurrent	
Trips	630			OK	Within Urban Infill Area
Golf Course	0	47.41	0.4574568314	OK	
Tennis Courts	0	40.35	4.5745663372	OK	
Racquetball Courts	0	6.23	0.597054	OK	
Basketball Courts	0	15.34	1.962712	OK	
Ball Diamonds	0	6.27	1.228318	OK	
Playing Fields	0	7.27	1.228318	OK	
Swimming Pools	0	3.13	0.13729	OK	
Equipped Playing Areas	0	6.34	1.3729	OK	
Special Recreation Facilities	0	93.84	20.59	OK	
Neighborhood Parks (acres)	0	5.62	5.1472	OK	
Mini Parks (acres)	0	0.97	0.27448	OK	
Open Space (acres)	0	1.53	0.6871	OK	
Water Flow (gpm)	3000	3000	3000	OK	

Application Fee: \$190.31

Statement Issued by:

Application Date: 8/16/2018

Expiration Date: N/A

Comments: EDUCATIONAL - NUMBER OF STUDENTS: 80-450

SECONDARY SCHOOL NUMBER OF STUDENTS: 1ST YR 80/ 2ND YR: 173/ 3RD YR: 258/ 4TH YR: 354

5TH & FINAL YR: 450. NUMBER OF STAFF 1ST YR TO 5TH & FINAL YR TOTAL: 55

Although the proposed use for which this Concurrency Statement is issued is located in the Urban Infill Area of the City of Coral Gables, and the Statement does not reflect the actual trips that would be generated for this use, Concurrency Fees are applicable and will be assessed.



CITY OF CORAL GABLES  
RECEIVED BY THE  
OFFICE OF THE CITY CLERK

CITY OF CORAL GABLES  
LOBBYIST ANNUAL REGISTRATION APPLICATION  
FOR EACH PRINCIPAL REPRESENTED

PH 2: 41

REGISTRATION #: \_\_\_\_\_

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

**FOR THIS PURPOSE:** To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:

Print Your Name and Email Address: Laura L. Russo, Esq. / Laura@Laurarussolaw.com  
LOBBYIST EMAIL ADDRESS

Print Your Business Name, if applicable: Laura L. Russo, Esq., LLC

Business Telephone Number: 305-476-8300

Business Address 2655 Le Jeune Road, Suite PH 1-F, Coral Gables, FL 33134  
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 26-3602751

State the extent of any business or professional relationship you have with any current member of the City Commission.

None

PRINCIPAL REPRESENTED:

NAME Linda J. Eads, Ed.D COMPANY NAME, IF APPLICABLE \_\_\_\_\_

BUSINESS ADDRESS 900 Biscayne Blvd., #506, Miami, FL 33132 TELEPHONE NO.: 305-496-3237

CITY OF CORAL GABLES  
RECEIVED BY THE  
OFFICE OF THE CITY CLERK

**ANNUAL REPORT:** On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. 2018 due 11 PM 2-4-19. A statement is not required to be filed if there were no expenditures.

**LOBBYIST ISSUE APPLICATION:** Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

**NOTICE OF WITHDRAWAL:** If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

**ANNUAL LOBBYIST REGISTRATION FEE:** This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$250.00 Lobbyist Registration Fee is required.

I Laura L. Russo hereby swear or affirm under penalty of perjury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$250.00 Annual Lobbyist Registration Fee.

  
Signature of Lobbyist

STATE OF FLORIDA )  
                                  )  
COUNTY OF MIAMI- )  
DADE

BEFORE ME personally appeared Laura L. Russo to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

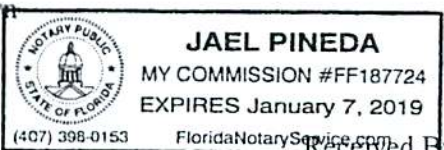
WITNESS my Hand and Official Seal this 7/9/18.

Personally Known

Produced ID

\$250.00 Fee Paid  Received By \_\_\_\_\_ Date: \_\_\_\_\_

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) \_\_\_\_\_ FL. ID#: \_\_\_\_\_



  
Notary Public  
State of Florida

**For Office Use Only**

Data Entry Date: \_\_\_\_\_, 20\_\_\_\_ Entered By: \_\_\_\_\_



CITY OF CORAL GABLES  
RECEIVED BY THE  
OFFICE OF THE CITY CLERK

CITY OF CORAL GABLES  
LOBBYIST 2018 JUL 11 PM 2:41  
ISSUE APPLICATION

REGISTRATION #: \_\_\_\_\_

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board/Committee Members, or any City Official or staff.

**FOR THIS PURPOSE:** To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

**IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.**

Print Your Name and Email Address: Laura L. Russo, Esq. / Laura@Laurarussolaw.com  
LOBBYIST EMAIL ADDRESS

Print Your Business Name: Laura L. Russo, Esq., LLC

Business Telephone Number: 305-476-8300

Business Address: 2655 Le Jeune Road, Suite PH 1-F, Coral Gables, FL 33134  
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name: Linda J. Eads, Ed.D

Principal Address: 900 Biscayne Blvd., #5106, Miami, FL 33132 Telephone Number: 305-496-3237

**ISSUE:** Describe in detail, including address, if applicable, of the specific issue on which you will lobby: (Separate Application is required for each specific issue)

Approval for school in Downtown Commercial area

CITY OF CORAL GABLES  
RECEIVED BY THE  
OFFICE OF THE CITY CLERK  
2018 JUL 11 PM 2:41

I Laura L. Russo hereby swear or affirm under penalty of per-  
jury that all the facts contained in this Application are true and that I am aware  
that these requirements are in compliance with the provisions of the City of Coral  
Gables Ordinance No. 2006-11 (06/06/2006); Ordinance No. 2017-44  
(12/05/2017); governing Lobbying.

*Laura L. Russo*  
Signature of Lobbyist

7/9/18  
Date

STATE OF FLORIDA     )  
  )  
COUNTY OF MIAMI-     )  
DADE

BEFORE ME personally appeared Laura L. Russo to me well known and known to me to be the person  
described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said in-  
strument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 7/9/18.

Personally Known  
 Produced ID



*Jael Pineda*  
Notary Public  
State of Florida

**For Office Use Only**

Data Entry Date: \_\_\_\_\_, 20\_\_\_\_. Entered By: \_\_\_\_\_

Annual Fees Waived for Not-for-Profit Organizations (documentary proof attached.) \_\_\_\_\_

FL ID #: \_\_\_\_\_



CITY OF CORAL GABLES
LOBBYIST
ISSUE APPLICATION

REGISTRATION #: \_\_\_\_\_

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board/Committee Members, or any City Official or staff.

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Print Your Name and Email Address: Juan Espinosa / Juan.Espinosa@dplummer.com
LOBBYIST EMAIL ADDRESS

Print Your Business Name: David Plummer & Associates

Business Telephone Number: 305 447-0900

Business Address: 1750 Ponce de Leon Blvd. Coral Gables, Florida 33134
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name: Linda J. Eads, Ed.D

Principal Address: 900 Biscayne Blvd., #506, Miami, FL 33132 Telephone Number: 305-496-3237

ISSUE: Describe in detail, including address, if applicable, of the specific issue on which you will lobby: (Separate Application is required for each specific issue)

Approval for school in Downtown Commercial area

I Juan Espinosa hereby swear or affirm under penalty of per-  
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that these requirements are in compliance with the provisions of the City of Coral  
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Signature of Lobbyist

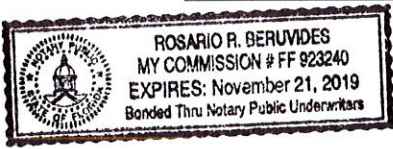
8/13/2018  
Date

STATE OF FLORIDA )  
  )  
COUNTY OF MIAMI- )  
DADE

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WITNESS my Hand and Official Seal this \_\_\_\_\_.

Personally Known  
 Produced ID



  
Notary Public  
State of Florida

<b>For Office Use Only</b>	
Data Entry Date: _____, 20____.	Entered By: _____

Annual Fees Waived for Not-for-Profit Organizations (documentary proof attached.) \_\_\_\_\_  
FL ID #: \_\_\_\_\_



**CITY OF CORAL GABLES  
LOBBYIST  
ISSUE APPLICATION**

**REGISTRATION #:** \_\_\_\_\_

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Print Your Name and Email Address: Timothy J. Plummer / Tim.Plummer@dplummer.com  
LOBBYIST EMAIL ADDRESS

Print Your Business Name: David Plummer & Associates

Business Telephone Number: 305 447-0900

Business Address: 1750 Ponce de Leon Blvd. Coral Gables, Florida 33134  
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name: Linda J. Eads, Ed.D

Principal Address: 900 Biscayne Blvd., #506, Miami, FL 33132 Telephone Number: 305-496-3237

**ISSUE:** Describe in detail, including address, if applicable, of the specific issue on which you will lobby: **(Separate Application is required for each specific issue)**

Approval for school in Downtown Commercial area



I Timothy J. Plummer hereby swear or affirm under penalty of per-  
jury that all the facts contained in this Application are true and that I am aware  
that these requirements are in compliance with the provisions of the City of Coral  
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\_\_\_\_\_  
Signature of Lobbyist

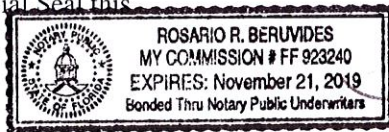
0/13/18  
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Date


STATE OF FLORIDA     )  
  )  
COUNTY OF MIAMI-    )  
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Personally Known  
 Produced ID



  
\_\_\_\_\_  
Notary Public  
State of Florida

**For Office Use Only**

Data Entry Date: \_\_\_\_\_, 20\_\_\_\_.

Entered By: \_\_\_\_\_

Annual Fees Waived for Not-for-Profit Organizations (documentary proof attached.) \_\_\_\_\_

FL ID #: \_\_\_\_\_



**CITY OF CORAL GABLES  
LOBBYIST ANNUAL REGISTRATION APPLICATION  
FOR EACH PRINCIPAL REPRESENTED**

**REGISTRATION #:** \_\_\_\_\_

**HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?**

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager(s), Deputy/Assistant City Attorney(s), Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

**FOR THIS PURPOSE:** To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

**IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:**

Print Your Name and Email Address: AGUSTIN BARRERA abarrera@bermelloajamil.com  
LOBBYIST EMAIL ADDRESS

Print Your Business Name, if applicable: BERMELLO AJAMIL & PARTNERS

Business Telephone Number: (786) 971-6356

Business Address 2601 S. BAYSHORE DRIVE #1000 MIAMI, FL 33133  
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 59-1722486

State the extent of any business or professional relationship you have with any current member of the City Commission.  
None

**PRINCIPAL REPRESENTED:**  
NAME Linda J. Eads, Ed.D COMPANY NAME, IF APPLICABLE \_\_\_\_\_  
BUSINESS ADDRESS 900 Biscayne Blvd., #506, Miami, FL 33132 TELEPHONE NO.: 305-496-3237

**ANNUAL REPORT:** On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is not required to be filed if there were no expenditures.

**LOBBYIST ISSUE APPLICATION:** Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

**NOTICE OF WITHDRAWAL:** If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

**ANNUAL LOBBYIST REGISTRATION FEE:** This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$250.00 Lobbyist Registration Fee is required.

I AGUSTIN BARRERA hereby swear or affirm under penalty of per-  
Print Name of Lobbyist  
jury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$250.00 Annual Lobbyist Registration Fee.

*[Handwritten Signature]*  
Signature of Lobbyist

STATE OF FLORIDA     )  
  )  
COUNTY OF MIAMI-     )  
DADE

BEFORE ME personally appeared AGUSTIN BARRERA to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 14, AUGUST 2018

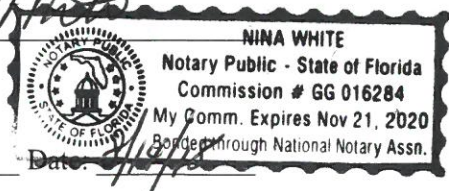
Personally Known

Produced ID

\$250.00 Fee Paid \_\_\_\_\_

Received By \_\_\_\_\_


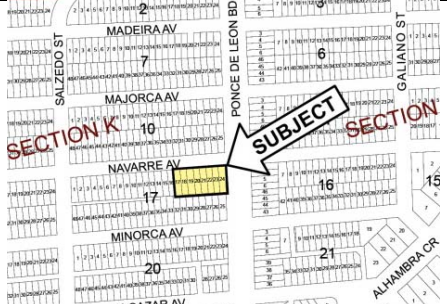
*[Handwritten Signature]*  
Notary Public  
State of Florida



Fee Waived for Not-for-Profit Organizations (documentary proof attached.) \_\_\_\_\_ FL. ID#: \_\_\_\_\_

**For Office Use Only**

Data Entry Date: \_\_\_\_\_, 20\_\_\_\_ Entered By: \_\_\_\_\_

	<p><b>City of Coral Gables Courtesy Public Hearing Notice</b></p> <p><b>August 30, 2018</b></p>	
<b>Property:</b>	<b>2000 Ponce de Leon Blvd, Coral Gables, Florida</b>	
<b>Applicant:</b>	<b>Gables Crest Preparatory</b>	
<b>Application:</b>	<b>Conditional Use Review</b>	
<b>Public Hearing - Date/Time/ Location:</b>	<b>Planning and Zoning Board September 10, 2018, 6:00 – 9:00 p.m. City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida, 33134</b>	

**PUBLIC NOTICE** is hereby given that the City of Coral Gables, Florida, Planning and Zoning Board (PZB) will conduct a Public Hearing on **September 10, 2018** at the Coral Gables City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida.

An application has been submitted for a new school, Gables Crest Preparatory, within the existing 7-story building at 2000 Ponce de Leon Boulevard. It will be a boutique private secondary school serving grades 6 through 12, with enrollment starting at 80 students and growing over a 5-year period to 450 students. The themed school will focus on music, entertainment, and STEM (science, technology, engineering and math). The school will use approximately 98 parking spaces within the existing parking structure. The request requires two (2) public hearings, including review and recommendation by the Planning and Zoning Board, and approval via Resolution by the City Commission.

The Resolution under consideration is as follows:

*A Resolution of the City Commission of Coral Gables, Florida granting conditional use approval pursuant to Zoning Code Article 3, "Development Review," Division 4, "Conditional Uses" and Article 4, "Zoning Districts," Division 3, "Nonresidential Districts," Section 4-302, "Commercial District" for a school on property zoned Commercial District for the property legally described as Lots 17 thru 24, Block 17, Coral Gables Section "K" (2000 Ponce de Leon Blvd), Coral Gables, Florida; including required conditions; providing for a repealer provision, providing for a severability clause, and providing for an effective date.*

All interested parties are invited to attend and participate. Please visit the City webpage at [www.coralgables.com](http://www.coralgables.com) to view information concerning the application. The complete application is on file and available for examination during business hours at the Planning Division, 427 Biltmore Way, Suite 201, Coral Gables, Florida, 33134. Questions and written comments regarding the application can be directed to the Planning and Zoning Division at [planning@coralgables.com](mailto:planning@coralgables.com), Fax: 305.460.5327 or Phone: 305.460.5211. Please forward to other interested parties.

Sincerely,

*City of Coral Gables, Florida*

Any person requiring special accommodations in order to attend or participate in the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta (Email: [relejabarrieta@coralgables.com](mailto:relejabarrieta@coralgables.com), Telephone: 305-722-8686, TTY/TDD: 305-442-1600, at least three (3) working days prior to the meeting. All meetings are telecast live on Coral Gables TV Channel 77.

## MIAMI DAILY BUSINESS REVIEW

Published Daily except Saturday, Sunday and  
Legal Holidays  
Miami, Miami-Dade County, Florida

STATE OF FLORIDA  
COUNTY OF MIAMI-DADE:

Before the undersigned authority personally appeared GUILLERMO GARCIA, who on oath says that he or she is the DIRECTOR OF OPERATIONS, Legal Notices of the Miami Daily Business Review f/k/a Miami Review, a daily (except Saturday, Sunday and Legal Holidays) newspaper, published at Miami in Miami-Dade County, Florida; that the attached copy of advertisement, being a Legal Advertisement of Notice in the matter of

NOTICE OF PUBLIC HEARING  
CITY OF CORAL GABLES - LOCAL PLANNING AGENCY /  
PLANNING AND ZONING BOARD - SEP 10, 2018

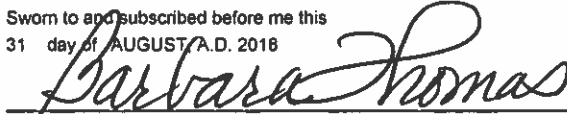
in the XXXX Court,  
was published in said newspaper in the issues of

08/31/2018

Affiant further says that the said Miami Daily Business Review is a newspaper published at Miami, in said Miami-Dade County, Florida and that the said newspaper has heretofore been continuously published in said Miami-Dade County, Florida each day (except Saturday, Sunday and Legal Holidays) and has been entered as second class mail matter at the post office in Miami in said Miami-Dade County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he or she has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

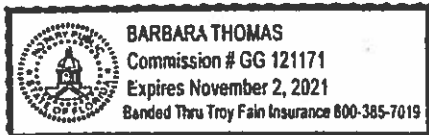


Sworn to and subscribed before me this  
31 day of AUGUST A.D. 2018



(SEAL)

GUILLERMO GARCIA personally known to me



### CITY OF CORAL GABLES, FLORIDA NOTICE OF PUBLIC HEARING

CITY PUBLIC HEARING LOCAL PLANNING AGENCY / PLAN NING AND ZONING  
DATES/TIMES BOARD MONDAY, SEPTEMBER 10, 2018, 6:00 - 9:00 P.M.

LOCATION CITY COMMISSION CHAMBERS, CITY HALL,  
405 BILTMORE WAY, CORAL GABLES, FLORIDA, 33134

PUBLIC NOTICE is hereby given that the City of Coral Gables, Florida, Local Planning Agency (LPA) Planning and Zoning Board (PZB) will conduct a Public Hearing on the following:

1. A Resolution of the City Commission of Coral Gables, Florida granting conditional use approval pursuant to Zoning Code Article 3, "Development Review," Division 4, "Conditional Uses" and Article 4, "Zoning Districts," Division 3, "Nonresidential Districts," Section 4-302, "Commercial District" for a school on property zoned Commercial District for the property legally described as Lots 17 thru 24, Block 17, Coral Gables Section "K" (2000 Ponce de Leon Blvd), Coral Gables, Florida; including required conditions; providing for a repealer provision, providing for a severability clause, and providing for an effective date.

All interested parties are invited to attend and participate. Upon recommendation by the Board, the applications will be scheduled for City Commission consideration. Please visit the City webpage at [www.coralgables.com](http://www.coralgables.com) to view information concerning the applications. The complete applications are on file and available for examination during business hours at the Planning and Zoning Division, 427 Biltmore Way, Suite 201, Coral Gables, Florida, 33134. Questions and written comments can be directed to the Planning and Zoning Division at [planning@coralgables.com](mailto:planning@coralgables.com) (FAX: 305.480.5327) or 305.480.5211.

Ramon Trias  
Director of Planning and Zoning  
Planning & Zoning Division  
City of Coral Gables, Florida

Any person, who acts as a lobbyist pursuant to the City of Coral Gables Ordinance No. 2006-11, as amended, must register with the City Clerk prior to engaging in lobbying activities before City Staff, Boards, Committees or City Commission. A copy of the Ordinance is available in the Office of the City Clerk, City Hall. If a person decides to appeal any decision made by a Board, Committee or City Commission with respect to any matter considered at a meeting or hearing, that person will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105). Any meeting may be opened and continued and, under certain circumstances, additional legal notice will not be provided. Any person requiring special accommodations in order to attend or participate in the meeting should contact the City's ADA Coordinator, Raquel Elejabarrieta (Email: [relejabarrieta@coralgables.com](mailto:relejabarrieta@coralgables.com)), Telephone: 305-722-8686, TTY/TDD: 305-442-1600, at least three (3) working days prior to the meeting. All meetings are telecast live on Coral Gables TV Channel 77.

8/31

18-48/0000343880M

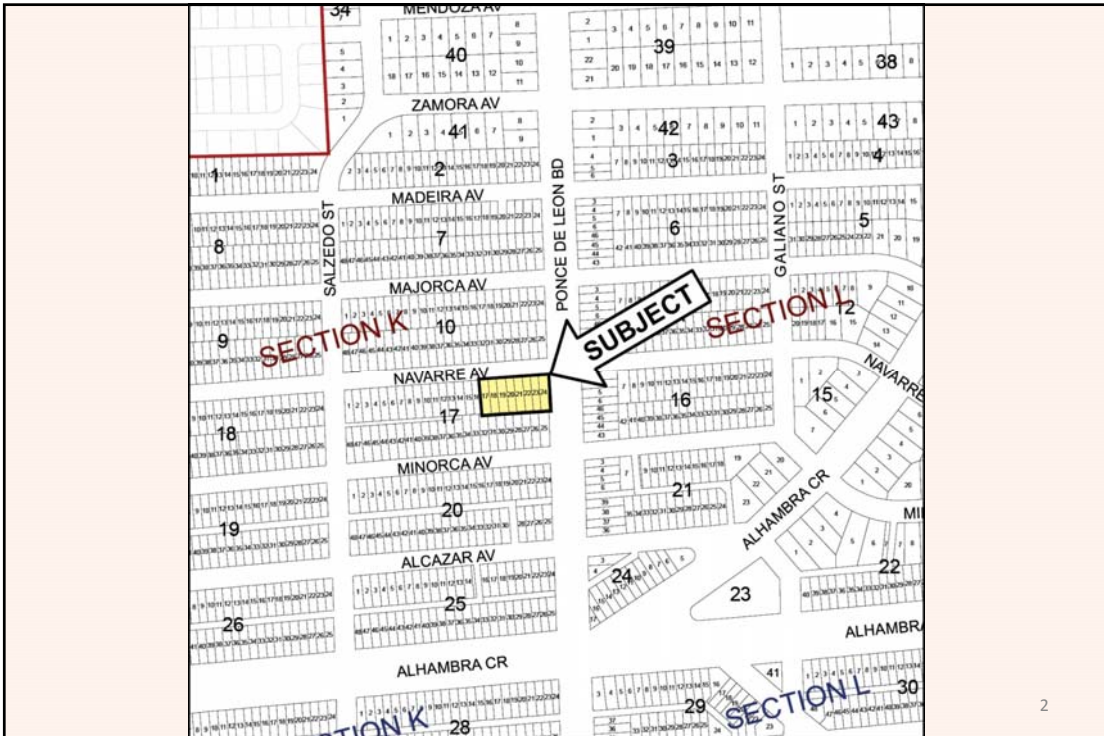


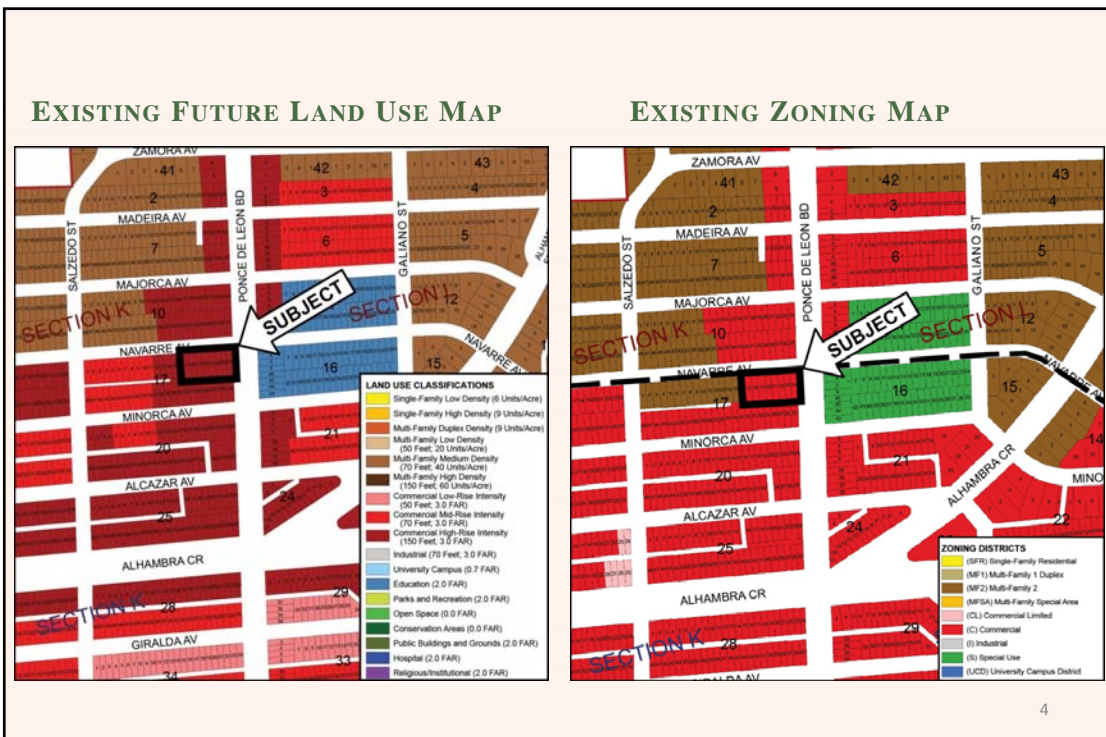
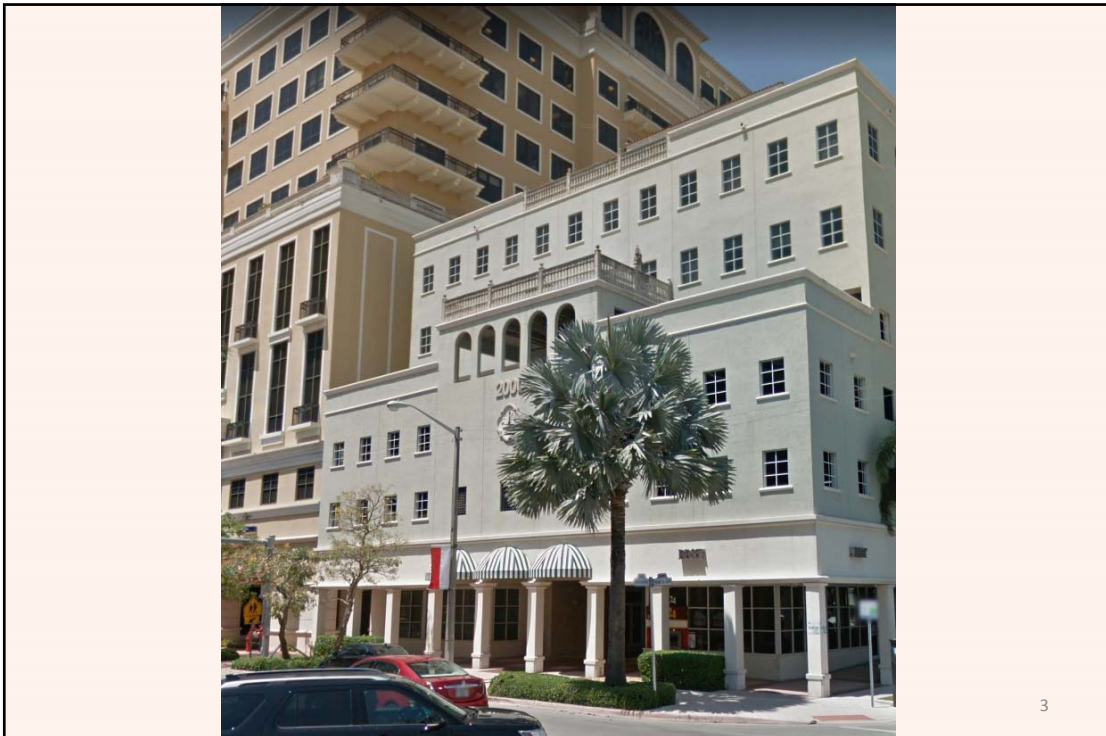
# Gables Crest Preparatory

2000 PONCE DE LEON BLVD

CONDITIONAL USE REVIEW

PLANNING AND ZONING BOARD  
SEPTEMBER 10, 2018

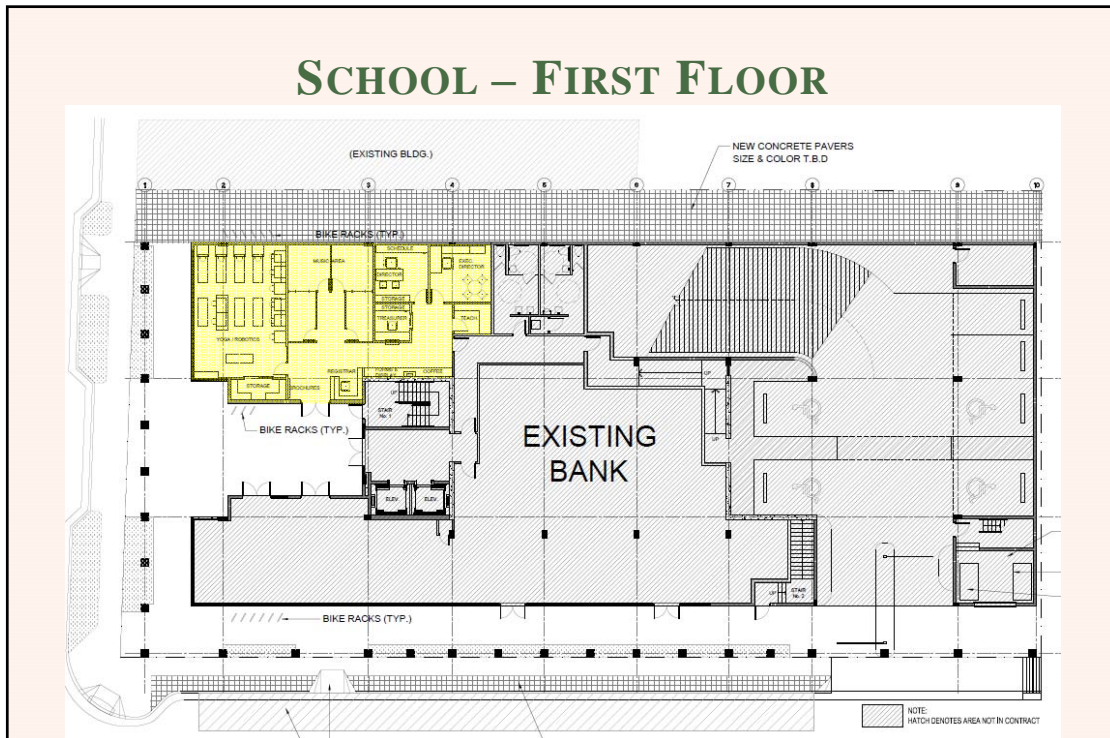




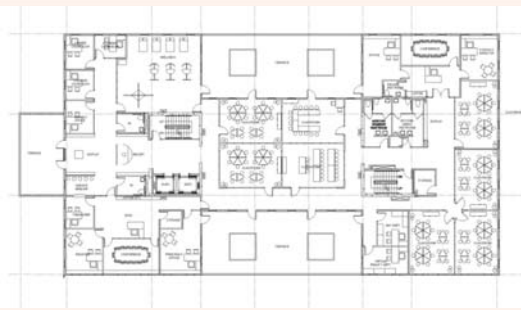
# REQUEST: CONDITIONAL USE REVIEW

5

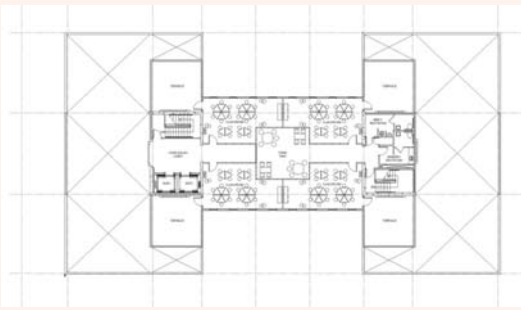
## SCHOOL – FIRST FLOOR



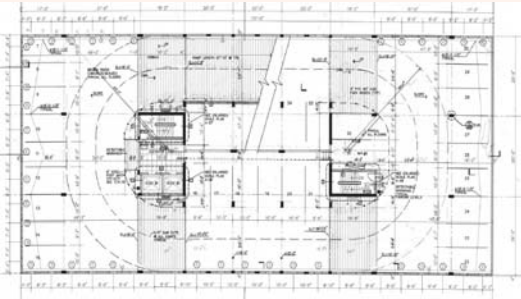




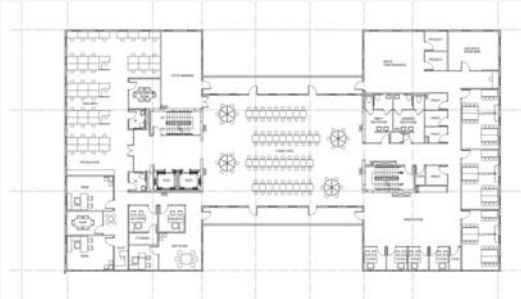
**FLOOR 5**



**FLOOR 7**



**FLOORS 2 - 4**



**FLOOR 6**

7

## TRAFFIC OPERATIONS PLAN



<b>PUBLIC NOTIFICATION</b>	
<b>3 TIMES</b>	<b>LETTERS TO PROPERTY OWNERS</b> NEIGHBORHOOD MEETING, PZB AUGUST, PZB SEPTEMBER
<b>2 TIMES</b>	<b>PROPERTY POSTING</b> PZB AUGUST, PZB SEPTEMBER
<b>2 TIMES</b>	<b>WEBSITE POSTING</b> PZB AUGUST, PZB SEPTEMBER
<b>2 TIMES</b>	<b>NEWSPAPER ADVERTISEMENT</b> PZB AUGUST, PZB SEPTEMBER

**REQUEST: CONDITIONAL USE REVIEW**

**STAFF RECOMMENDATION:**

STAFF RECOMMENDS **APPROVAL WITH CONDITIONS** OF THE APPLICATION FOR CONDITIONAL USE REVIEW.

THE STANDARDS IDENTIFIED IN ZONING CODE SECTION 3-408 FOR CONDITIONAL USE REVIEW ARE **SATISFIED, SUBJECT TO CONDITIONS OF APPROVAL.**

## CONDITIONS OF APPROVAL:

1. STUDENT ENROLLMENT FOR CURRENT APPLICATION REQUEST SHALL NOT EXCEED 170 STUDENTS, GRADES 6-10. ADDITIONAL STUDENT ENROLLMENT WILL BE REVIEWED BY STAFF AND CONSIDERED BY THE COMMISSION AT THE TIME OF THE SCHOOL'S ENROLLMENT EXPANSION.
2. APPLICANT SHALL OBTAIN APPLICABLE COUNTY APPROVAL(S) AND EXECUTE A 3-YEAR CONTRACT WITH THE PARKING DEPARTMENT FOR ON-STREET PARKING SPACES FOR PURPOSE OF PICK-UP/DROP-OFF USE AND USE OF PARKING LOT FOR VEHICLE ROUTE / QUEUE AREA. AFTER 3 YEARS, THE VEHICLE ROUTE / QUEUE AREA SHALL BE RELOCATED, AS APPROVED BY THE PARKING DIRECTOR.

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## CONDITIONS OF APPROVAL:

3. PASSAGEWAY IMPROVEMENTS WITH PERMEABLE PAVERS, LIGHTING, AND OTHER PEDESTRIAN AMENITIES TO BE APPROVED BY PUBLIC WORKS AND PLANNING & ZONING DIRECTORS.
4. MODIFY ARCADE TO REMOVE ISLAND CURB AT GARAGE ENTRANCE AND MINIMIZE THE EXISTING PLANTINGS BETWEEN COLUMNS FOR EASIER BUILDING ACCESS.
5. PERMEABLE PAVERS AND LANDSCAPE WITHIN THE EXISTING GRASS STRIP ALONG THE DROP-OFF ZONE TO BE APPROVED BY PUBLIC WORKS AND PLANNING & ZONING DIRECTORS.
6. SUPPLY 3 BIKE SPACES PER CLASSROOM FOR BIKE PARKING WITHIN THE PROPERTY.
7. PICK-UP/DROP-OFF SHALL NOT INTERFERE WITH THE PEDESTRIAN CIRCULATION ON ADJOINING NAVARRE SIDEWALKS.



# *Gables Crest Preparatory*

2000 PONCE DE LEON BLVD

CONDITIONAL USE REVIEW

PLANNING AND ZONING BOARD  
SEPTEMBER 10, 2018

