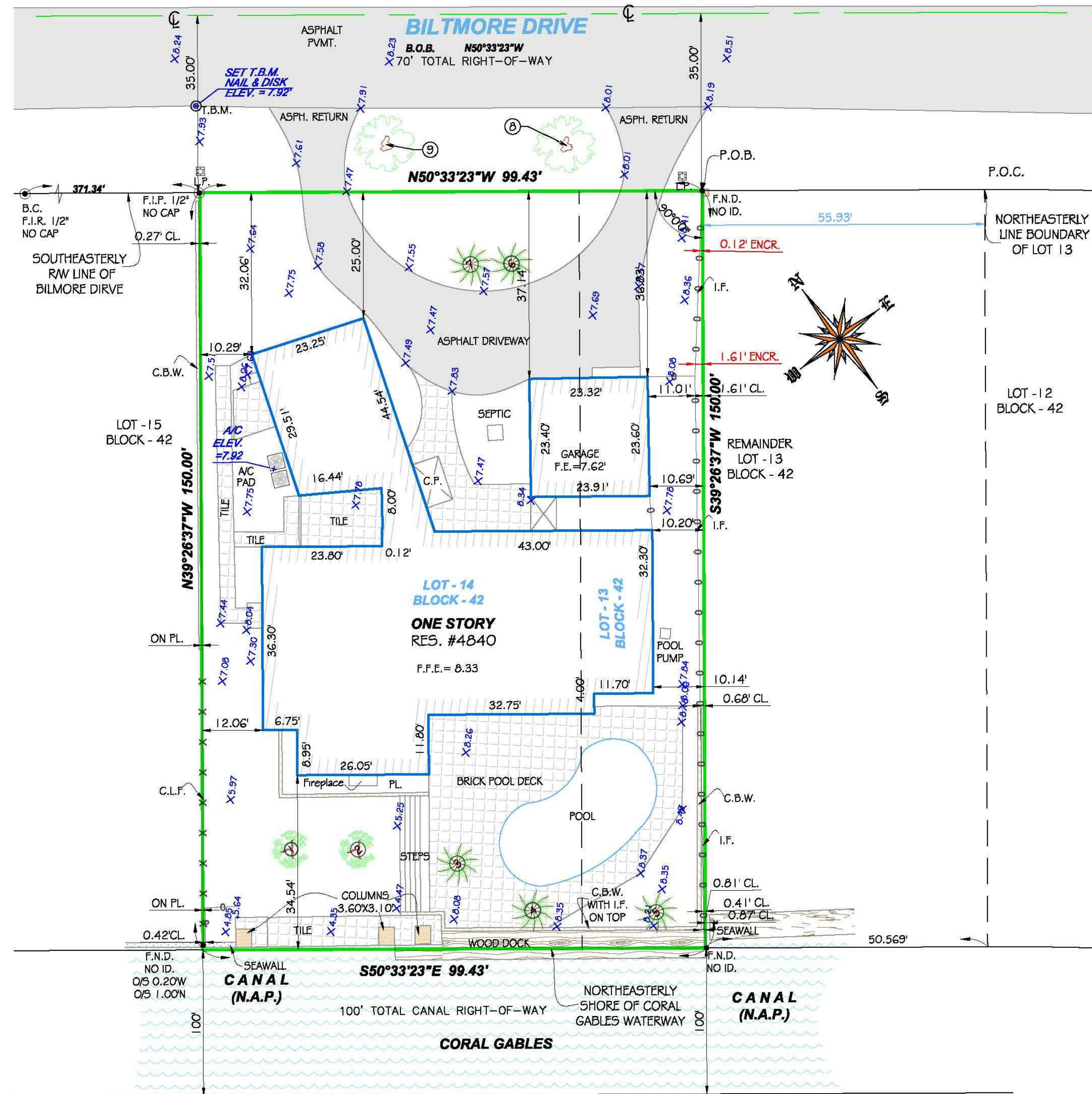
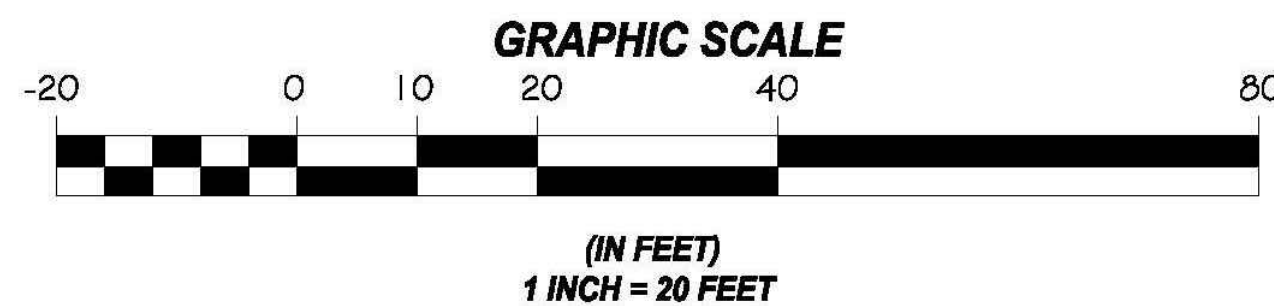


RESIDENCE REMODELING  
4840 BILTMORE DRIVE  
Coral Gables, Florida 33146  
PRELIMINARY B.O.A. SUBMITTAL



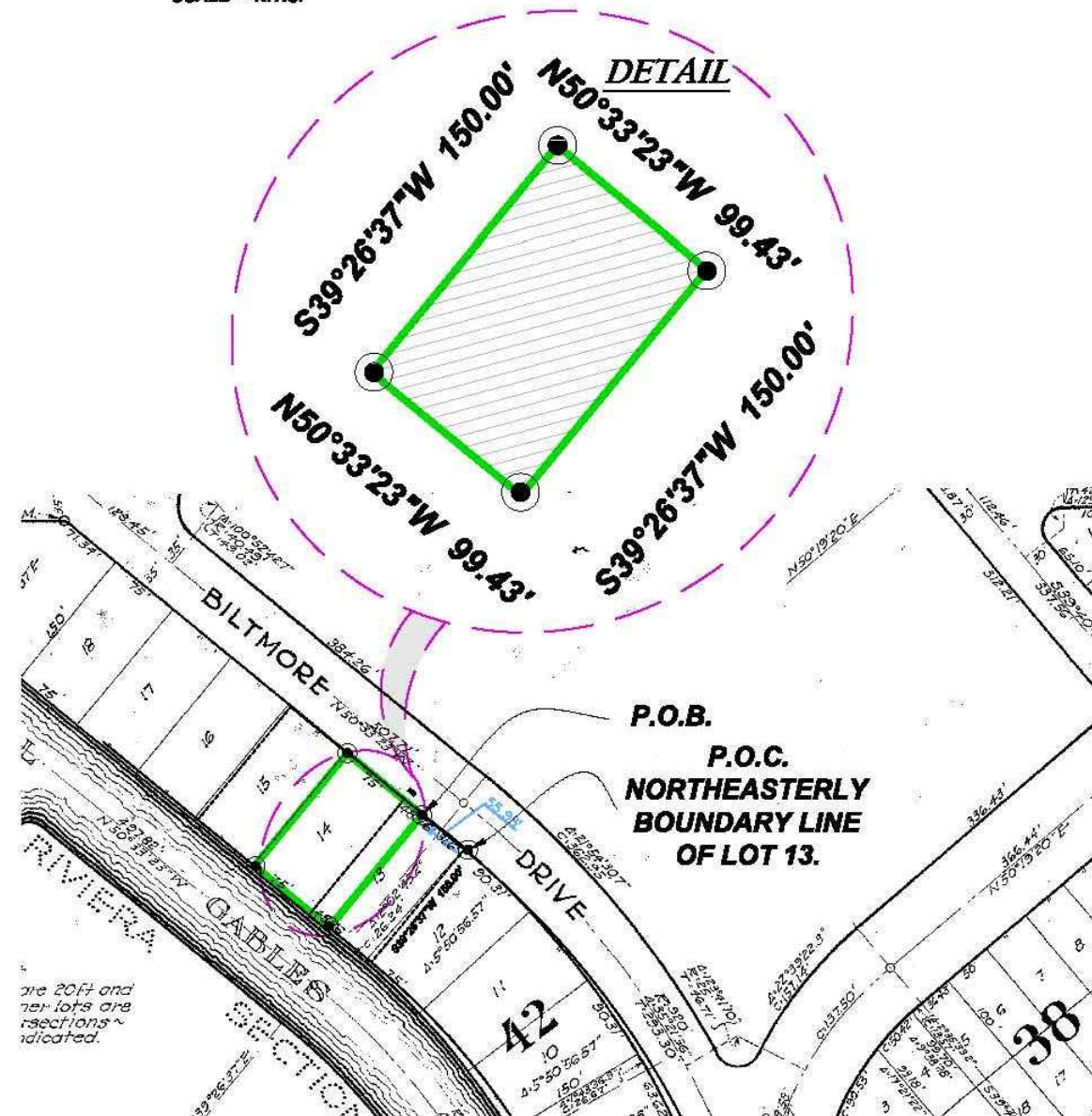
# TOPOGRAPHIC SURVEY



**LEGAL DESCRIPTION:**

ALL OF LOT 14 AND A PORTION OF LOT 13, IN BLOCK 42 OF REVISED PLAT OF CORAL GABLES, RIVIERA SECTION, PART 2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 28 AT PAGE 18 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA ALL OF WHICH PROPERTY IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT A POINT ON THE NORTHEASTERLY BOUNDARY LINE OF LOT 13 IN BLOCK 42 AFORESAID AT A POINT 55.626 FEET NORTHWESTERLY OF THE NORTHEASTERLY CORNER OF SAID LOT 13; THENCE RUN SOUTHWESTERLY ALONG A LINE DEFLECTING 90 ° TO THE LEFT, A DISTANCE OF 150 FEET TO A POINT ON THE NORTHERLY SHORE OF CORAL GABLES WATERWAY, SAID POINT BEING 50.569 FEET IN LOT 13, BLOCK 42; THENCE RUN NORTHWESTERLY ALONG A LINE DEFLECTING 90° TO THE RIGHT ALONG THE NORTHEASTERLY LINE OF CORAL GABLES WATERWAY, A DISTANCE OF 98.439 FEET TO A POINT, SAID POINT BEING THE INTERSECTION OF THE NORTH-EASTERLY SHORE OF CORAL GABLES WATERWAY, WITH THE DIVIDING LINE BETWEEN LOTS 14 AND 15, BLOCK 42, AS SHOWN ON ABOVE MENTIONED RECORDED PLAT, THENCE RUN NORTHEASTERLY ALONG A LINE DEFLECTING 150.000 FEET TO A POINT, SAID POINT BEING THE INTERSECTION OF LOTS 14 AND 15, BLOCK 42, A DISTANCE OF 150.000 FEET, THENCE SOUTHWESTERLY ALONG BILTMORE DRIVE, THENCE RUN SOUTHEASTERLY ALONG A LINE DEFLECTING 90 DEGREES TO THE RIGHT ALONG THE SOUTHWESTERLY LINE OF BILTMORE DRIVE, A DISTANCE OF 94.939 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED. ALSO ALL THAT PART OF LAND, IF ANY, LYING BETWEEN PRESENT LOT LINES OF SAID DESCRIBED LOTS AND EXISTING CANAL BANK, TOGETHER WITH ALL RIPARIAN RIGHTS.

**LOCATION SKETCH**  
**SCALE = N.T.S.**



## ABBREVIATIONS

[illegible]**PROPERTY ADDRESS:**

4840 BILTMORE DR CORAL GABLES, FLORIDA  
33146

**CERTIFICATION:**

JORGE LIBRA SOSA AND PATRICIA MARGARITA GARCIA KAYRUZ, HUSBAND AND WIFE  
FIRST HORIZON BANK, ITS SUCCESSORS AND/OR ASSIGNS, ATIMA  
LEOPOLD KORN, P.A.  
FIDELITY NATIONAL TITLE INSURANCE COMPANY

**LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY :**

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY PROPERTY, INCLUDING THE BOUNDARIES, CORNERS, DISTANCES, BEARS, AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE SURVEY IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE ABOVE MENTIONS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLAT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND FOUNDATION FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THE USE OF SURVEY IS LIMITED TO THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON; THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

**FLOOD ZONE INFORMATION:**

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:  
FLOOD ZONE: "AH"  
BASE FLOOD ELEVATION: 8 FT.  
COMMUNITY: 120639  
PANEL: 0457  
SUFFIX: L  
DATE OF FIRM: 09/11/2009  
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

**SURVEYOR'S NOTES:**

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.
4. ALL ELEVATIONS SHOWN ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 CITY OF CORAL GABLES BENCH MARK # 180, LOCATION N.W. COR. @ ORDUNA SR 28.8 WEST OF CL & PONCE DE LEON BLVS. 34.0-70' NORTH OF CL ; ELEVATION IS 11.38 FEET OF N.G.D. OF 1929

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

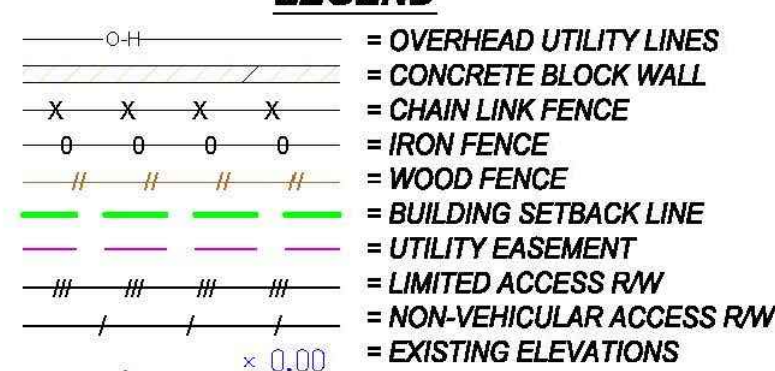
BY: JOHN IBARRA 11/23/2020  
(DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA

REVISÉD ON:

REVISÉD ON:

### LEGEND



<b>DRAWN BY:</b>	<i>LK</i>
<b>FIELD DATE:</b>	<i>11/23/2020</i>
<b>SURVEY NO:</b>	<i>20-004048</i>
<b>SHEET:</b>	<i>1 OF 1</i>

**PASCUAL  
PEREZ  
KILIDDJIAN**  
**& ASSOCIATES**  
ARCHITECTS - PLANNERS  
LICENSE # AA 26001357

PETER KILIDDJIAN, RA  
LICENSE No. : AR 0093067

AT THE BEACON CENTER  
1600 NW 87th AVENUE  
DORAL, FLORIDA 33126  
TELEPHONE : (305) 726-3748

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REVISIONS:

OWNER:  
JORGE AND PATRICIA LIBRA

MODELING FOR  
4840 BILTMORE DRIVE  
CORAL GABLES FLORIDA

SEAI:

## SITE PLAN

DATE : \_\_\_\_\_

SCALE : AS SHOWN

DRAWN : RR

CHECK BY: PK

IOB NO. :

## SURVEY





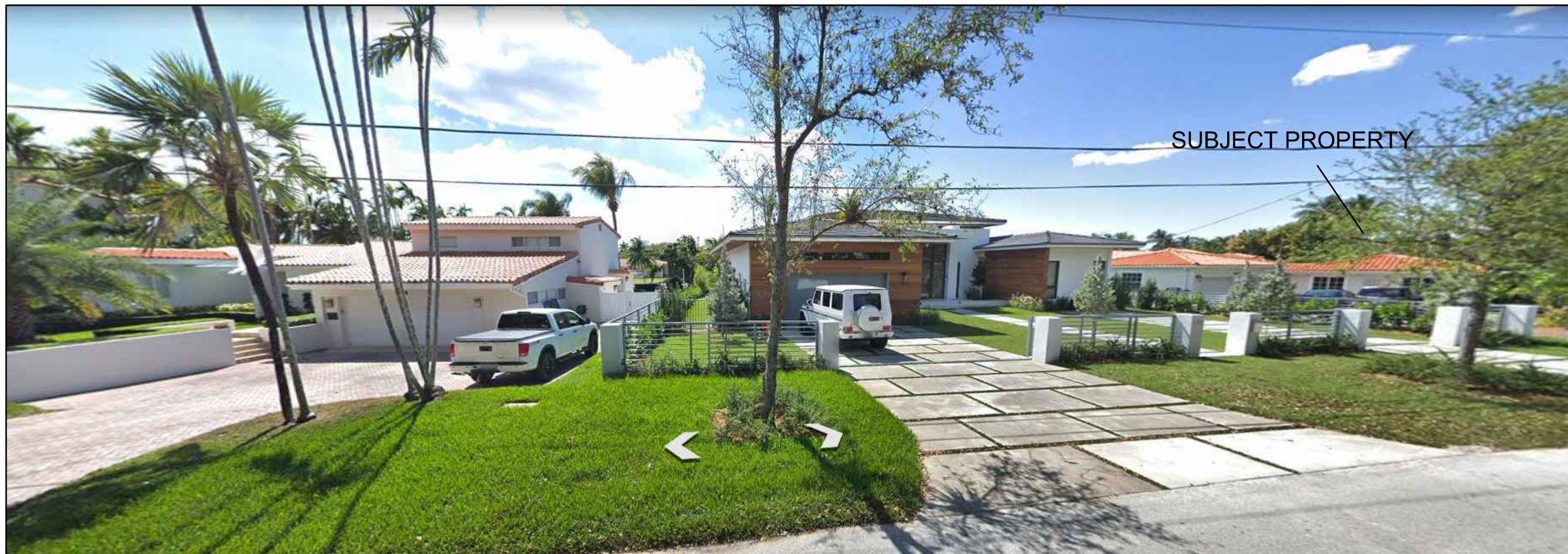
4840 BILTMORE DRIVE WITH NORTH NEIGHBOURING PROPERTY



FRONT NIEGHBOURING PROPERTY



4840 BILTMORE DRIVE WITH SOUTH NEIGHBOURING PROPERTY



NEIGHBOURING SOUTH PROPERTIES



VIEW LOOKING NORTH ON BILTMORE DRIVE



AERIAL OF NEIGHBORHOOD





FRONT OF 4840 BILTORE DRIVE



FRONT OF 4840 BILTORE DRIVE



FRONT OF 4840 BILTORE DRIVE



REAR OF 4840 BILTORE DRIVE



REAR OF 4840 BILTORE DRIVE



REAR OF 4840 BILTORE DRIVE



SOUTH SIDE OF 4840 BILTORE DRIVE



SOUTH SIDE OF 4840 BILTORE DRIVE



NORTH DIE OF 4840 BILTORE DRIVE

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LICENSE # AA 26001337

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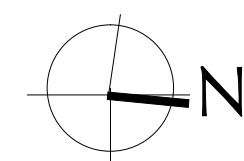
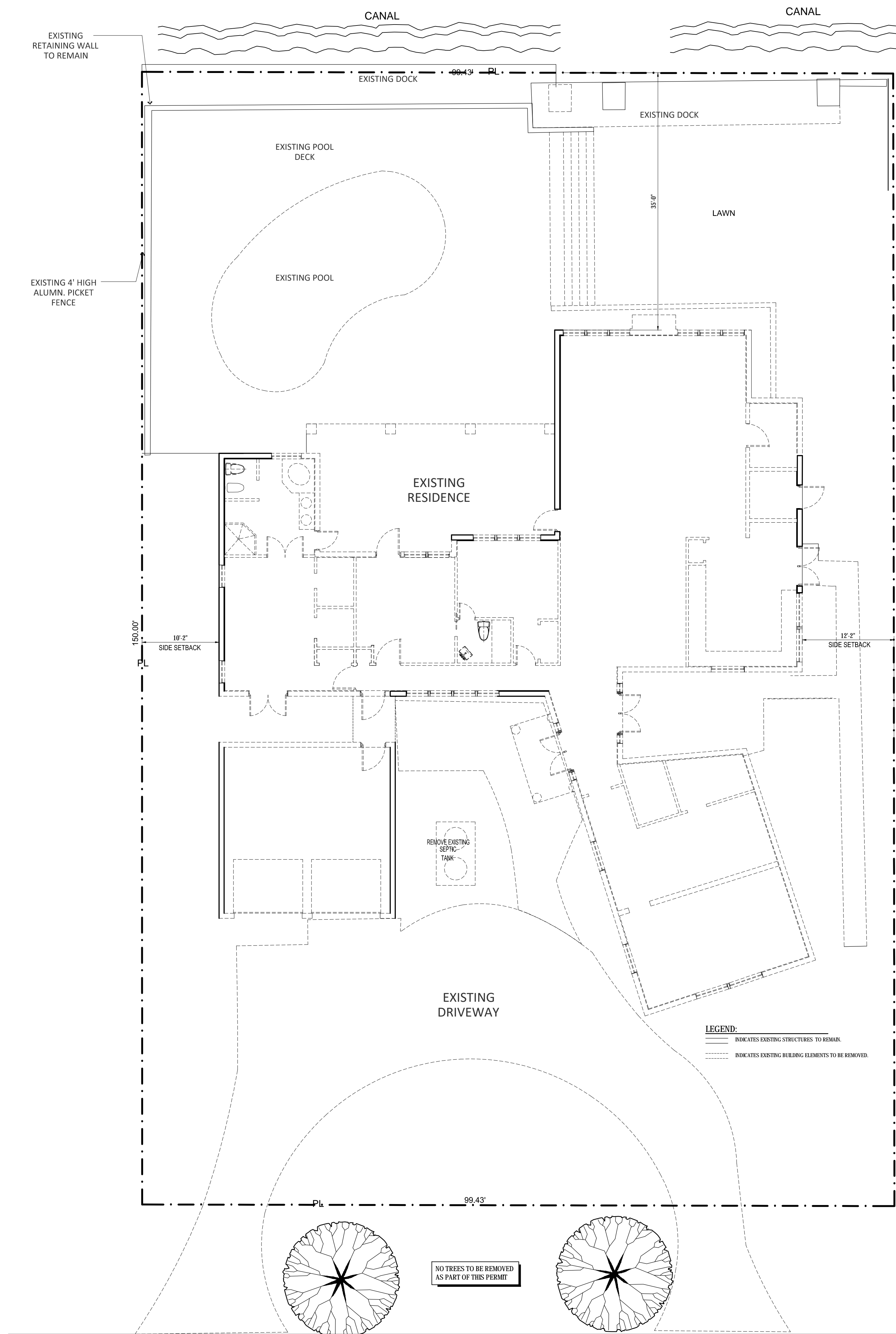
REMODELING FOR  
4840 BILTMORE DRIVE  
CORAL GABLES, FLORIDA

SEAL:

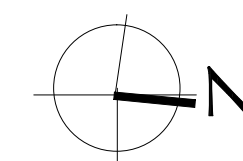
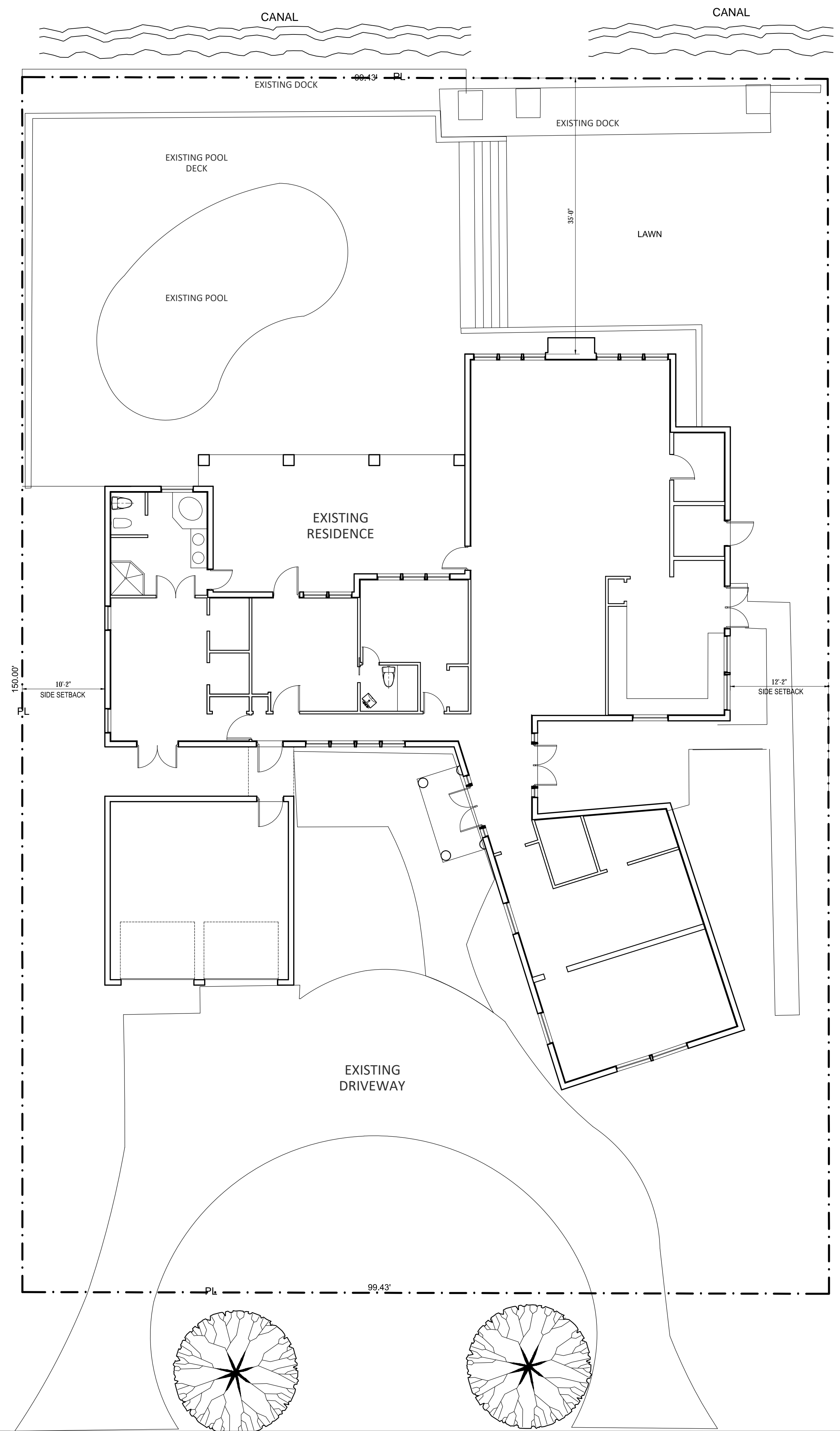
FLOOR PLANS  
DATE :  
SCALE : AS SHOWN  
DRAWN : RR  
CHECK BY: PK  
JOB NO. :

C-2





Demolition Site Plan



Existing Site Plan

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PEREZ  
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& ASSOCIATES  
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REMODELING FOR  
4840 BILTMORE DRIVE  
CORAL CABLES FLORIDA

SEAL:

SITE PLAN

DATE :  
SCALE : AS SHOWN  
DRAWN : RR  
CHECK BY: PK  
JOB NO. :

SP-1



Project Address

4840 BILTMORE DRIVE  
CORAL GABLES, FL. 33146

Legal Description

ALL OF LOT 14 & A PORTION OF LOT 13 BLK 42 PB 20-30  
CORAL GABLES RIVIERA SEC PT 2  
PLAT BOOK 28 PAGE 18  
PUBLIC RECORDS DADE COUNTY, FL.

Scope of Work

THE WORK ENTAILS LEVEL 3 ALTERATION . MAINTAINING PARTIAL EXTERIOR WALLS,AND FOUNDATION. THE EXISTING POOL DECK AND DOCK WILL REMAIN AND BE RESURFACED . THE NEW WORK WILL BE A RECONFIGURED HOUSE OF APPROXIMATELY 5,200 S.F. WITH NEW ROOF, WINDOWS, NEW INTERIORS, NEW DRIVEWAY,AND NEW POOL .

Zoning Information

ZONING:	SFR	
FLOOD ZONE:	AH BASE FLOOD 8' FT.	
NET LAND AREA (Lot size):	14,914 SF.	
CODE:	FBC. 2017. RESIDENTIAL	
	REQUIRED/ALLOWED (BASED 14,914 SF.)	PROPOSED
F.A.R. ALLOWED:	N/A.	N/A
	(48% FIRST 5,000 SF., 35% NEXT 5,000 SF., 30% REMAINING)	
LOT COVERAGE:	5,220 SF. (MAIN HOUSE MAX. 35% LOT)	5,215 SF.
	6,695 SF.	5,716SF.
	(ACCESS STRUCTURES MAX. 45%) NEW POOL	(INCLUDE POOL) 509 S.F.
MIN. FLOOR ELEVATION:	9.00' NGVD (16" ABOVE CROWN OF ROAD : 1.33'+10.80')	9.00' NGVD
HEIGHT ALLOWED:	25'-0" MAX. TO EAVE	11'-0" (NGVD ALONG FRONT PROPERTY LINE)

Setback Requirements

	REQUIRED/ALLOWED	PROPOSED
FRONT:	25'-0"	25'-0"
INTERIOR SIDE:	19'-10" TOTAL 20% OF LOT WIDTH	12'-2" NORTH SIDE 10'-2" SOUTH SIDE 22'-4" TOTAL
REAR :	35'-0" TO WATERWAY	35'-0" (EXISTING) FOLLOW EXISTING

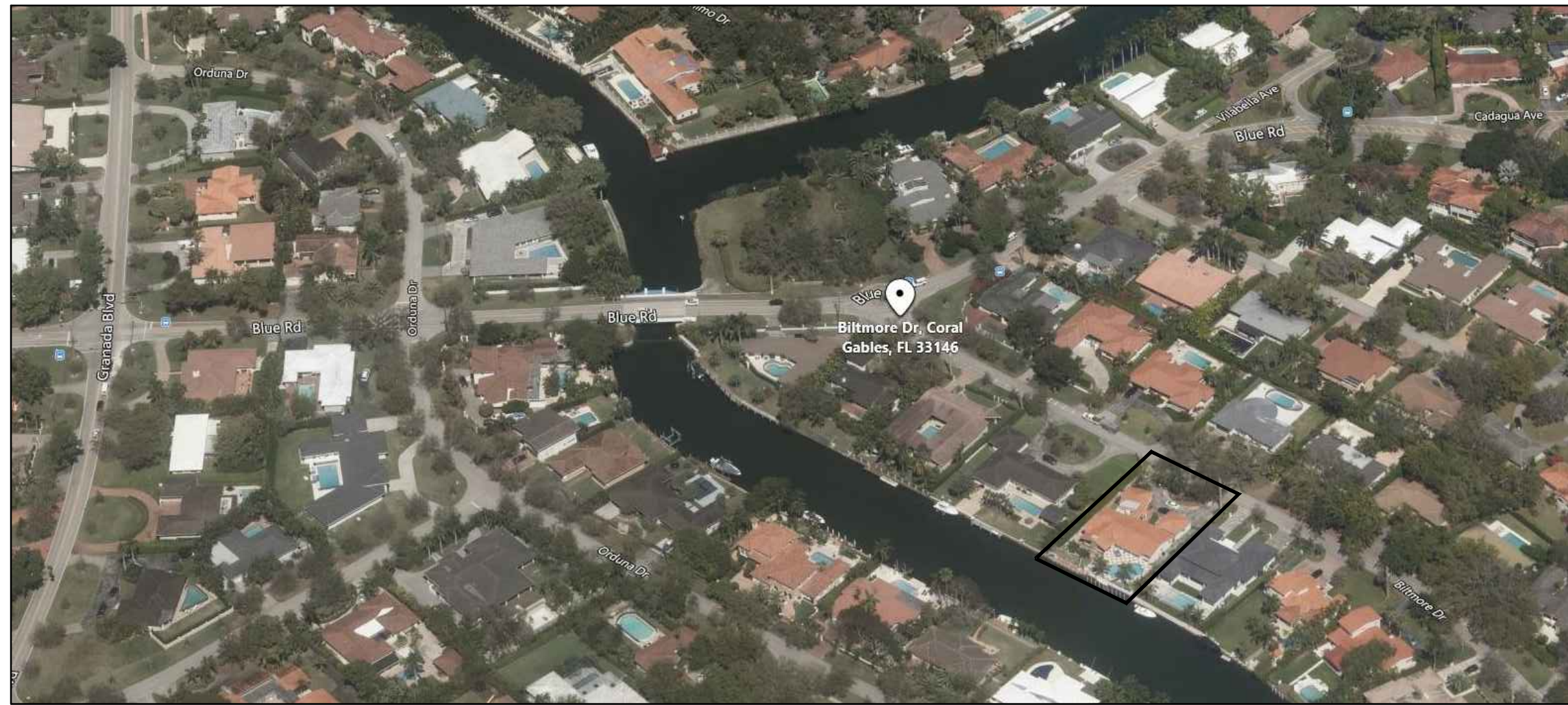
LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF OVERLAND DISCHARGE OF STORMWATER ONTO ADJACENT PROPERTY. APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION.

Site Plan Notes:

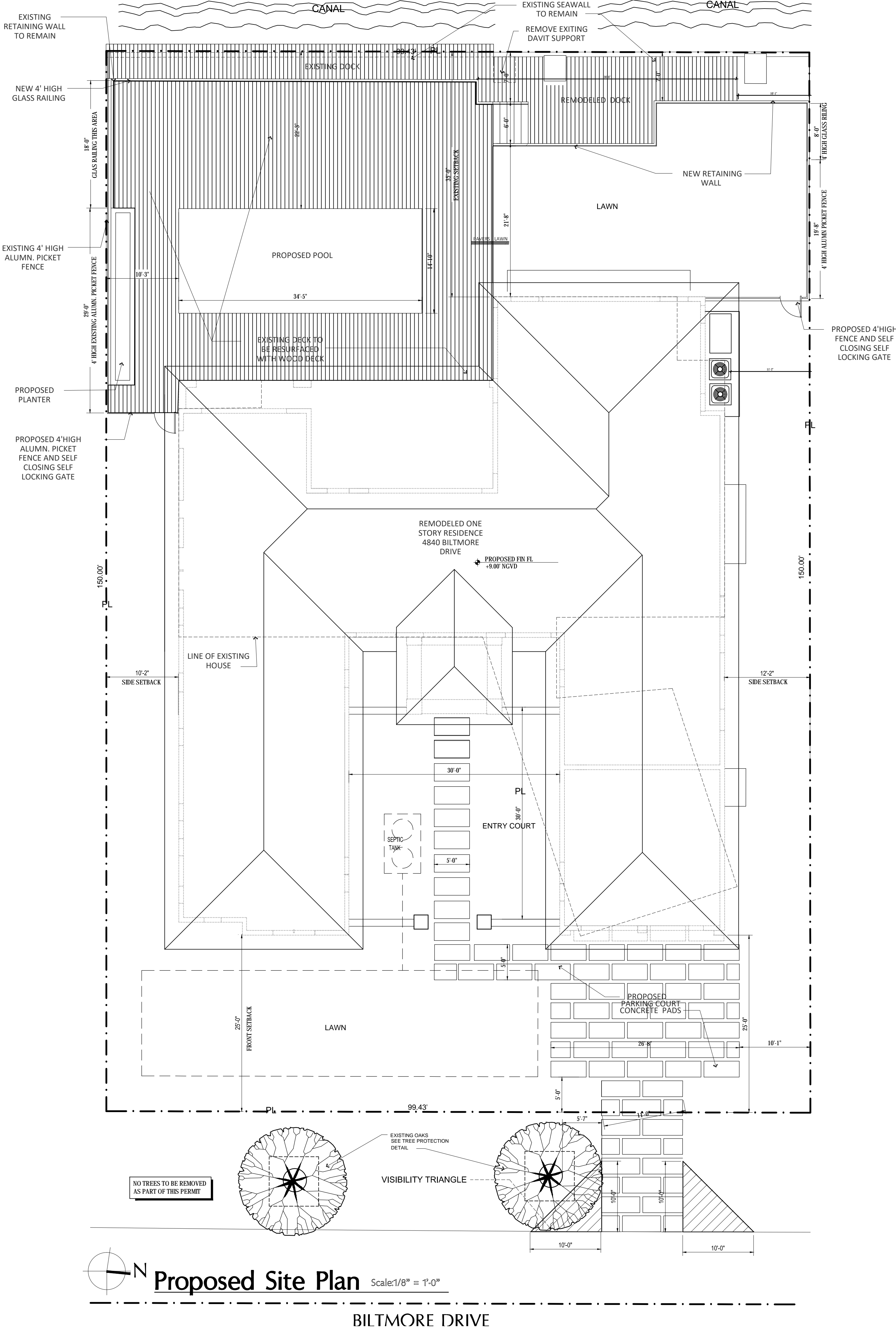
1. APPROACHES TO BE PERPENDICULAR TO PL.
2. APPROACHES TO MAINTAIN 5 LF. CLEARANCE FROM TREES
3. MAXIMUM TURN -OUT RADIUS 10'-0" MINIMUM 5'-0"
4. ALL RAINWATER TO BE CONTAINED WITHIN PROPERTY
5. ALL SETBACKS ARE EXISTING TO REMAIN

Visibility Triangle Note:

THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE ESTABLISHED GRADE



Location Sketch



PASCUAL  
PEREZ  
KILIDDJIAN  
& ASSOCIATES  
ARCHITECTS - PLANNERS  
LICENSE # AA 26001357

PETER KILIDDJIAN, R.A.  
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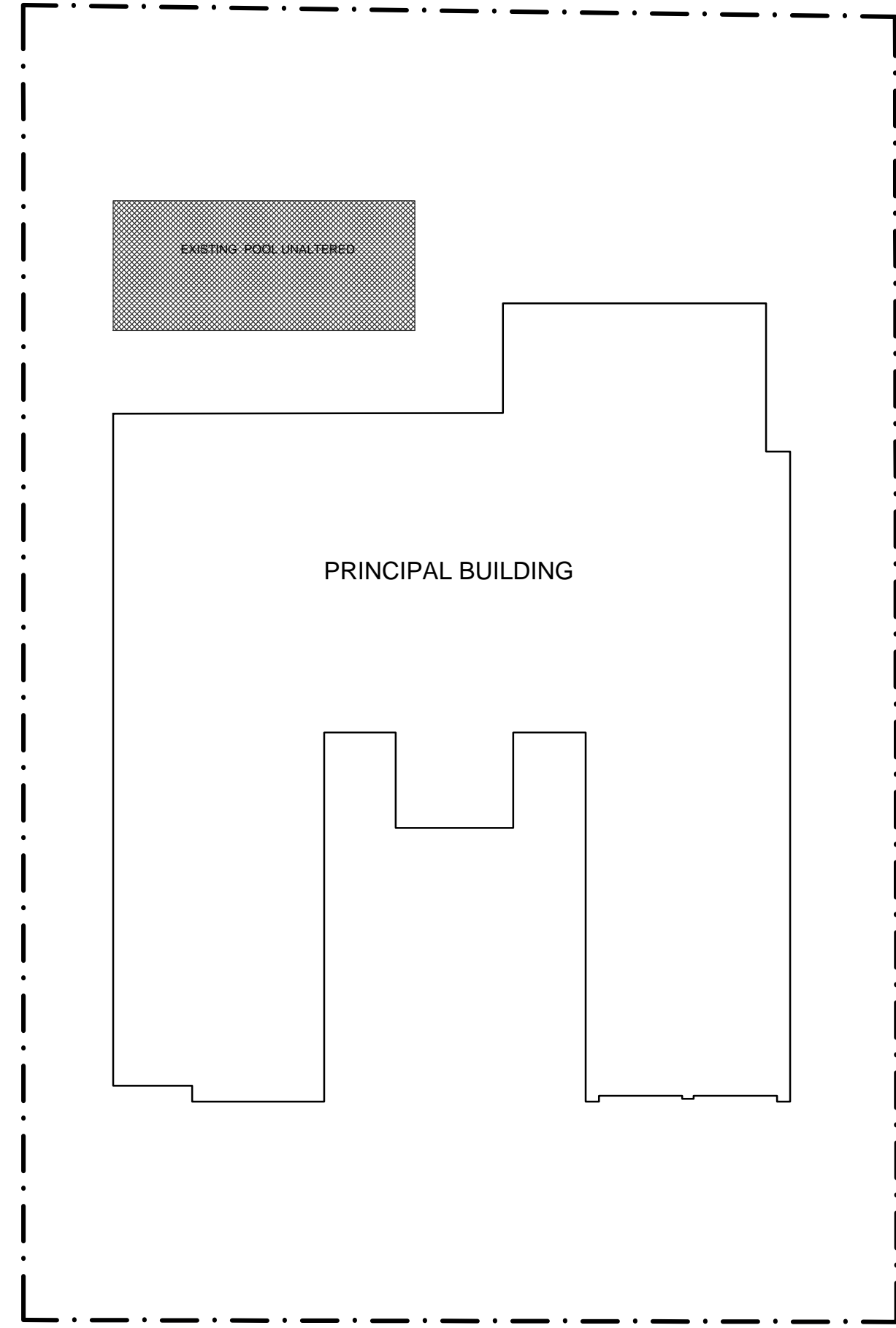
REMODELING FOR  
4840 BILTMORE DRIVE  
CORAL GABLES FLORIDA

SEAL:

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SCALE : AS SHOWN  
DRAWN : RR  
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JOB NO. :

SP-2





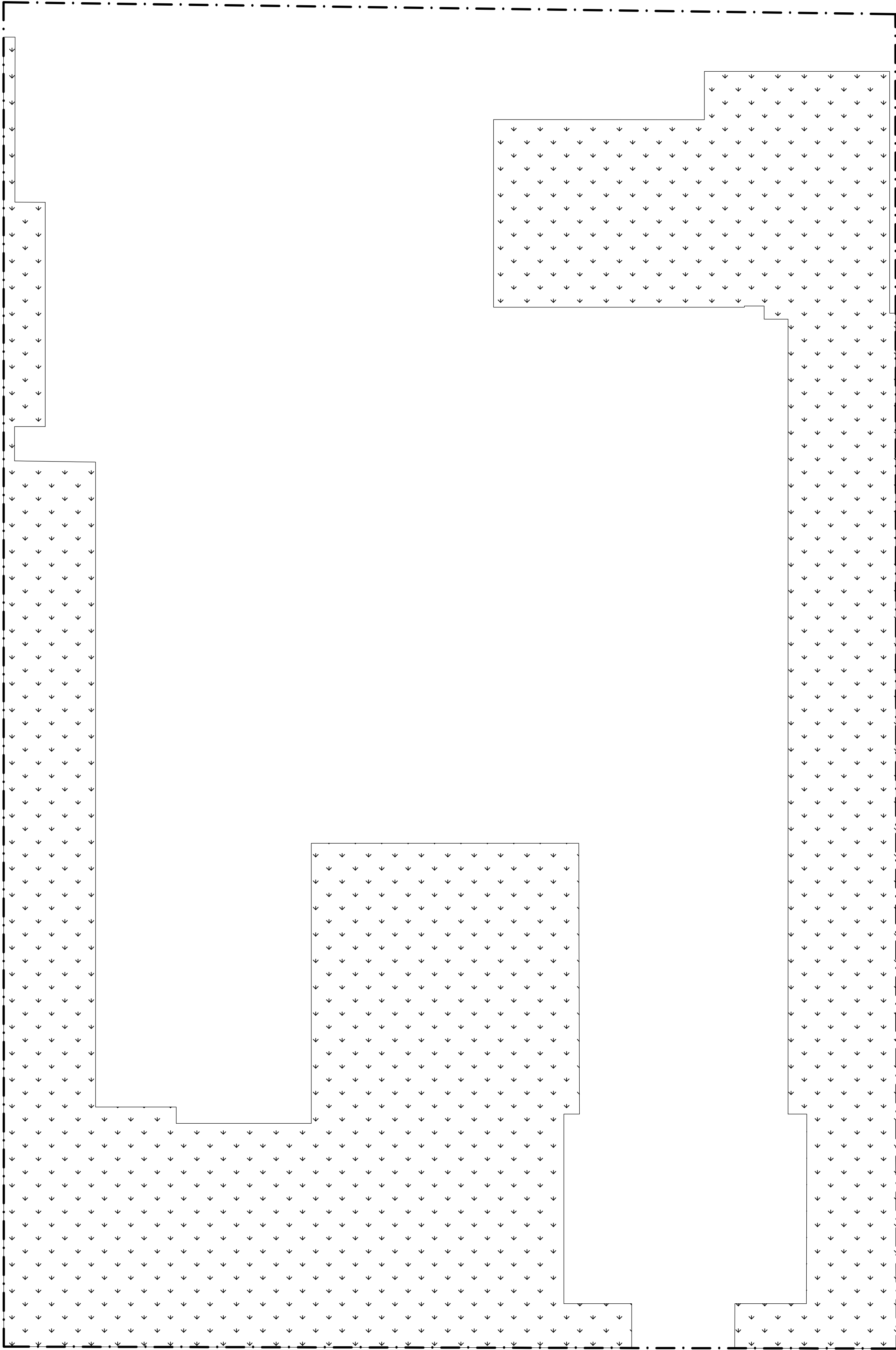
ZONING SINGLE FAMILY SFR		
NET LAND AREA	14,914 SF	
	REQUIRED / ALLOWED	PROVIDED
LOT COVERAGE		
PRINCIPAL BUILDING	5,220 Sq. Ft. (35%)	5,215 Sq. Ft. (35%)
MAIN BUILDING + AUXILIARY B.	6,711 Sq. Ft. (45%)	5,716 Sq. Ft. (38.4%)
LANDSCAPED OPEN SPACE		
MINIMUM OF 40% OF SITE	5,965 Sq. Ft.	5,975Sq. Ft. (40%)
20% OF REQD. 40% IN FRONT YARD	1,183 Sq. Ft.	2,870q. Ft. (48%)

Lot Coverage Calculation

Legend

MAIN BUILDING AUXILIARY BUILDING

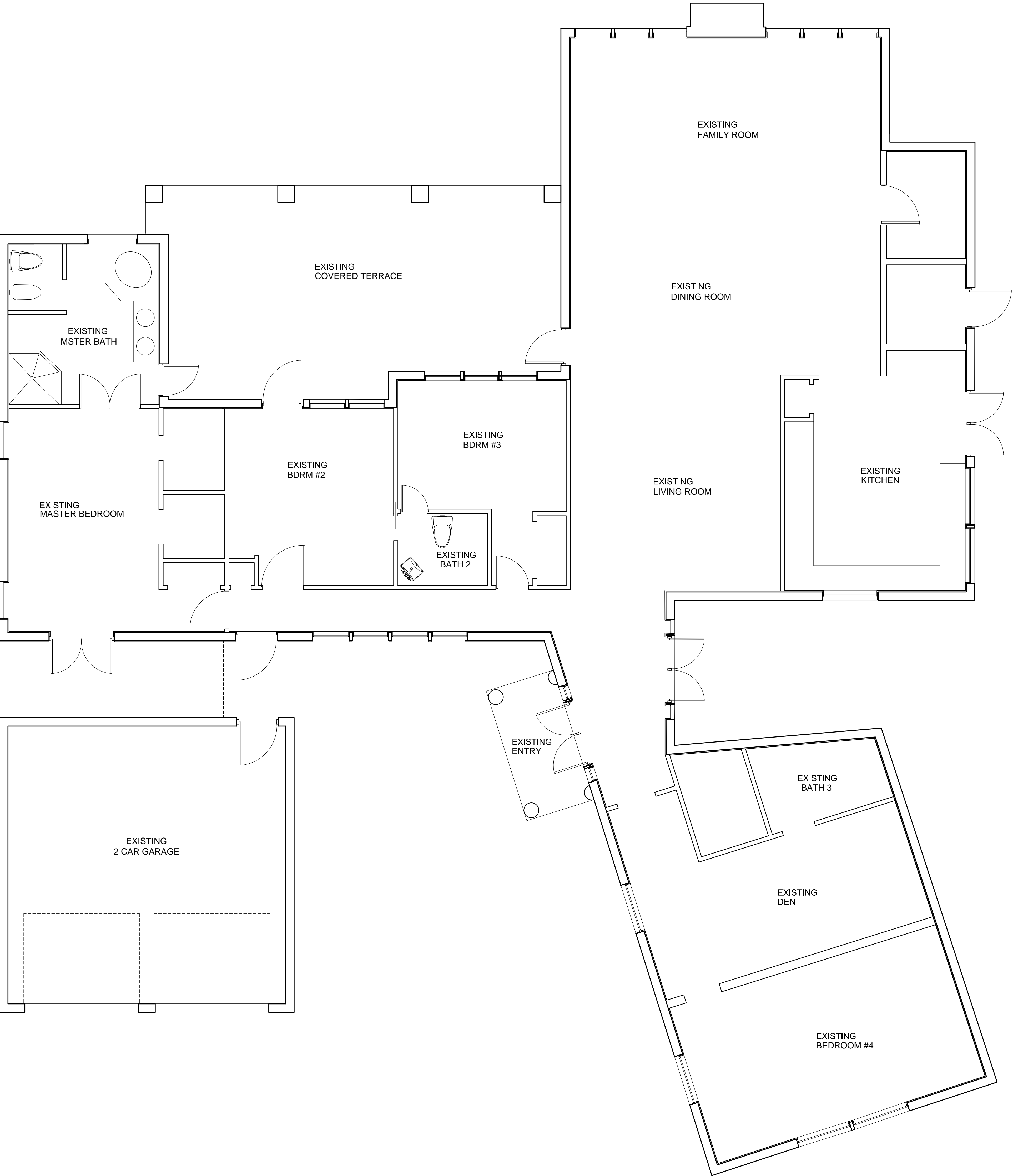
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Landscaped Open Space Diagram

Scale:1/8" = 1'-0"





Existing Floor Plan

Scale: 1/4" = 1'-0"

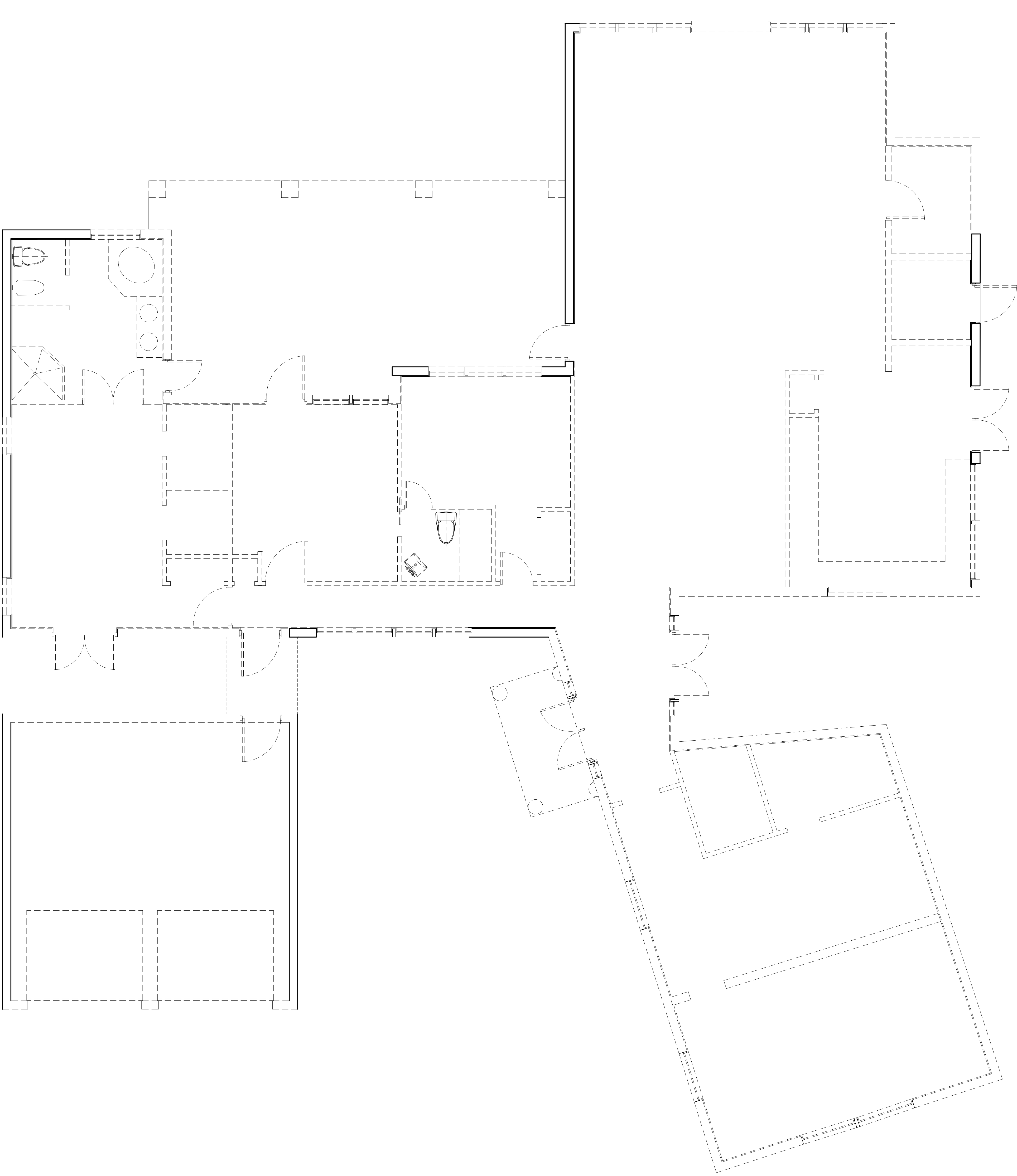


GENERAL DEMOLITION NOTES:

- 1.- THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE JOB.
- 2.- NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK-THRU OF THE PROJECT W/ THE INTENT OF IDENTIFYING POSSIBLE ITEM, NOT OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVAL AND/OR RELOCATION.
- 3.- CUT, REMOVE, PATCH, ALTER AND REFINISH EXISTING CONSTRUCTION AS RESULT OF DEMOLITION AND AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION.
- 4.- PROVIDE SAFETY FEATURES DURING WORK AS REQUIRED BY APPLICABLE CODES, RULES AND REGULATIONS.
- 5.- GENERAL CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE ARCHITECT / ENGINEER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE DO NOT RESUME OPERATION UNTIL SAFETY IS RESTORED.
- 6.- GENERAL CONTRACTOR SHALL DEMOLISH, IN AN ORDERLY AND CAREFUL MANNER, AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
- 7.- CONTRACTOR SHALL INSPECT CEILINGS AND CHASES TO ASSURE PROPER IDENTIFICATION OF UTILITIES (MECHANICAL, PLUMBING AND/OR ELECTRICAL).
- 8.- PATCH AND REPAIR ALL EXISTING SURFACES DAMAGE BY DEMOLITION AND/OR NEW WORK AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR AS REQUIRED FOR NEW SCHEDULED FINISHES.
- 9.- ALL DEMOLITION IS DENOTED BY NOTES & HATCHING.
- 10.-GENERAL CONTRACTOR SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- 11.- CONTRACTOR TO NOTIFY TO ARCHITECT OR ENGINEER OF RECORD IF
- 12.- STRUCTURAL COMPONENTS IS FOUND IN DEMOLITION AREA.

LEGEND:

- INDICATES EXISTING BUILDING ELEMENTS TO REMAIN.
- INDICATES EXISTING BUILDING ELEMENTS TO BE REMOVED.



Demolition Plan

Scale: 1/4" = 1'-0"

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KILIDDJIAN  
& ASSOCIATES  
ARCHITECTS - PLANNERS  
LICENSE # AA 26001357

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4840 BILTMORE DRIVE  
CORAL GABLES FLORIDA

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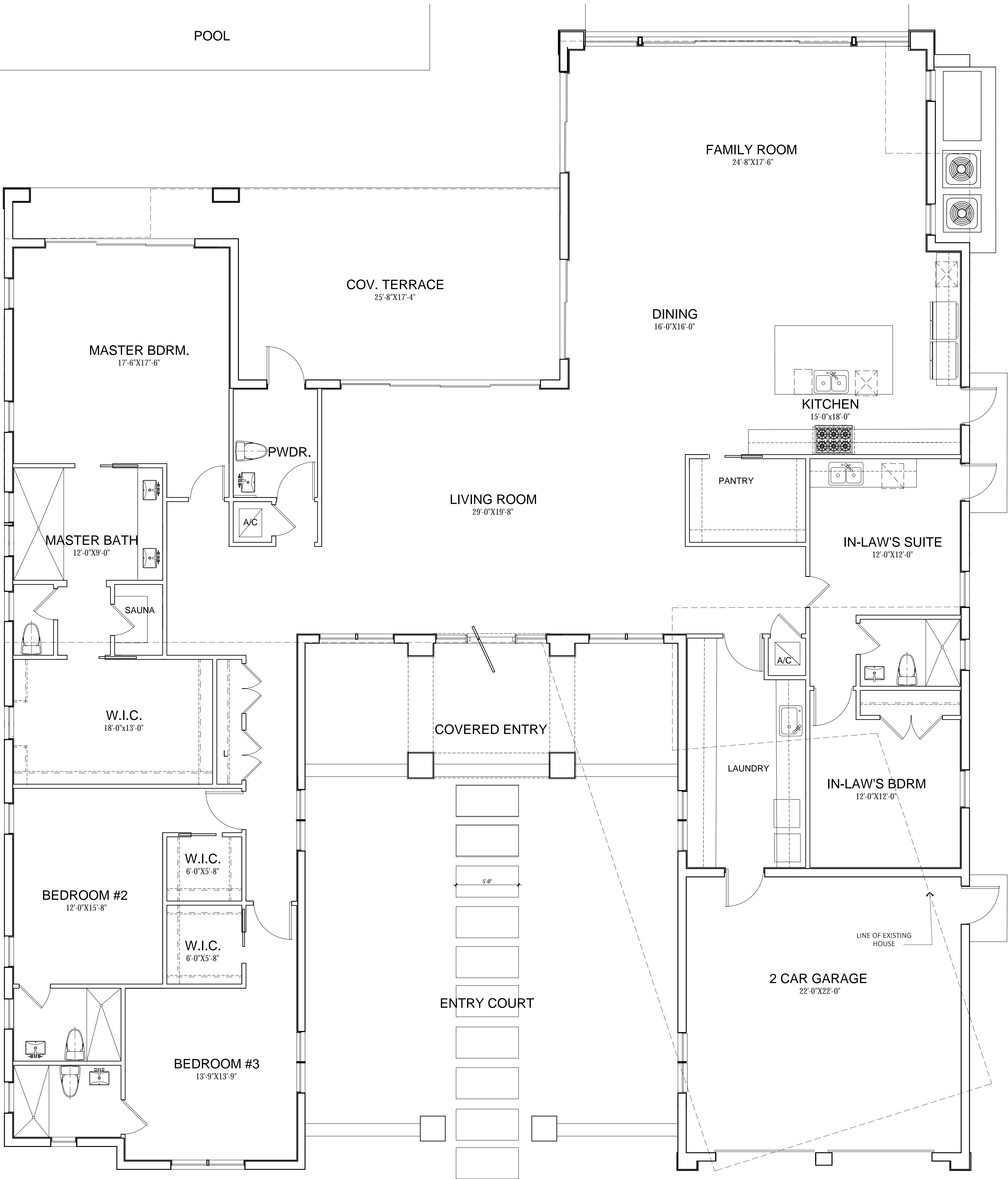
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CHECK BY: PK  
JOB NO. :

A-2



Proposed Floor Plan

Scale: 1/4" = 1'-0"



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REMODELING FOR  
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CORAL GABLES FLORIDA

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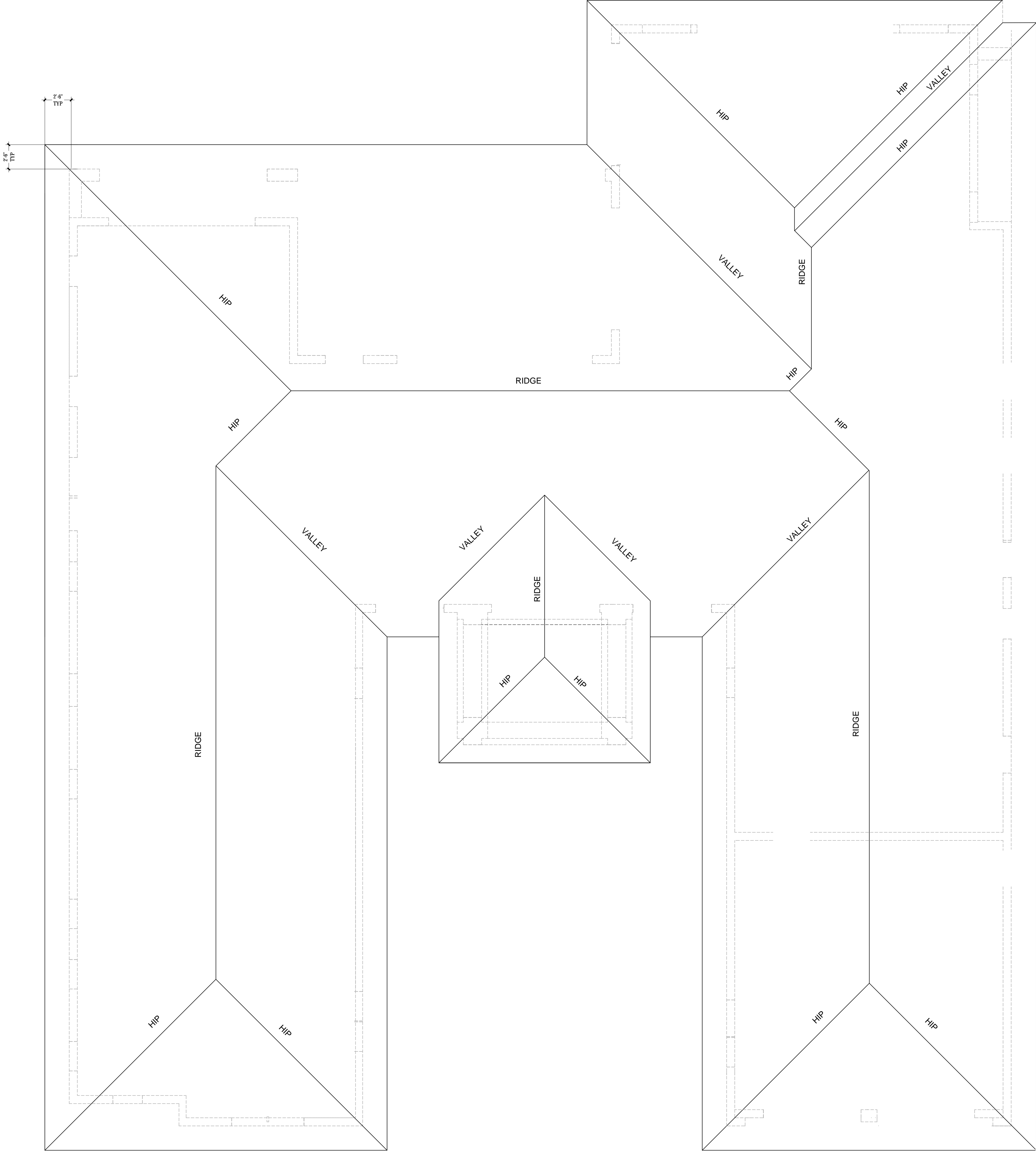
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A-3



Proposed Roof Plan

Scale:1/4" = 1'-0"



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EDGARDO PEREZ , AIA  
LICENSE No. : AR 0015394  
MARIO P. PASCUAL , AIA  
LICENSE No. : AR 0008254  
PETER KILIDDJIAN, RA  
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CORAL GABLES FLORIDA

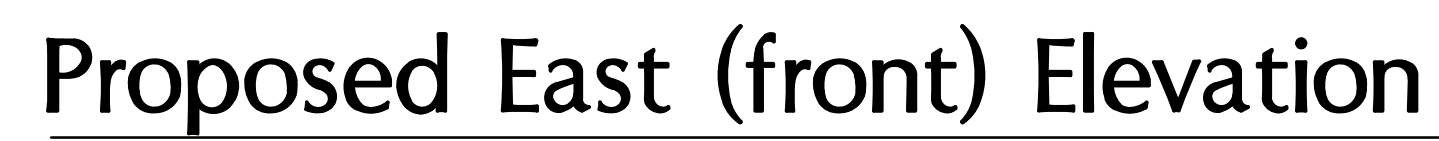
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A-4





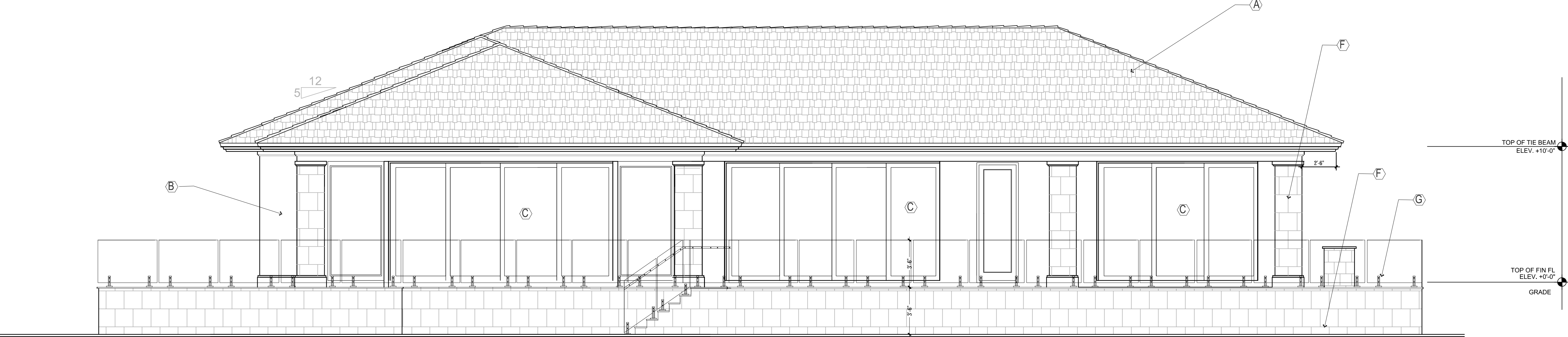
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Existing West (rear) Elevation

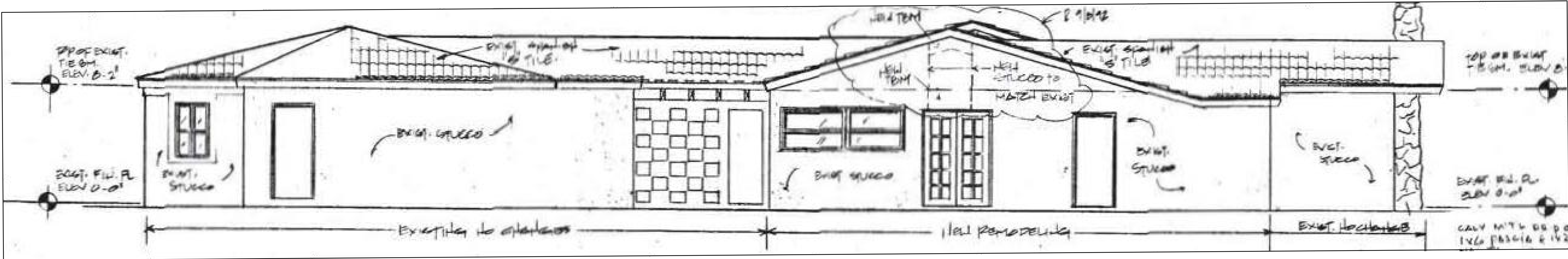
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Proposed West (rear) Elevation

Scale: 1/4" = 1'-0"





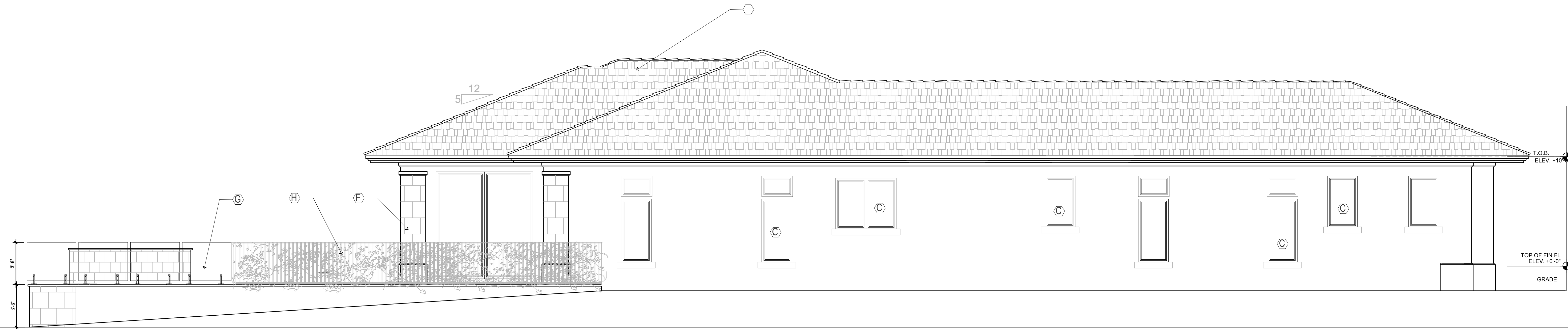
Existing South Side Elevation

Scale:1/4" = 1'-0"

A

LEGEND

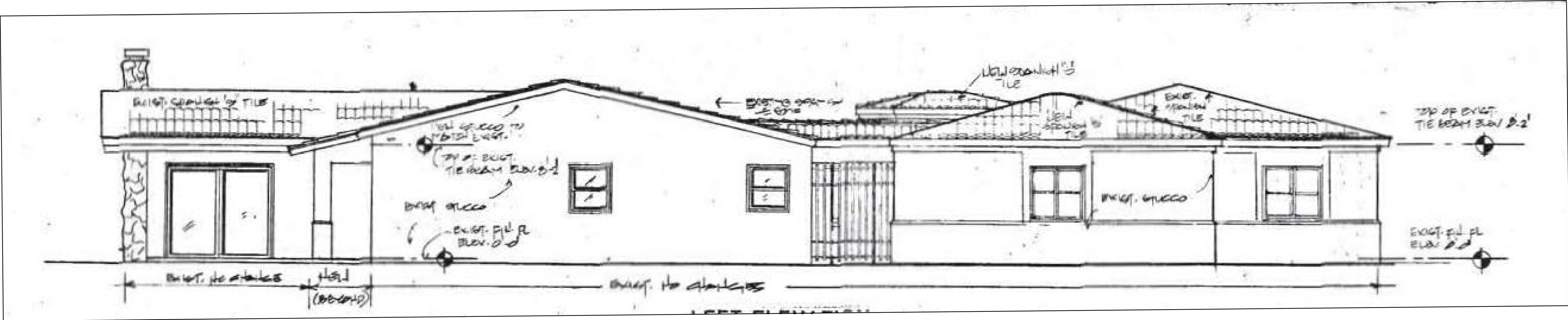
- (A) FLAT CONCRETE TILE ROOF
- (B) SMOOTH FINISH STUCCO
- (C) IMPACT CASEMENT WINDOWS.TYP.
- (D) TONGUE AND GROVE WD. SOFFIT
- (E) 2'-6" OVERHANG TYP.
- (F) OOLITE STONE VENNER
- (G) GLASS RAILING
- (H) ALUMN. RAILING



Proposed South Side Elevation

Scale:1/4" = 1'-0"



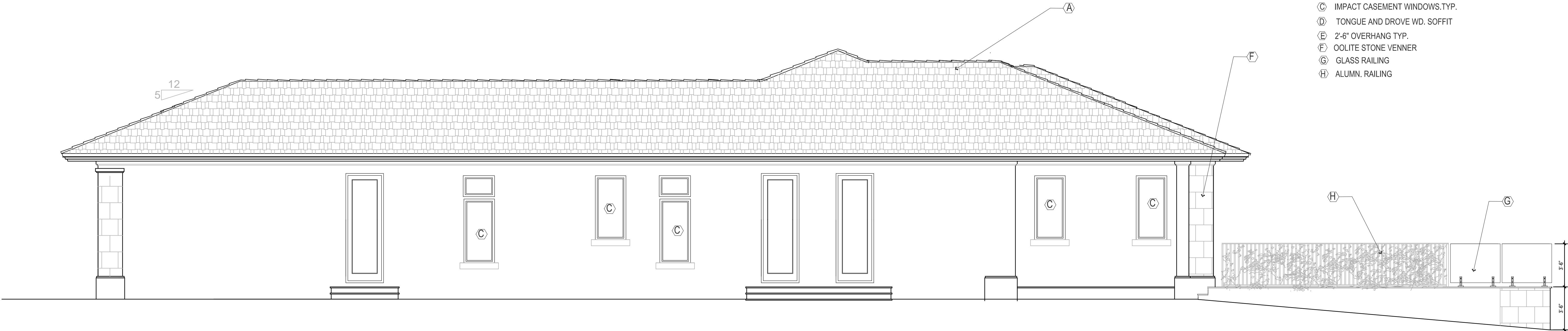


Existing North Side Elevation

Scale:1/4" = 1'-0"

LEGEND

- (A) FLAT CONCRETE TILE ROOF
- (B) SMOOTH FINISH STUCCO
- (C) IMPACT CASEMENT WINDOWS.TYP.
- (D) TONGUE AND GROVE WD. SOFFIT
- (E) 2'-6" OVERHANG TYP.
- (F) OOLITE STONE VANNER
- (G) GLASS RAILING
- (H) ALUMN. RAILING



Proposed North Side Elevation

Scale:1/4" = 1'-0"





Rear view



Front view



Rear view



Courtyard view