RESIDENCE REMODELING 4840 BILTMORE DRIVE

Coral Gables, Florida 33146
PRELIMINARY B.O.A. SUBMITTAL

JOHN IBARRA & ASSOCIATES, INC.

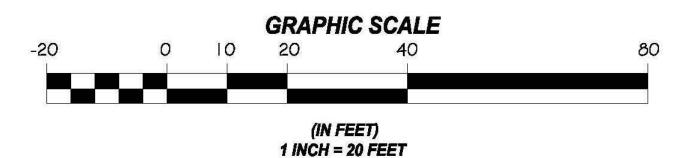
Professional Land Surveyors & Mappers

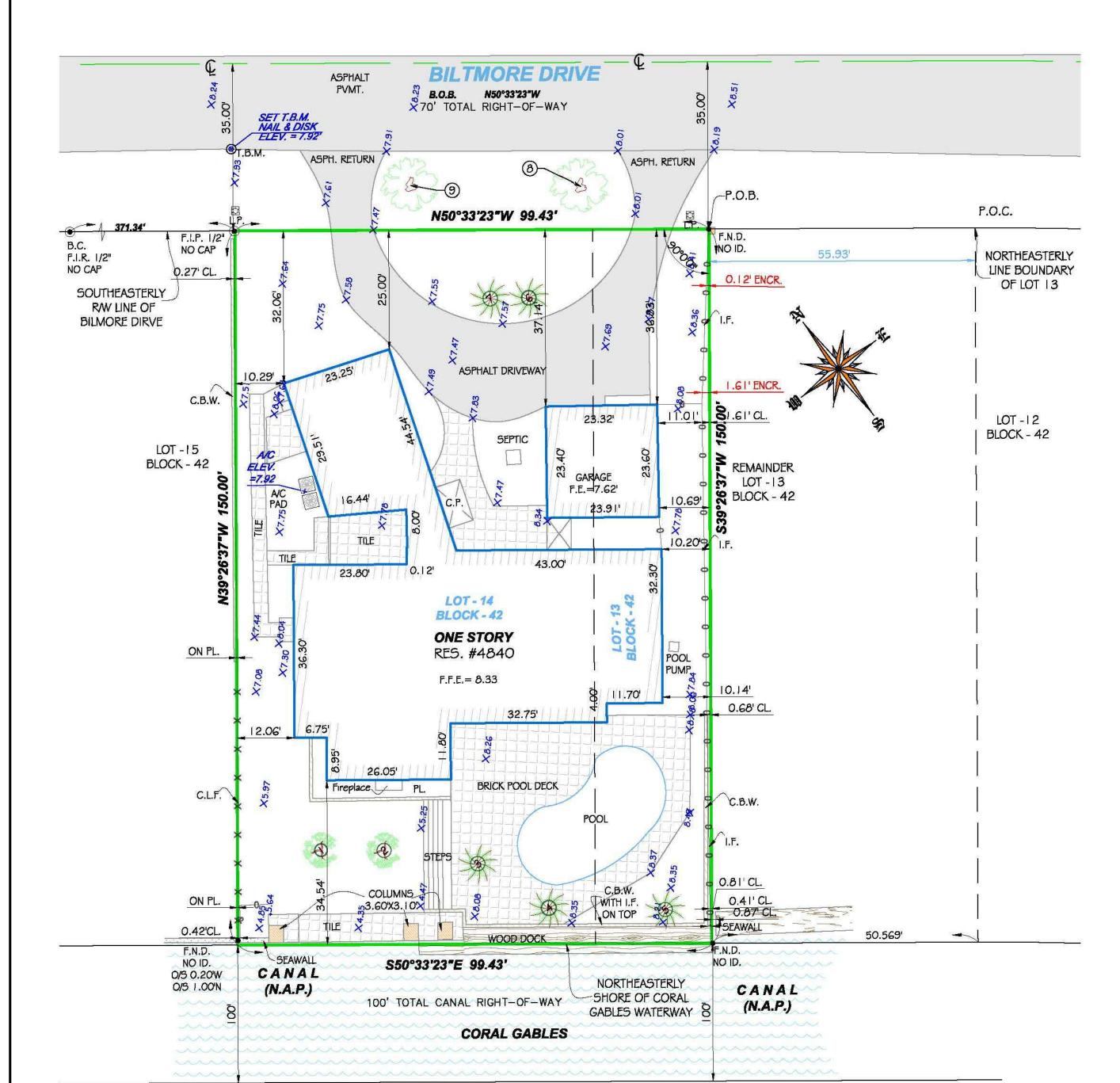
777 N.W. 72nd AVENUE SUITE 3025 MIAMI, FLORIDA 33126 PH: (305) 262-0400

3725 DEL PRADO BLVD. S. SUITE 823 CAPE CORAL, FL 33904 PH: (239) 540-2660



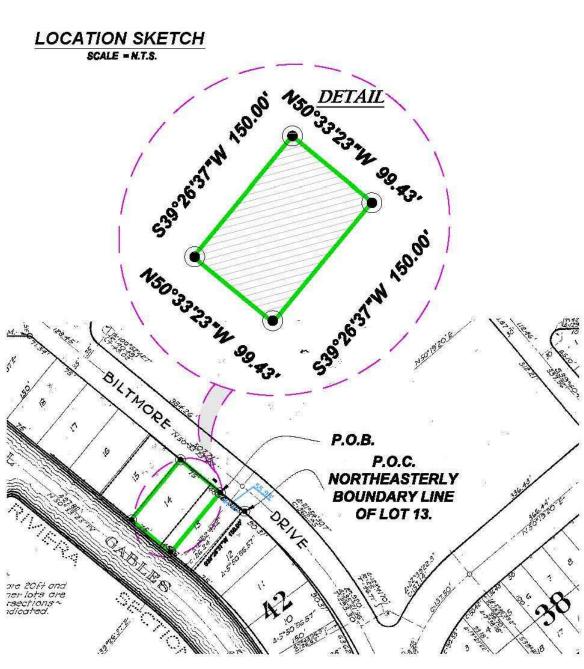
TOPOGRAPHIC SURVEY





LEGAL DESCRIPTION:

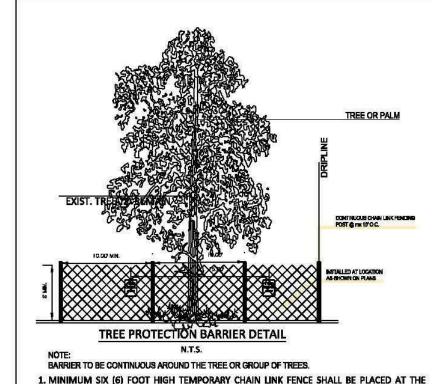
ALL OF LOT 14 AND A PORTION OF LOT 13, IN .BLOCK 42 OF REVISED PLAT OF CORAL GABLES, RIVIERA SECTION, PART 2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 28 AT PAGE 18 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA ALL OF WHICH PROPERTY IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT A POINT ON THE NORTHEASTERLY BOUNDARY LINE OF LOT 13 IN BLOCK 42 AFORESAID AT A POINT 55.926 FEET NORTHWESTERLY OF THE NORTHEASTERLY CORNER OF SAID LOT 13; THENCE RUN SOUTHWESTERLY ALONG A LINE DEFLECTING 90 ° TO THE LEFT, A DISTANCE OF 150 FEET TO A POINT ON THE NORTHEASTERLY SHORE OF CORAL GABLES WATERWAY, SAID POINT BEING 50.569 FEET IN LOT 13, BLOCK 42; THENCE RUN NORTHWESTERLY ALONG A LINE DEFLECTING 90° TO THE RIGHT ALONG THE NORTHEASTERLY LINE OF CORAL GABLES WATERWAY, A DISTANCE OF99.439 FEET TO A POINT, SAID POINT BEING THE INTERSECTION OF THE NORTH-EASTERLY SHORE OF CORAL GABLES WATERWAY. WITH THE DIVIDING LINE BETWEEN LOTS 14 AND 15, BLOCK 42, AS SHOWN ON ABOVE MENTIONED RECORDED PLAT, THENCE RUN NORTHEASTERLY ALONG A LINE DEFLECTING 90 ° TO THE RIGHT, ALONG THE DIVIDING LINE BETWEEN SAID LOTS 14 AND 15, BLOCK 42, A DISTANCE OF 150.00 FEET TO THE SOUTHWESTERLY LINE OF BILTMORE DRIVE, THENCE RUN SOUTHEASTERLY ALONG A LINE DEFLECTING 90 DEGREES TO THE RIGHT ALONG THE SOUTHWESTERLY LINE OF BILTMORE DRIVE, A DISTANCE OF 99.439 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED. ALSO ALL THAT PART OF LAND. IF ANY, LYING BETWEEN PRESENT LOT LINES OF SAID DESCRIBED LOTS AND EXISTING CANAL BANK, TOGETHER WITH ALL RIPARIAN RIGHTS.



TREE TABLE					
No.	Name	Diameter (Ft.)	Height (Ft.)	Spread (Ft.)	
I	GUMBO LIMBO	1.90	30	15	
2	ARECA	0.70	15	5	
3	PALM	1.00	10	5	
4	PALM	1.00	10	5	
5	PALM	1.5	25	25	
6	PALM	1.3	40	10	
7	PALM	7	25	10	
8	OAK	2.00	25	30	
9	OAK	2.50	30	30	

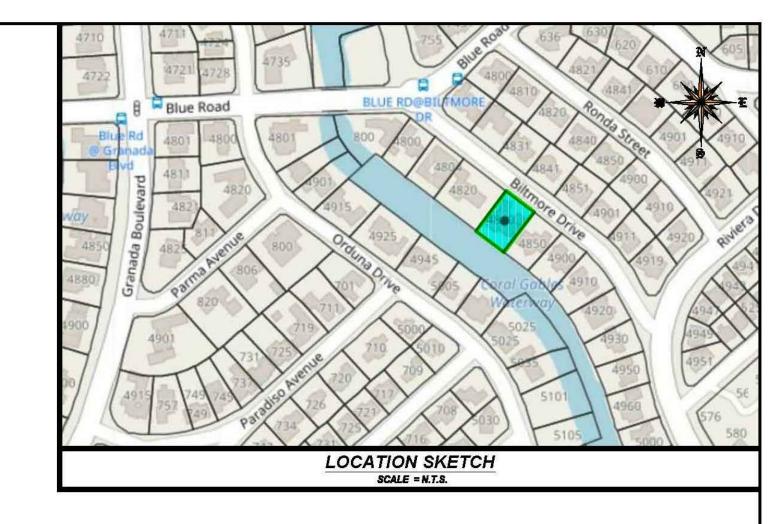
SURVEYOR'S NOTES:

 AN ARBORIST MUST CONFIRM ALL THE TREE NAMES. CONDITION AND SPECIES, WHAT IS SHOWN ON THE SURVEY MAY NOT BE THE CORRECT NAME OF THE TREES. LAND SURVEYORS ARE NOT ARBORIST.



1. MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAIN LINK FENCE SHALL BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED FENCE SHALL COMPLETELY ENCIRCLE TREE(S). INSTALL FENCE POSTS USING PIER BLOCK ONLY, AVOID POST OR STAKES INTO MAJOR ROOTS, MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL.

- 2. TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION FOR ALL ROOTS OVER ONE (1) INCH IN DIMATER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS
- 3. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY THE CITY PLANNING OFFICIAL WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL
- 4. FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN (15) ALONG THE



ABBREVIATIONS

= AIR CONDITIONER F = ANCHOR EASEMEN = ALUMINUM ROOF = ALUMINUM SHED ASPH. = ASPHALT
B.C. = BLOCK CORNER
BLDG. = BUILDING
B.M. = BENCH MARK
B.C.R. = BROWARD COUNTY RECORDS B.O.B. = BASIS OF BEARING B.S.L. = BUILDING SETBACK LINE (C) = CALCULATED = CATCH BASIN = CONCRETE BLOCK STRUCTURE .B.W. = CONCRETE BLOCK WALL = CHAIN LINK FENCE = CANAL MAINTENANCE E

NC. = CONCRETE I.P. = CONCRETE UTILITY POLE = CONCRETE PORCH = CONCRETE SLAB = CONCRETE WALK

DRIVE = DRIVEWAY

" = DEGREES

EB = ELECTRIC BOX

E.T.P. = ELECTRIC TRANSFORMER PAL

ELEV. = ELEVATION

ENCR. = ENCROACHMENT

F.H. = FIRE HYDRANT

F.I.P. = FOUND IRON PIPE

F.I.R. = FOUND IRON ROD

F.F.E. = FINISHED FLOOR ELEVATION

F.N.D. = FOUND NAIL & DISK

FT. = FEET NIP. = FEDERAL NATIONAL INSURANCE PROCESA F.N. = FOUND NAIL H. = HIGH OR (HEIGHT) IN.&EG. = INGRESS AND EGRESS EASEME .C.V. = IRRIGATION CONTROL VALVE

= IRON FENCE = LICENSED BUSINESS = LIGHT POLE L.F.E. = LOWEST FLOOR ELEVATION L.M.E. = LAKE MAINTENANCE EASEMEN = MINUTES
(M) = MEASURED DISTANCE M.D.C.R.= MIAMI DADE COUNTY RECORDS

M.E. = MAINTENANCE EASEMENT M.H. = MANHOLE N.A.P. = NOT A PART OF NGVD = NATIONAL GEODETIC VERTICAL DATUM N.T.S. = NOT TO SCALE # or NO. = NUMBER
O/S = OFFSET
O.H. = OVERHEAD
O.H.L = OVERHEAD UTILITY LINES
O.R.B. = OFFICIAL RECORDS BOOK

O.V.H. = OVERHANG
PVMT. = PAVEMENT
PL = PLANTER
P.L. = PROPERTY LINE
P.C. = POINT OF COMPOUND CURVATURE
P.C. = POINT OF TANGENCY
P.O.T. = POINT OF COMPOUND CURVATURE
P.O.T. = POINT OF COMPOUND CURVATURE P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.R.C. = POINT OF REVERSE CURVATURE PWY = PARKWAY
P.R.M. = PERMANENT REFERENCE MONUMEN
P.L.S. = PROFESSIONAL LAND SURVEYOR
P.P. = POWER POLE P.P.S. = POOL PUMP SLAB
P.U.E. = PUBLIC UTILITY EASEMENT = RECORD DISTANCE = RAIL ROAD = RESIDENCE = RIGHT-OF-WAY AD. = RADIUS OR RADIAL RGE. = RANGE R.O.E. = ROOF OVERHANG EASEMENT SEC. = SECTION STY. = STORY SWK: = SIDEWALK S.I.P. = SET IRON PIPE = SOUTH = SCREENED PORCH = SEWER VALVE = SECONDS = TANGENT = TELEPHONE BOOTH A. = TEMPORARY BENCHMARK E. = TECHNOLOGY UTILITY EASEMENT = TRAFFIC SIGNAL BOX = TRAFFIC SIGNAL BOX = TRAFFIC SIGNAL BOX = TRAFFIC SIGNAL POLE = TOWNSHIP = UTILITY = UTILITY EASEMENT = UTILITY POLE = WATER METER = WOOD FENCE = WOOD PORCH W.R. = WOOD ROOF W.V. = WATER VALVE = MONUMENT LI = CENTER LINE

PROPERTY ADDRESS:

4840 BILTMORE DR CORAL GABLES, FLORIDA

CERTIFICATION: JORGE LIBRA SOSA AND PATRICIA MARGARITA GARCIA KAYRUZ, HUSBAND AND WIFE FIRST HORIZON BANK, ITS SUCCESSORS AND/OR ASSIGNS, ATIMA LEOPOLD KORN, P.A.

FIDELITY NATIONAL TITLE INSURANCE COMPANY

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY: • THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.

- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. • THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR
- EASEMENTS OF RECORD. LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/ OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES. EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS. ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- FENCE OWNERSHIP NOT DETERMINED. • THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

FOUNDATIONS.

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN: BASE FLOOD ELEVATION: 8 FT.

THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS. 2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.

3. CERTIFICATE OF AUTHORIZATION LB # 7806. 4.ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 CITY OF CORAL GABLES BENCH MARK # 180 , LOCATION N.W. COR. @ ORDUNA SR 29.8 WEST OF C/L & PONCE DE LEON BLVS. 34.0=70' NORTH OF C/L; ELEVATION IS 11.36 FEET OF N.G.V.D. OF 1929

SURVEYOR'S CERTIFICATION:

HEREBY CERTIFY: THIS 'BOUNDARY SURVEY' OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5.J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

11/23/2020 JOHN IBARRA (DATE OF FIELD WORK) PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA

LEGEND

= OVERHEAD UTILITY LINES = CONCRETE BLOCK WALL X X X = CHAIN LINK FENCE <u> 0 0 0 0 = IRON FENCE</u> #### = WOOD FENCE

= BUILDING SETBACK LINE --- = UTILITY EASEMENT

______ = NON-VEHICULAR ACCESS R/W × 0.00 = EXISTING ELEVATIONS

DRAWN BY: LK FIELD DATE: 11/23/2020 SURVEY NO: 20-004048 SHEET: 1 OF 1

PASCUAL

ARCHITECTS - PLANNERS LICENSE # AA 26001357

> PETER KILIDDJIAN, RA LICENSE No.: AR 0093067

AT THE BEACON CENTER 1600 NW 87th AVENUE DORAL, FLORIDA 33126 TELEPHONE: (305) 726-3748

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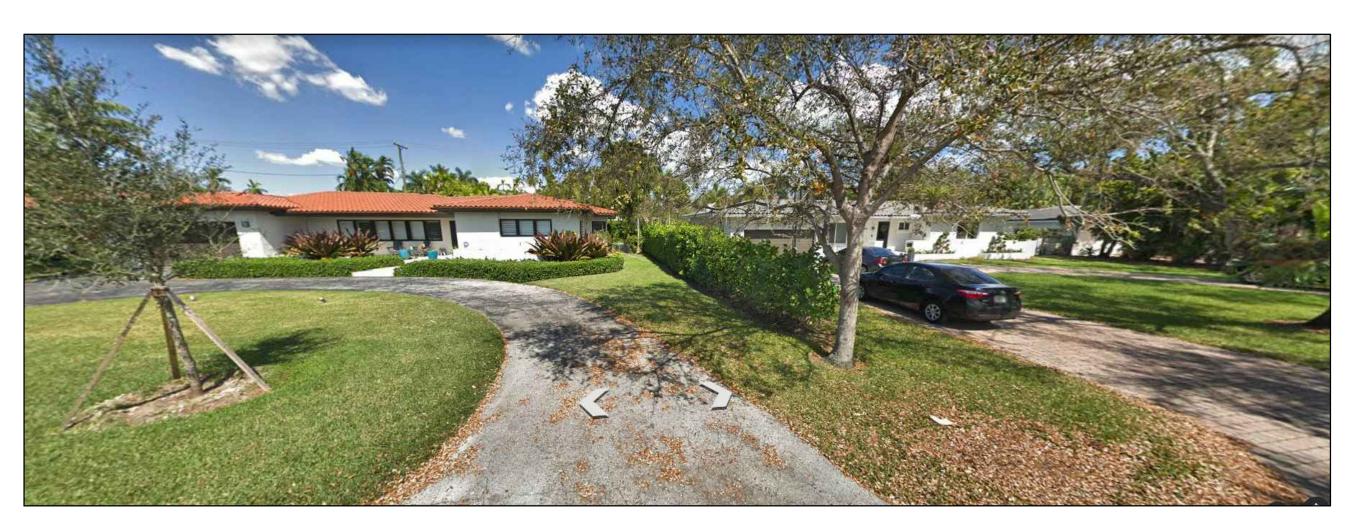
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SEAL:

SITE PLAN

DATE: SCALE: **AS SHOWN** DRAWN: CHECK BY: JOB NO.:

4840 BILTMORE DRIVE WITH NORTH NEIGHBOURING PROPERTY



FRONT NIEGHBOURING PROPERTY



4840 BILTMORE DRIVE WITH SOUTH NEIGHBOURING PROPERTY



NEIGHBOURING SOUTH PROPERTIES



VIEW LOOKING NORTH ON BILTMORE DRIVE



AERIAL OF NEIGHBORHOOD

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OOR PLANS

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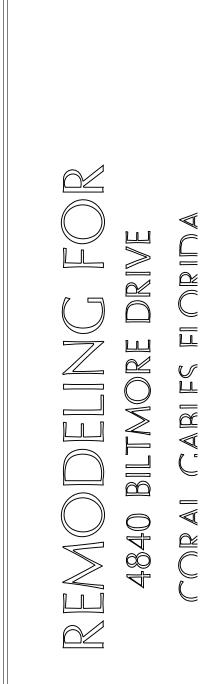
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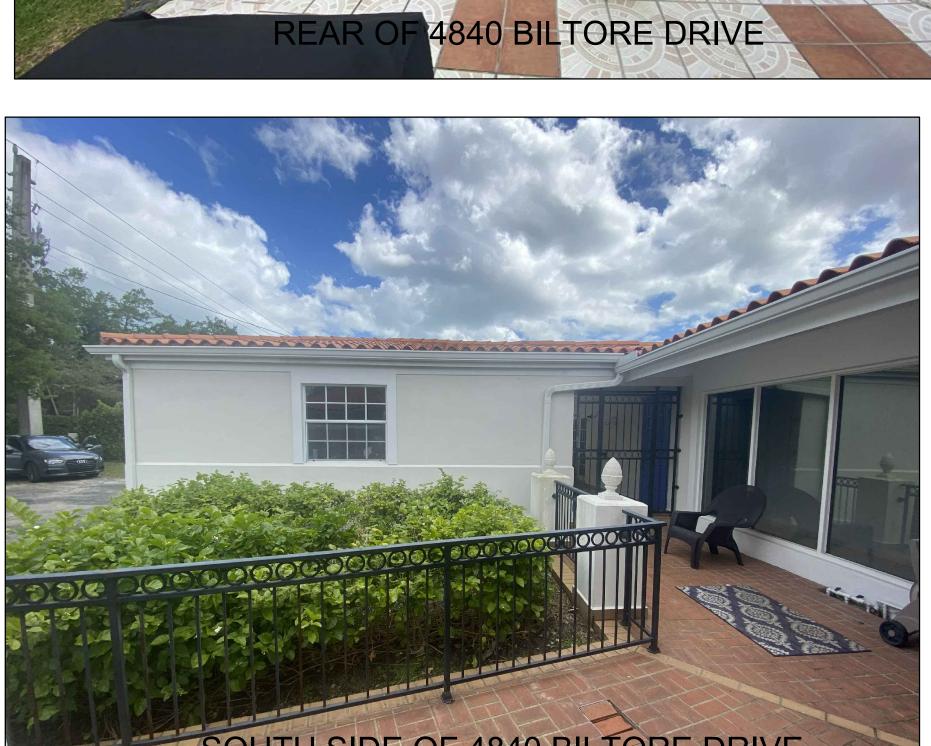
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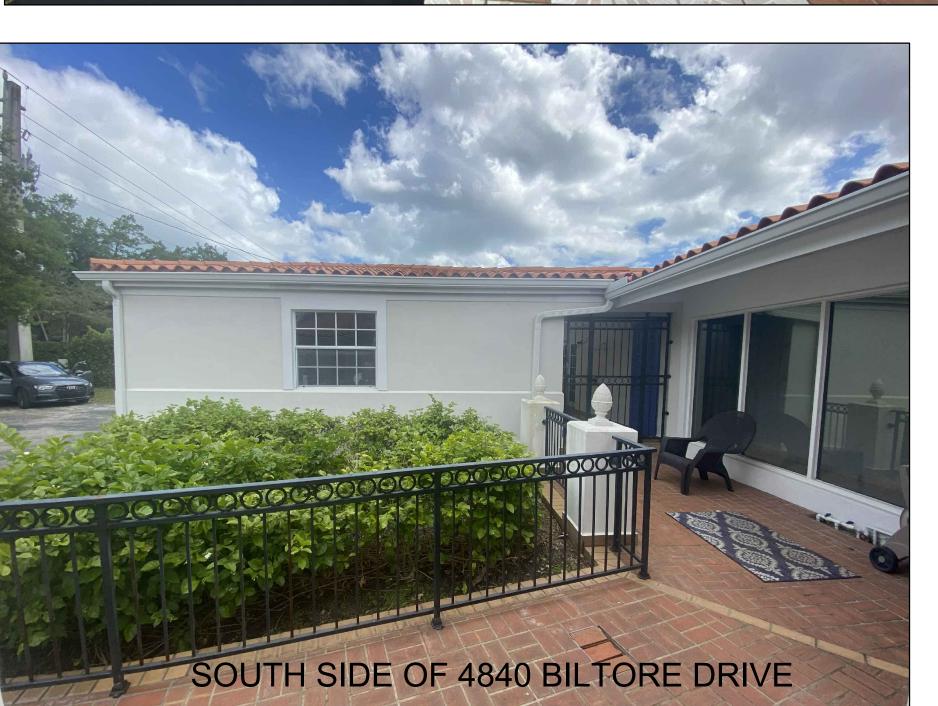
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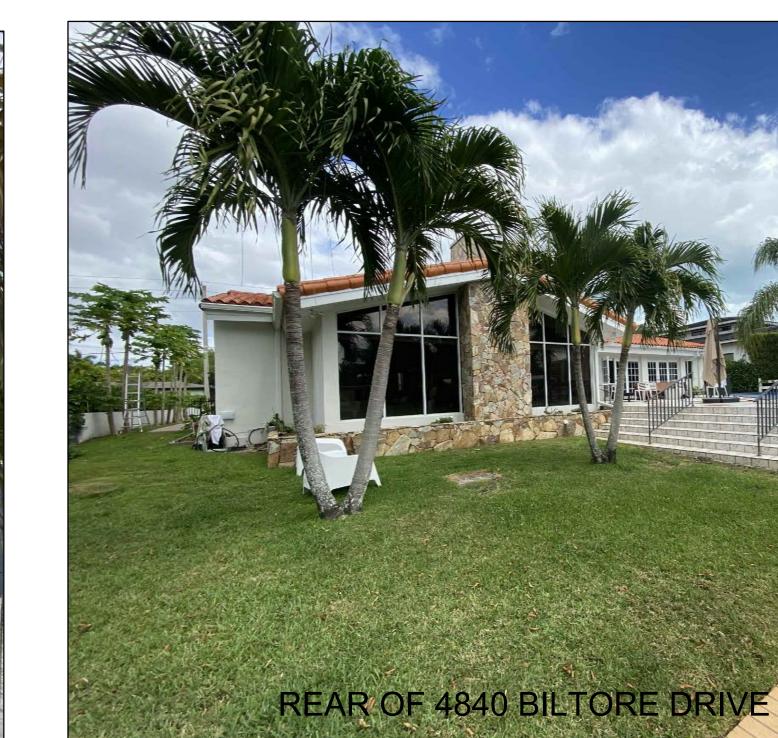












FLOOR PLANS

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JORGE AND PATRICIA LIBRA

SP-1

Project Adress

4840 BILTMORE DRIVE CORAL GABLES, FL. 33146

Legal Description

ALL OF LOT 14 & A PORTION OF LOT 13 BLK 42 PB 20-30 CORAL GABLES RIVIERA SEC PT 2 PLAT BOOK 28 PAGE 18 PUBLIC RECORDS DADE COUNTY, FL.

Scope of Work

THE WORK ENTAILS LEVEL 3 ALTERATION. MAINTAINING PARTIAL EXTERIOR WALLS, AND FOUNDATION, THE EXISTING POOL DECK AND DOCK WILL REMAIN AND BE RESURFACED. THE NEW WORK WILL BE A RECONFIGURED HOUSE OF APROXIMATELY 5,200 S.F. WITH NEW ROOF, WINDOWS, NEW INTERIORS, NEW DRIVEWAY, AND NEW POOL.

Zoning Information

ZONING: SFR
FLOOD ZONE: AH BASE FLOOD 8' FT.
NET LAND AREA (Lot size): 14,914 SF.

CODE: FBC. 2017. RESIDENTIAL

REQUIRED/ALLOWED (BASED 14,914 SF.) PROPOSED

F.A.R. ALLOWED: N/A. N/A (48% FIRST 5,000 SF. 35% NEXT 5,000 SF., 30% REMAINING)

LOT COVERAGE: 5,220 SF. 5,215 SF. 35% (MAIN HOUSE MAX. 35% LOT)

6,695 SF. 5,716SF. 38.4%

(ACCESS STRUCTURES MAX. 45%) (INCLUDE POOL)

 NEW POOL
 509 S.F.

 00' NGVD 9.00' NGVD

MIN. FLOOR ELEVATION:
9.00' NGVD
(16" ABOVE CROWN OF ROAD: 1.33'+10.80')

25'-0" MAX. TO EAVE 11'-0"

(NGVD ALONG FRONT PROPERTY LINE)

Setback Requirements

HEIGHT ALLOWED:

	REQUIRED/ALLOWED	PROPOSED
FRONT: INTERIOR SIDE:	25'-0"	25'-0"'
EVILINION SIDE.	19'-10" TOTAL 20% OF LOT WIDTH	12'-2" NORTH SIDE 10'-2" SOUTH SIDE 22'-4" TOTAL
REAR:	35'-0" TO WATERWAY	35'-0"" (EXISTING) FOLLOW EXISTING

LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF OVERLAND DISCHARGE OF STORMWATER ONTO ADJACENT PROPERTY. APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION.

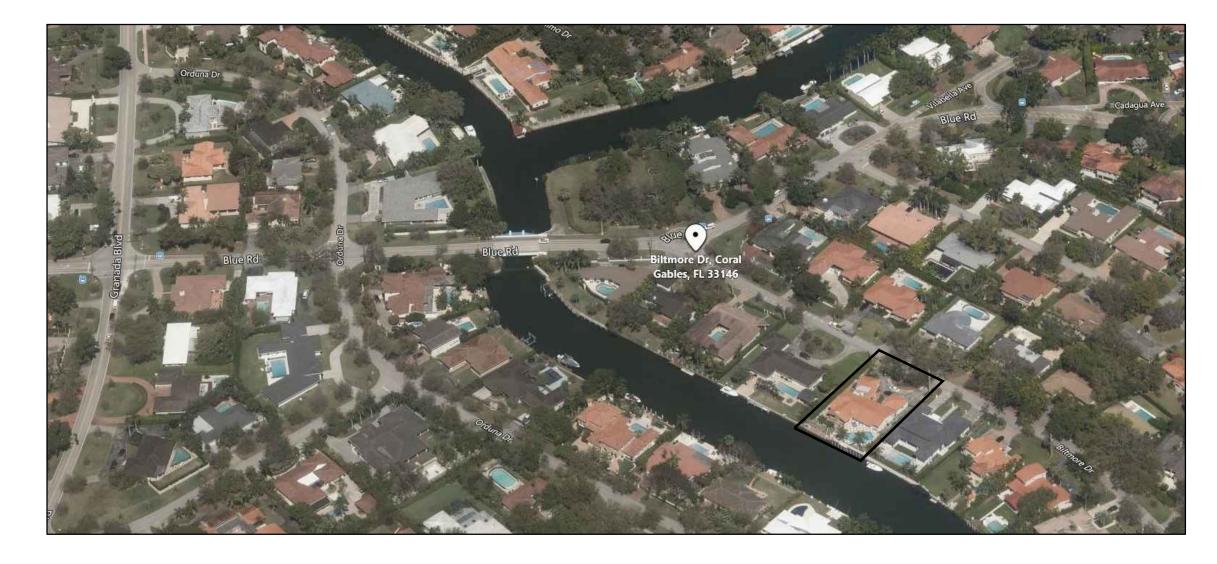
Site Plan Notes:

1 APPROACHES TO BE PERPENDICULAR TO PL.
2 APPROACHES TO MAINTAIN 5 LF. CLEARANCE FROM TREES 3 MAXIMUM TURN -OUT RADIUS 10'-0" MINIMUM 5'-0"
4 ALL RAINWATER TO BE CONTAINED WITHIN PROPERTY

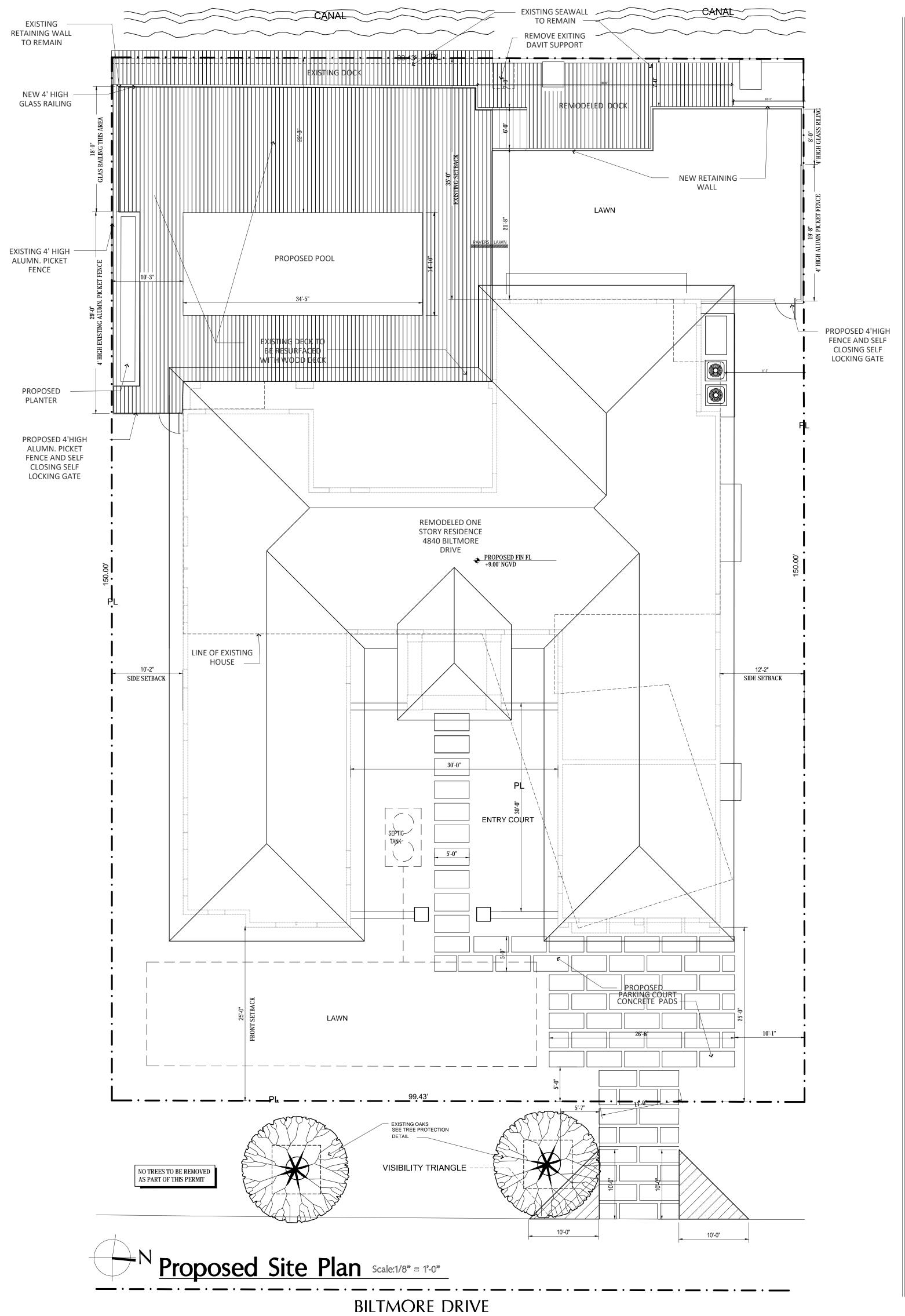
5 ALL SETBACKS ARE EXISTING TO REMAIN

Visibility Triangle Note:

THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE ESTABLISHED GRADE



Location Sketch



PASCUAL PEREZ KILIDDJIAN

& ASSOCIATES ARCHITECTS - PLANNERS LICENSE # AA 26001357

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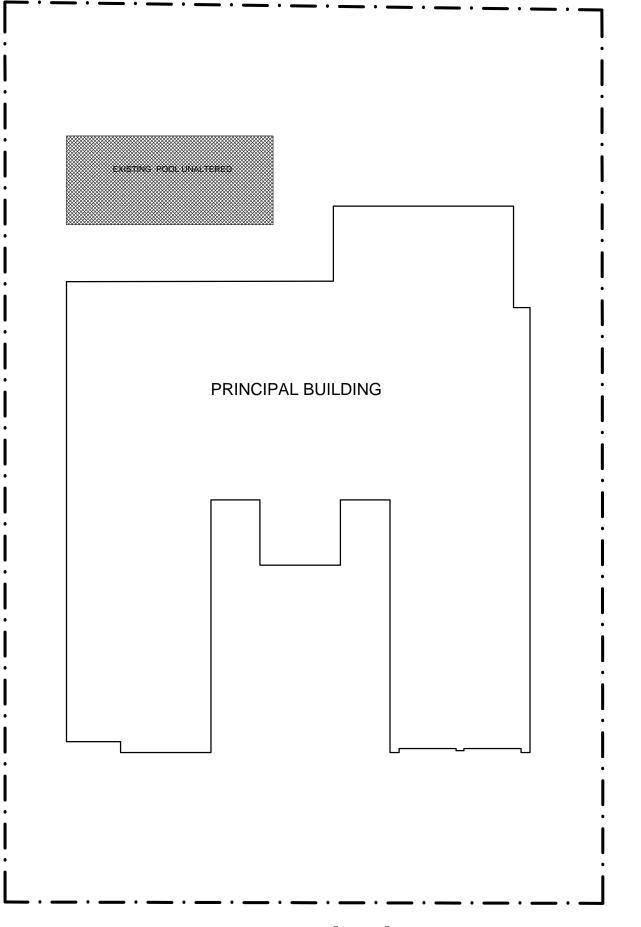
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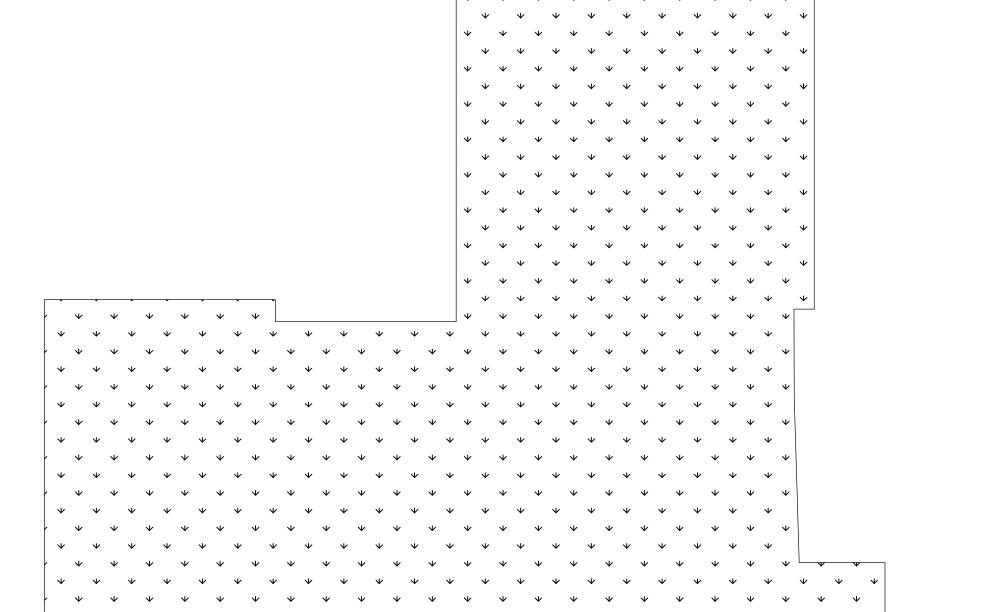


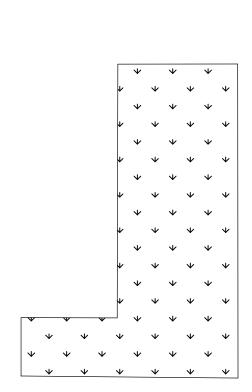
14,914 SF	
DECLIDED / ALLOWED	
REQUIRED / ALLOWED	PROVIDED
5,220 Sq. Ft. (35%)	5,215 Sq. Ft. (35%)
6,711 Sq. Ft. (45%)	5,716 Sq. Ft. (38.4%)
5,965 Sq. Ft.	5,975Sq. Ft. (40%)
1,183 Sq. Ft.	2,870q. Ft. (48%)
·	6,711 Sq. Ft. (45%) 5,965 Sq. Ft.

Lot Coverage Calculation

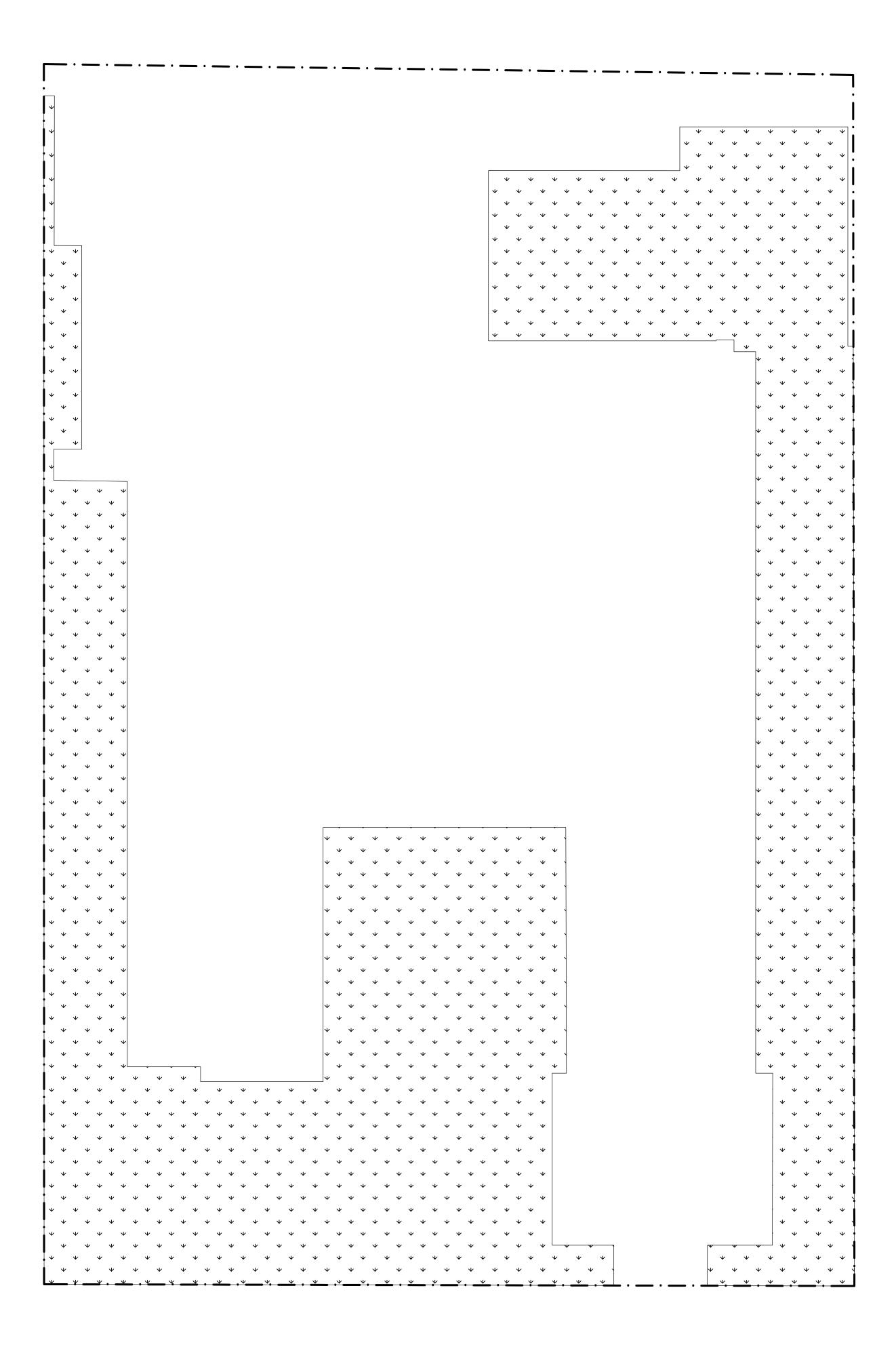
Legend AUXILIARY BUILDING MAIN BUILDING

Scale:1/16" = 1'-0"











N Landscaped Open Space Diagram

Scale:1/8" = 1'-0"

PASCUAL PEREZ KILIDDJIAN

ARCHITECTS - PLANNERS LICENSE # AA 26001357

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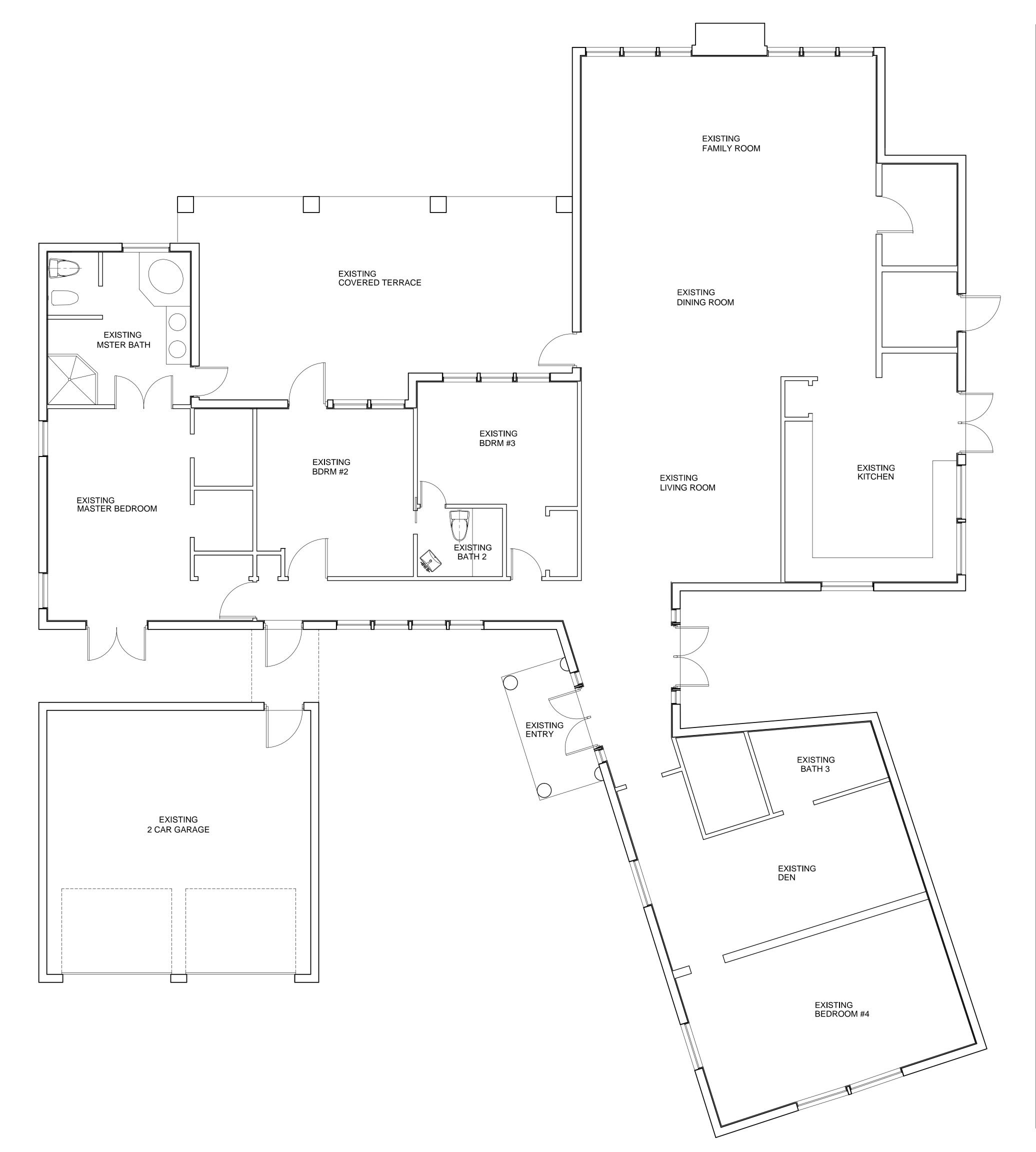
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BILTMOR 4840

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EMODELING FOR 4840 BILTMORE DRIVE

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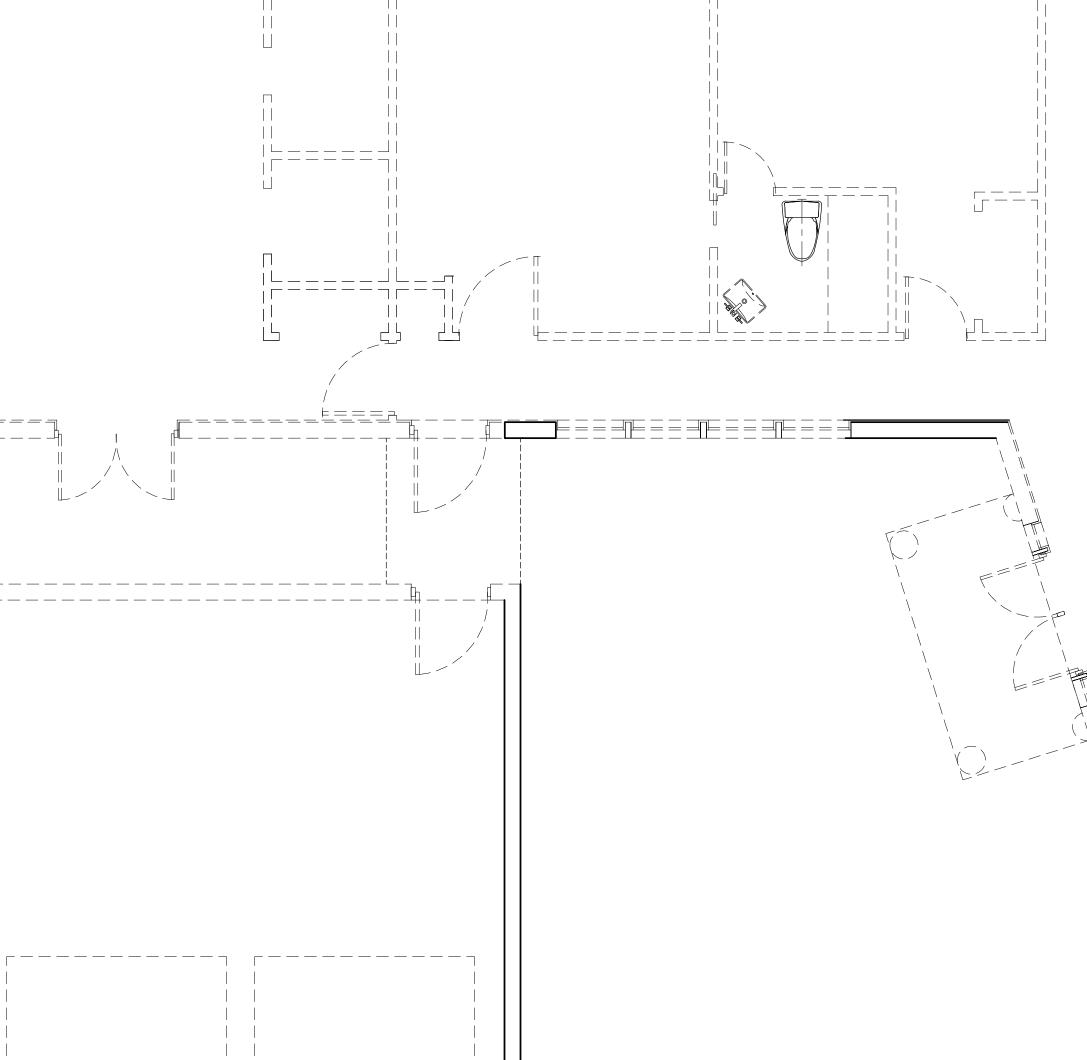
Existing Floor Plan

Scale: 1/4° = 1° -0°

GENERAL DEMOLITION NOTES:

- 1.- THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE JOB.
- 2.- NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK-THRU OF THE PROJECT W/THE INTENT OF IDENTIFYING POSSIBLE ITEM, NOT OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVAL AND/OR RELOCATION.
- 3.- CUT, REMOVE, PATCH, ALTER AND REFINISH EXISTING CONSTRUCTION AS RESULT OF DEMOLITION AND AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION.
- 4.- PROVIDE SAFETY FEATURES DURING WORK AS REQUIRED BY APPLICABLE CODES, RULES AND REGULATIONS.
- 5.- GENERAL CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE ARCHITECT / ENGINEER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE DO NOT RESUME OPERATION UNTIL SAFETY IS RESTORED.
- 6.- GENERAL CONTRACTOR SHALL DEMOLISH, IN AN ORDERLY AND CAREFUL MANNER, AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING, PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
- 7.- CONTRACTOR SHALL INSPECT CEILINGS AND CHASES TO ASSURE PROPER IDENTIFICATION OF UTILITIES (MECHANICAL, PLUMBING AND/OR ELECTRICAL).
- 8.- PATCH AND REPAIR ALL EXISTING SURFACES DAMAGE BY DEMOLITION AND/OR NEW WORK AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR AS REQUIRED FOR NEW SCHEDULED FINISHES.
- 9.- ALL DEMOLITION IS DENOTED BY NOTES & HATCHING.
- 10.-GENERAL CONTRACTOR SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- 11.- CONTRACTOR TO NOTIFY TO ARCHITECT OR ENGINEER OF RECORD IF
- 12.- STRUCTURAL COMPONENTS IS FOUND IN DEMOLITION AREA.

LEGEND: INDICATES EXISTING BUILDING ELEMENTS TO REMAIN. INDICATES EXISTING BUILDING ELEMENTS TO BE REMOVED



Demolition Plan

Scale:1/4" = 1°-0"

PASCUAL PEREZ KILIDDJIAN

ARCHITECTS - PLANNERS LICENSE # AA 26001357

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40 BILTMORE DRIVE

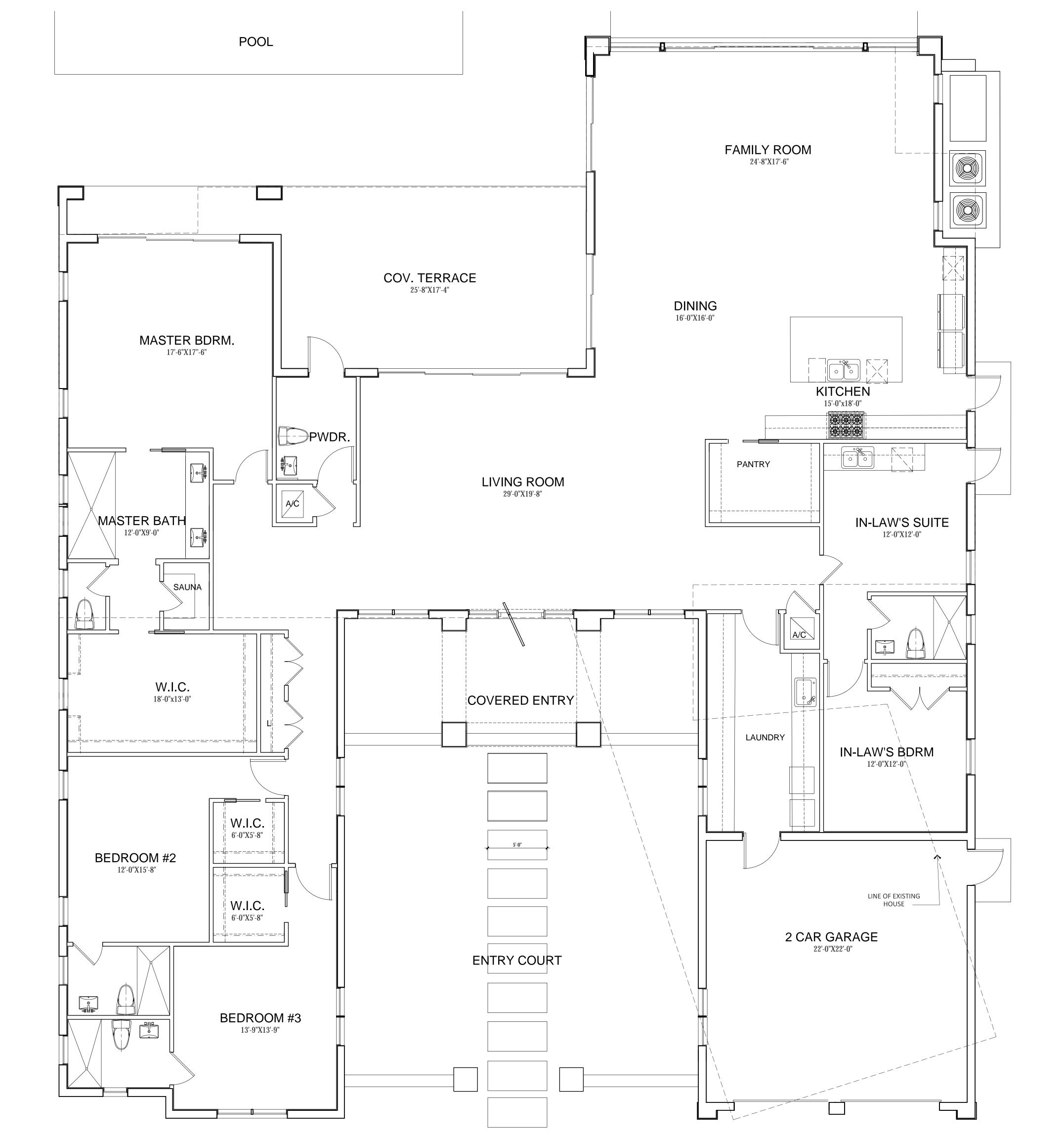
AL:

DATE :

SCALE : AS SHOWN :

CHECK BY:

A-2



Proposed Floor Plan

Scale:1/4" = 1'-0"

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& ASSOCIATES
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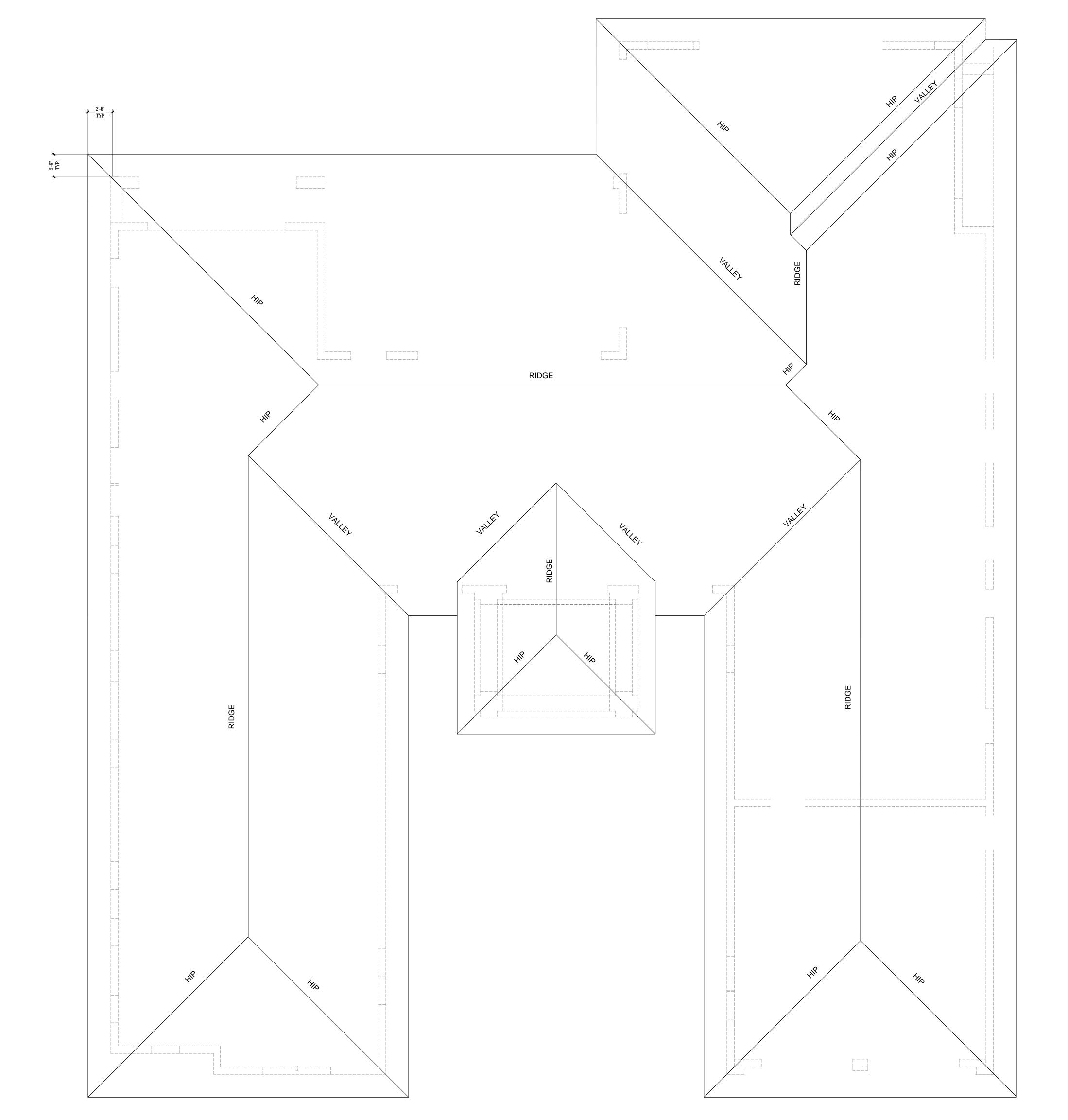
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DRAWN: CHECK BY: JOB NO.:



Proposed Roof Plan

Scale: 1/4° = 1° -0°

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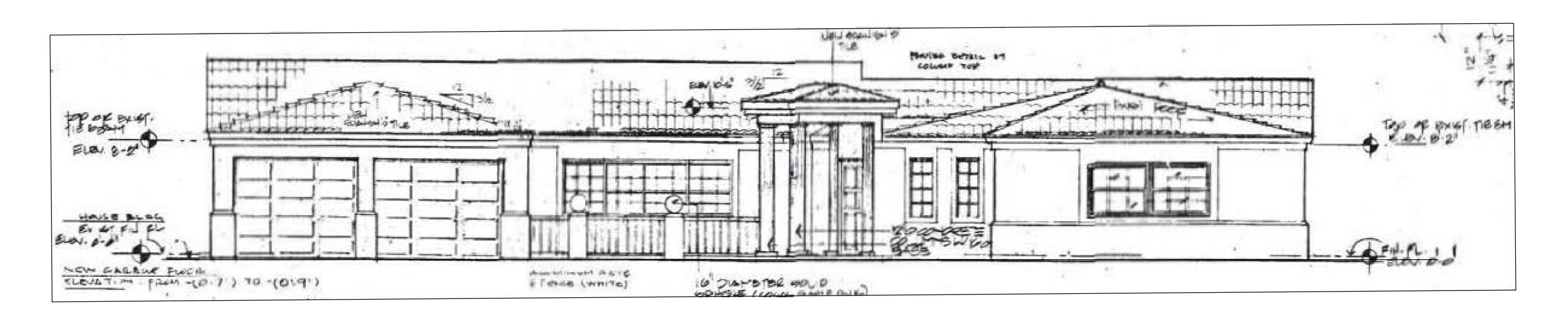
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FLOOR PLANS

CHECK BY: JOB NO.:



Existing East (front) Elevation 1/4"

LEGEND

- (A) FLAT CONCRETE TILE ROOF
- B SMOOTH FINISH STUCCO
- © CASEMENT IMPACT WINDOWS TYP.
- D TONGUE AND DROVE WD. SOFFIT
- © 2'-6" OVERHANG TYP.
- © OOLITE STONE VENNER



Proposed East (front) Elevation

Scale: 1/4" = $1^{\circ} \cdot 0$ "

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EMODELING FOR 4840 BILTMORE DRIVE

SEAL:

ELEVATIONS

DATE:

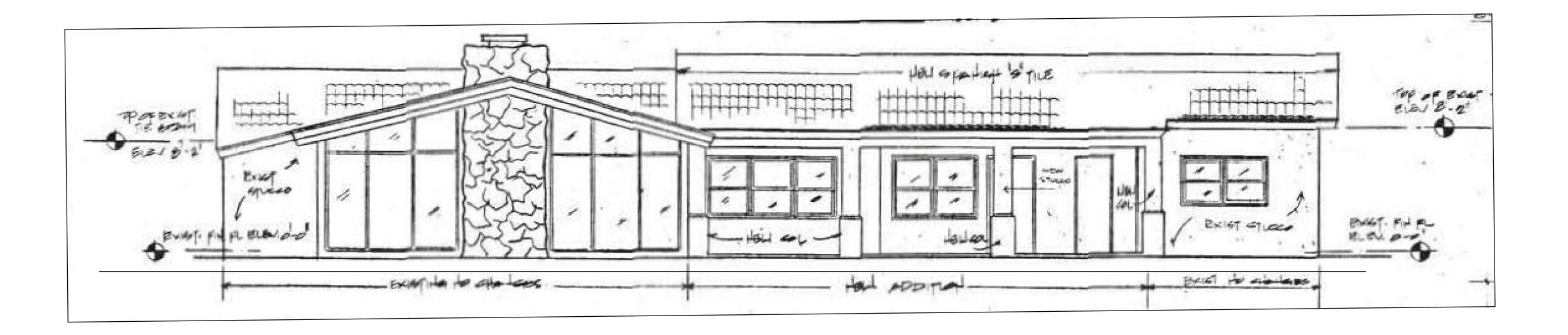
SCALE: AS SHOW

DRAWN:

CHECK BY:

JOB NO.:

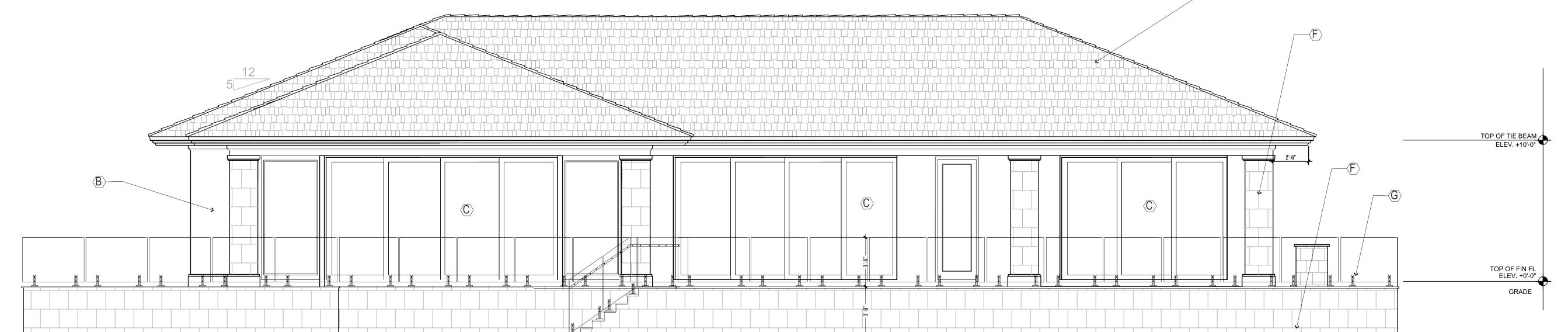
A-5



Existing West (rear) Elevation

Scale:1/4" = 13-0"

A FLAT CONCRETE TILE ROOF
B SMOOTH FINISH STUCCO
C IMPACT SLIDING GLASS DOORS.
D TONGUE AND DROVE WD. SOFFIT
C 2'-6" OVERHANG TYP.
C OOLITE STONE VENNER
G GLASS RAILING



Proposed West (rear) Elevation

Scale: $1/4^{9} = 1^{9} \cdot 0^{9}$

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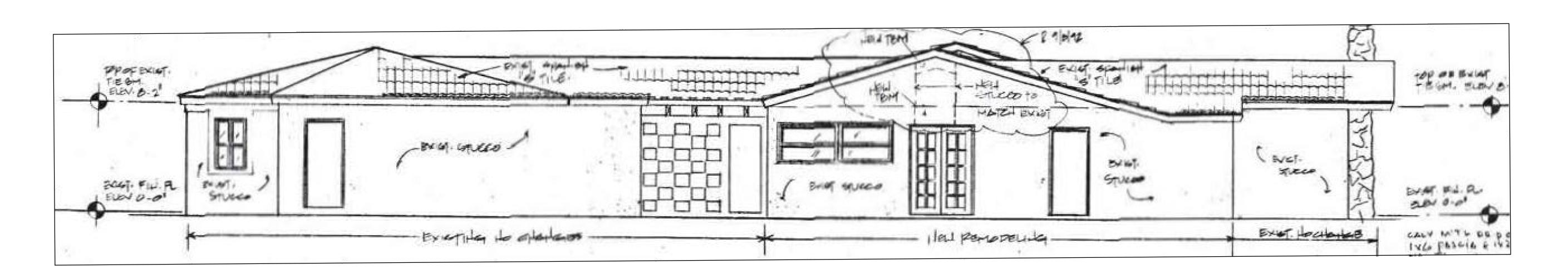
A840 BILTMORE DRIVE
CORAL GABLES FLORIDA

ELEVATIONS

DATE :
SCALE :
DRAWN :
CHECK BY:

JOB NO.:

A-6



Existing South Side Elevation

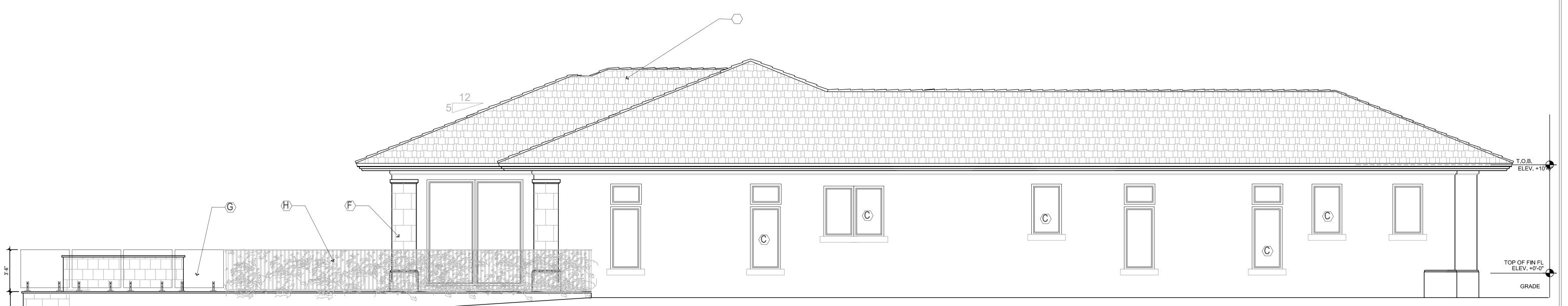
Scale: $1/4^{\circ} = 1^{\circ} \cdot 0^{\circ}$

LEGEND

- (A) FLAT CONCRETE TILE ROOF
- B SMOOTH FINISH STUCCO
- © IMPACT CASEMENT WINDOWS.TYP.
- D TONGUE AND DROVE WD. SOFFIT
- (E) 2'-6" OVERHANG TYP. © OOLITE STONE VENNER
- G GLASS RAILING

(H) ALUMN. RAILING





Proposed South Side Elevation

Scale: $1/4^{9} = 1^{9} \cdot 0^{9}$

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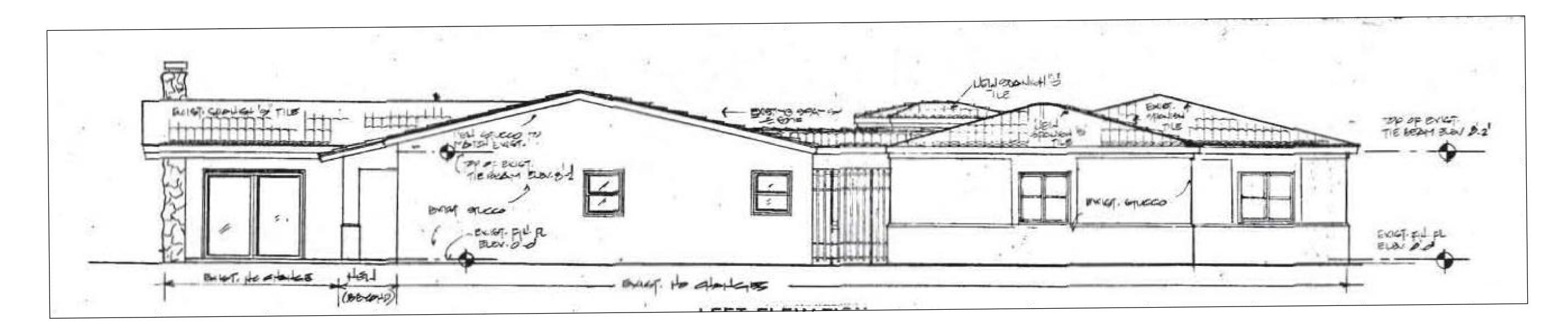
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ELEVATIONS

DRAWN: CHECK BY: JOB NO.:







Proposed North Side Elevation

Scale: 1/4° = 1°-0°

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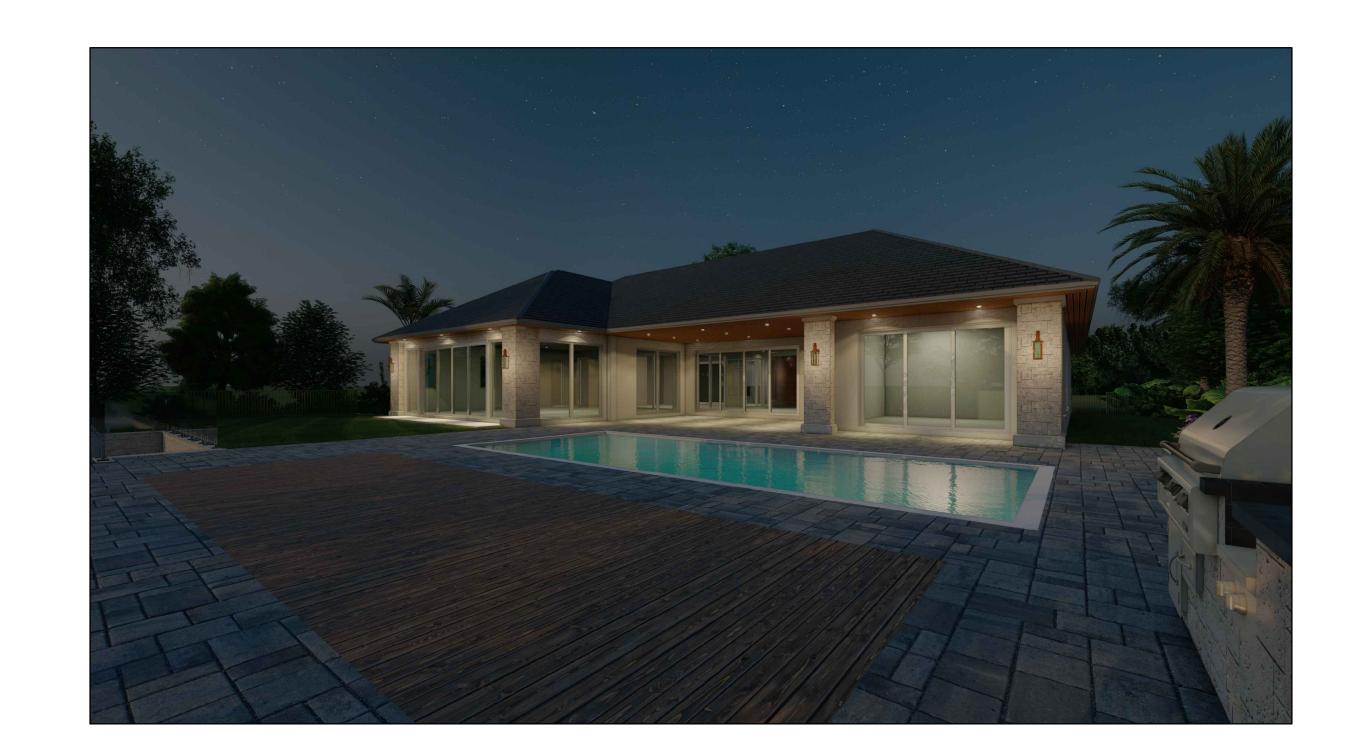
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ELEVATIONS

DRAWN: CHECK BY:



Rear view



Rear view



Front view



Courtyard view

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