
SANTA MARIA RESIDENCE

4209 SW SANTA MARIA STREET - CORAL GABLES - FLORIDA - 33146

ZONING COMMENTS
09-19-2018



PROJECT NO.: 2014-24



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ABBREVIATIONS	GRAPHIC LEGEND	GRAPHIC LEGEND	GENERAL NOTES
<p>AB ANCHOR BOLT AGGR AGGREGATE AL ALUM AP ACCESS PANEL APVD APPROVED APPROX APPROXIMATE ARCH ARCHITECT (FIRM) ASPH ASPHALT AUTO AUTOMATIC AVE AVENUE AVG AVERAGE AL. CO. WD. ALUMINUM CLAD WOOD BO BOARD BTM BOTTOM BLDG BUILDING BLK BLOCK BN BENCH MARK BOT BOTTOM BSG BEARING BVD BOULEVARD CAB CABINET CEM CEMENT CER CERAMIC CFLD COUNTER FLASHING CFM CUBIC FEET PER MINUTE CFR CAST IRON CFC CIRCULAR C/L CENTER LINE C/C CEILING CLO CLOSET CMB CONCRETE MASONRY UNIT CO CLEAN OUT COL COLUMN CONC CONCRETE C/C C CENTER TO CENTER CCTV CLOSED CIRCUIT TELEVISION DET DETAIL DNMG DIMENSION DA DIAMETER DN DOWN DR DOOR RDR RADIOS DUM DUMMYPART CAR DNG DRAWING DNR DRAWER E EAST EA EAST EL ELEVATION ELEC ELECTRIC ELEV ELEVATOR EMER EMERGENCY EQ EQUIPMENT EQV EQUIVALENT EXH EXHAUST EXT EXISTING EXTJ EXPANSION JOINT EXT EXTERIOR, EXTERNAL EW EACH WAY EWC ELECTRIC WATER COOLER FAB FABRICATED FD FLOOR DRAIN FR FRESH FTR FEATURE FL FLOOR FLR FLUORESCENT FDM FOLDMATHON FT FOOT, FEET FTG FOOTING FUT FUTURE FEXT FIRE EXTINGUISHER FH FIRE HYDRANT FEC FIRE EXTINGUISHER CABINET FIC FIRE HOSE CABINET GA GAUGE, GAUGE GAL GALLON GALV GALVANIZED GEN CONTR GENERAL CONTRACTOR GLZ GLASS GYP. BD. GYPSUM BOARD HC HOLLOW CORE HW HARDWARE HWD HARDWOOD HR HOUR HM HOLLOW METAL HORIZ HORIZONTAL H.P.T. HISH POINT HGT HEIGHT HVAC HEATING VENTILATING AC AIR CONDITIONING HWY HIGHWAY ID INSIDE DIAMETER IN INDEPENDENT INSL INSULATE, INSULATED, INSULATION INTR INTERIOR INVT INVERT JT JOINT</p>	<p>EXISTING WALL TO BE REMOVED 8" CONCRETE BLOCK WALL CAST-IN-PLACE CONCRETE WALL CONCRETE COLUMN, REFER TO STRUCTURAL DRAWINGS 4" OR 6" PARTITION WALL INSULATED PARTITION WALL STEEL COLUMN, REFER TO STRUCTURAL DRAWINGS GLASS BLOCK EXTERIOR DOOR, REFER TO DOOR SCHEDULE INTERIOR DOOR, REFER TO DOOR SCHEDULE WINDOW, REFER TO WINDOW SCHEDULE DETAIL WALL SECTION BUILDING SECTION ELEVATION INDICATOR BORING INDICATOR BENCHMARK INDICATOR WALL TYPE CENTER LINE PROPERTY LINE OR BOUNDARY LINE INTERIOR ROOM ELEVATIONS DOOR NUMBER WINDOW NUMBER ROOM NUMBER REVISION INDICATOR GRID LINE INDICATOR</p>	<p>MATCH LINE INDICATOR FRESH DIMENSION ROUGH DIMENSION CENTERLINE DIMENSION UNIFORM DRAWING SYSTEM DISCIPLINE DESIGNATORS G GENERAL H HAZARDOUS MATERIALS C CIVIL L LANDSCAPE S STRUCTURAL A ARCHITECTURAL I INTERIORS Q EQUIPMENT F FIRE PROTECTION P PLUMBING M MECHANICAL E ELECTRICAL T TELECOMMUNICATIONS R RESOURCE X OTHER DISCIPLINES Z CONTRACTOR/SHOP DRAWINGS SHEET TYPE DESIGNATORS 0 GENERAL (SYMBOLS LEGEND, NOTES, ETC.) 1 PLANS (HORIZONTAL VIEWS) 2 ELEVATIONS (VERTICAL VIEWS) 3 SECTIONS (SECTIONAL VIEWS) 4 LARGE SCALE VIEWS (PLANS, ELEVATIONS, OR SECTIONS, NOT DETAILS) 5 DETAILS 6 SCHEDULES AND DIAGRAMS 7 USER DEFINED (FOR TYPES WHICH DO NOT FALL IN OTHER CATEGORIES) 8 USER DEFINED (FOR TYPES WHICH DO NOT FALL IN OTHER CATEGORIES) 9 END PAGE RESERVED FOR CITY COMMENTS SHEET SEQUENCE NUMBER DISCIPLINE DESIGNATORS SHEET SEQUENCE NUMBER SHEET TYPE DESIGNATOR</p>	<p>INSTRUCTION TO BIDDERS THE "INSTRUCTION TO BIDDERS", DOCUMENT A-201 AND STANDARD FORM OF "AGREEMENT BETWEEN OWNERS AND CONTRACTOR", DOCUMENT A-101, ISSUED BY THE AMERICAN INSTITUTE OF ARCHITECTS, 1997 (AND ITS SUPPLEMENT IF ANY) IS HEREBY MADE PART OF THE CONTRACT AS THOUGH FULLY CONTAINED IN THESE SPECIFICATIONS. GENERAL CONDITIONS THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", DOCUMENT 201, ISSUED BY THE AMERICAN INSTITUTE OF ARCHITECTS, 1997, FOURTEENTH EDITION (AND ITS SUPPLEMENTS IF ANY) RELATED DIRECTLY TO THE WORK OF THIS PROJECT AND IS HEREBY MADE PART OF THE CONTRACT AS THOUGH FULLY CONTAINED IN THESE SPECIFICATIONS. THE CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED, AS A CONDITION OF THE CONTRACT, TO OBTAIN THE NECESSARY NUMBER OF COPIES OF DOCUMENT A-201, TO ACCQUANT HIMSELF WITH THE ARTICLES CONTAINED THEREIN AND TO NOTIFY AND APPRAISE ALL SUBCONTRACTORS, SUPPLIERS, AND ANY OTHER PARTIES TO THE CONTRACTORS OR INDIVIDUALS OR AGENCIES ENGAGED ON THE WORK AS TO ITS CONTENTS. NO CONTRACTUAL ADJUSTMENTS SHALL BE DUE OR BECOME EXIGENT AS A RESULT OF FAILURE OF THE PART OF THE CONTRACTOR TO FULLY ACCQUANT HIMSELF AND ALL OTHER PARTIES TO THE CONTRACT WITH THE CONDITIONS OF DOCUMENT A-201. SHOULD THE NOTES OR DETAILS ON THE DRAWINGS DIRECTLY CONFLICT WITH PROVISIONS OF THE SPECIFICATIONS, SPECIFICATIONS SHALL SUPERSEDE UNLESS THE ARCHITECT SPECIFICALLY OBJECTS OTHERWISE. IN THE EVENT OF INCONSISTENCY WITHIN EITHER DOCUMENT, NOT CLARIFIED BY ADDITIONAL PROVISIONS OF THE BETTER QUALITY OR GREATER QUANTITY OF WORK AS INTERPRETED BY THE ARCHITECT. EXECUTION, CORRELATION, INTENT AND INTERPRETATION BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE AND FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE DRAWINGS AND THE OUTLINE SPECIFICATIONS ARE INTENDED TO AGREE AND BE MUTUALLY EXPLANATORY AND SHALL BE ACCEPTED AND USED AS A WHOLE AND NOT REPEATEDLY OR SEPARATELY OMITTED FROM THE DRAWINGS AND BE SPECIFIED IN THE OUTLINE SPECIFICATIONS, OR VICEVERSA, IT SHALL BE EXECUTED THE SAME AS IF SHOWN AS CONTAINED IN BOTH. IN THE EVENT OF DISCREPANCY BETWEEN THE SPECIFICATIONS AND DRAWINGS EXIST OR APPEAR TO EXIST, THE CONTRACTOR SHALL NOT AVOID HIMSELF OF SUCH MANIFESTLY UNINTENTIONALLY ERROR OR OMISSION, BUT MUST HAVE IT EXPLAINED OR ADJUSTED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN ACCORDANCE WITH THE DECISION OF THE ARCHITECT. THE CONTRACTOR WILL BE HELD TO HAVE INCLUDED IN HIS PROPOSAL-AGREEMENT THE MOST EXPENSIVE MATERIAL AND OR METHOD OF CONSTRUCTION WHEREVER THE INTENT OF THE DRAWINGS OR SPECIFICATION IS NOT INDICATED CLEARLY. CONTRACTOR'S CONSTRUCTION SCHEDULE COMPLETE CONSTRUCTION SCHEDULE SHALL BE SUBMITTED TO THE ARCHITECT NO LATER THAN THIRTY (30) CALENDAR DAYS AFTER THE DATE OF THE AGREEMENT AND SHALL BE UPDATED DURING CONSTRUCTION AS REQUIRED TO KEEP IT CURRENT. NOTHING IN THIS REQUIREMENT SHALL BE DEEMED TO BE AN URSPARATION OF THE CONTRACTOR'S AUTHORITY AND RESPONSIBILITY TO PLAN AND SCHEDULE THE WORK AS HE SEES IT FIT. SUBJECT TO ALL OTHER REQUIREMENTS OF THE CONTRACT DOCUMENTS. SCHEDULE OF VALUES PREPARE SCHEDULES OF VALUES, AS REQUIRED BY GENERAL CONDITIONS, IN COORDINATION WITH PREPARATION OF PROGRESS SCHEDULE. PROVIDE BREAKDOWN OF CONTRACT SUM IN SUFFICIENT DETAIL, TO FACILITATE CONTRACTOR EVALUATION OF PAYMENT REQUESTS AND PROGRESS REPORTS. BREAKDOWN PRINCIPAL SUBCONTRACT AGREEMENTS INTO SEVERAL LINE ITEMS, ROUNDED OFF TO NEAREST WHOLE DOLLAR, BUT WITH TOTAL EQUAL TO CONTRACT SUM. SUBMIT THREE COPIES OF SCHEDULE OF VALUES TO ARCHITECT AND OWNER FOR REVIEW AND APPROVAL. COORDINATION AND MEETINGS WEEKLY COORDINATING MEETING - IN ADDITION TO SPECIFIC PRE-INSTALLATION MEETINGS, COORDINATION MEETINGS FOR EACH MAJOR ELEMENT OF WORK, REGULAR MEETINGS FOR THE PURPOSES, HOLD MONTHLY GENERAL PROJECT COORDINATION MEETINGS AT REGULARLY SCHEDULED TIMES ARE CONVENIENT FOR EVERYONE INVOLVED. REQUEST REPRESENTATION (AT EACH MEETING) BY EVERY ENTITY CURRENTLY INVOLVED IN COORDINATION OR PLANNING FOR WORK OF ENTIRE PROJECT. CONDUCT MEETINGS IN MANNER WHICH WILL RESOLVE COORDINATION PROBLEMS. RECORD RESULTS OF MEETINGS. DISTRIBUTE COPIES TO EVERYONE IN ATTENDANCE. TO OTHERS AFFECTED BY DECISIONS OR ACTIONS RESULTING FROM EACH MEETING. ARCHITECT/ENGINEER SITE VISITS IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REQUEST IN WRITING WITH 24 HRS. NOTICE IN ORDER FOR THE ARCHITECT/ENGINEER TO PROVIDE THE NECESSARY SITE OBSERVATIONS AND ISSUE A COMPLIANCE LETTER. TERMITE PROTECTION ALL BUILDINGS SHALL HAVE A PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.</p> <p>SHOP DRAWINGS AND SAMPLES THE CONTRACTOR SHALL APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTING SHOP DRAWINGS AND SAMPLES, THEREBY REPRESENTING THAT HE HAS DETERMINED AND VERIFIED ALL FIELD MEASUREMENTS, FIELD CONSTRUCTION CRITERIA, MATERIALS, CATALOG NUMBERS AND SIMILAR DATA, AND THAT HE HAS CHECKED AND COORDINATED EACH SHOP DRAWING AND SAMPLE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENT. THE ARCHITECT WILL REVIEW AND APPROVE SHOP DRAWINGS AND SAMPLES WITH REASONABLE PROMPTNESS SO AS TO CAUSE NO DELAY, BUT ONLY FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. THE ARCHITECT'S APPROVAL OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS. THE ARCHITECT'S APPROVAL OF SHOP DRAWING OR SAMPLES SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS UNLESS THE CONTRACTOR HAS INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION, NOR SHALL THE ARCHITECT'S APPROVAL RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THE SHOP DRAWINGS OR SAMPLES. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLES SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN APPROVED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES. CONTRACTOR SHALL SUBMIT FOUR SETS OF PRINTS OF ALL SHOP DRAWINGS. CLEANING UP THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS, AT LEAST WEEKLY, DURING THE CONSTRUCTION PHASE, AND AT THE COMPLETION OF THE WORK HE SHALL REMOVE ALL HIS WASTE MATERIALS AND RUBBISH FROM THE PROJECT AS WELL AS ALL HIS TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS, AND SHALL CLEAN ALL GLASS SURFACES AND LEAVE THE WORKS "BROOM CLEAN," EXCEPT AS OTHERWISE SPECIFIED. TEMPORARY UTILITIES AND FACILITIES CONTRACTOR SHALL MAINTAIN ALL TEMPORARY UTILITIES, FACILITIES, FIELD OFFICES, SHEDS AND STORAGE AS REQUIRED AS LONG AS NEEDED FOR THE COMPLETION OF THE WORK. REMOVE ALL SUCH TEMPORARY INSTALLATION AT COMPLETION OF THE WORK AND RESTORE AREAS TO ORIGINAL CONDITIONS. MATERIALS FOR TEMPORARY UTILITIES MAY BE NEW OR USED, BUT MUST BE SUITABLE FOR INTENDED PURPOSE AND ADEQUATE IN APPLICABLE CODES AND STANDARDS. ARRANGE WITH UTILITY COMPANY, PROVIDE SERVICE REQUIRED FOR POWER AND LIGHTING, WATER, TELEPHONE AND PAY ALL COSTS FOR SERVICE AND FOR UTILITIES USED. TEMPORARY SUPPORT FACILITIES TYPES OF TEMPORARY FACILITIES REQUIRED INCLUDE, BUT NOT BY WAY OF LIMITATION, FIELD OFFICES, STORAGE SHEDS, FABRICATION SHEDS, SANITARY FACILITIES, BULLETIN BOARD, PRIVATE, PUBLIC PHONE, CLOCK, THERMOMETER, PROJECT IDENTIFICATION SIGNS, CLEAN UP FACILITIES, WASTE DISPOSAL SERVICE, RODENT AND PEST CONTROL, SIMILAR MISCELLANEOUS GENERAL SERVICES, ALL AS MAY BE REASONABLY REQUIRED FOR PROFICIENT PERFORMANCE OF WORK. ACCOMMODATION OF PERSONNEL AT SITE INCLUDING OWNERS, ARCHITECT'S PERSONNEL, LOCATE TEMPORARY SUPPORT FACILITIES FOR CONVENIENCE OF USERS, FOR MINIMUM INTERFERENCE WITH CONSTRUCTION ACTIVITIES. PROJECT RECORD DOCUMENTS MAINTAIN AT THE SITE OF THE OWNER, ONE RECORD OF: DRAWINGS (AS REQUIRED) SPECIFICATIONS AND OTHERS MODIFICATIONS TO THE CONTRACT ARCHITECT FIELD ORDERED OR WRITTEN INSTRUCTIONS APPROVED SHOP DRAWINGS, PRODUCT DATA AND SAMPLES FIELD TEST RECORDS CONSTRUCTION PHOTOGRAPHS MAKE DOCUMENTS AND SAMPLES AVAILABLE AT ALL TIMES FOR INSPECTION BY ARCHITECT, OR ARCHITECT'S FIELD REPRESENTATIVE, OR OWNER. RECORD DRAWINGS - MAINTAIN A WHITE-PRINT SET (BLUE-LINE OR BLACK-LINE) OF CONTRACT DRAWINGS AND SHOP DRAWINGS IN CLEAN UNDAUNAGED CONDITION, WITH MARK-UP OF ACTUAL INSTALLATIONS WHICH VARY SUBSTANTIALLY FROM WORK AS ORIGINALLY SHOWN. MARK WHICH EVER DRAWING IS MOST CAPABLE OF SHOWING "FIELD" CONDITION FULLY, ACCURATELY. HOWEVER WHERE SHOP DRAWINGS ARE USED FOR MARK-UP, RECORD CROSS REFERENCE AT CORRESPONDING LOCATION OF WORKING DRAWINGS. MARK WITH RED ERASABLE PENCIL, WHERE FEASIBLE, USE OTHER COLORS TO DISTINGUISH BETWEEN VARIATIONS IN SEPARATE CATEGORIES OF WORK. MARK UP NEW INFORMATION WHICH IS RECOGNIZED TO BE OF IMPORTANCE TO OWNER, BUT WAS FOR SOME REASON NOT SHOWN ON EITHER CONTRACT DRAWINGS OR SHOP DRAWINGS. GIVE PARTICULAR ATTENTION TO CONCEALED WORK WHICH WOULD BE DIFFICULT TO MEASURE, RECORD AT A LATER DATE. NOTE RELATED CHANGE ORDER NUMBERS WHERE APPLICABLE. ORGANIZE RECORD DRAWINGS SHEET INTO MANAGEABLE SETS, BIND WITH DURABLE PAPER COVER SHEETS, PRINT SUITABLE TITLES, DATES AND OTHER IDENTIFYING ON COVER OF EACH SET. AT CONTRACT CLOSE-OUT, DELIVER RECORD DOCUMENTS TO ARCHITECT FOR THE OWNER.</p>

REVISIONS
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4209 SANTA MARIA RESIDENCE
4209 SANTA MARIA ST.
CORAL GABLES, FL 33146

GENERAL NOTES
SCALE

sheet: A-001
of

THIS DOCUMENT IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PORTUONDO PEROTTI ARCHITECTS.

LEGAL DESCRIPTION

LOTS 11 AND 12, BLOCK 98
 SUBDIVISION: CORAL GABLES COUNTRY CLUB SECTION PART FIVE
 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 23,
 PAGE 55, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS

4208 SANTA MARIA
 CORAL GABLES, FLORIDA 33146-1124
 POLD # 03-4119-001-4320

ZONING CLASSIFICATION

SFR - SINGLE FAMILY RESIDENTIAL DISTRICT
 AS STATED IN SEC 4-101 CORAL GABLES ZONING CODE

FLOOD CRITERIA

THIS PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE X, BASE FLOOD ELEVATION N/A AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) COMMUNITY PANEL NUMBER 12083B (CITY OF CORAL GABLES), 12083 C MAP NO 0489 SUFFIX L, EFFECTIVE DATE SEPTEMBER 11, 2009

LOT AREA

GROSS LOT AREA = 18,750 SQ. FT.

LOT COVERAGE

MAXIMUM 35% OF LOT AREA, 18,750 SQ. FT. x .35	= 6,562 SQ. FT.
EXISTING LOT COVERAGE	= 3,738 SQ. FT.
PROPOSED LOT COVERAGE ADDITION	= 2,583 SQ. FT.
MAX. LOT AREA COVERAGE (+ PROPOSED)	= 6,321 SQ. FT. (33.78 % OF LOT AREA)

F.A.R.

MAXIMUM	
48% OF 5,000 =	2,400 SQ. FT.
35% OF 5,000 =	1,750 SQ. FT.
30% OF 8,750 =	2,625 SQ. FT.
TOTAL	6,775 SQ. FT.

MAX. PROPOSED

8,147 SQ. FT. (SUBJ. TO 1ST LEVEL AC AREA + GARAGE + 2ND LEVEL AC AREA)

LANDSCAPE REQUIREMENTS

MINIMUM PERVIOUS AREA 40% 18,750 x .40 = 7,500 SQ. FT.
 PROPOSED = 8,493 SQ. FT.
 FRONT YARD OPEN AREA MIN 20% OF 40% = 1,500 SQ. FT.
 PROPOSED = 4,072 SQ. FT.

BUILDING SETBACKS

AS STATED IN SEC 142-108 (1), (2), & (3)

	MIN. REQUIRED	EXISTING	PROPOSED ADDITION
FRONT	30'-0"	2'-0"	48'-0"
INT. SIDE (NO. 1)	5'-0"	52'-0 1/2"	7'-0"
INT. SIDE (NO. 2)	5'-0"	14'-0"	20'-7"
REAR	10'-0"	23'-7"	10'-2"

*** SIDE SETBACKS (ARTICLE 4.4 - ZONING DISTRICTS)**

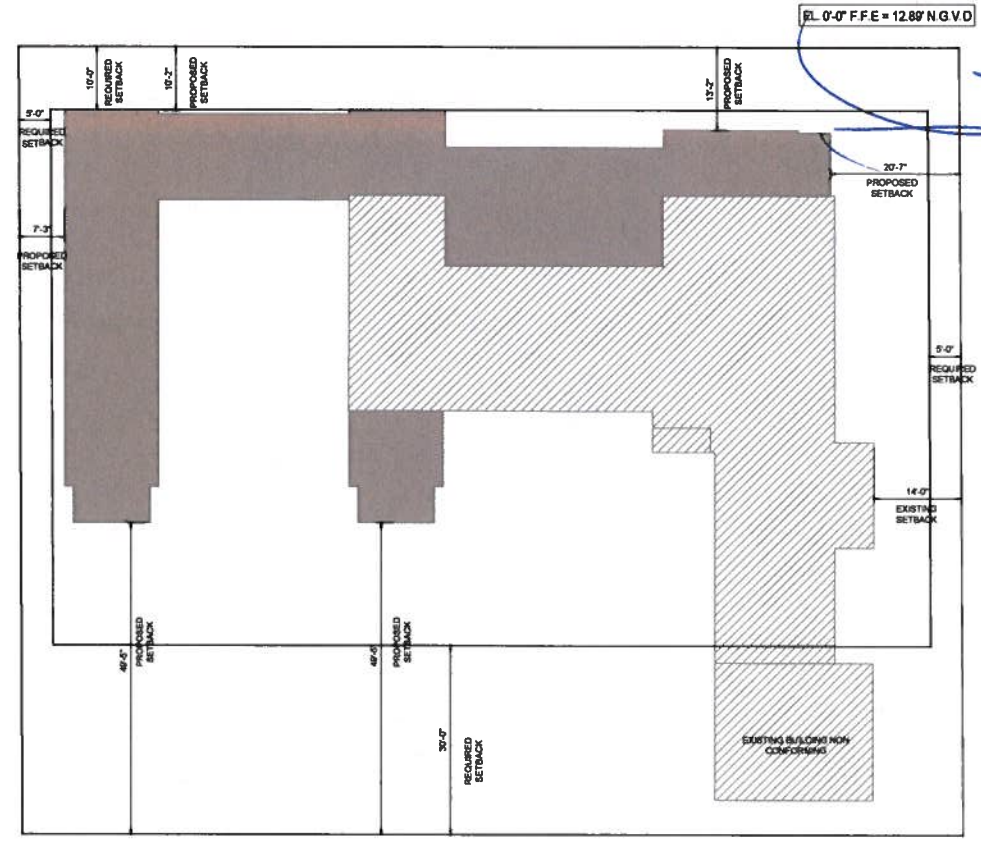
4.4. SIDE SETBACKS WHERE LOTS SHALL HAVE MINIMUM SIDE SETBACKS, WHICH TOTAL TWENTY (20%) PERCENT OF THE WIDTH OF THE LOT MEASURED ACROSS THE FRONT SETBACK LINE WITH A MINIMUM TOTAL OF TEN (10) FEET AND UP TO A MAXIMUM OF TWENTY (20) FEET. A MINIMUM SIDE SETBACK OF FIFTEEN (15) FEET SHALL BE REQUIRED AND MAINTAINED FROM ANY SIDE LINE OF A BUILDING SITE THAT ABUTS UPON A STREET. PROVIDED, HOWEVER, THAT BUILDINGS ON CORNER LOTS WHICH HAVE ONE (1) SIDE ABUTTING UPON A STREET ON WHICH OTHER LOTS IN THE SAME BLOCK FACE, SHALL SETBACK A MINIMUM DISTANCE FROM SUCH SIDE STREET AS IS PROVIDED HEREIN AS THE MINIMUM FRONT SETBACK FOR BUILDINGS FACING SUCH SIDE STREET. THE REQUIRED SIDE SETBACKS SHALL BE EQUAL ON BOTH SIDES UNLESS AN UNEVEN DISTRIBUTION IS USED TO MITIGATE AN EXISTING CONTEXTUAL CONDITION ON THE PROPERTY AS DETERMINED BY THE BOARD OF ARCHITECTS. AN EXISTING CONTEXTUAL CONDITION MAY INCLUDE BUT SHALL NOT BE LIMITED TO THE LOCATION OF TREES, EXISTING STRUCTURES ON THE PROPERTY, OR EXISTING NONCONFORMING SETBACK CONDITIONS. IN NO CASE SHALL A SIDE SETBACK BE LESS THAN FIVE (5) FEET.

BUILDING HEIGHT

MAXIMUM TWO STORES OR 32'-0" (from average finished grade elevation)
 PROPOSED TO MATCH EXISTING 28'-10" (EXISTING BUILDER'S CURRENT HEIGHT)

LOT COVERAGE CALCULATIONS

AREA TABULATION			
	AVC	COV NON-AVC	TOTAL
EXISTING MAIN FLOOR			
AVC SPACE	3151.68 SQ. FT.		
CAR GARAGE		549 SQ. FT.	
FRONT ENTRY		39 SQ. FT.	
PROPOSED MAIN LEVEL ADDITION			
AVC SPACE-BREAKFAST/GREAT ROOM			
GUEST BATH			
COVERED TERRACE	0.00 SQ. FT.	1581 SQ. FT.	
EXISTING UPPER LEVEL			
AVC SPACE	1505.0000 SQ. FT.		
PROPOSED UPPER LEVEL ADDITION			
AVC SPACE	354.0000 SQ. FT.		
TOTAL	6610.68 SQ. FT.	2167.79 SQ. FT.	
TOTAL COMBINED AREA (AVC & NON-AVC)			7178.48 SQ. FT.



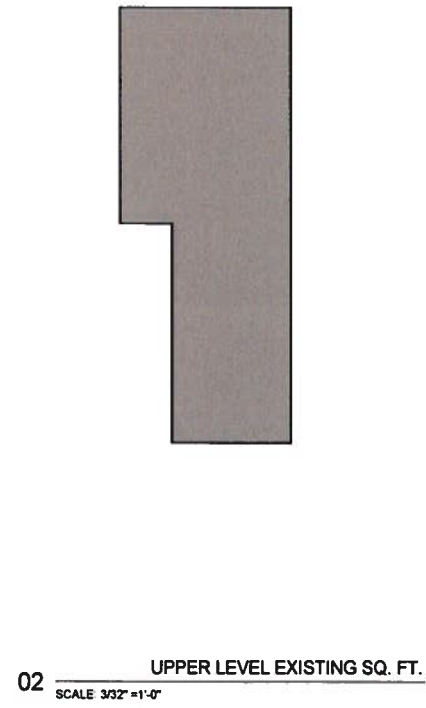
PROJECT INFORMATION

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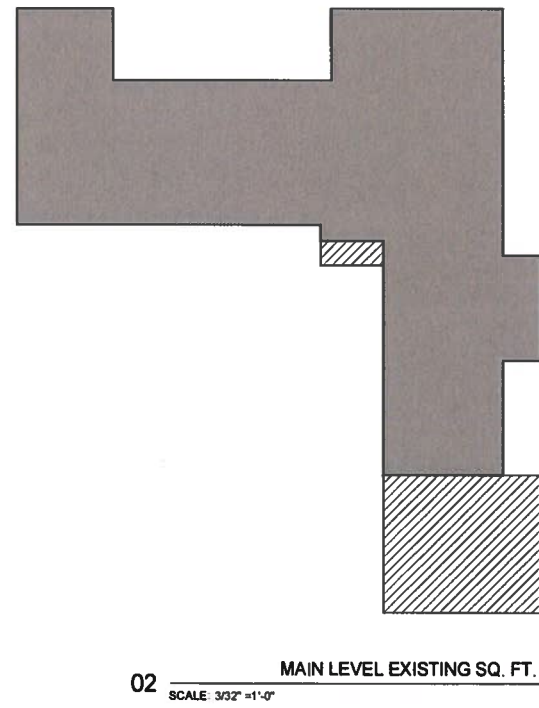


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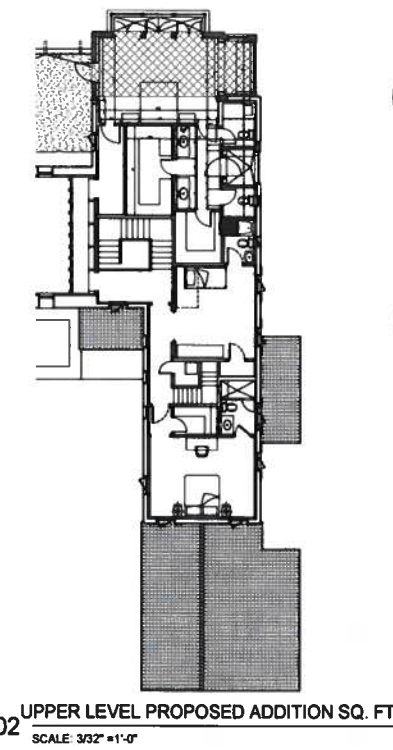
LOT AREA/SETBACK DIAGRAM
 SCALE: 3/32" = 1'-0"



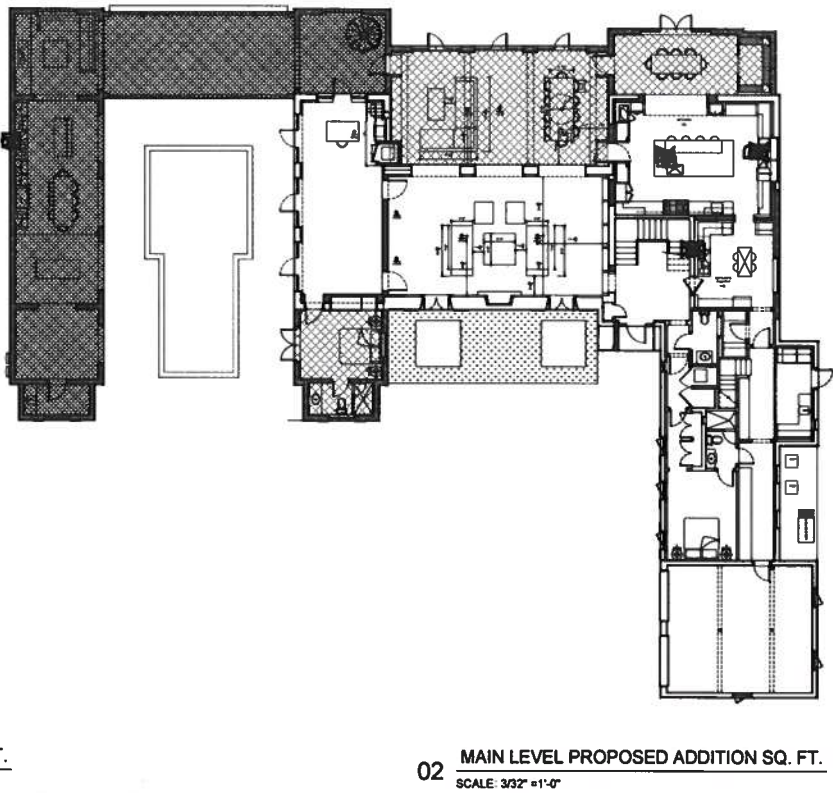
02 UPPER LEVEL EXISTING SQ. FT.
 SCALE: 3/32" = 1'-0"



02 MAIN LEVEL EXISTING SQ. FT.
 SCALE: 3/32" = 1'-0"



02 UPPER LEVEL PROPOSED ADDITION SQ. FT.
 SCALE: 3/32" = 1'-0"



02 MAIN LEVEL PROPOSED ADDITION SQ. FT.
 SCALE: 3/32" = 1'-0"

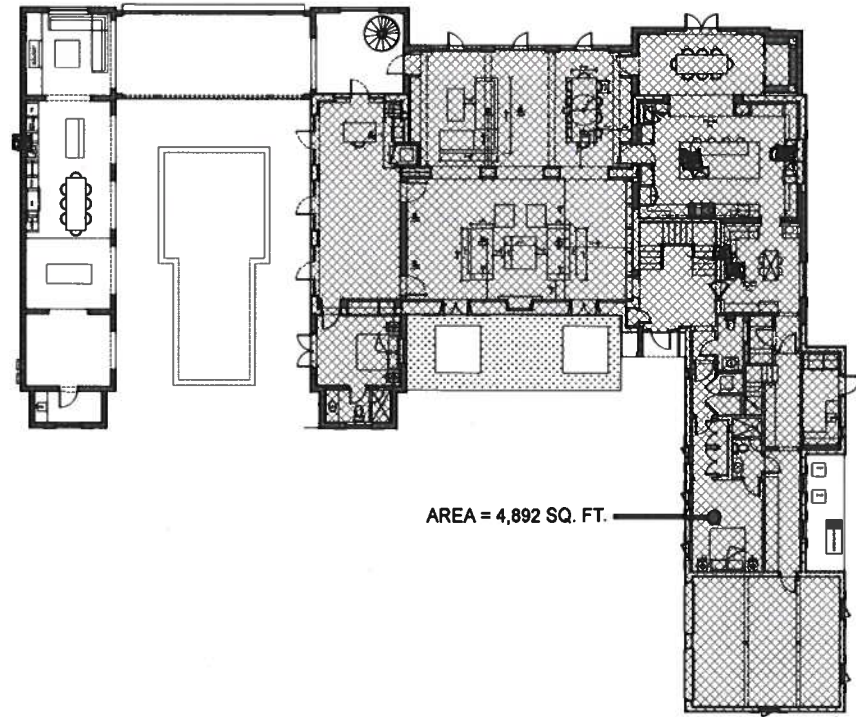
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PROJECT NUMBER: 2016-24
 DATE: 07/25/16
 DRAWN BY: CML/C
 CHECKED BY: CML/C
 ARCHITECTS: PORTUNDO PEROTTI ARCHITECTS
 AA0001407
 511 S. W. 10th Street, Suite 101
 Fort Lauderdale, FL 33304
 Tel: (954) 330-8031 | Fax: (954) 330-8032
 Web: www.portundo-perotti.com

4208 SANTA MARIA RESIDENCE
 4208 SANTA MARIA ST.
 CORAL GABLES, FL 33146

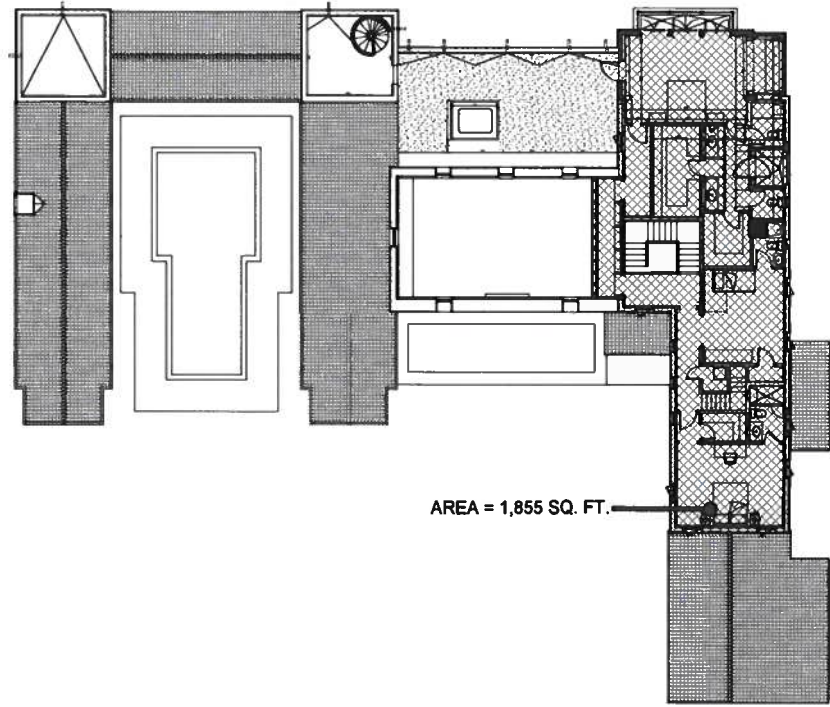
TITLE: PROJECT INFORMATION
 SCALE: AS INDICATED

SHEET: A-003
 OF: 03



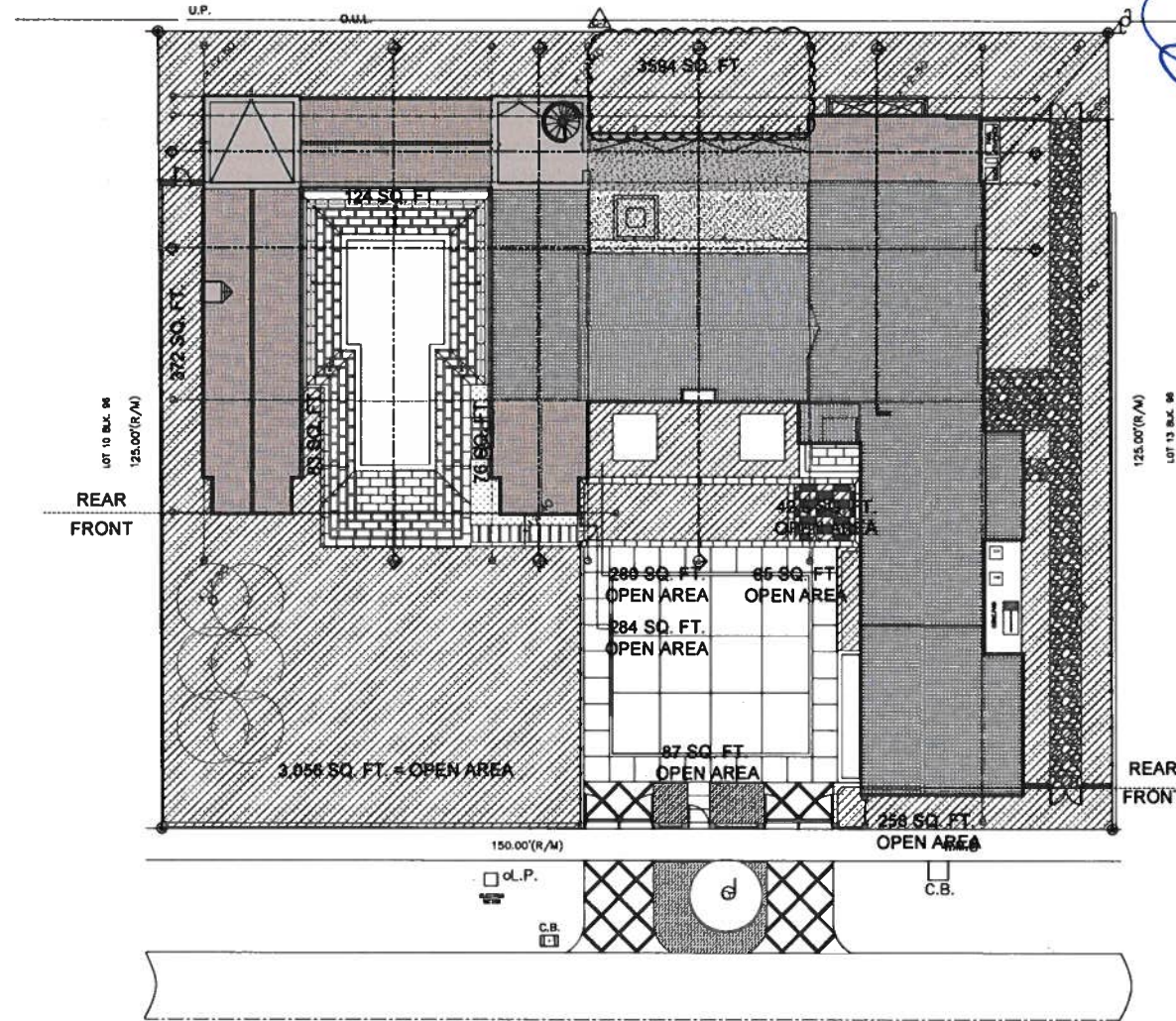
AREA = 4,892 SQ. FT.

01 MAIN LEVEL FAR SQ. FT.
SCALE: 3/32" = 1'-0"



AREA = 1,855 SQ. FT.

02 UPPER LEVEL FAR SQ. FT.
SCALE: 3/32" = 1'-0"



SANTA MARIA STREET



01 LOT AREA / LANDSCAPE DIAGRAM
SCALE: 3/32" = 1'-0"

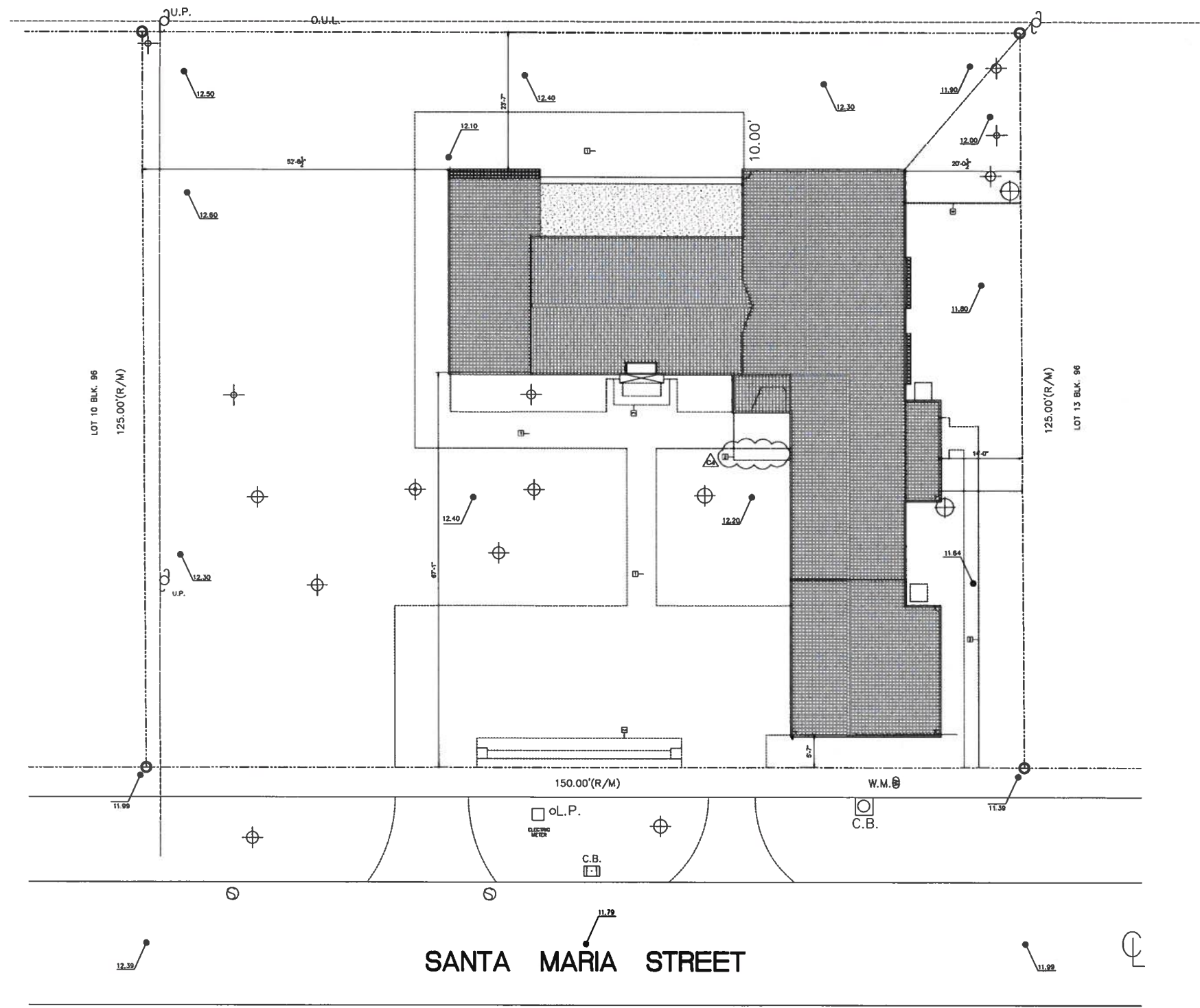
LOCATION	AREA
OVERALL SIZE	18,750 SF
GREEN OPEN	7,500 SF
GREEN OPEN AREA REQUIRED MINIMUM 40% OF LOT TOTAL	7,500 SF
GREEN OPEN AREA PROVIDED	8,453 SF
FRONT GARDEN	1,500 SF
FRONT GARDEN AREA REQUIRED MINIMUM 20% OF LOT TOTAL	1,500 SF
FRONT GARDEN AREA PROVIDED	4,072 SF

EL 0'-0" F.F.E. = 12.89' N.G.V.D.

3/25/24

<p>PROJECT NUMBER: 2014-24 DATE: 07/20/11 DRAWN BY: C.B./C CHECKED BY: C.B./C</p>	<p>REVISIONS</p> <table border="1"> <tr><td>01</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>02</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>03</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>04</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>05</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>06</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>07</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>08</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>09</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>10</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>11</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>12</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>13</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>14</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>15</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>16</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>17</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>18</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>19</td><td>02/15/16</td><td>02/15/16</td></tr> <tr><td>20</td><td>02/15/16</td><td>02/15/16</td></tr> </table>	01	02/15/16	02/15/16	02	02/15/16	02/15/16	03	02/15/16	02/15/16	04	02/15/16	02/15/16	05	02/15/16	02/15/16	06	02/15/16	02/15/16	07	02/15/16	02/15/16	08	02/15/16	02/15/16	09	02/15/16	02/15/16	10	02/15/16	02/15/16	11	02/15/16	02/15/16	12	02/15/16	02/15/16	13	02/15/16	02/15/16	14	02/15/16	02/15/16	15	02/15/16	02/15/16	16	02/15/16	02/15/16	17	02/15/16	02/15/16	18	02/15/16	02/15/16	19	02/15/16	02/15/16	20	02/15/16	02/15/16	<p>ARCHITECTS PORTUONDO PEROTTI ARCHITECTS Architecture - Planning - Interior Design A.A.C. 001407 1711 SW 10th Street, Suite 100, Ft. Lauderdale, FL 33304 USA Tel: 561.526.1111 Fax: 561.526.1111 Web: www.portuondoperotti.com</p> <hr/> <p>4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORAL GABLES, FL 33146</p> <hr/> <p>OWNER</p> <hr/> <p>PROJECT INFORMATION SCALE: AS INDICATED</p> <hr/> <p>A-004</p>
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20	02/15/16	02/15/16																																																												

EL. OF F.F.E = 12.89' N.G.V.D



- CONSTRUCTION LEGEND:**
- EXISTING TO BE DEMOLISHED
 - ▨ EXISTING TO BE RECONSTRUCTED
 - ▩ EXISTING TO BE REPAIRED
 - ▧ EXISTING TO BE MAINTAINED



01 SCALE: 1/8" = 1'-0"

EXISTING SITE PLAN

SHEET A-100.0 <small>DATE: 07/25/18</small> <small>SCALE: 1/8" = 1'-0"</small> <small>© COPYRIGHTED 2018</small>	TITLE: EXISTING SITE PLAN	OWNER: 4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORRAL GABLES, FL 33148	ARCHITECT: PORTUONDO PEROTTI ARCHITECTS Architects, Planning, Interior Design A.A.C.O.O. 1407 5717 SW 8th Street, Miami, Florida, 33144, USA Tel: (305) 390-8231 / Fax: (305) 390-8218 Email: info@portuondo.com	PROJECT NUMBER: 2018-04 DATE: 07/25/18 DESIGNED BY: CR/MC CHECKED BY: CR/MC	REVISIONS: 04/05/18 05/22/18 06/04/18 07/11/18
	EL. OF F.F.E = 12.89' N.G.V.D				

SITE PLAN GENERAL NOTES

01. REFER TO THE RECORDED PLAT FOR INFORMATION RELATED TO THIS PROPERTY.
02. SITE TO BE FILED TO GOVERNMENT FLOOD CRITERIA ELEVATION N.G.V.D. OR AN ELEVATION NOT LESS THAN THE HIGHEST APPROVED CROWN ELEVATIONS OF THE ROAD ABUTTING THE PROPERTY.
03. AREA ADJACENT TO THE WATERWAY TO BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO THE WATERWAY.
04. LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTIES.
05. REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE GRADING AND DRAINAGE.
06. REFER TO LEGAL SURVEY FOR SITE GEOMETRY, BOUNDARIES, ELEVATIONS AND LOCATION OF EXISTING ELEMENTS.
07. REFER TO LANDSCAPING DRAWINGS FOR LANDSCAPING REQUIREMENTS AND FOR ROAD PATTERNS AND MATERIALS.
08. ALL RAINWATER WILL BE RETAINED ON PRIVATE PROPERTY.

VISIBILITY TRIANGLE

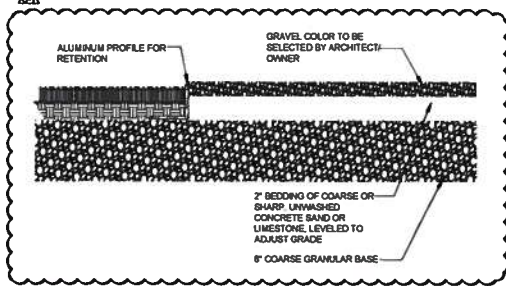
ALL DRIVEWAY/ROADWAY ENTRANCES AND EXITS SHALL BE CONSTRUCTED AND MAINTAINED SO THAT VEHICLES CAN ENTER, EXIT AND TRAVEL ALONG THE ROADWAYS WITHOUT POSING DANGER TO OCCUPANTS, PEDESTRIANS OR OTHER VEHICLES TO THIS END. STRUCTURES AND LANDSCAPING SHALL NOT OBSCURE THE VISIBILITY TRIANGLE AND SHALL NOT EXCEED 2.5 FEET IN HEIGHT WITHIN THE TRIANGLE OF VISIBILITY. NOTWITHSTANDING THE FOREGOING, ONE CONCRETE COLUMN MAY BE ERRECTED WITHIN THE TRIANGLE NEXT TO THE DRIVEWAY BUT IT MAY NOT BE TALLER THAN EIGHT FEET OR WIDER THAN 18 INCHES BY 18 INCHES INCLUDING ANY FINISHING MATERIALS.

POOL BARRIER

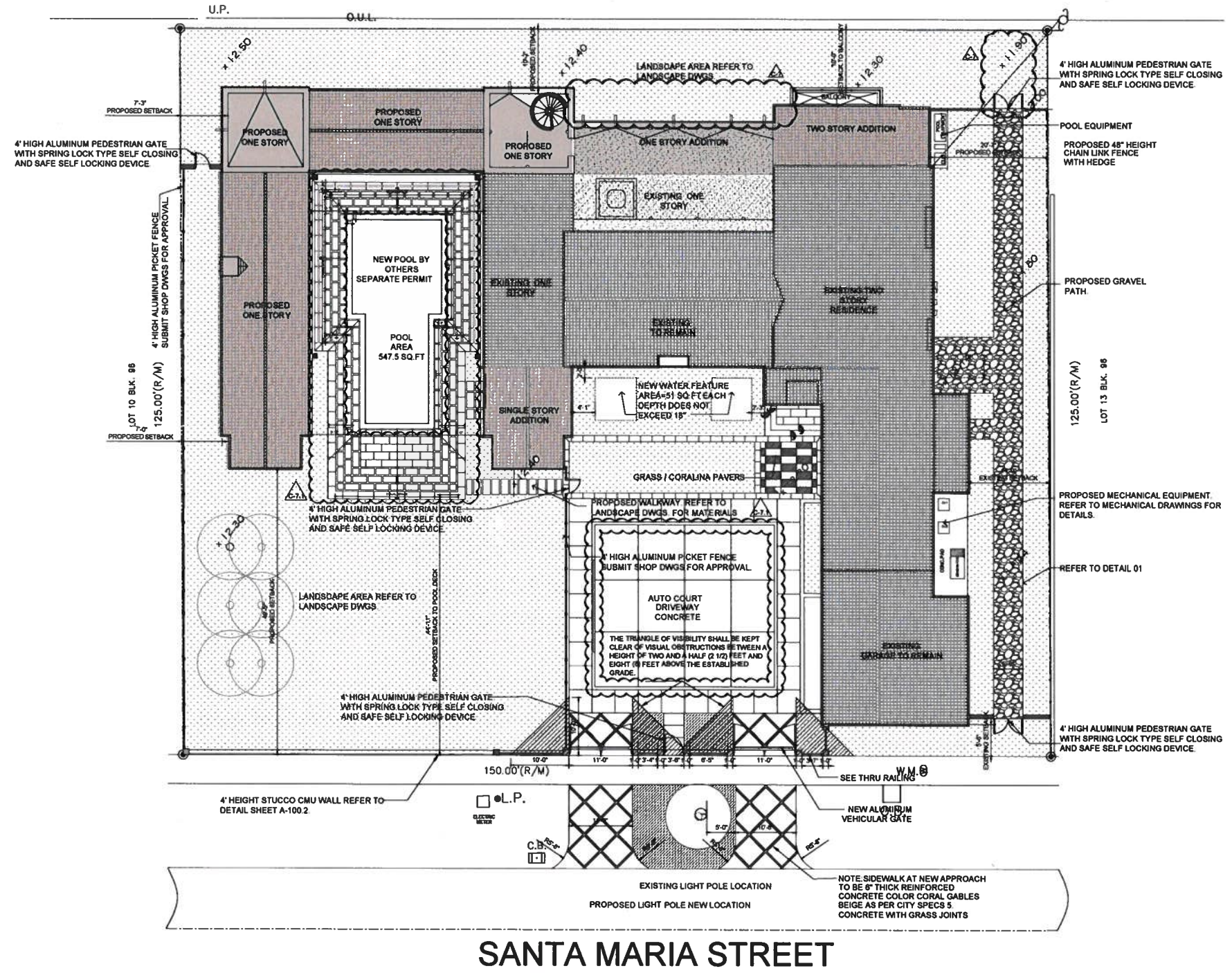
R4101.17 Residential swimming barrier requirement. Residential swimming pools shall comply with Sections R4101.17.1 through R4101.17.3.
 Exception: A swimming pool with an approved safety pool cover complying with ASTM F 1346.
 R4101.17.1 Outdoor swimming pools. Outdoor swimming pools shall be provided with a barrier complying with R4101.17.1.1 through R4101.17.1.1.4.
 R4101.17.2 Indoor swimming pools. All walls surrounding indoor swimming pools shall comply with Section R4101.17.1.9.
 R4101.17.3 Prohibited locations. A barrier may not be located in a way that allows any permanent structure, equipment, or window that opens to provide access from the house to the swimming pool.

LEGEND

- DENOTES EXISTING ELEVATIONS
- DENOTES PROPOSED ELEVATIONS



01 **GRAVEL DETAIL**
3" = 1'-0"



SANTA MARIA STREET

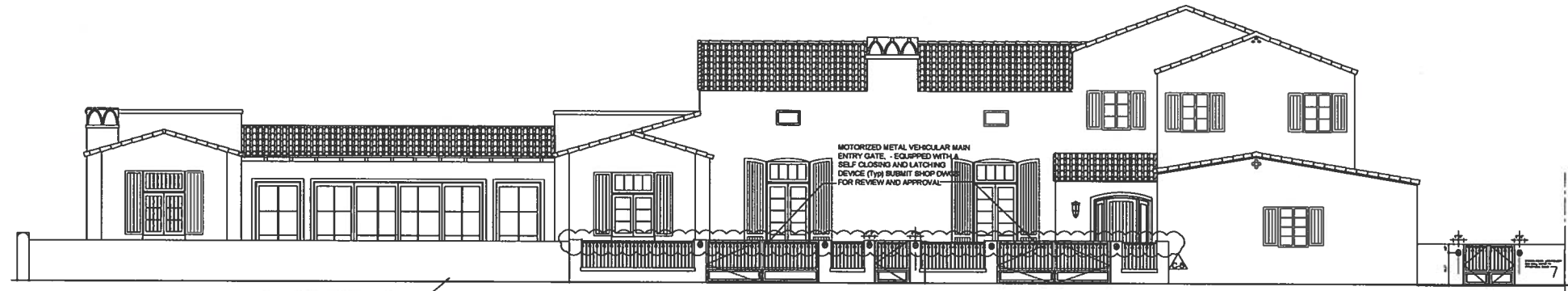
- NEW STRUCTURE
- EXISTING STRUCTURE

01 **SCALE 1/8" = 1'-0"**

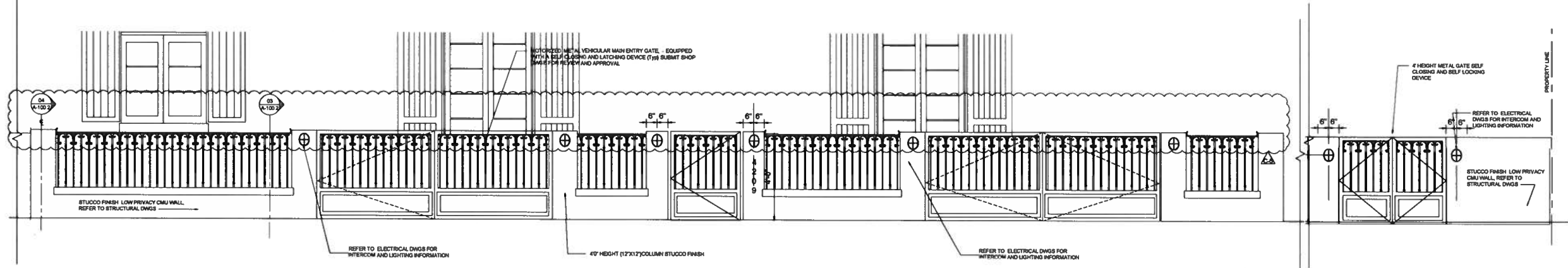
PROPOSED SITE PLAN

<p>PORTUONDO PEROTTI ARCHITECTS Architects • Planning • Interior Design A.A.C.O. 1407 5717 SW 48th Street, Miami, Florida 33144, USA Tel: (305) 441-8000 Fax: (305) 300-1010 www.portundo.com</p>	<p>4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORAL GABLES, FL 33148</p>
<p>PROJECT NUMBER: 2014-23 DATE: 07/20/17 DRAWN BY: CLAC CHECKED BY: CLAC</p>	<p>OWNER:</p>
<p>TITLE: PROPOSED SITE PLAN</p>	
<p>SCALE: 1/8" = 1'-0"</p>	
<p>SHEET A-100.1</p>	

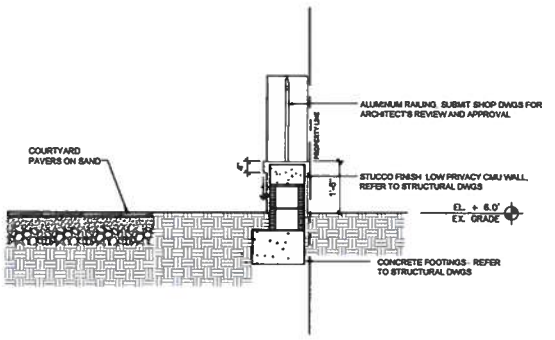
EL. 0'-0" F.F.E = 12.88' N.G.V.D



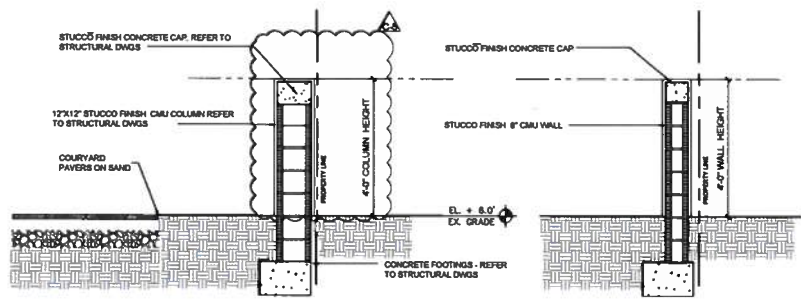
01 FRONT SITE WALL AND GATES ELEVATION
3/16" = 1'-0"



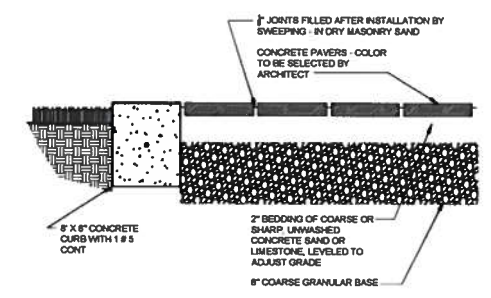
02 FRONT SITE WALL AND GATES ELEVATION
1/2" = 1'-0"



03 WALL SECTION
1/2" = 1'-0"



04 COLUMN & WALL SECTION
1/2" = 1'-0"



NOTE
TAMP PAVERS WITH MECHANICAL VIBRATOR UNIFORMLY LEVEL, TRUE GRADE AND FREE OF MOVEMENT
REFER TO CIVIL DRAWINGS

05 PAVER DETAIL
3" = 1'-0"

DATE: 06/23/16
PROJECT NUMBER: 2014-24
DATE: 07/25/16
DRAWN BY: CML/C
CHECKED BY: [Signature]

ARCHITECTS
PORTUONDO PEROTTI ARCHITECTS
Architectural, Planning, Interior Design
A A C 0 0 1 4 0 7
5717 S.W. 8th Street, Miami, Florida 33144, USA
Tel: (305) 446-8888
Web: www.portuondo-perotti.com

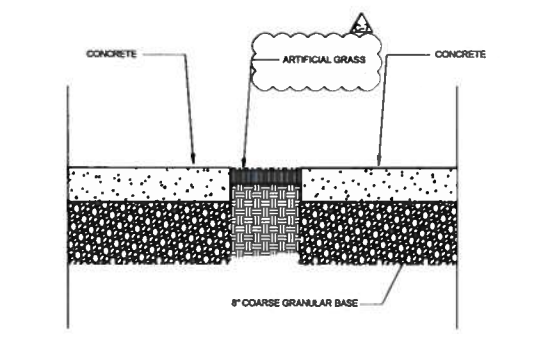
4208 SANTA MARIA RESIDENCE
4208 SANTA MARIA ST.
CORAL GABLES, FL 33148

OWNER

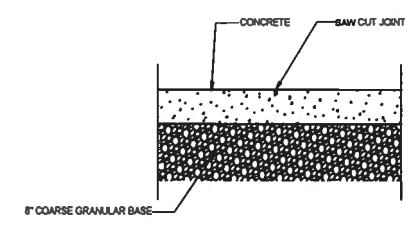
TITLE: PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"
SHEET: A-100.2
OF: 02

THE ARCHITECT'S TECHNICAL SERVICES ARE THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. AND MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

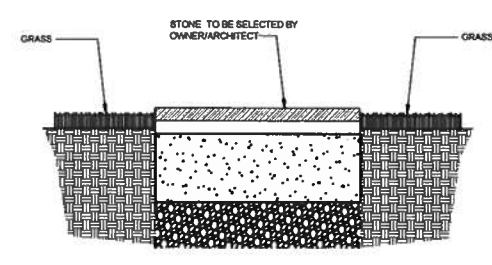
EL. 0'-0" F.F.E. = 12.89' NGVD



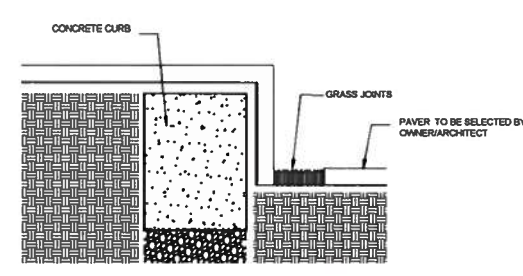
05 3" = 1'-0" AUTOCOURT DETAIL



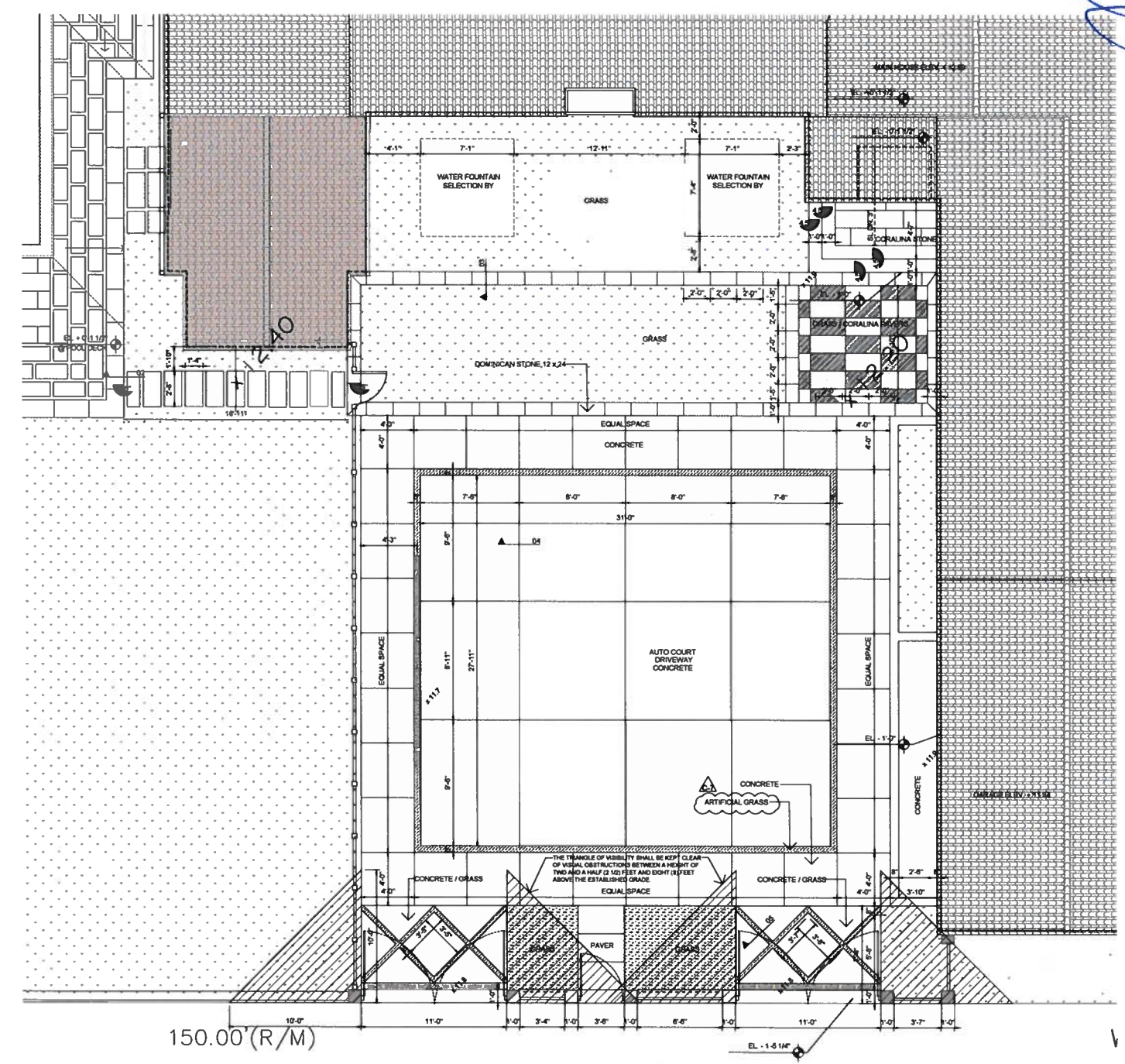
04 3" = 1'-0" AUTOCOURT DETAIL



03 3" = 1'-0" AUTOCOURT DETAIL



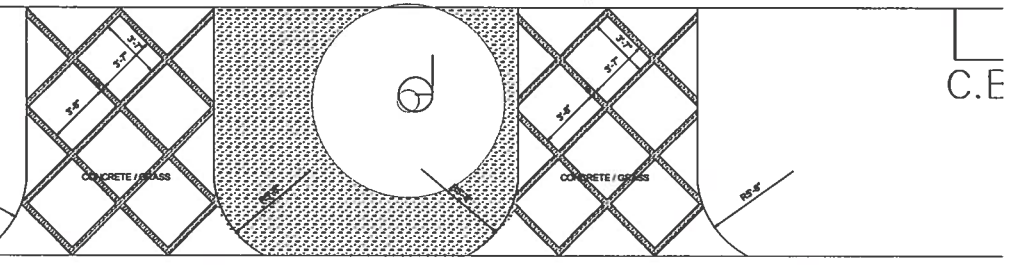
02 3" = 1'-0" STEP DETAIL



150.00 (R/M)

o.L.P.
ELECTRIC METER

C.B.



01 1/4" = 1'-0" AUTO COURT DETAIL

Handwritten notes and signatures in blue ink.

PROJECT NUMBER	201424
DATE	07/25/15
DESIGNED BY	CELAC
CHECKED BY	06/23/17
DATE	08/18/18

ARCHITECTS
PORTUONDO PEROTTI ARCHITECTS
 Architects - Planning - Interior Design
 A.A.C. 001407
 5177 E.W. 8th Street, Miami, Florida 33144, USA
 Tel: +1 305 442 1212
 Web: www.portuondoperotti.com

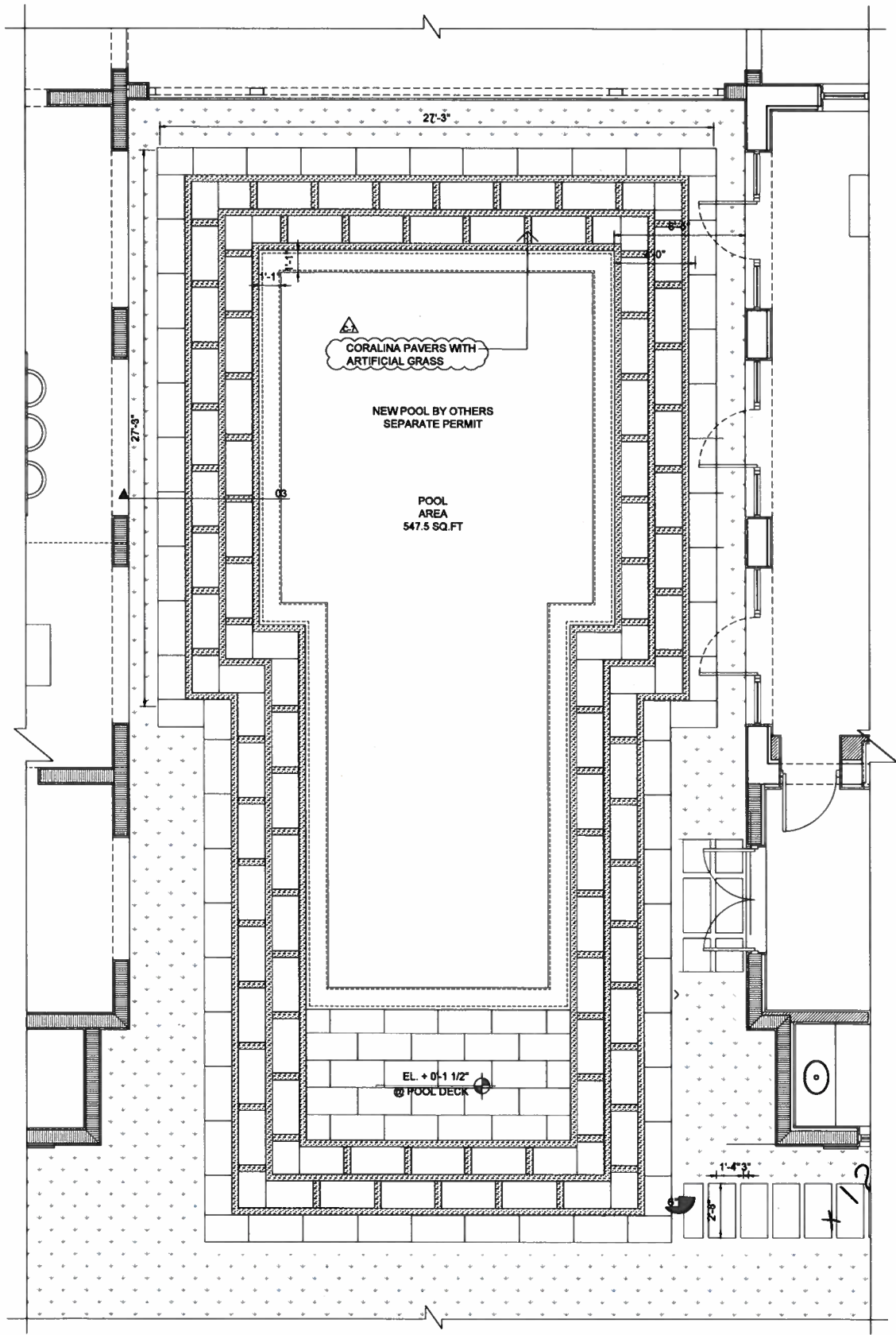
4209 SANTA MARIA RESIDENCE
 4209 SANTA MARIA ST.
 CORAL GABLES, FL 33146

THE AUTO COURT DRIVEWAY
 1/4" = 1'-0"

sheet **A-100.3**
 of

© COPYRIGHT 2015

EL. 0'-0" F.F.E. - 12.89' N.G.V.D.



01 3/8" = 1'-0" POOL DECK DETAIL

PROJECT INFORMATION

PROJECT NUMBER: 2014-24
 DATE: 07/25/15
 DRAWN BY: CS/HC
 CHECKED BY: CS/HC

REVISIONS

04/08/16	06/23/16
07/25/15	08/05/16
08/20/17	08/16/18

ARCHITECTS

PORTUONDO PEROTTI ARCHITECTS
 Architecture, Planning, Interior Design
 A.A.C. 001,407
 5717 SW 8th Street, Miami, Florida 33144, USA
 Tel: (305) 442-1218
 Fax: (305) 442-1219
 www.portuondoperotti.com

4209 SANTA MARIA RESIDENCE
 4209 SANTA MARIA ST.
 CORAL GABLES, FL 33146

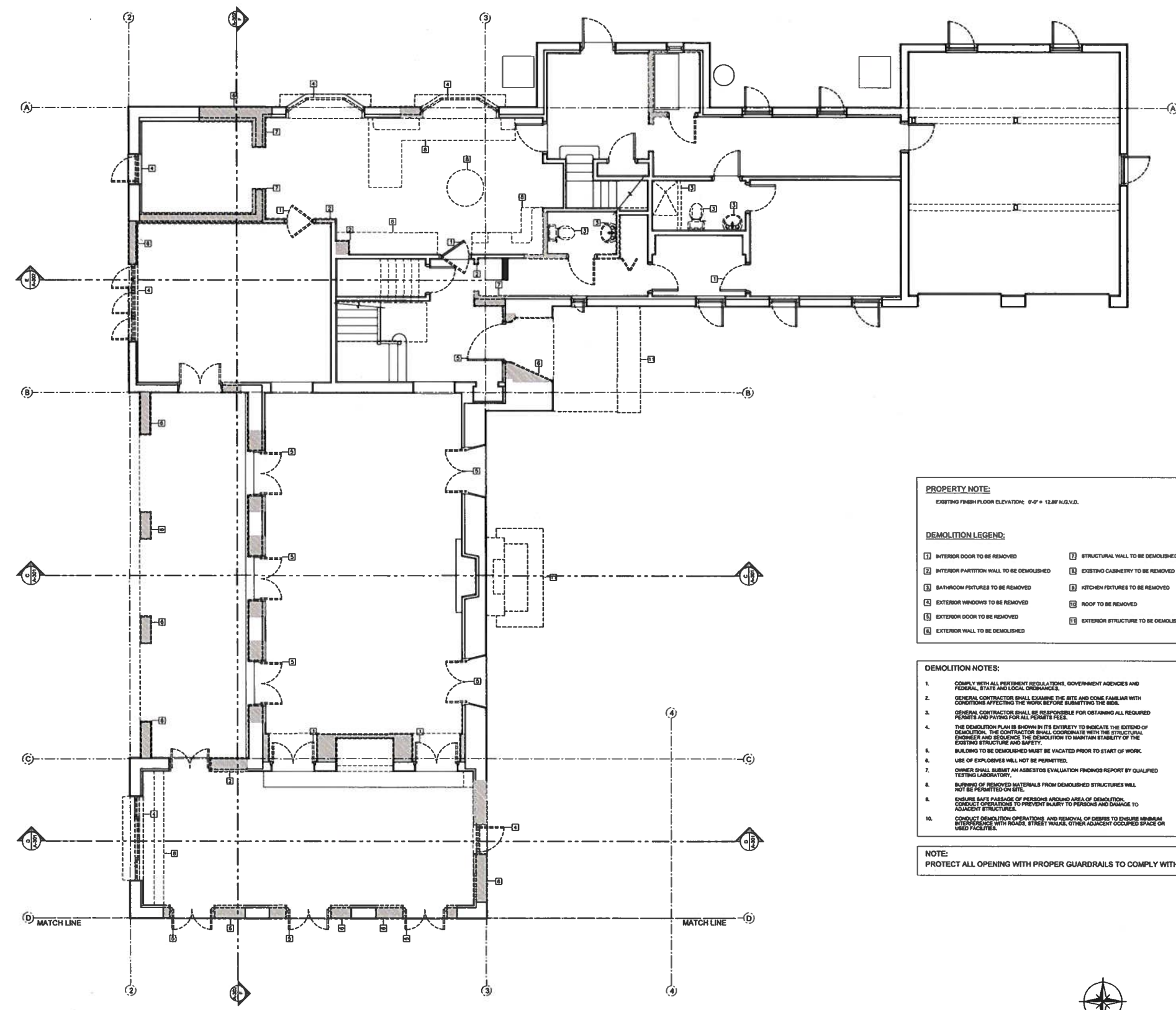
OWNER

TITLE: POOL DECK DETAILS
 SCALE: AS NOTED

A-100.4
 OF 01
 © COPYRIGHT 2015

The architect is not responsible for construction methods or materials used in the construction of the project.

EL. 0'-0" F.F.E = 12.89' N.G.V.D.



PROPERTY NOTE:
EXISTING FINISH FLOOR ELEVATION: 0'-0" = 12.89' N.G.V.D.

DEMOLITION LEGEND:

1. INTERIOR DOOR TO BE REMOVED	7. STRUCTURAL WALL TO BE DEMOLISHED
2. INTERIOR PARTITION WALL TO BE DEMOLISHED	8. EXISTING CABINETS TO BE REMOVED
3. BATHROOM FIXTURES TO BE REMOVED	9. KITCHEN FIXTURES TO BE REMOVED
4. EXTERIOR WINDOWS TO BE REMOVED	10. ROOF TO BE REMOVED
5. EXTERIOR DOOR TO BE REMOVED	11. EXTERIOR STRUCTURE TO BE DEMOLISHED
6. EXTERIOR WALL TO BE DEMOLISHED	

DEMOLITION NOTES:

- COMPLY WITH ALL PERMIT REGULATIONS, GOVERNMENT AGENCIES AND FEDERAL, STATE AND LOCAL ORDINANCES.
- GENERAL CONTRACTOR SHALL EXAMINE THE SITE AND BECOME FAMILIAR WITH CONDITIONS AFFECTING THE WORK BEFORE SUBMITTING THE BIDD.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING FOR ALL PERMITS FEES.
- THE DEMOLITION PLAN IS SHOWN IN ITS ENTIRETY TO INDICATE THE EXTENT OF DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH THE STRUCTURAL ENGINEER AND SECURE THE DEMOLITION TO MAINTAIN STABILITY OF THE EXISTING STRUCTURE AND SAFETY.
- BUILDING TO BE DEMOLISHED MUST BE VACATED PRIOR TO START OF WORK. USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- OWNER SHALL SUBMIT AN ASBESTOS EVALUATION FINDINGS REPORT BY QUALIFIED TESTING LABORATORY.
- BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
- ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO PERSONS AND DAMAGE TO ADJACENT STRUCTURES.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREET WALKS, OTHER ADJACENT OCCUPIED SPACE OR USED FACILITIES.
- ITEMS OF SALVAGEABLE VALUE TO OWNER MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES. SALVAGED ITEMS MUST BE STORED AND PROTECTED AS THEY ARE REMOVED. COORDINATE WITH OWNER.
- MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN. KEEP IN SERVICE. PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATION.
- DISCONNECT AND SEAL UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. ADJACENT FACILITIES TO REMAIN.
- PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED. ADJACENT FACILITIES TO REMAIN.
- COORDINATE WITH STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT WORK REMOVAL OF ANY LOAD BEARING WALL OR STRUCTURAL ELEMENT.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DEMOLITION.
- PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO REMAIN.
- NO MASONRY WALL OR PORTION THEREOF AND/OR BEARING PARTITION WALL SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO ISSUANCE OF CITY APPROVED REDEMPTION DETAILS.

NOTE:
PROTECT ALL OPENING WITH PROPER GUARDRAILS TO COMPLY WITH O.S.H.A. GUIDELINES.



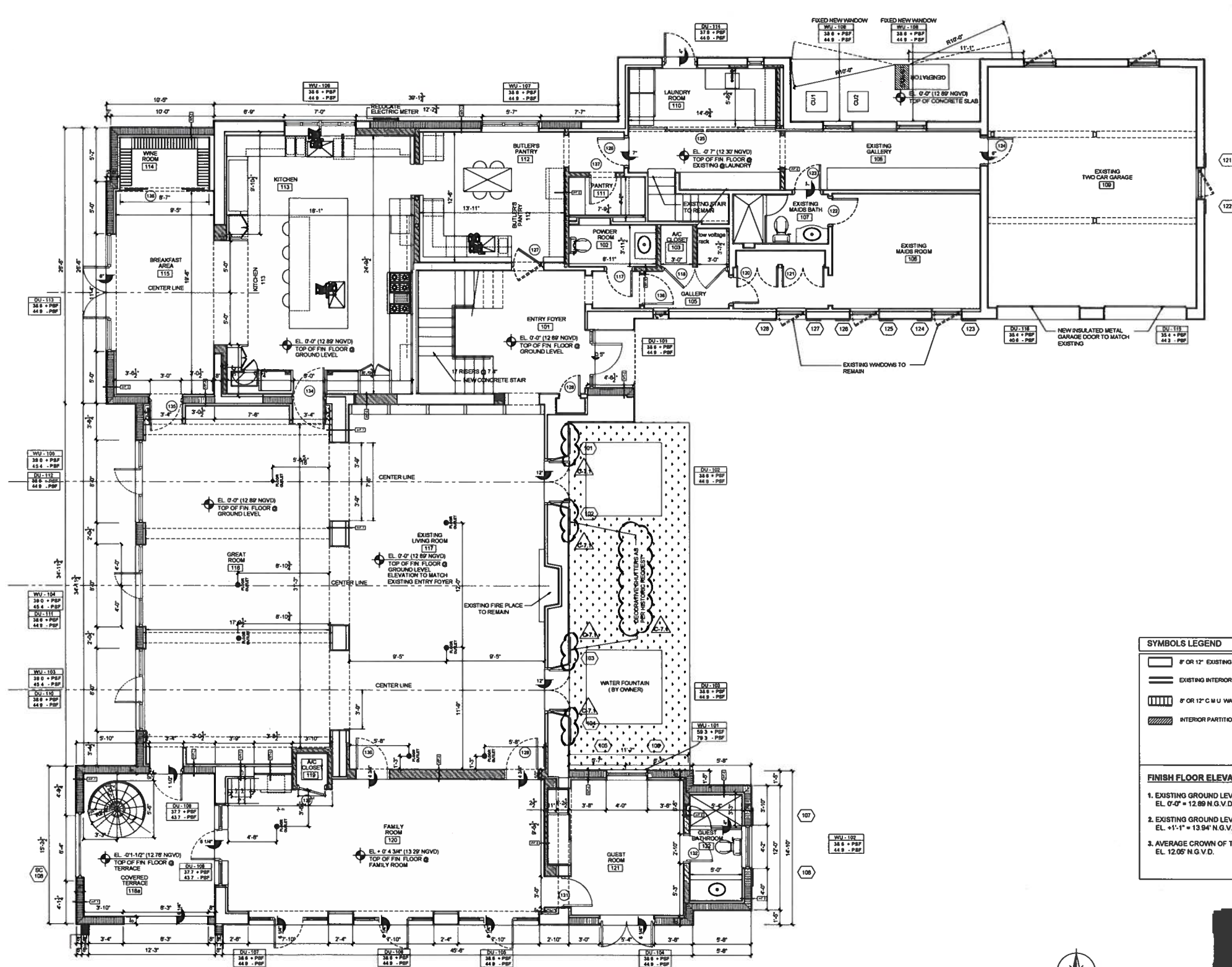
01 MAIN LEVEL DEMOLITION FLOOR PLAN (EXISTING)
SCALE: 1/4" = 1'-0"

[Handwritten Signature]

<p>PROJECT NUMBER: 2014-24 DATE: 07/29/15 DRAWN BY: CBJ/UC CHECKED BY:</p>	<p>REVISOR:</p>
<p>ARCHITECTS PORTUONDO PEROTTI ARCHITECTS ARCHITECTS A.A.C.O. 1407 1117 NW 8th Ave., Suite 201 - Fort Lauderdale, FL 33304, USA Tel: (305) 380-2021 - Fax: (305) 380-8518 http://www.portp.com</p>	
<p>4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORAL GABLES, FL 33148</p>	
<p>OWNER</p>	
<p>TITLE: MAIN LEVEL DEMOLITION FLOOR PLAN SCALE: 1/4" = 1'-0"</p>	
<p>A-101 DATE: 07/29/15 BY: CBJ/UC</p>	

THE ARCHITECT, ENGINEER, AND DESIGNER HAS THE RESPONSIBILITY OF PREPARING AND VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR BY THE ARCHITECT, ENGINEER, AND DESIGNER.

EL 0'-0" FFE = 12.89' NGVD

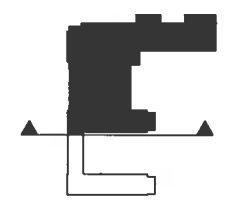


SYMBOLS LEGEND

- 8" OR 12" EXISTING CMU WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- 8" OR 12" CMU WALL (NEW)
- INTERIOR PARTITION (NEW)

FINISH FLOOR ELEVATION:

- EXISTING GROUND LEVEL
EL 0'-0" = 12.89' N.G.V.D. (ENTRY RESIDENCE)
- EXISTING GROUND LEVEL
EL +1'-1" = 13.94' N.G.V.D. (LIVING ROOM)
- AVERAGE CROWN OF THE ROAD LEVEL
EL 12.05' N.G.V.D.



NEW STRUCTURE
EXISTING STRUCTURE

01 MAIN LEVEL PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"
HOUSE ADDITION

PORTUONDO PEROTTI ARCHITECTS
Architects, Planning, Interior Design
A.A.C.O. 14.07
5717 SW 46th Street, Miami, Florida 33144, USA
Tel: (305) 350-0231 Fax: (305) 350-8518
http://www.perotti.com

4208 SANTA MARIA RESIDENCE
4208 SANTA MARIA ST.
CORAL GABLES, FL 33146

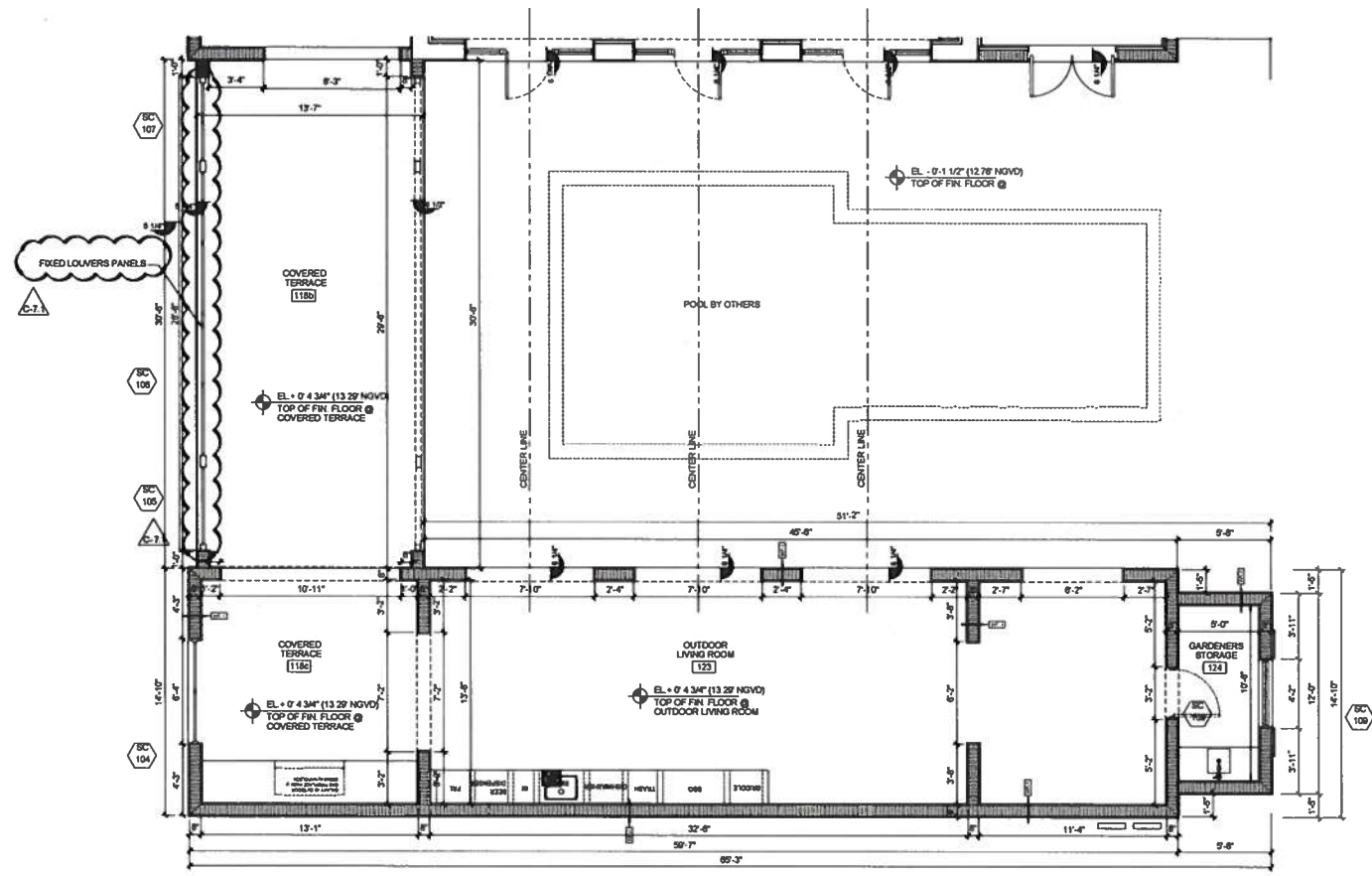
PROJECT INFORMATION

PROJECT NUMBER: 2014-24
DATE: 07/25/15
DRAWN BY: CS/AC
CHECKED BY: CS/AC

TITLE
A-101.1
MAIN LEVEL PROPOSED PLAN
SCALE: 1/4" = 1'-0"

CONTRACTOR

EL. 0'-0" P.F.E. = 12.89' N.G.V.D.

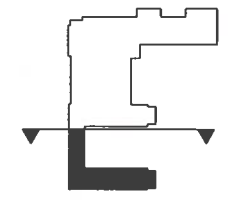


SYMBOLS LEGEND

- 8' OR 12' EXISTING C.M.U. WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- 8' OR 12' C.M.U. WALL (NEW)
- INTERIOR PARTITION (NEW)

FINISH FLOOR ELEVATION:

1. EXISTING GROUND LEVEL
EL. 0'-0" = 12.89' N.G.V.D. (@ ENTRY RESIDENCE)
2. EXISTING GROUND LEVEL
EL. +1'-1" = 13.94' N.G.V.D. (@ LIVING ROOM)
3. AVERAGE CROWN OF THE ROAD LEVEL
EL. 12.05' N.G.V.D.



NEW STRUCTURE
 EXISTING STRUCTURE

01 MAIN LEVEL PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0" POOL ADDITION

DAVID J. PEROTTI
 PROFESSIONAL ENGINEER
 NO. 12345
 STATE OF FLORIDA

PROJECT NUMBER: 2014-24
 DATE: 07/25/14
 DRAWN BY: CLK/C
 CHECKED BY: CLK/C

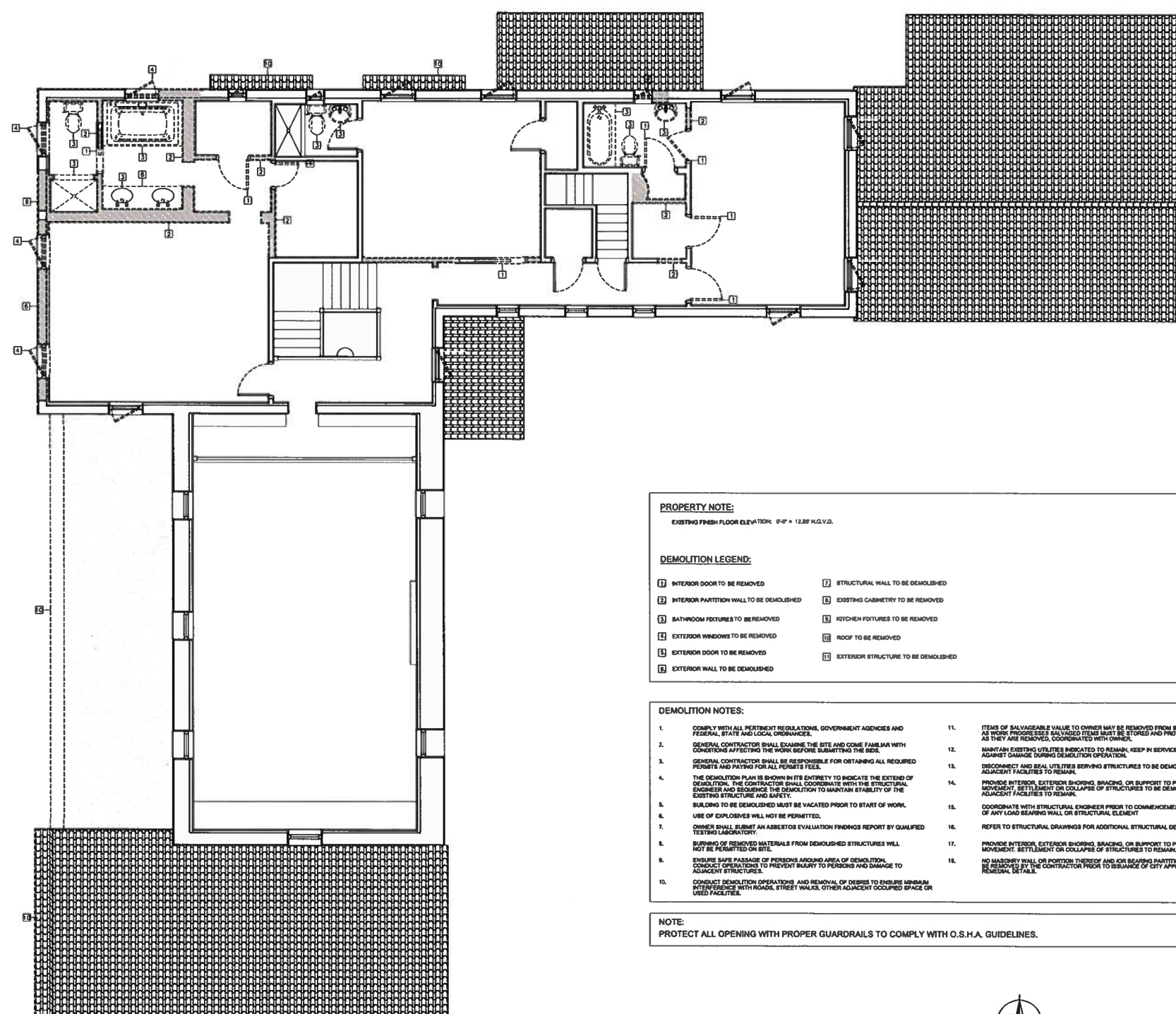
ARCHITECTS:
 PORTUONDO PEROTTI ARCHITECTS
 A.A.C.O. 1407
 9177 SW 88th Street, Miami, Florida 33144, USA
 Tel: (305) 444-1111
 Fax: (305) 444-1111
 www.portuondo-perotti.com

4209 SANTA MARIA RESIDENCE
 4209 SANTA MARIA BLVD.
 CORAL GABLES, FL 33148

TITLE: MAIN LEVEL PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SHEET: A-101.2
 OF: 2
 CONTRACT: 2014-24

EL. 0'-0" F.F.E = 12.89' N.G.V.D.



PROPERTY NOTE:
EXISTING FINISH FLOOR ELEVATION: 0'-0" = 12.89' N.G.V.D.

DEMOLITION LEGEND:

1 INTERIOR DOOR TO BE REMOVED	7 STRUCTURAL WALL TO BE DEMOLISHED
2 INTERIOR PARTITION WALL TO BE DEMOLISHED	8 EXISTING CABINETS TO BE REMOVED
3 BATHROOM FIXTURES TO BE REMOVED	9 KITCHEN FIXTURES TO BE REMOVED
4 EXTERIOR WINDOWS TO BE REMOVED	10 ROOF TO BE REMOVED
5 EXTERIOR DOOR TO BE REMOVED	11 EXTERIOR STRUCTURE TO BE DEMOLISHED
6 EXTERIOR WALL TO BE DEMOLISHED	

DEMOLITION NOTES:

1. COMPLY WITH ALL PERTINENT REGULATIONS, GOVERNMENT AGENCIES AND FEDERAL, STATE AND LOCAL ORDINANCES.	11. ITEMS OF SALVAGEABLE VALUE TO OWNER MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES. SALVAGED ITEMS MUST BE STORED AND PROTECTED AS THEY ARE REMOVED, COORDINATED WITH OWNER.
2. GENERAL CONTRACTOR SHALL EXAMINE THE SITE AND BECOME FAMILIAR WITH CONDITIONS AFFECTING THE WORK BEFORE SUBMITTING THE BIDS.	12. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN. KEEP IN SERVICE, PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING FOR ALL PERMITS FEES.	13. DISCONNECT AND SEAL UTILITIES SERVING STRUCTURES TO BE DEMOLISHED, ADJACENT FACILITIES TO REMAIN.
4. THE DEMOLITION PLAN IS SHOWN IN ITS ENTIRETY TO INDICATE THE EXTENT OF DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH THE STRUCTURAL ENGINEER AND ENSURE THE DEMOLITION TO MAINTAIN STABILITY OF THE EXISTING STRUCTURE AND SAFETY.	14. PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED ADJACENT FACILITIES TO REMAIN.
5. BUILDING TO BE DEMOLISHED MUST BE VACATED PRIOR TO START OF WORK.	15. COORDINATE WITH STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT WORK REMOVAL OF ANY LOAD BEARING WALL OR STRUCTURAL ELEMENT.
6. USE OF EXPLOSIVES WILL NOT BE PERMITTED.	16. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DEMOLITION.
7. OWNER SHALL SUBMIT AN ASBESTOS EVALUATION FINDINGS REPORT BY QUALIFIED TESTING LABORATORY.	17. PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO REMAIN.
8. SURFING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.	18. NO MASONRY WALL OR PORTION THEREOF AND JOIST BEARING PARTITION WALL SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO ISSUANCE OF CITY APPROVED REMEDIAL DETAILS.
9. ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO PERSONS AND DAMAGE TO ADJACENT STRUCTURES.	
10. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROAD, STREET WALKS, OTHER ADJACENT OCCUPIED SPACE OR USED FACILITIES.	

NOTE:
PROTECT ALL OPENING WITH PROPER GUARDRAILS TO COMPLY WITH O.S.H.A. GUIDELINES.



01 SECOND FLOOR DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"
(EXISTING)

EL. 0'-0" F.F.E = 12.89' N.G.V.D.

PROJECT NUMBER: 2014-24
DATE: 07/20/15
DRAWN BY: CD/NC
CHECKED BY:

ARCHITECTS
PORTUONDO PEROTTI ARCHITECTS
Architects • Planning • Interiors
1517 SW 36th Street, Suite 100, Coral Gables, FL 33146, USA
Tel: (305) 382-8231 Fax: (305) 382-8218
http://www.portp.com

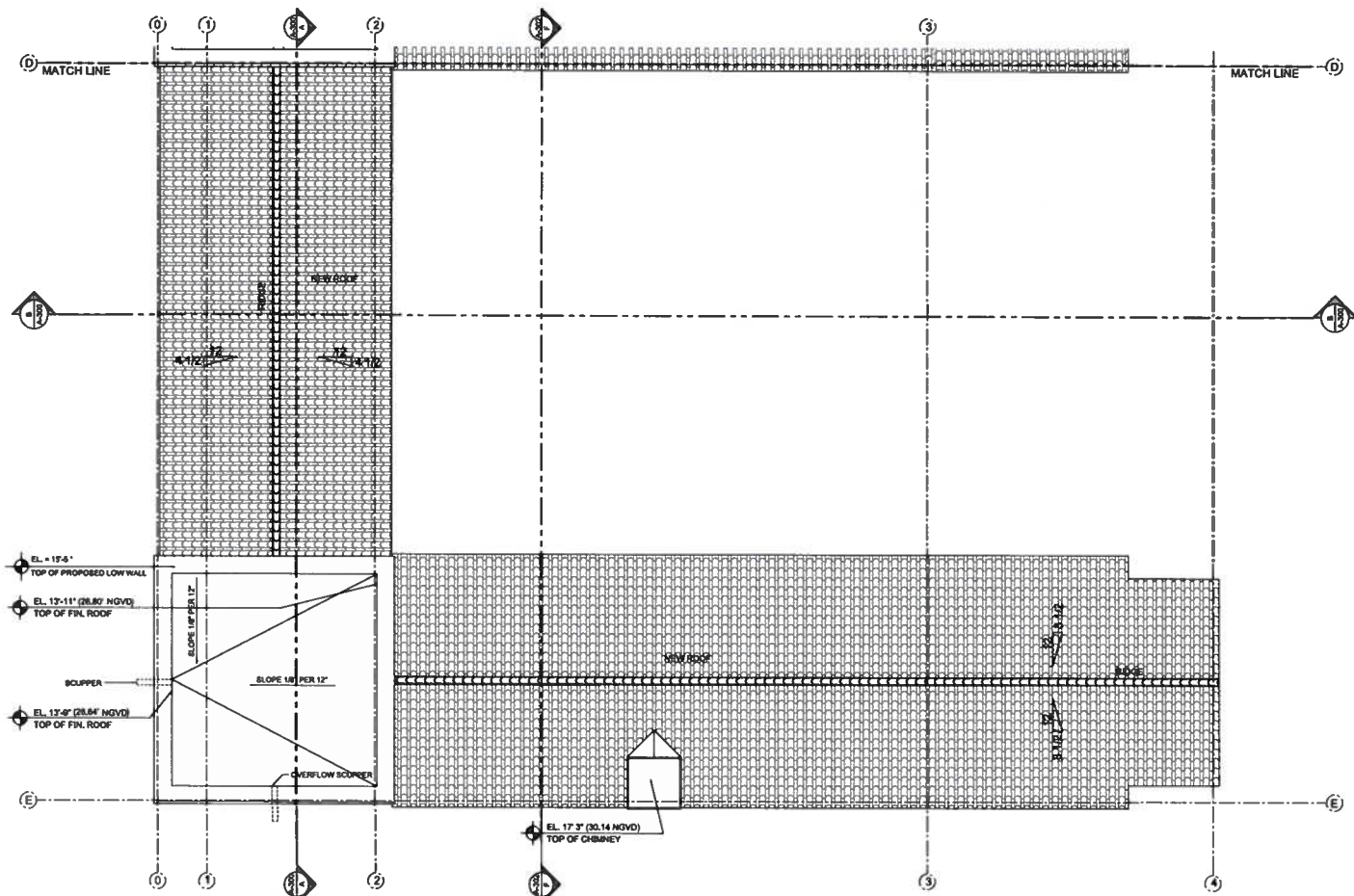
OWNER
4209 SANTA MARIA RESIDENCE
4209 SANTA MARIA ST.
CORAL GABLES, FL 33146

TITLE: SECOND FLOOR DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET: A-102
OF 0
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EL. 0'-0" F.F.E = 12.89' N.G.V.D.

Handwritten signature and date: 3-25-19

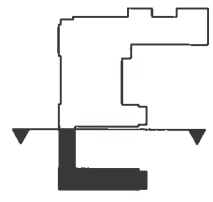


SYMBOLS LEGEND

- 1" OR 12" EXISTING CMU WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- 1" OR 12" CMU WALL (NEW)
- INTERIOR PARTITION (NEW)

FINISH FLOOR ELEVATION:

- EXISTING GROUND LEVEL
EL. 0'-0" = 12.89' N.G.V.D. (@ ENTRY RESIDENCE)
- EXISTING GROUND LEVEL
EL. 0'-0" = 13.94' N.G.V.D. (@ LIVING ROOM)
- AVERAGE CROWN OF THE ROAD LEVEL
EL. 12.05' N.G.V.D.



NEW STRUCTURE
EXISTING STRUCTURE

01 UPPER LEVEL PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0" POOL ADDITION

PROJECT NUMBER: 2014-24
DATE: 07/2015
DRAWN BY: CLJC
CHECKED BY:

ARCHITECT: PORTUONDO PEROTTI ARCHITECTS
A.A.C. 001407
1817 N.W. 25th Ave., Suite 104, USA
Tel: (305) 280-2831 Fax: (305) 280-2818
http://www.portuondoperotti.com

4209 SANTA MARIA RESIDENCE
4209 SANTA MARIA ST.
CORAL GABLES, FL 33146

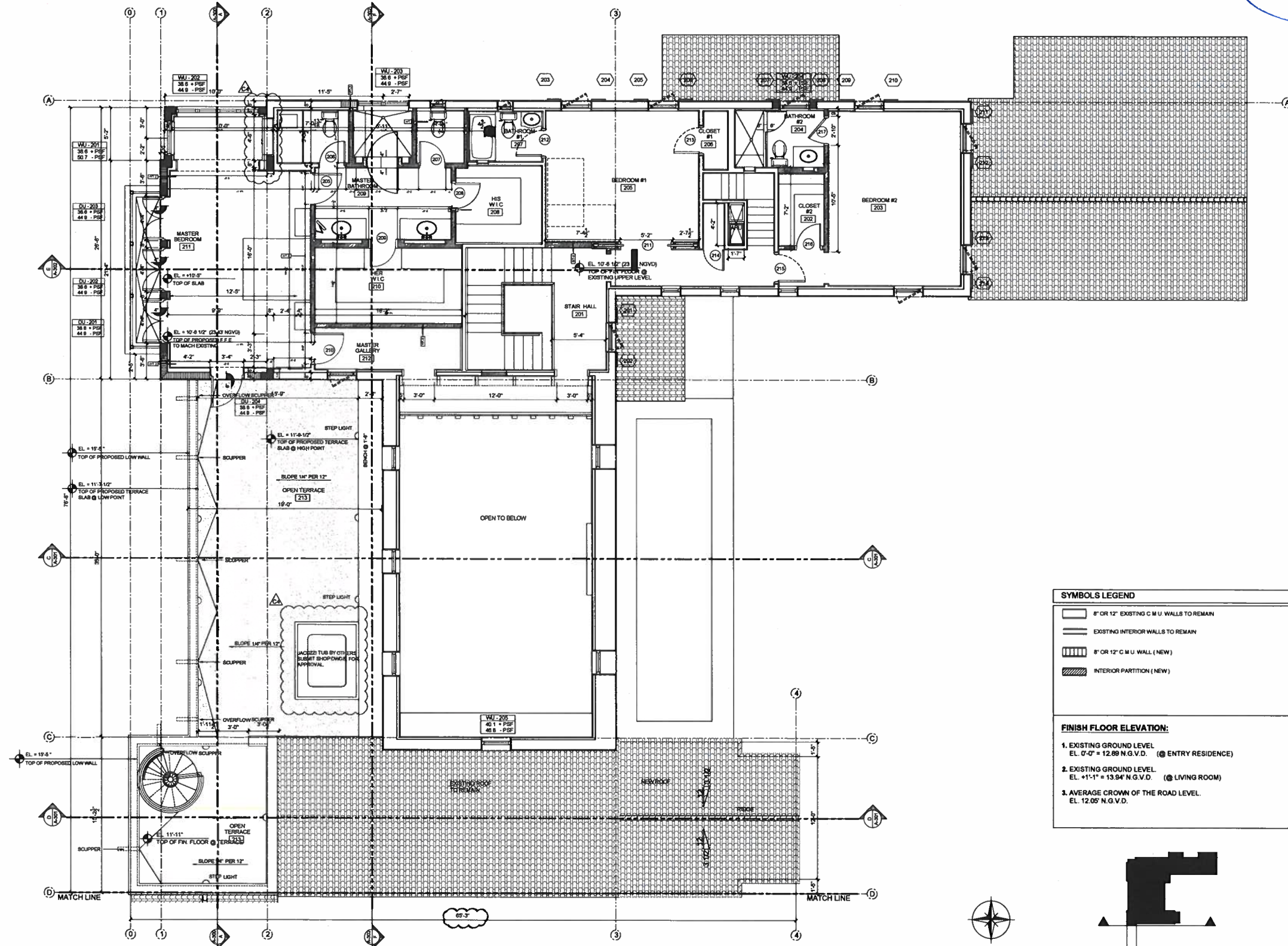
OWNER

TITLE: UPPER LEVEL PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET: A-102.2
OF
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EL 0'-0" F.F.E = 12.89' N.G.V.D.

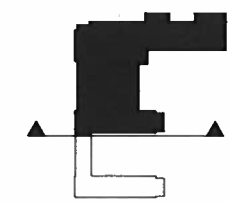


SYMBOLS LEGEND

- 8" OR 12" EXISTING C.M.U. WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- 8" OR 12" C.M.U. WALL (NEW)
- INTERIOR PARTITION (NEW)

FINISH FLOOR ELEVATION:

1. EXISTING GROUND LEVEL
EL. 0'-0" = 12.89' N.G.V.D. (● ENTRY RESIDENCE)
2. EXISTING GROUND LEVEL
EL. +1'-1" = 13.94' N.G.V.D. (● LIVING ROOM)
3. AVERAGE CROWN OF THE ROAD LEVEL.
EL. 12.05' N.G.V.D.



NEW STRUCTURE
 EXISTING STRUCTURE

01 SECOND FLOOR PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 HOUSE ADDITION

4209 SANTA MARIA RESIDENCE
 4209 SANTA MARIA ST.
 CORAL GABLES, FL. 33146

PORTUNDO PEROTTI ARCHITECTS
 Architects • Planning • Interior Design
 A.A.C. 001407
 5111 SW 15th Ave., Suite 100, Coral Gables, FL 33134, USA
 Tel: (305) 780-1831 Fax: (305) 780-1818
 http://www.portundo-perotti.com

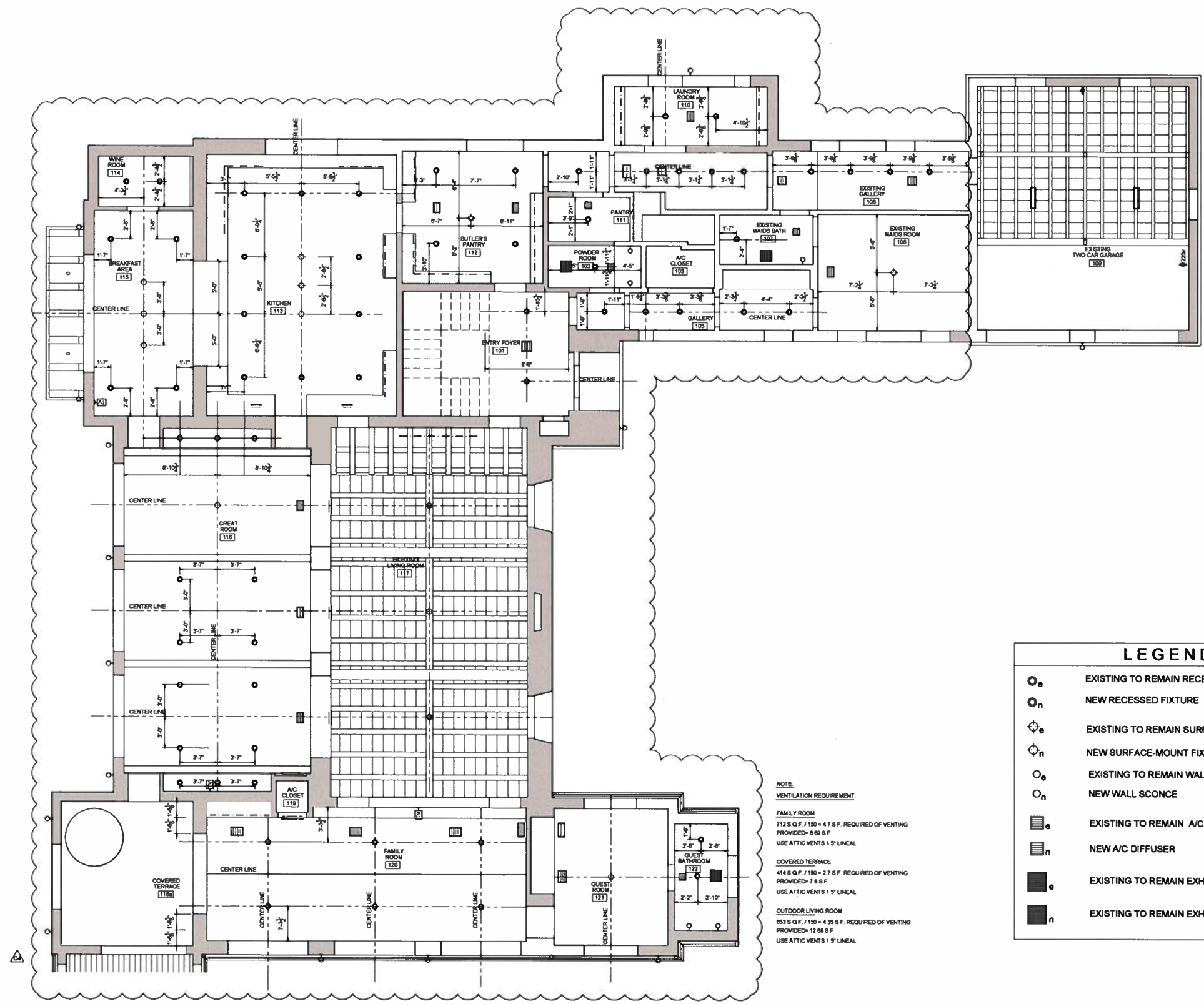
PROJECT NUMBER: 2014-24
 DATE: 07/20/15
 DRAWN BY: CML/C
 CHECKED BY:

REVISIONS
 04/09/16
 05/25/16
 07/14/15

OWNER:
 TITLE: SECOND FLOOR PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SHEET: A-102.1
 OF

THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT PROVIDE CONTRACT ADMINISTRATION OR CONSTRUCTION MANAGEMENT SERVICES.

EL. 0'-0" F.F.E. ± 42.85' N.G.V.D.



NOTE:
 VENTILATION REQUIREMENT:
 FAMILY ROOM
 712 S.Q.F. / 150 = 4.7 S.F. REQUIRED OF VENTING
 PROVIDED= 8.68 S.F.
 USE ATTIC VENTS 1 1/2" LINEAL
 COVERED TERRACE
 414 S.Q.F. / 150 = 2.7 S.F. REQUIRED OF VENTING
 PROVIDED= 7.8 S.F.
 USE ATTIC VENTS 1 1/2" LINEAL
 OUTDOOR LIVING ROOM
 833 S.Q.F. / 150 = 4.35 S.F. REQUIRED OF VENTING
 PROVIDED= 12.68 S.F.
 USE ATTIC VENTS 1 1/2" LINEAL

LEGEND	
	EXISTING TO REMAIN RECESSED FIXTURE
	NEW RECESSED FIXTURE
	EXISTING TO REMAIN SURFACE-MOUNT FIXTURE
	NEW SURFACE-MOUNT FIXTURE
	EXISTING TO REMAIN WALL SCONCE
	NEW WALL SCONCE
	EXISTING TO REMAIN A/C DIFFUSER
	NEW A/C DIFFUSER
	EXISTING TO REMAIN EXHAUST FAN
	EXISTING TO REMAIN EXHAUST FAN



01 MAIN LEVEL PROPOSED REFLD. CLG. PLAN
 SCALE: 1/4" = 1'-0"
 HOUSE ADDITION

EL. 0'-0" F.F.E. ± 42.85' N.G.V.D.

DATE: 07/20/15
 PROJECT NUMBER: 2014-24
 DRAWN BY: CS/C
 CHECKED BY: CS/C

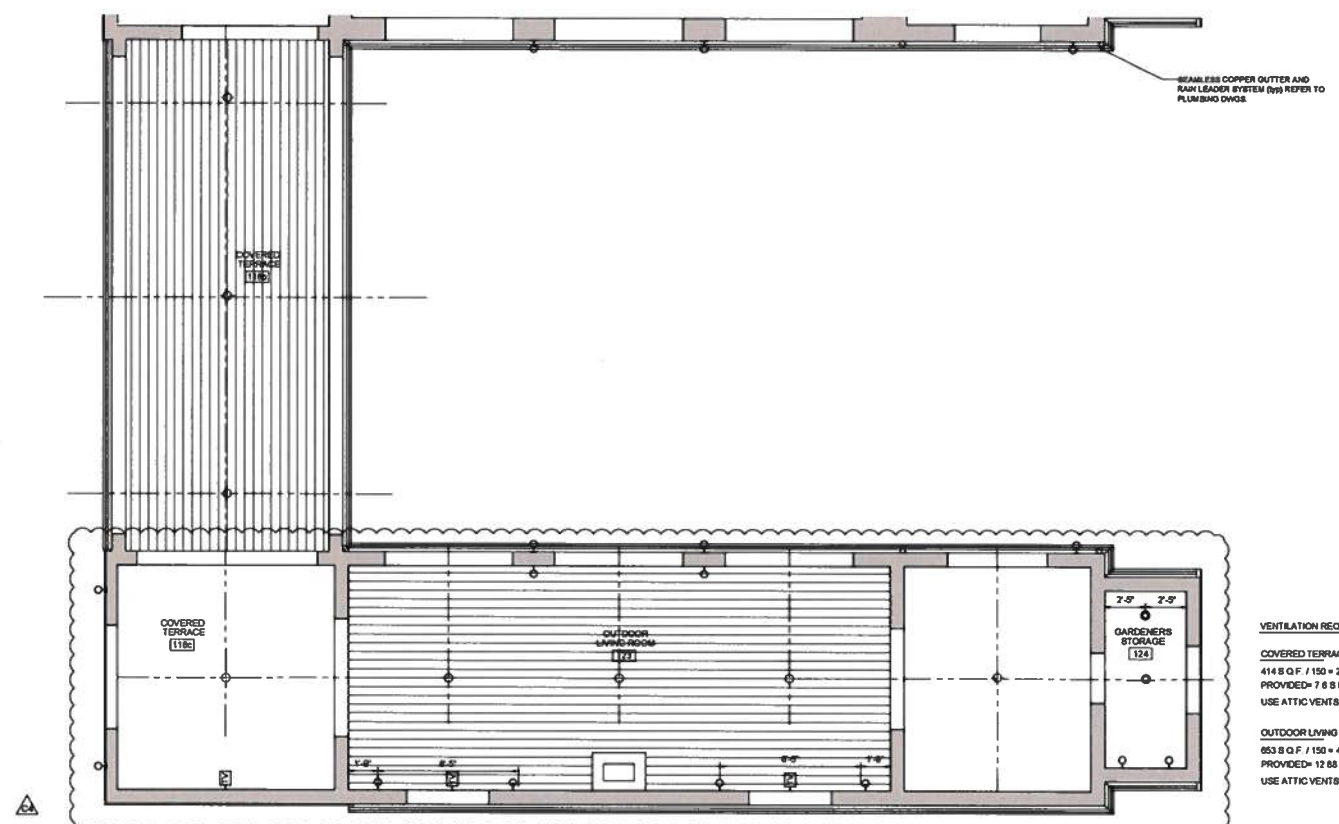
ARCHITECTS
PORTUONDO PEROTTI ARCHITECTS
 Architects/Interior Design
 A.A.C.O.D. 1407 33144 USA
 8717 SW 36th Ave. #301 Fort. Lauderdale, FL 33314
 Tel: (305) 260-1231 Fax: (305) 260-1518
 http://www.pport.com

OWNER
 4209 SANTA MARIA RESIDENCE
 4209 SANTA MARIA ST.
 CORAL GABLES, FL. 33148

TITLE: MAIN LEVEL PROPOSED REFLD. CEILING PLAN
 SCALE: 1/4" = 1'-0"

SHEET: A-103.1
 OF 2
 COPYRIGHT 2015

EL 0'-0" F.F.E. = 12.69' N.G.V.D.



VENTILATION REQUIREMENT:

COVERED TERRACE
 414 B Q.F. / 150 = 2.7 B.F. REQUIRED OF VENTING
 PROVIDED= 7.6 B.F.
 USE ATTIC VENTS 1.5" LINEAL

OUTDOOR LIVING ROOM
 653 B Q.F. / 150 = 4.35 B.F. REQUIRED OF VENTING
 PROVIDED= 12.66 B.F.
 USE ATTIC VENTS 1.5" LINEAL

LEGEND	
	EXISTING TO REMAIN RECESSED FIXTURE
	NEW RECESSED FIXTURE
	EXISTING TO REMAIN SURFACE-MOUNT FIXTURE
	NEW SURFACE-MOUNT FIXTURE
	EXISTING TO REMAIN WALL SCONCE
	NEW WALL SCONCE
	EXISTING TO REMAIN A/C DIFFUSER
	NEW A/C DIFFUSER
	EXISTING TO REMAIN EXHAUST FAN
	EXISTING TO REMAIN EXHAUST FAN



01 MAIN LEVEL PROPOSED REFLD. CLG. PLAN
 SCALE: 1/4" = 1'-0" POOL ADDITION

REVISIONS

DATE	BY	REVISIONS
08/08/16	AS	
08/23/16	AS	
08/23/16	AS	
08/23/16	AS	
07/25/15	CS/C	

PROJECT NUMBER: 2014-24
 DATE: 07/25/15
 DRAWN BY: CS/C
 CHECKED BY:

ARCHITECTS: PORTUONDO PEROTTI ARCHITECTS
 5717 SW 36th Ave, Suite 203, Coral Gables, FL 33146, USA
 Tel: (305) 255-3531 Fax: (305) 255-3518
 http://www.portuondoperotti.com

4208 SANTA MARIA RESIDENCE
 4208 SANTA MARIA ST.
 CORAL GABLES, FL 33146

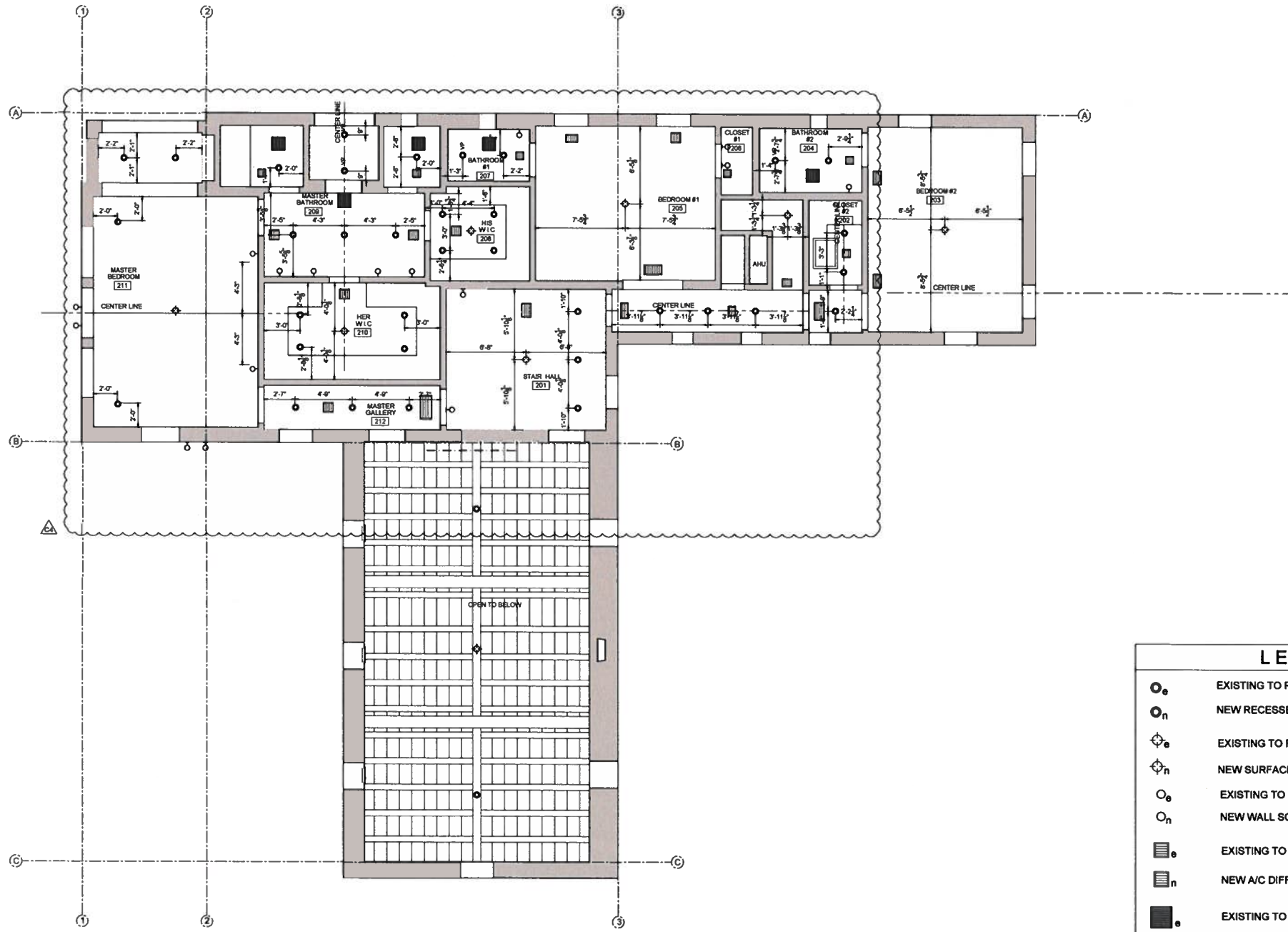
OWNER:

11th MAIN LEVEL PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SHEET: A-103.2
 OF: 02
 COPYRIGHT: 2016

EL. 0'-0" F.F.E. ± 12.89' N.G.V.D

B. Perotti
B. Perotti
ARCHITECT



LEGEND	
○ _e	EXISTING TO REMAIN RECESSED FIXTURE
○ _n	NEW RECESSED FIXTURE
⊕ _e	EXISTING TO REMAIN SURFACE-MOUNT FIXTURE
⊕ _n	NEW SURFACE-MOUNT FIXTURE
○ _e	EXISTING TO REMAIN WALL SCONCE
○ _n	NEW WALL SCONCE
▒ _e	EXISTING TO REMAIN A/C DIFFUSER
▒ _n	NEW A/C DIFFUSER
■ _e	EXISTING TO REMAIN EXHAUST FAN
■ _n	EXISTING TO REMAIN EXHAUST FAN



01 UPPER LEVEL PROPOSED REFLD. CLG. PLAN
 SCALE: 1/8" = 1'-0" HOUSE ADDITION

REVISIONS	DATE	BY	CHKD BY
04/01/16	07/20/15	CL/C	
02/21/16			
02/09/16			
02/13/17			

ARCHITECTS
PORTUNDO PEROTTI ARCHITECTS
 Architecture, Planning, Interior Design
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 Web: www.portundoperotti.com

4209 SANTA MARIA RESIDENCE
 4209 SANTA MARIA ST.
 CORAL GABLES, FL 33146

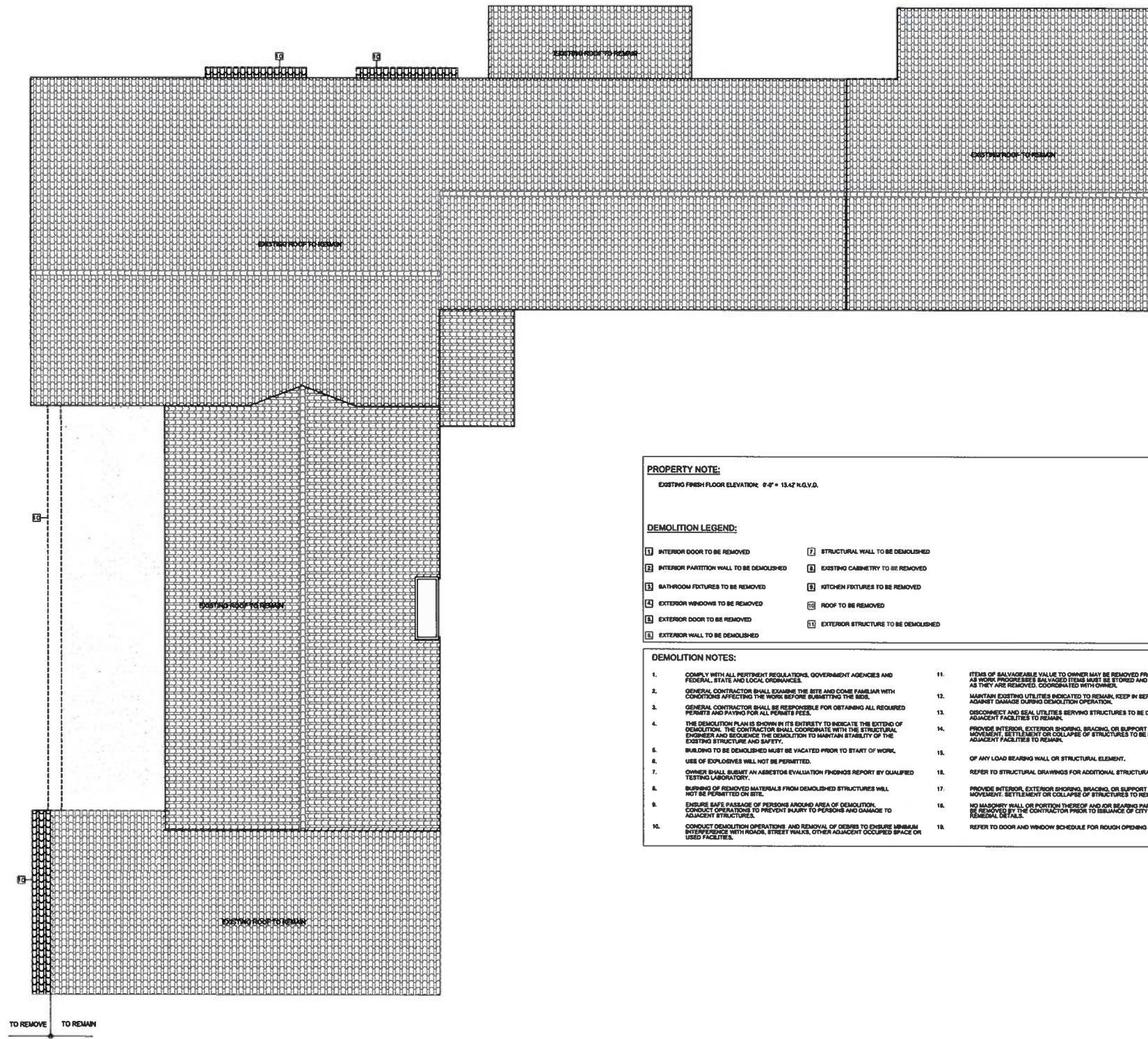
OWNER

TITLE: UPPER LEVEL PROPOSED FLOOR PLAN
 SCALE: 1/8" = 1'-0"

SHEET: A-104.0
 OF 0
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EL. 0'-0" = 12.89' N.G.V.D.(FFE)



REVISIONS

NO.	DATE	DESCRIPTION
1	07/20/15	CLINC

PROJECT NUMBER: 2014-24
DATE: 07/20/15
DRAWN BY: CLINC
CHECKED BY:

ARCHITECTS
PORTUONDO PEROTTI ARCHITECTS
Architecture - Planning - Interior Design
A.A.C.O.O. 14 D.T. 20144, USA
8717 SW 30th St. #201 Fort Lauderdale, FL 33308-5818
Tel: (305) 382-2021 Fax: (305) 382-8718
http://www.perottipor.com

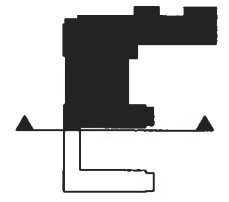
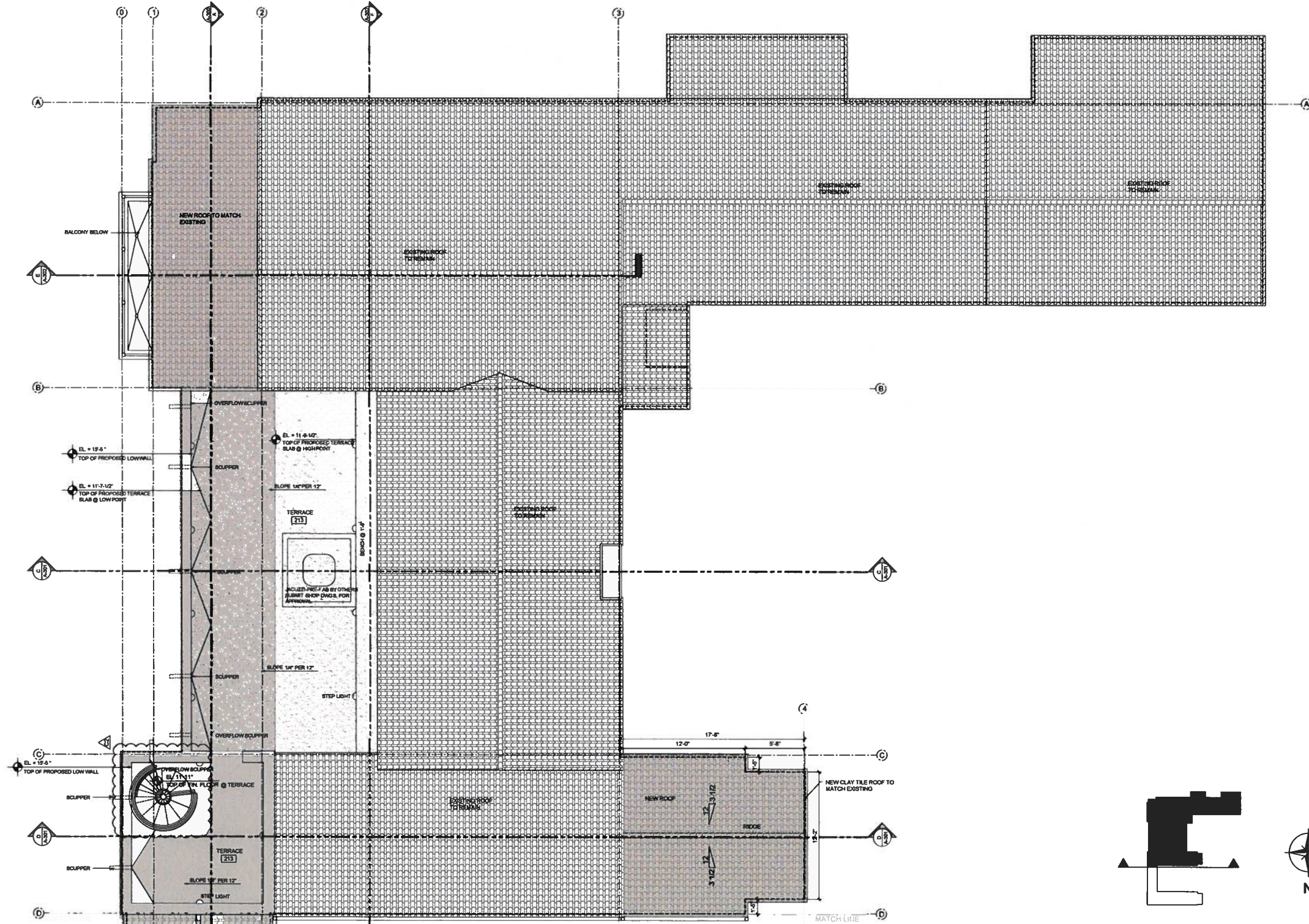
OWNER
4209 SANTA MARIA RESIDENCE
4209 SANTA MARIA ST.
CORAL GABLES, FL 33146

OWNER

TITLE: **ROOF DEMOLITION PLAN**
SCALE: 1/4" = 1'-0"

NO. **A-105**
OF **00**
© COPYRIGHT 2015

EL. 0'-0" F.F.E. = 12.88' NGVD



NEW STRUCTURE
 EXISTING STRUCTURE

01 SCALE: 1/4" = 1'-0"

PROPOSED ROOF PLAN
MAIN HOUSE

PROJECT NUMBER	2014-4
DATE	07/20/15
DRAWN BY	CEJ/C
CHECKED BY	
REVISIONS	
DATE	
BY	

ARCHITECTS
PORTUONDO PEROTTI ARCHITECTS
 Architects Planning Interior Design
 A.A.C. 001407
 9717 SW 8th Street, Miami, Florida 33144, USA
 Tel: (305) 390-0531 Fax: (305) 390-0518
 http://www.perottipr.com

4209 SANTA MARIA RESIDENCE
 4209 SANTA MARIA ST.
 CORAL GABLES, FL 33146

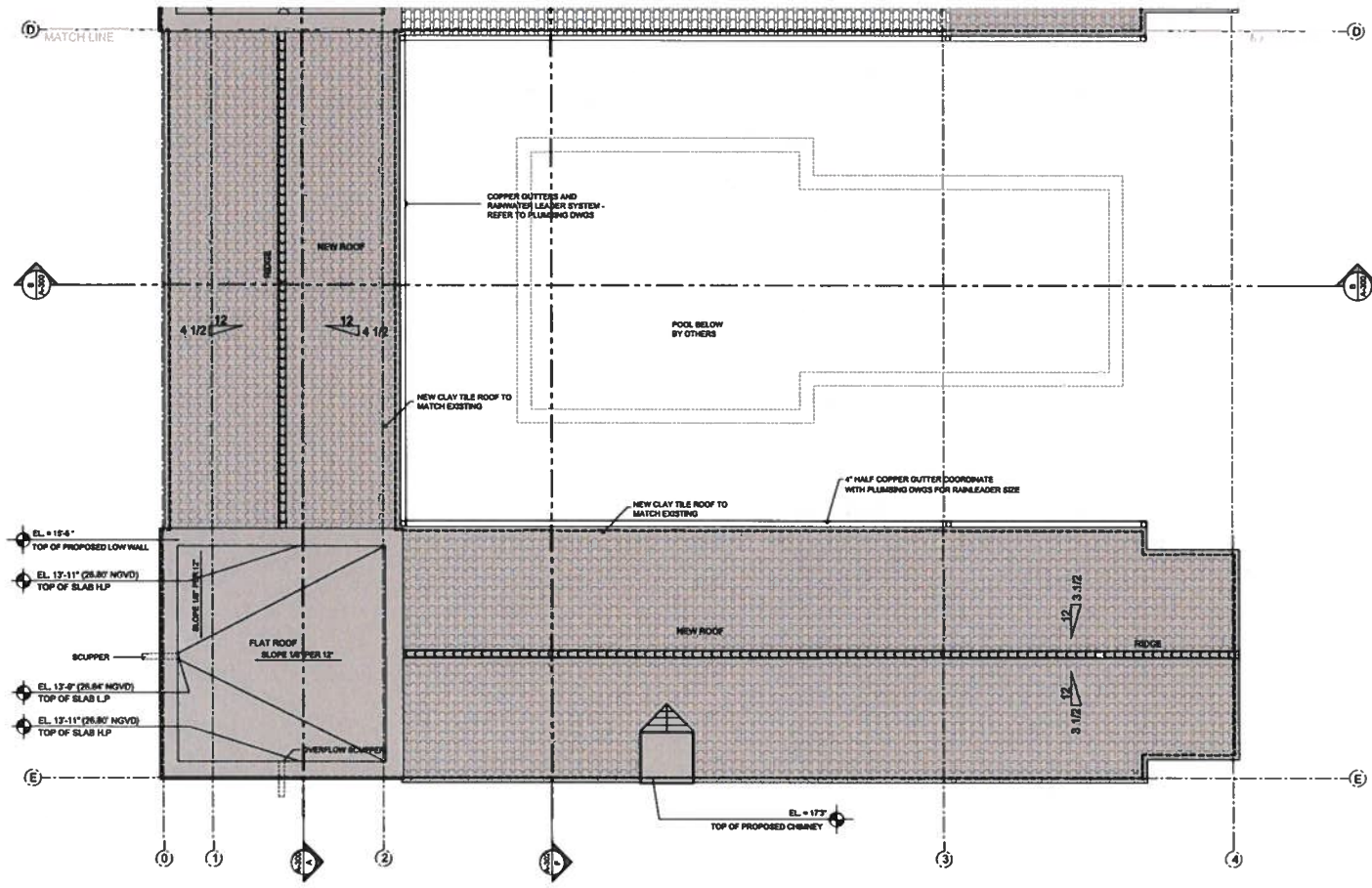
TITLE: PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

SHEET: **A-105.1**
 OF 01

Handwritten signature and date:
 3/25/20

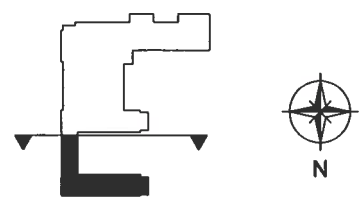
EL. 0'-0" = 12.89' N.G.V.D.(FFE)

[Handwritten signature and date]
3-15-20



- NEW STRUCTURE
- EXISTING STRUCTURE

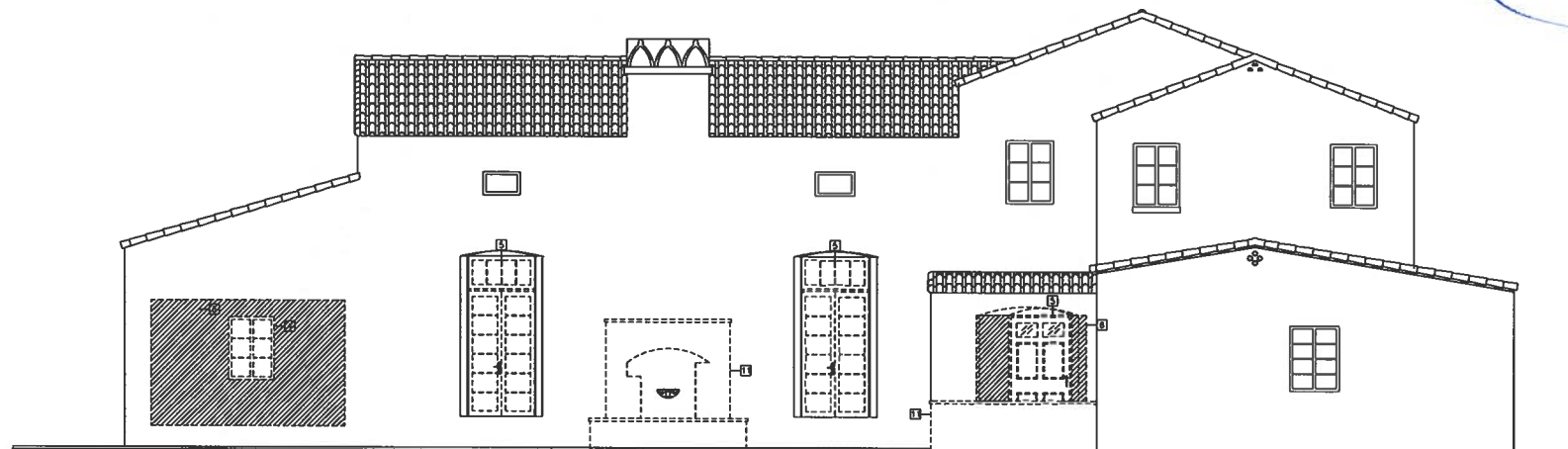
01 SCALE: 1/4" = 1'-0"



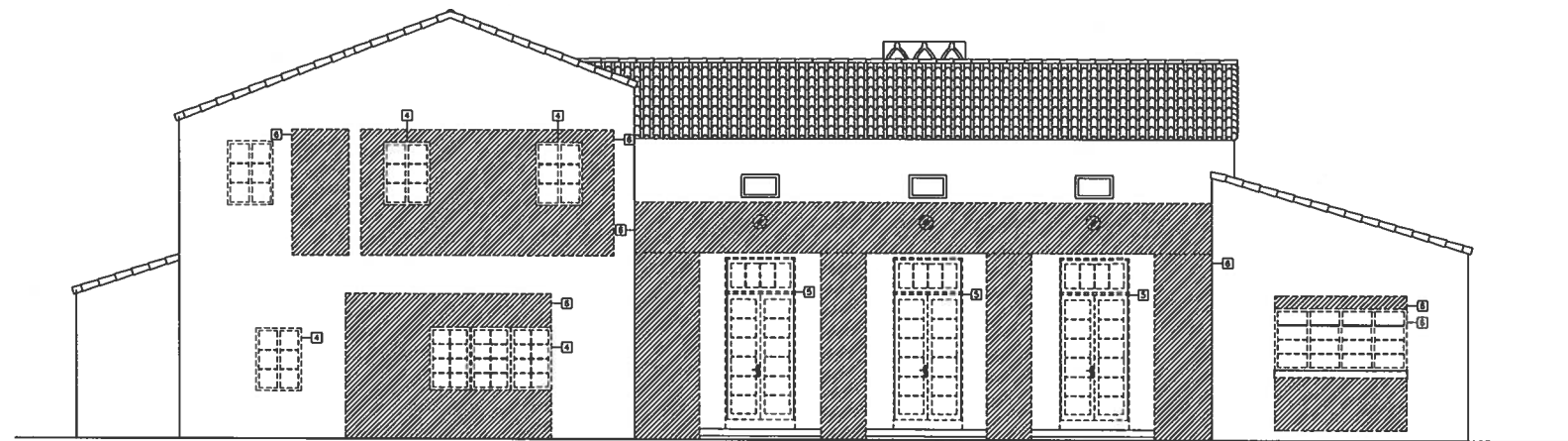
PROPOSED ROOF PLAN POOL ADDITION

SHEET: A-105.2 OF	TITLE: PROPOSED ROOF PLAN SCALE: 1/4" = 1'-0"	OWNER:	ARCHITECTS: PORTUONDO PEROTTI ARCHITECTS Architecture • Planning • Interior Design 5712 P.W. J. ROAD, SUITE 107, BOCA RATON, FL 33496 TEL: (561) 382-8231 FAX: (561) 382-8218 WWW.POROTTIARCHITECTS.COM	PROJECT NUMBER: 2014-20 DATE: 07/20/15 DRAWN BY: CDMC CHECKED BY:	REVISIONS:
4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORAL GABLES, FL 33146					

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01 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0" DEMO



02 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0" DEMO

PROPERTY NOTE:
EXISTING FINISH FLOOR ELEVATION: 0'-0" = 12.89' M.G.V.D.

DEMOLITION LEGEND:

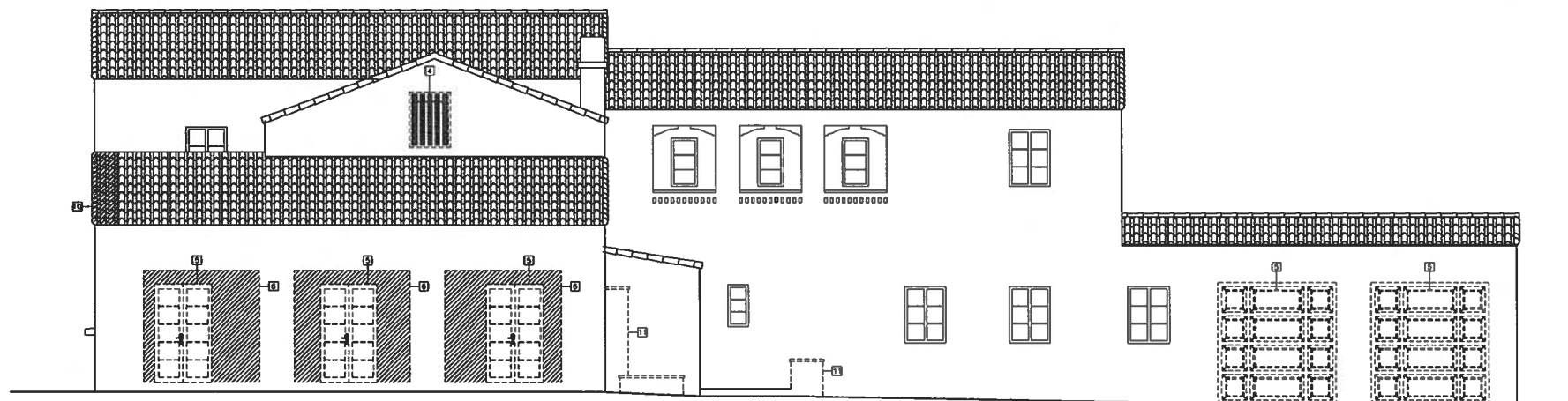
1 INTERIOR DOOR TO BE REMOVED	7 STRUCTURAL WALL TO BE DEMOLISHED
2 INTERIOR PARTITION WALL TO BE DEMOLISHED	8 EXISTING CABINETS TO BE REMOVED
3 BATHROOM FIXTURES TO BE REMOVED	9 KITCHEN FIXTURES TO BE REMOVED
4 EXTERIOR WINDOWS TO BE REMOVED	10 ROOF TO BE REMOVED
5 EXTERIOR DOOR TO BE REMOVED	11 EXTERIOR STRUCTURE TO BE DEMOLISHED
6 EXTERIOR WALL TO BE DEMOLISHED	

3/28/20

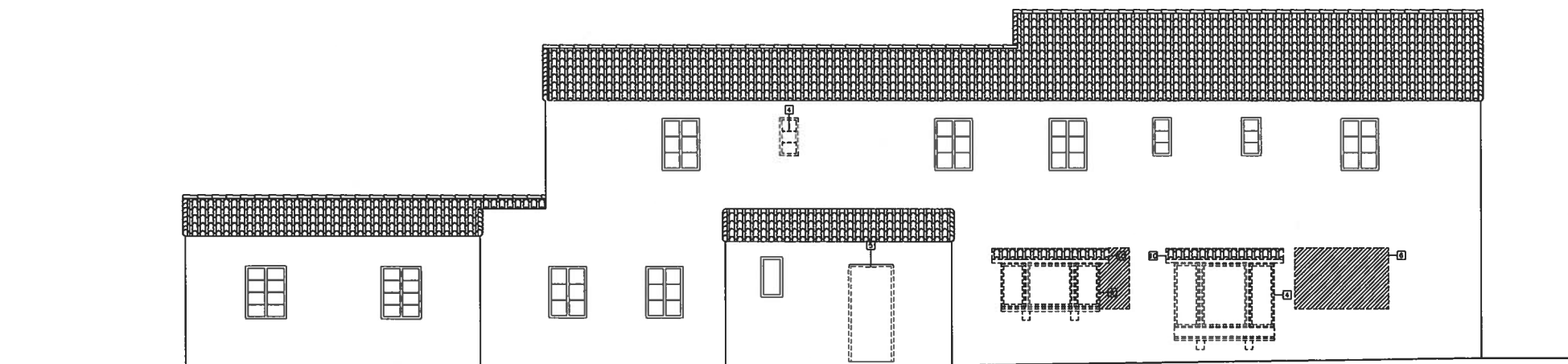
DATE: 03/23/2020

PROJECT NUMBER: 2014-24 DATE: 07/20/15 DRAWN BY: CBJ/KC CHECKED BY:	REVISIONS:
PORTUONDO PEROTTI ARCHITECTS ARCHITECTS PORTUONDO PEROTTI ARCHITECTS 8117 SW 2nd Street, Suite 100, Ft. Lauderdale, FL 33309 Tel: (305) 386-1231 Fax: (305) 386-9718 http://www.portperotti.com	
4206 SANTA MARIA RESIDENCE 4206 SANTA MARIA ST. CORAL GABLES, FL 33146	
OWNER:	
TITLE: EXISTING ELEVATIONS	
SCALE: 1/4" = 1'-0"	
SHEET: A-200 OF:	

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01 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0" DEMO



02 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0" DEMO

PROPERTY NOTE:
EXISTING FINISH FLOOR ELEVATION: 0'-0" = 12.88' H.G.V.S.

DEMOLITION LEGEND:

1) INTERIOR DOOR TO BE REMOVED	7) STRUCTURAL WALL TO BE DEMOLISHED
2) INTERIOR PARTITION WALL TO BE DEMOLISHED	8) EXISTING CABINETRY TO BE REMOVED
3) BATHROOM FIXTURES TO BE REMOVED	9) KITCHEN FIXTURES TO BE REMOVED
4) EXTERIOR WINDOWS TO BE REMOVED	10) ROOF TO BE REMOVED
5) EXTERIOR DOOR TO BE REMOVED	11) EXTERIOR STRUCTURE TO BE DEMOLISHED
6) EXTERIOR WALL TO BE DEMOLISHED	

Handwritten signature and date: 3/25/15

PROJECT NUMBER: 2014-04
DATE: 07/27/15
DRAWN BY: C.M.C.
CHECKED BY:

ARCHITECTS
PORTUONDO PEROTTI ARCHITECTS
Architects, Inc. No. 10000
A.C.C. 01467
8717 S.W. 86 Street, Miami, Florida 33144, USA
Tel: (305) 290-2021, Fax: (305) 290-3018
http://www.portundoperotti.com

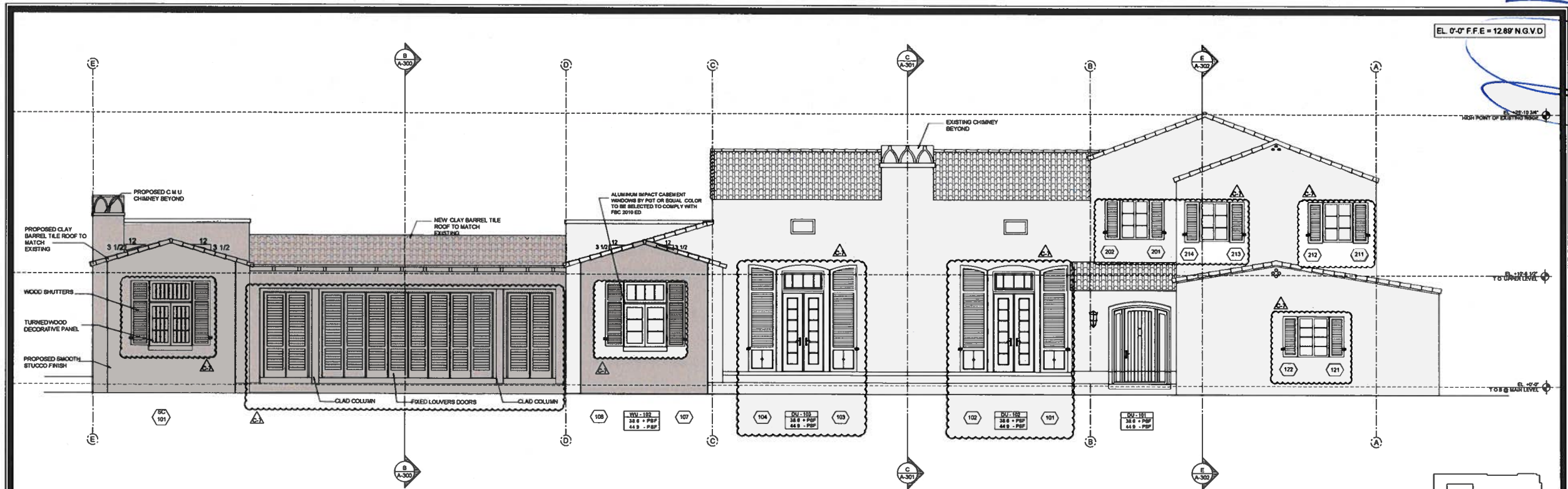
4209 SANTA MARIA RESIDENCE
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CORAL GABLES, FL 33148

OWNER

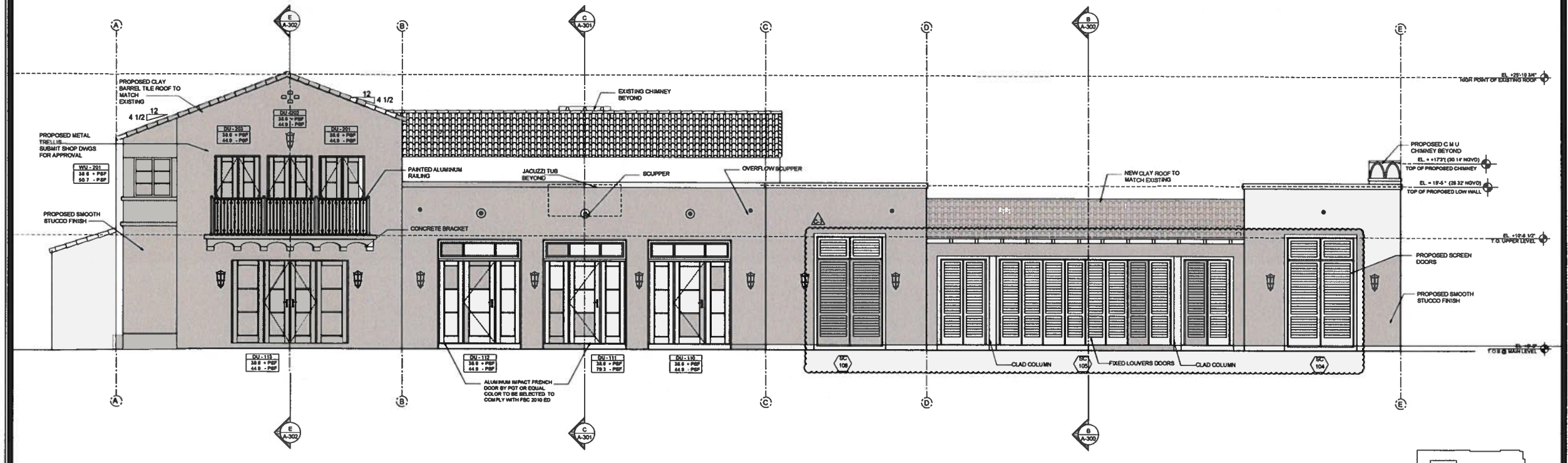
TITLE: EXISTING ELEVATIONS
SCALE: 1/4" = 1'-0"

SHEET: A-201
OF

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01 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



02 PROPOSED WEST ELEVATIONS
SCALE: 1/4" = 1'-0"



EL. 0'-0" F.F.E. = 12.89' NGVD

100' POINT OF EXISTING ROOF

TO UPPER LEVEL

TO 1/2" WALL LEVEL

EL. 28'-10 3/4"

TOP OF PROPOSED CHIMNEY

EL. 18'-4" (28.32' NGVD)

TOP OF PROPOSED LOW WALL

TO 1/2" UPPER LEVEL

TO 1/2" WALL LEVEL

OWNER

PROPOSED ELEVATIONS
SCALE: 1/4" = 1'-0"

SHEET: **A-202**
DATE: 08/23/18
DRAWN BY: C.B./V.C.
CHECKED BY: J.M./M.P.

PROJECT NUMBER: 201424
DATE: 07/25/15
DRAWN BY: C.B./V.C.
CHECKED BY: J.M./M.P.

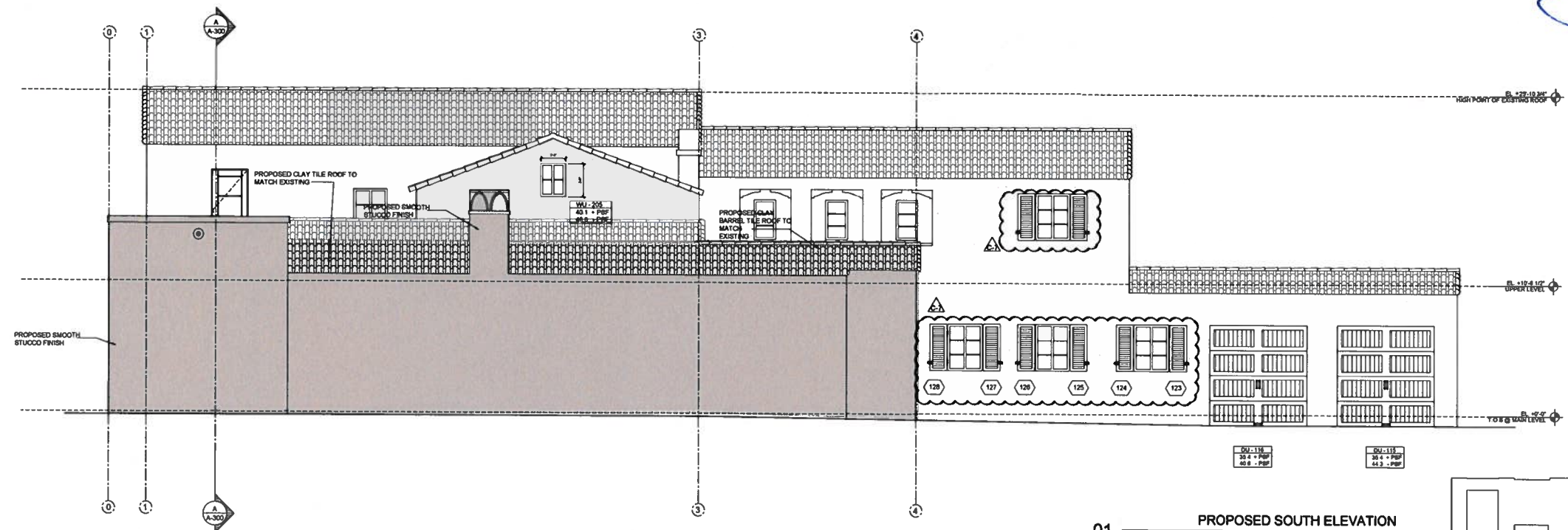
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PORTUNDO PEROTTI ARCHITECTS
Architecture, Planning, Interior Design
A.A.C. 001407
5717 SW 8th Street, Miami, Florida 33144, USA
Tel: (305) 551-1211
www.portundo-perotti.com

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CORAL GABLES, FL 33146

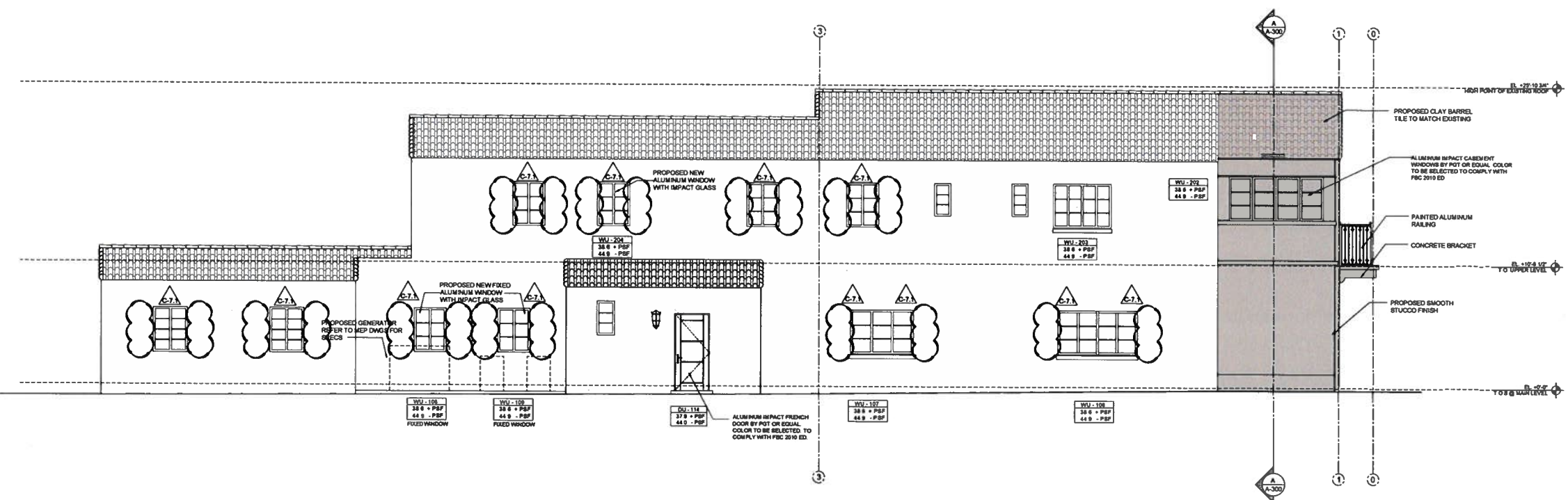
NEW STRUCTURE
EXISTING STRUCTURE

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EL. 0'-0" F.F.E. = 12.89' N.G.V.D.



01 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



02 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NEW STRUCTURE
 EXISTING STRUCTURE

01/23/16
 02/23/16
 03/23/16
 04/23/16
 05/23/16
 06/23/16
 07/23/16
 08/23/16
 09/23/16
 10/23/16
 11/23/16
 12/23/16

2014-24
 07/23/16
 08/23/17
 09/23/18
 10/23/19
 11/23/20
 12/23/21

PROJECT NUMBER
 DATE
 DRAWN BY
 CHECKED BY

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 9717 BLW 3rd Street, Miami, Florida 33144, USA
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 http://www.portperotti.com

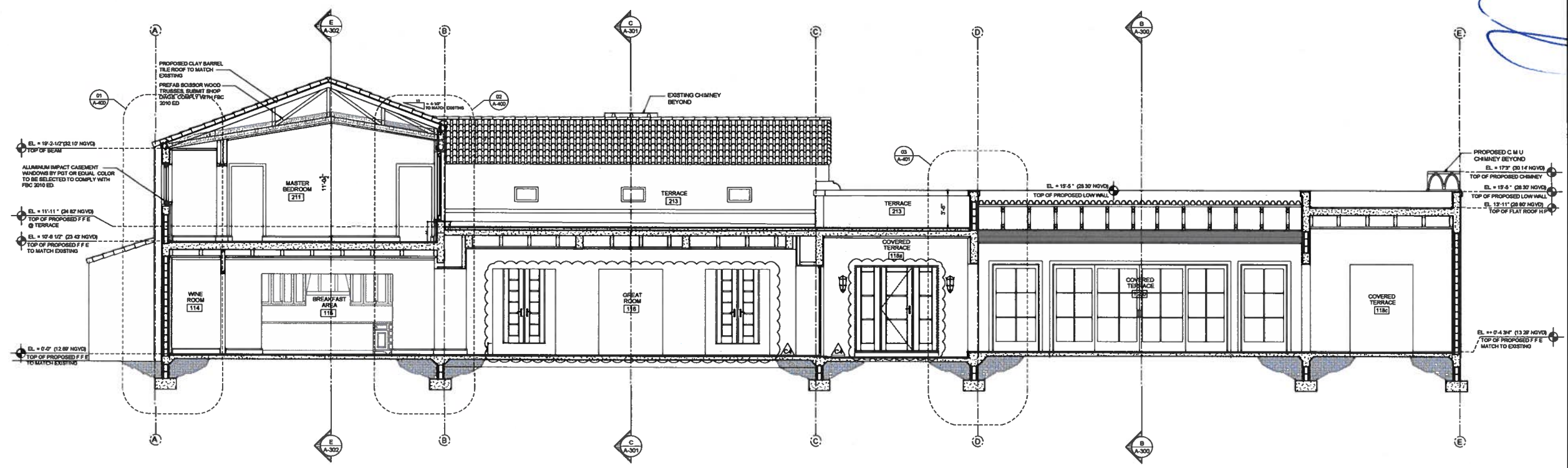
OWNER
 4208 SANTA MARIA RESIDENCE
 4208 SANTA MARIA ST.
 CORAL GABLES, FL 33148

TITLE: PROPOSED ELEVATIONS
 SCALE: 1/4" = 1'-0"

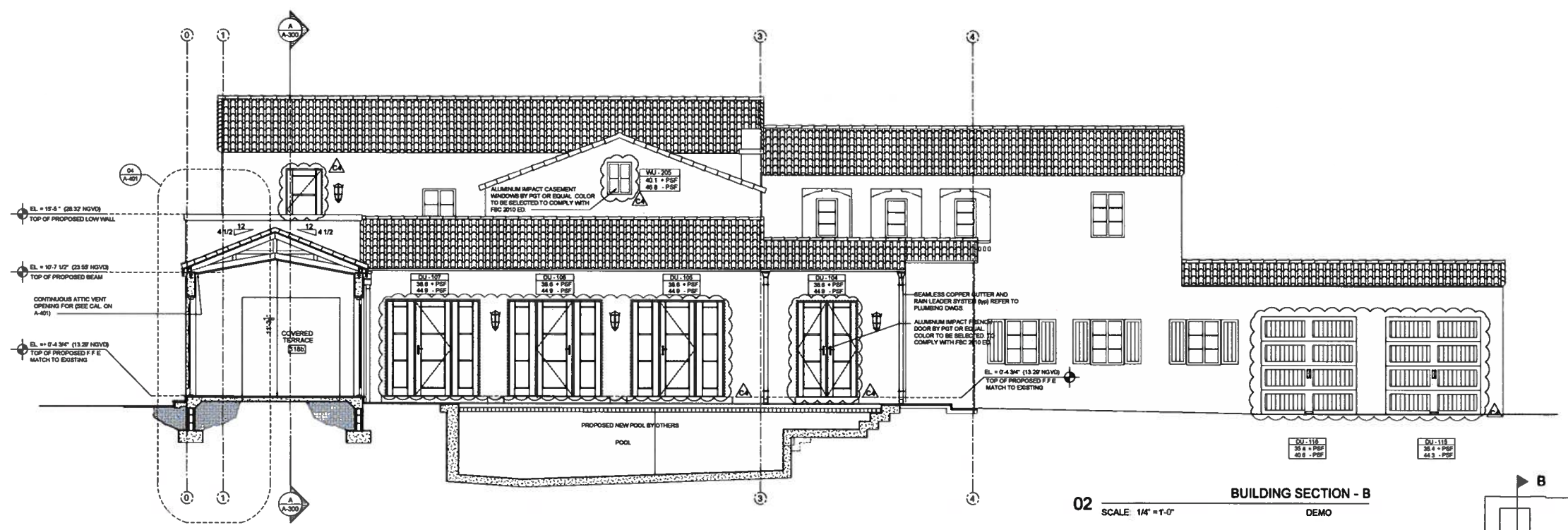
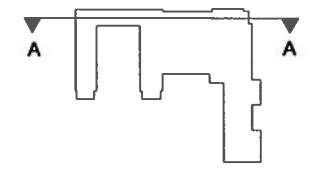
A-203
 SHEET NO. OF 00
 CONTRACT NO.

The field of view is not to scale and does not represent the actual field of view. It is intended to provide a general impression of the building. Location of the field of view is indicated by the dashed line.

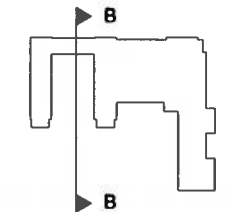
EL. 0'-0" F.F.E. = 12.89' NGVD



01 BUILDING SECTION - A
SCALE 1/4" = 1'-0"



02 BUILDING SECTION - B
SCALE 1/4" = 1'-0"
DEMO



04/08/16
 07/25/15
 02/15/17

REVISIONS
 2014-24
 07/25/15
 02/15/17

ARCHITECTS
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 5711 NW 38th Street, Suite 100
 Coral Gables, FL 33148
 Tel: 305.442.8833 Fax: 305.442.8811
 Web: www.portuondopegetti.com

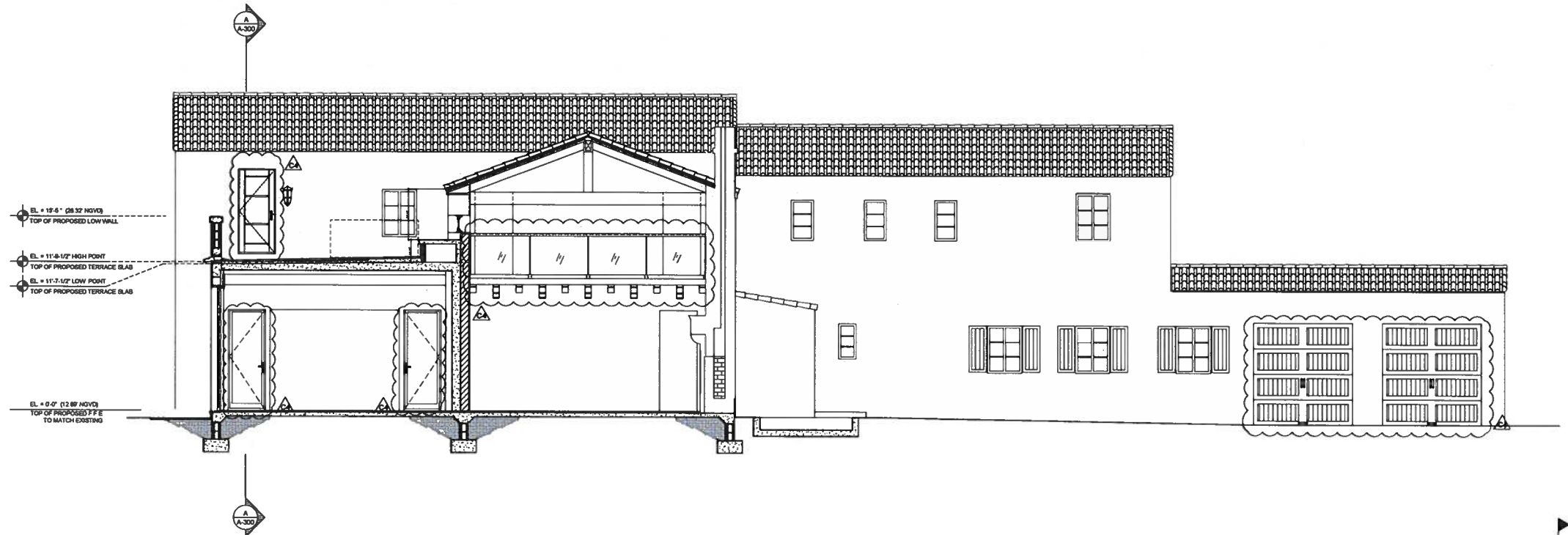
OWNER
 4209 SANTA MARIA RESIDENCE
 4209 SANTA MARIA ST.
 CORAL GABLES, FL 33148

TITLE BUILDING SECTION
 SCALE 1/4" = 1'-0"

SHEET: A-300
 OF 1
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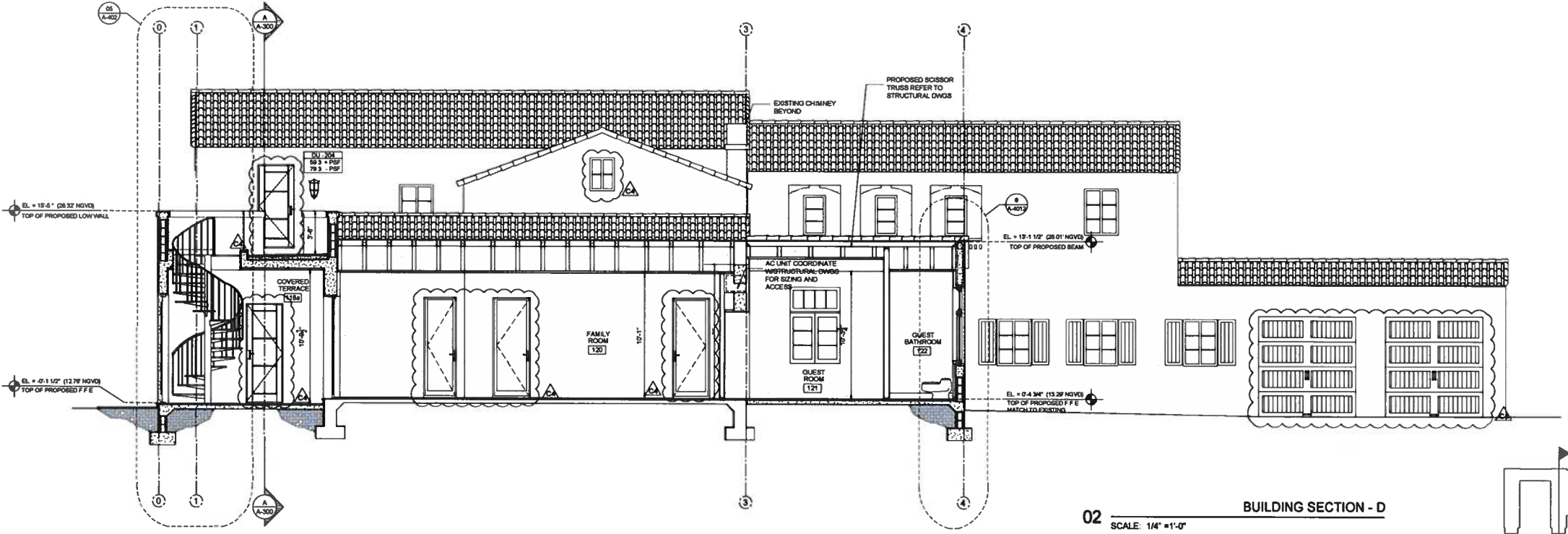
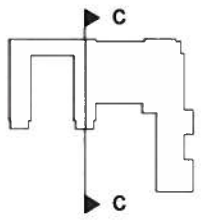
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EL. 0'-0" F.F.E. = 12.89' NGVD



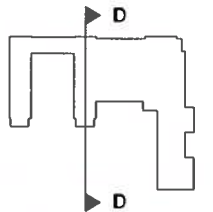
01 BUILDING SECTION - C

SCALE: 1/4" = 1'-0"



02 BUILDING SECTION - D

SCALE: 1/4" = 1'-0"



Handwritten signature

PROJECT NUMBER:	2014-24	
DATE:	07/25/15	
DRAWN BY:	CE/HC	
CHECKED BY:		
REVISIONS:		
NO.	DATE	DESCRIPTION
1	02/13/17	

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 Web: www.portuondoperotti.com

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 CORAL GABLES, FL 33146

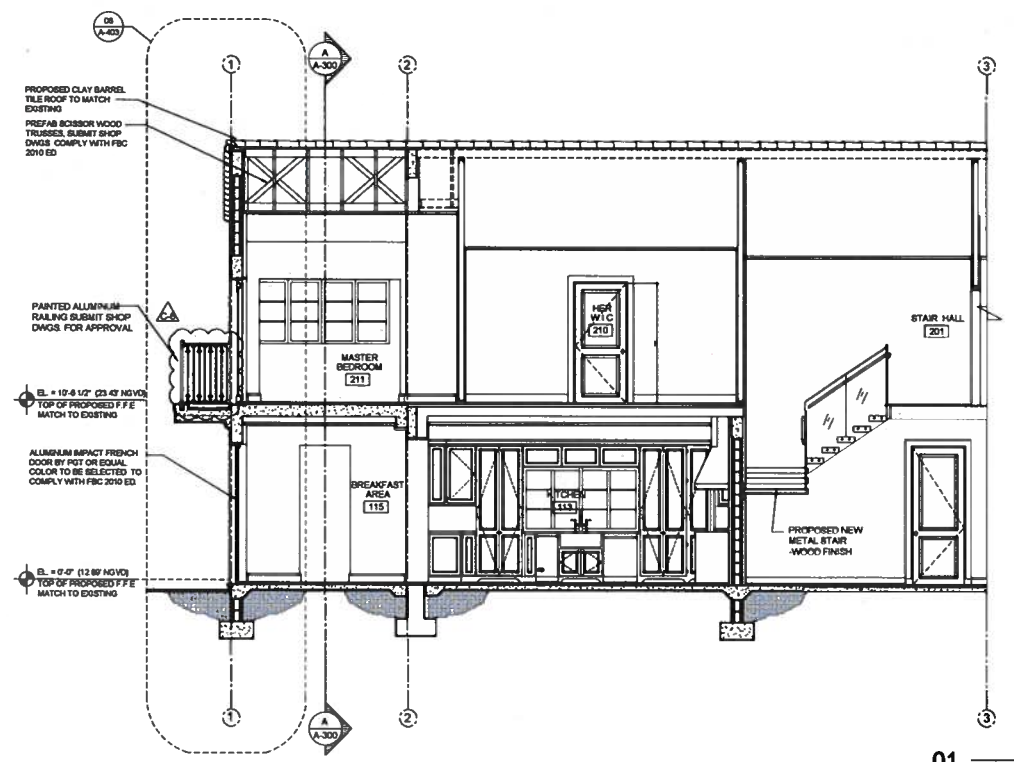
OWNER

TITLE: BUILDING SECTION
 SCALE: 1/4" = 1'-0"

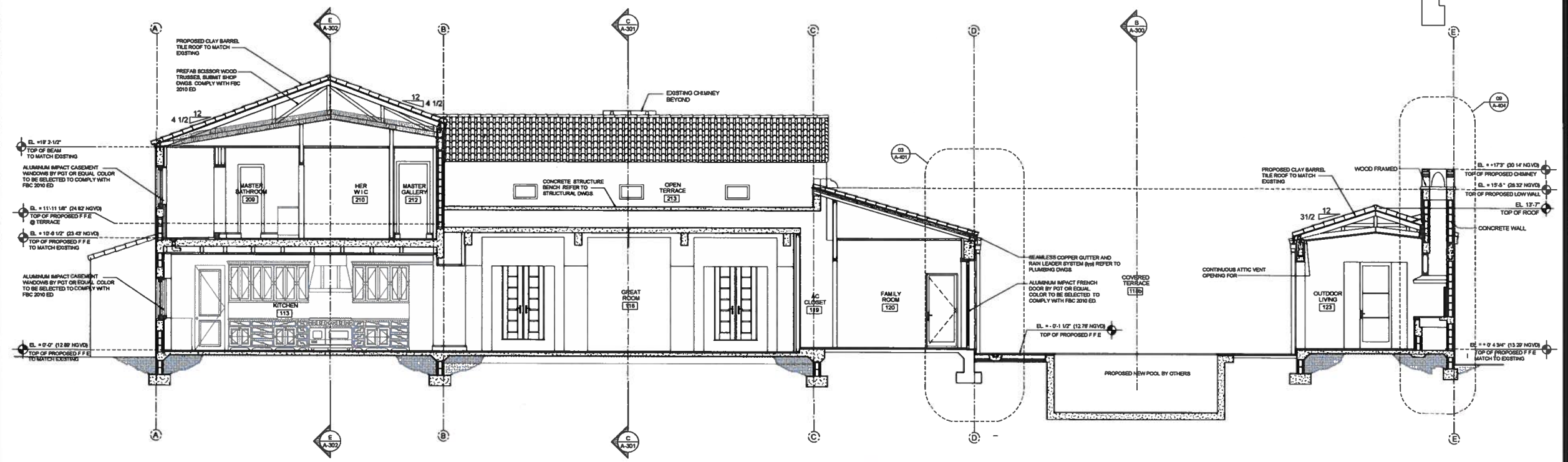
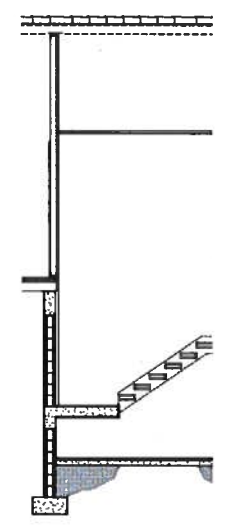
PROJECT: A-301
 SHEET: 01 OF 01
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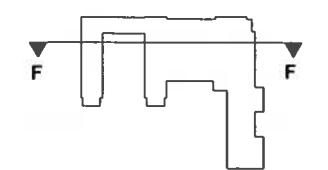
EL. 0'-0" F.F.S. = 12.89' N.G.V.D.




01 BUILDING SECTION - E
SCALE: 1/4" = 1'-0"



02 BUILDING SECTION - F
SCALE: 1/4" = 1'-0"




 04/09/16
 06/23/16
 07/25/15
 02/03/17
 08/13/17

PROJECT NUMBER: 2014-24
 DATE: 07/25/15
 DRAWN BY: CDMC
 CHECKED BY:

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 Architecture, Planning, Interior Design
 9717 S.W. 8th Street, Miami, Florida 33144, USA
 Tel: (305) 260-8831 Fax: (305) 300-9518
 http://www.perotti.com

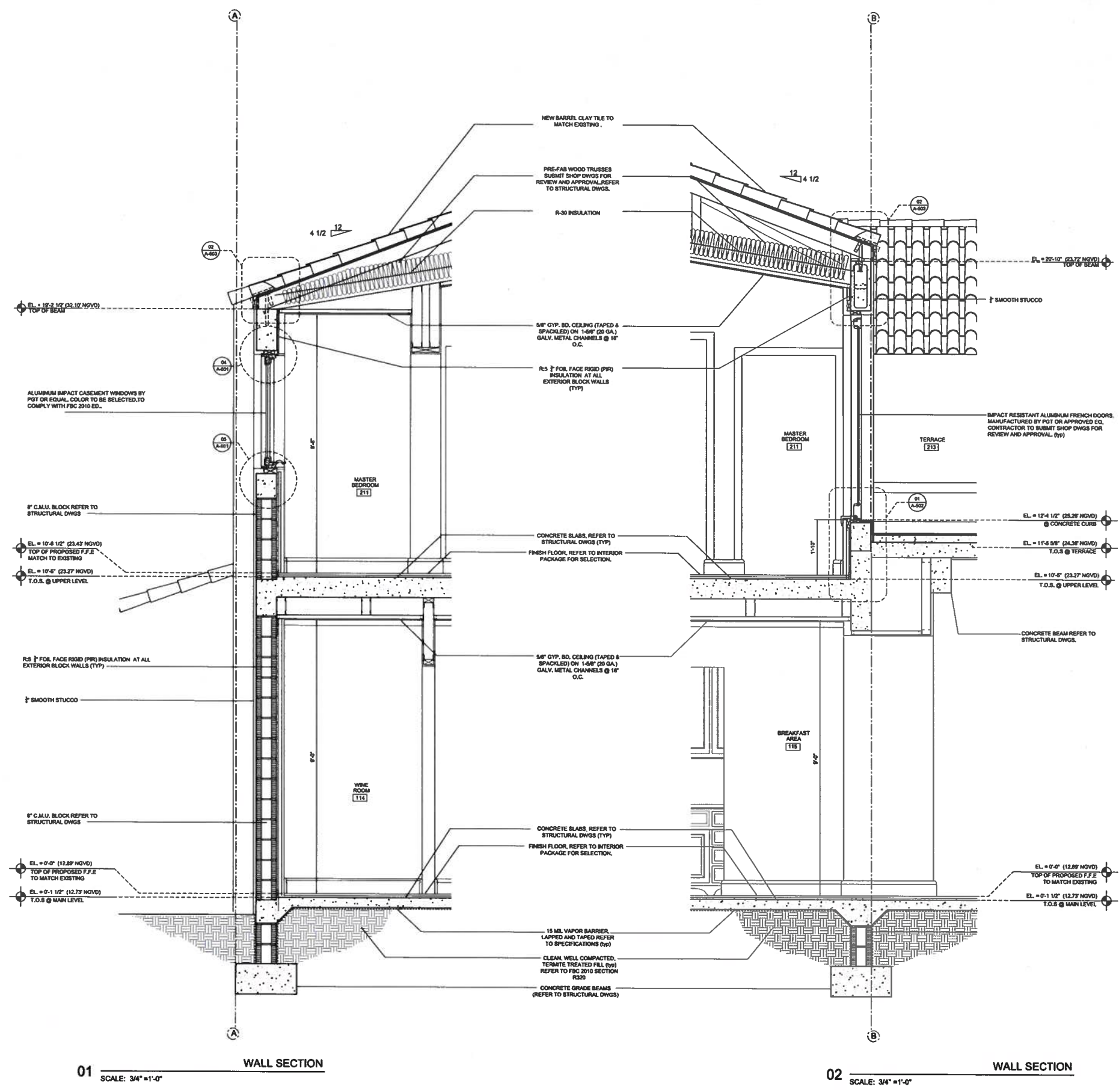
4209 SANTA MARIA RESIDENCE
 4209 SANTA MARIA BL.
 CORAL GABLES, FL 33148

OWNER:

TITLE: BUILDING SECTION
 SCALE: 1/4" = 1'-0"

SHEET: **A-302**
 OF

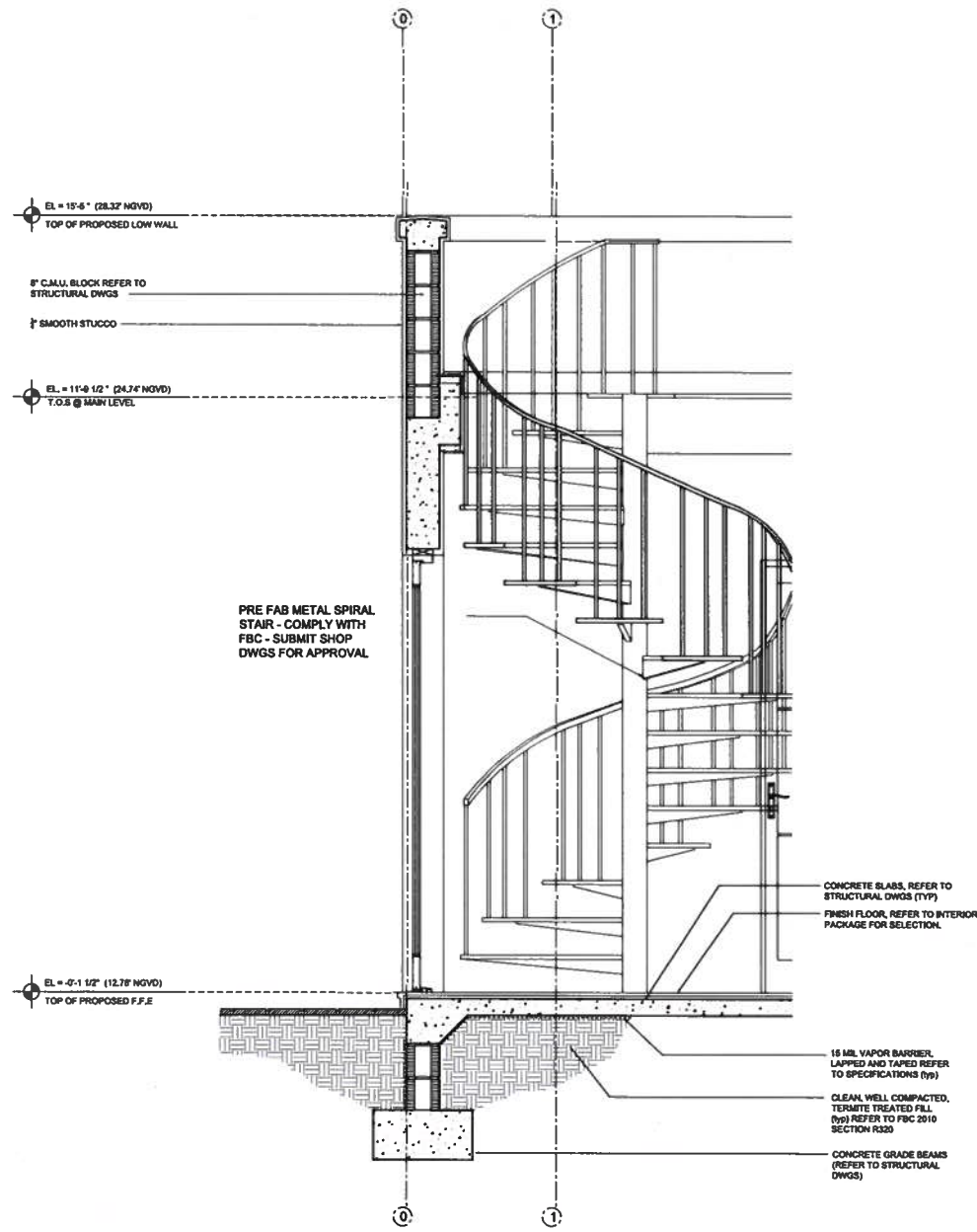
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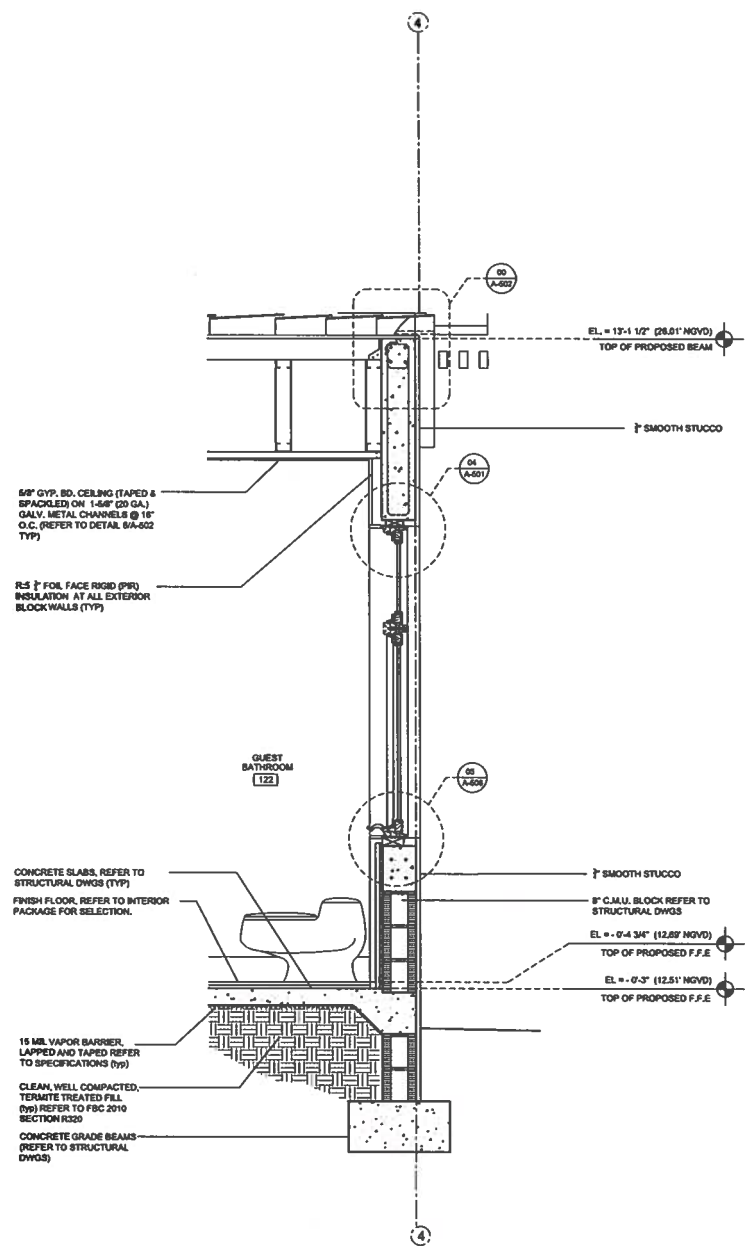
[Handwritten Signature]
 [Handwritten Initials]

<p>PROJECT NUMBER: 2014-24 DATE: 07/20/15 OWNER BY: CMC CHECKED BY:</p>	<p>REVISIONS:</p>
<p>ARCHITECTS PORTUONDO FERRITTI ARCHITECTS A.A.C.001407 1117 S.W. 8th St., Suite 200, Ft. Lauderdale, FL 33304, USA Tel: (305) 260-8231, Fax: (305) 260-2018 http://www.portundoferritti.com</p>	
<p>4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORAL GABLES, FL 33146</p>	
<p>OWNER</p>	
<p>TITLE: WALL SECTION SCALE: 3/4" = 1'-0"</p>	
<p>SHEET: A-400 OF</p>	

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05 WALL SECTION
SCALE: 3/4" = 1'-0"

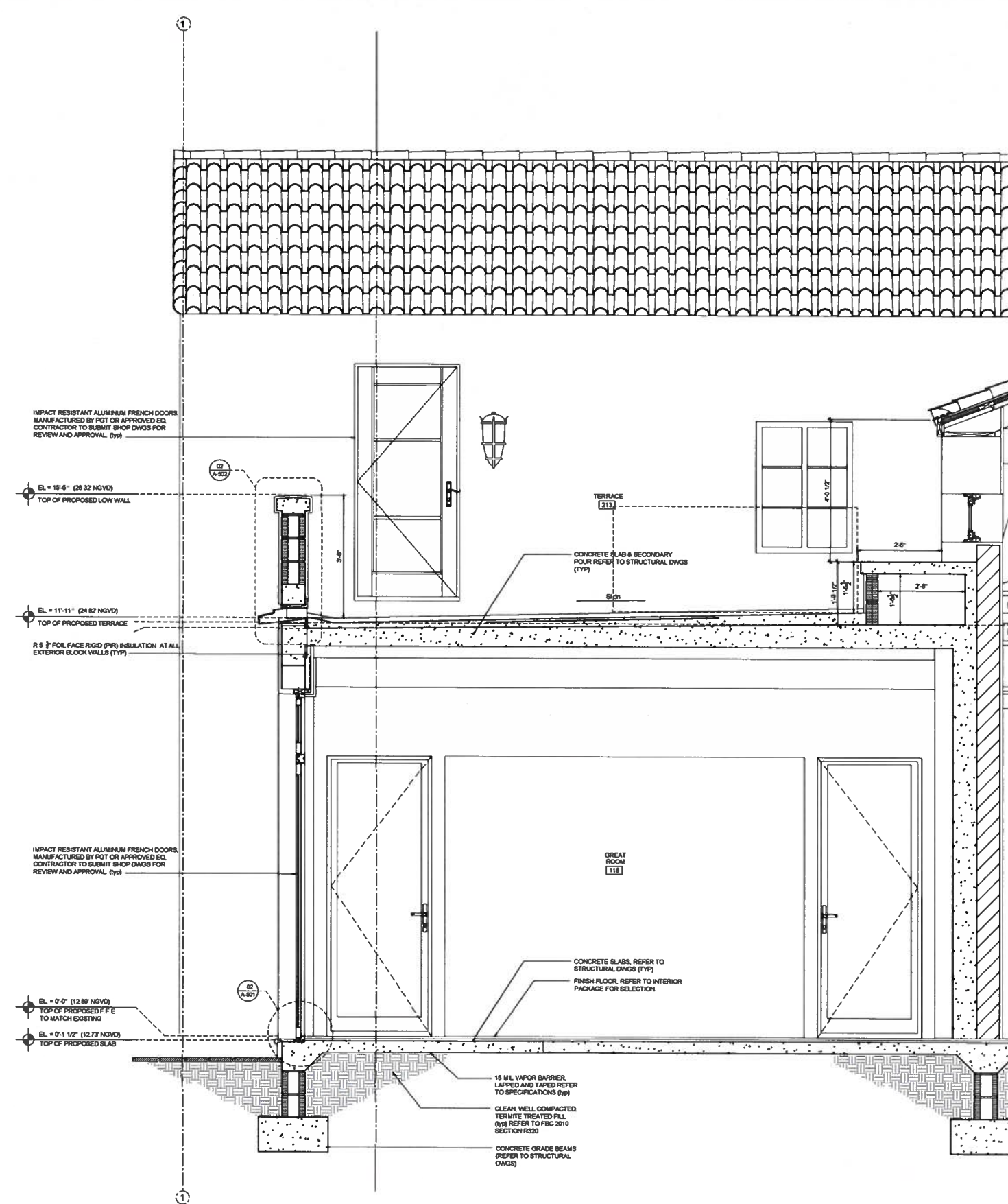


06 WALL SECTION
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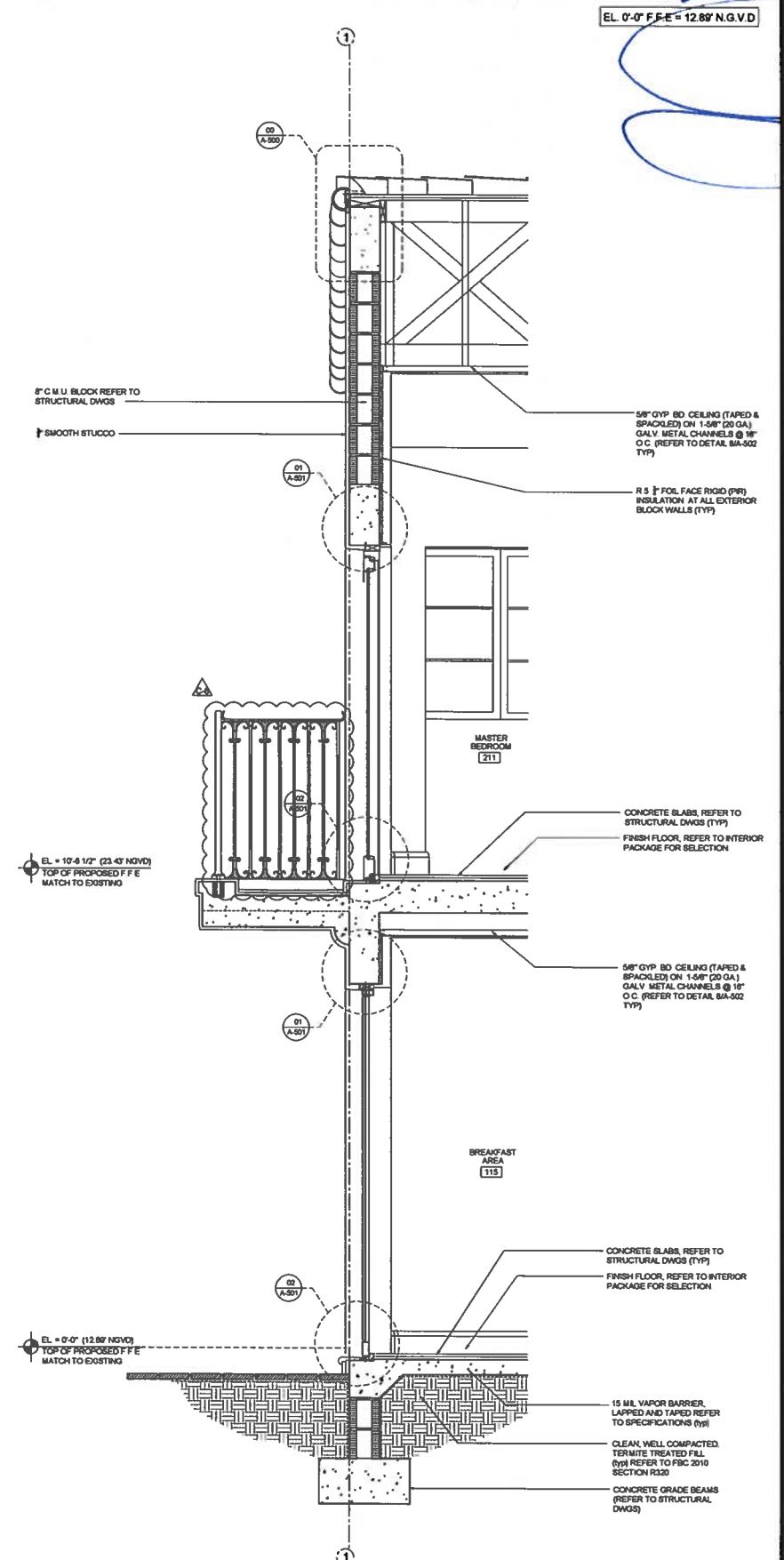
A-402

PROJECT NUMBER: 2014-3A DATE: 07/20/18 DRAWN BY: CBJAC CHECKED BY:	REVISIONS:
PORTUONDO PEROTTI ARCHITECTS A.A.C.O.1.4.07 8117 N.W. 46th Street, Suite 100 Coral Gables, FL 33134, USA Tel: (305) 250-8371 Fax: (305) 250-9219 http://www.perottiprotti.com	
4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORAL GABLES, FL 33146	
OWNER:	
TITLE: WALL SECTION SCALE: 3/4" = 1'-0" SHEET: A-402 OF:	

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07 WALL SECTION
SCALE: 3/4" = 1'-0"

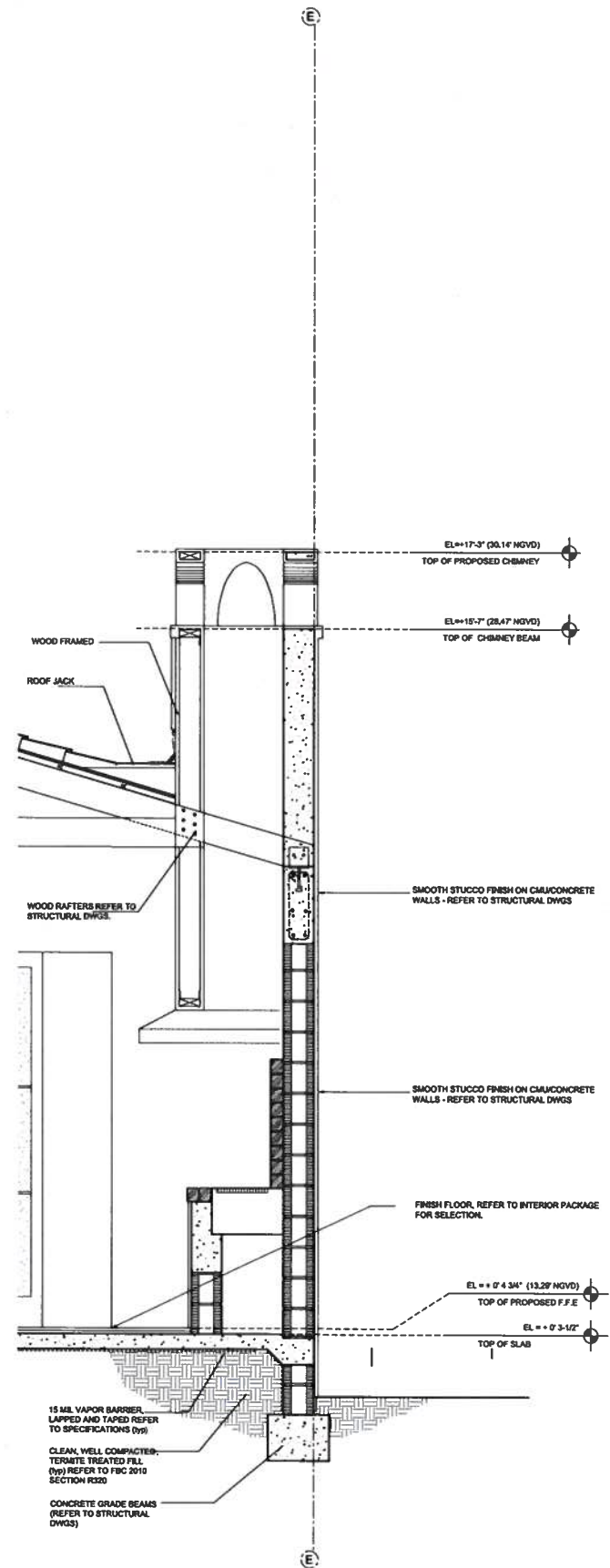


08 WALL SECTION
SCALE: 3/4" = 1'-0"

EL. 0'-0" F.F.E. = 12.89' N.G.V.D

PROJECT NUMBER: 2014-24 DATE: 07/25/15 DRAWN BY: CELUC CHECKED BY:	REVISIONS: 04/09/16 06/29/16 07/23/17 08/20/17
ARCHITECTS: PORTUONDO PEROTTI ARCHITECTS AA001407 9717 S.W. 86th Ave., Suite 3114, Lutz, FL 33549 Tel: (352) 280-1071 Fax: (352) 280-1018 Web: www.portundoperotti.com	
OWNER: 4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORAL GABLES, FL 33146	
TITLE: WALL SECTION SCALE: 3/4" = 1'-0"	
SHEET: A-403 OF	

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09 SCALE: 3/4" = 1'-0"

WALL SECTION

[Handwritten signature]
 07/20/15

PROJECT NUMBER: 2014-24
 DATE: 07/20/15
 DRAWN BY: CD/HC
 CHECKED BY:

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 Architects & Engineers
 A.A. 0001407, 2014A, USA
 8717 SW 36th Street, Suite 100, Coral Gables, FL 33146
 Tel: (305) 381-3531 Fax: (305) 381-3518
 http://www.portundo-perotti.com

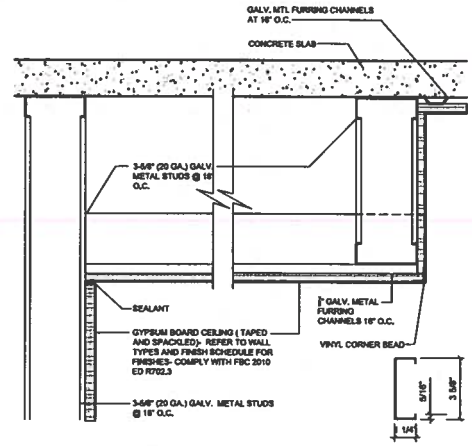
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OWNER

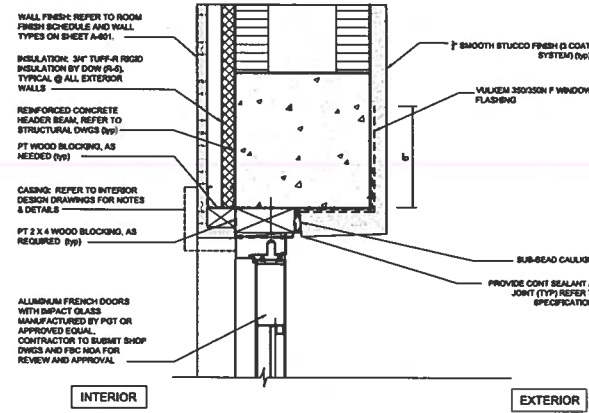
TITLE: WALL SECTION
 SCALE: 3/4" = 1'-0"

SHEET: A-404
 OF 1
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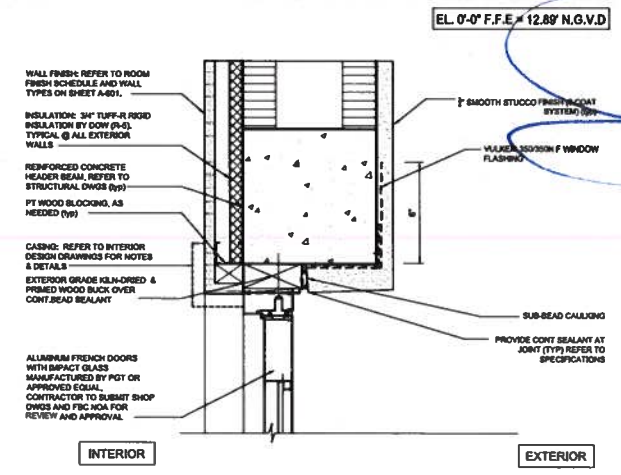
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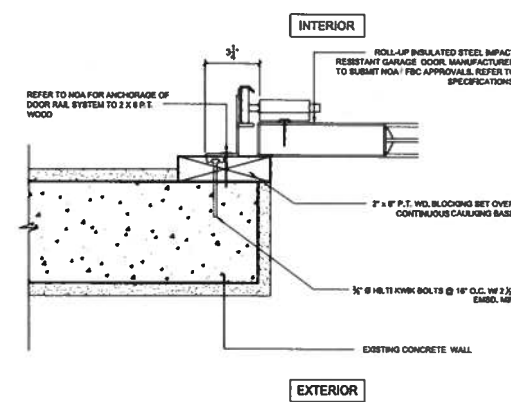
7 3" = 1'-0" SUSPENDED CEILING DETAIL



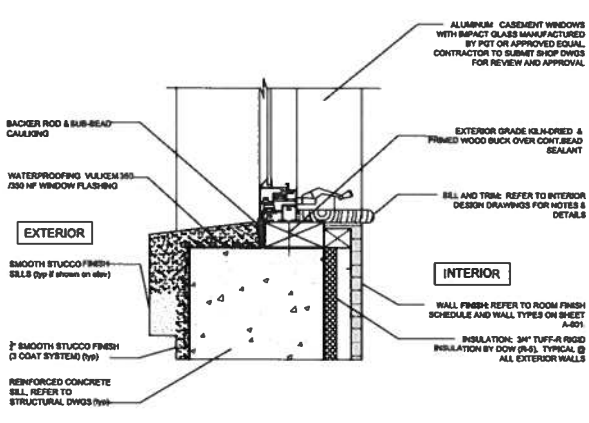
4 3" = 1'-0" WINDOW HEAD DETAIL



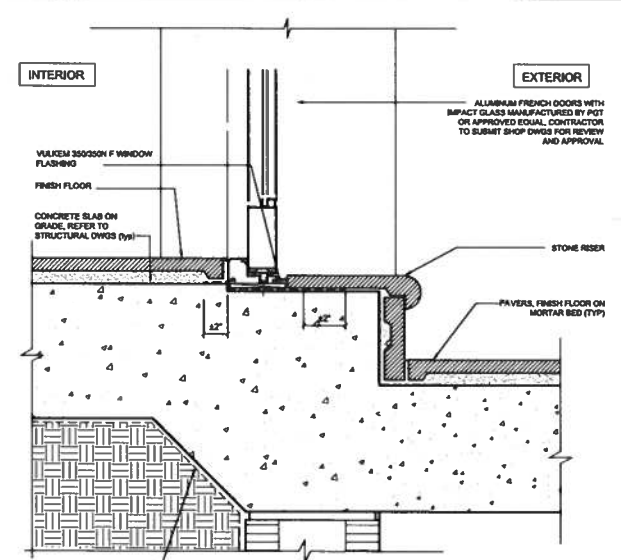
1 3" = 1'-0" OUTSWING DOOR HEAD DETAIL



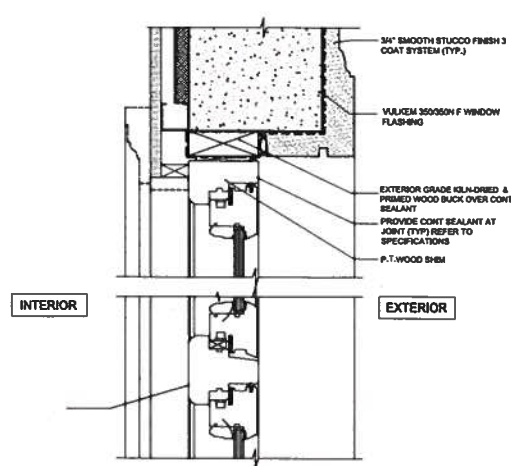
8 3" = 1'-0" GARAGE DOOR DETAIL



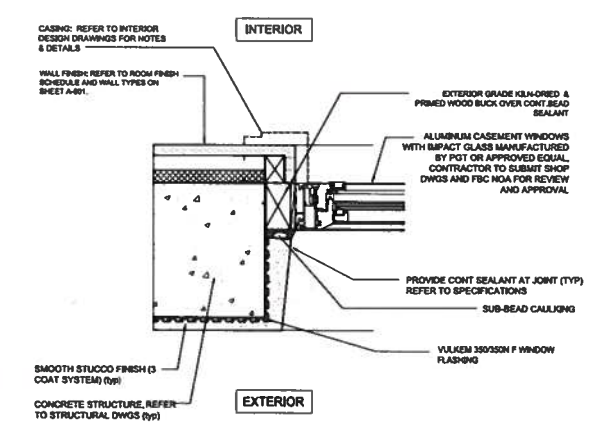
5 3" = 1'-0" WINDOW SILL DETAIL



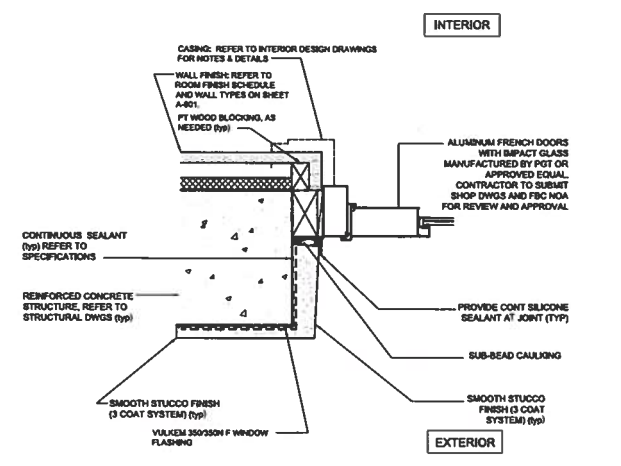
2 3" = 1'-0" OUTSWING DOOR THRESHOLD



9 3" = 1'-0" TRANSOM DETAIL



6 3" = 1'-0" WINDOW JAMB DETAIL



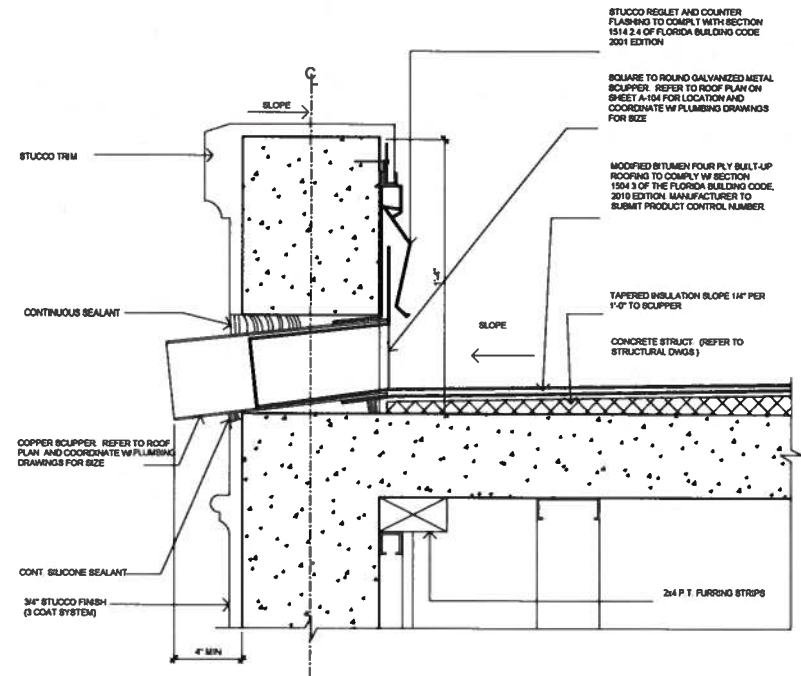
3 3" = 1'-0" OUTSWING DOOR JAMB DETAIL

EL. 0'-0" F.F.E. = 12.89' N.G.V.D.

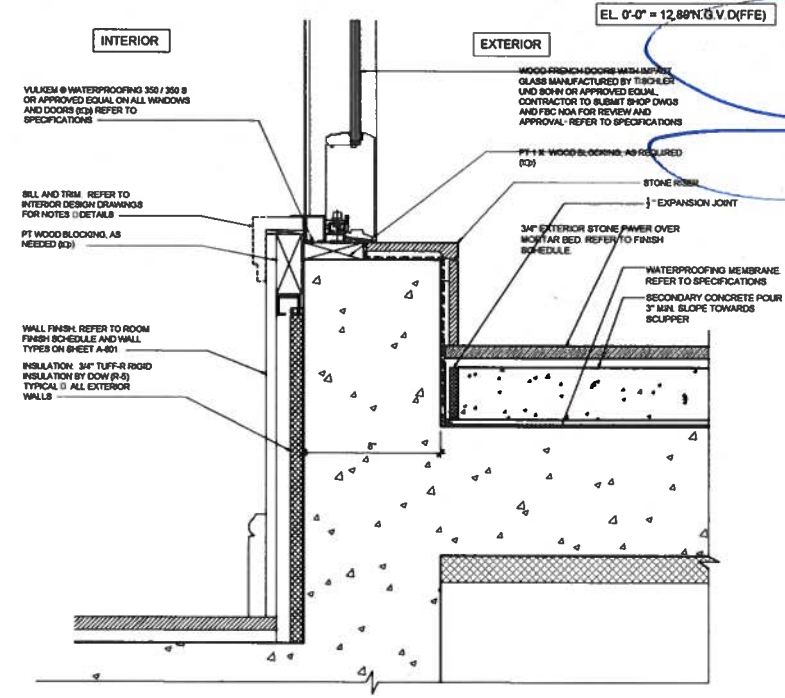
[Handwritten Signature]

PROJECT NUMBER: 2014-04 DATE: 07/20/15 DRAWN BY: CBJ/C CHECKED BY:	ARCHITECTS PORTUONDO PEROTTI ARCHITECTS Architects, Planners, Interiors Design A.L.C. 001107 9117 S.W. 8th St. Palm Beach, FL 33404, USA Tel: (561) 380-3371, Fax: (561) 380-1018 http://www.porper.com	4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORAL GABLES, FL 33146	OWNER: DETAILS TITLE: A-501 SCALE: AS NOTED SHEET: A-501 OF:
-----------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	---------------------------------------------------------------------------------

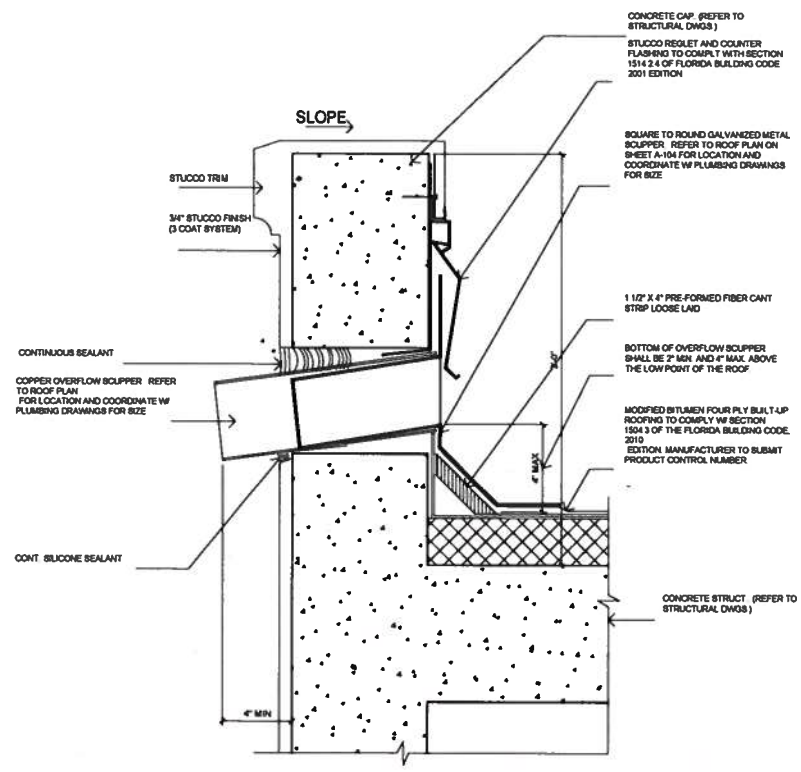
11. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES PRIOR TO CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



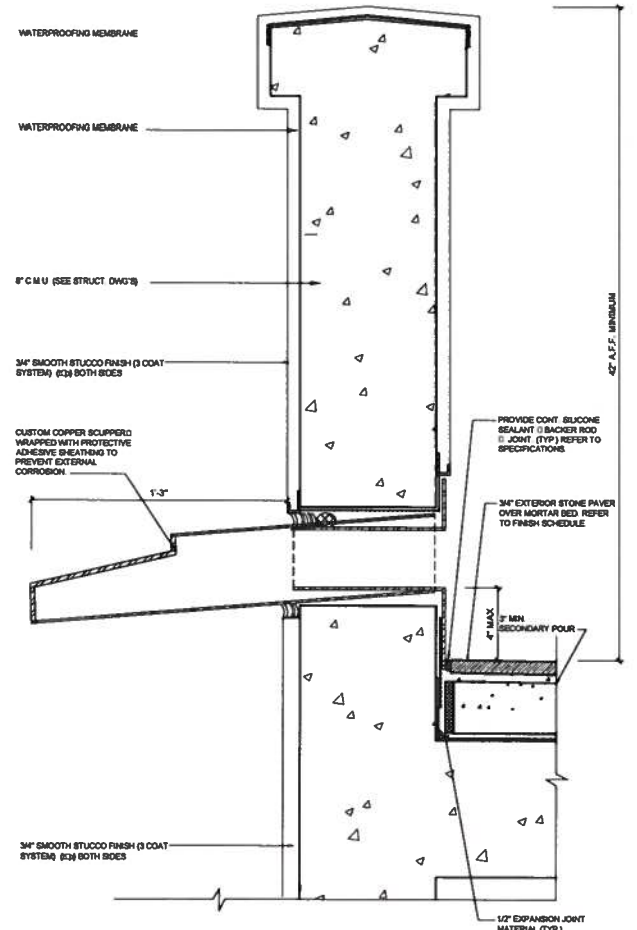
03 OVERFLOW SCUPPER □ FLAT ROOF
3" = 1'-0"



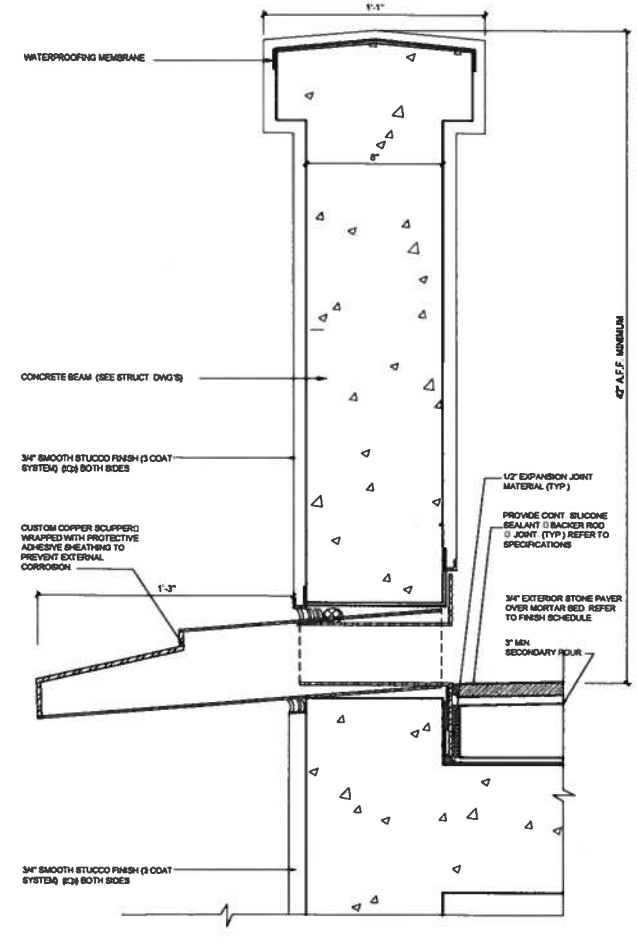
01 TERRACE WATERPROOFING DETAIL
3" = 1'-0"



06 OVERFLOW SCUPPER □ FLAT ROOF
3" = 1'-0"



04 OVERFLOW SCUPPER □ TERRACE
3" = 1'-0"



02 SCUPPER □ TERRACE
3" = 1'-0"

EL. 0'-0" = 12.80' N.G. V.D.(FFE)

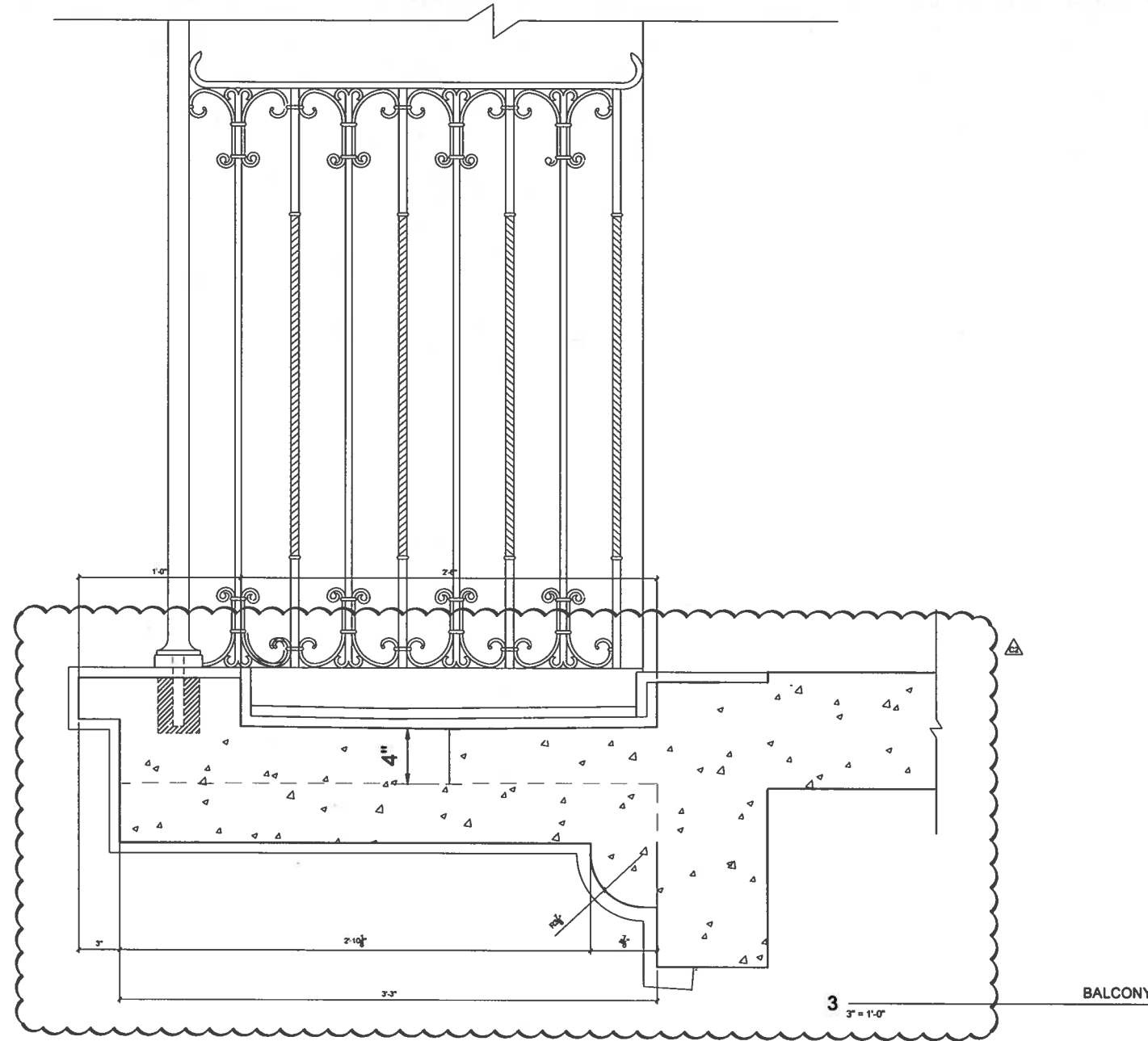
ARCHITECTS
PORTUONDO PEROTTI ARCHITECTS
Architects - Planning - Interior Design
A.A.C. 001407
1711 S.W. 8th St., Suite 200, Ft. Lauderdale, FL 33304, USA
Tel: (954) 752-8331 Fax: (954) 352-1018
http://www.portuondo-perotti.com

OWNER
4209 SANTA MARIA RESIDENCE
4209 SANTA MARIA ST.
CORAL GABLES, FL 33148

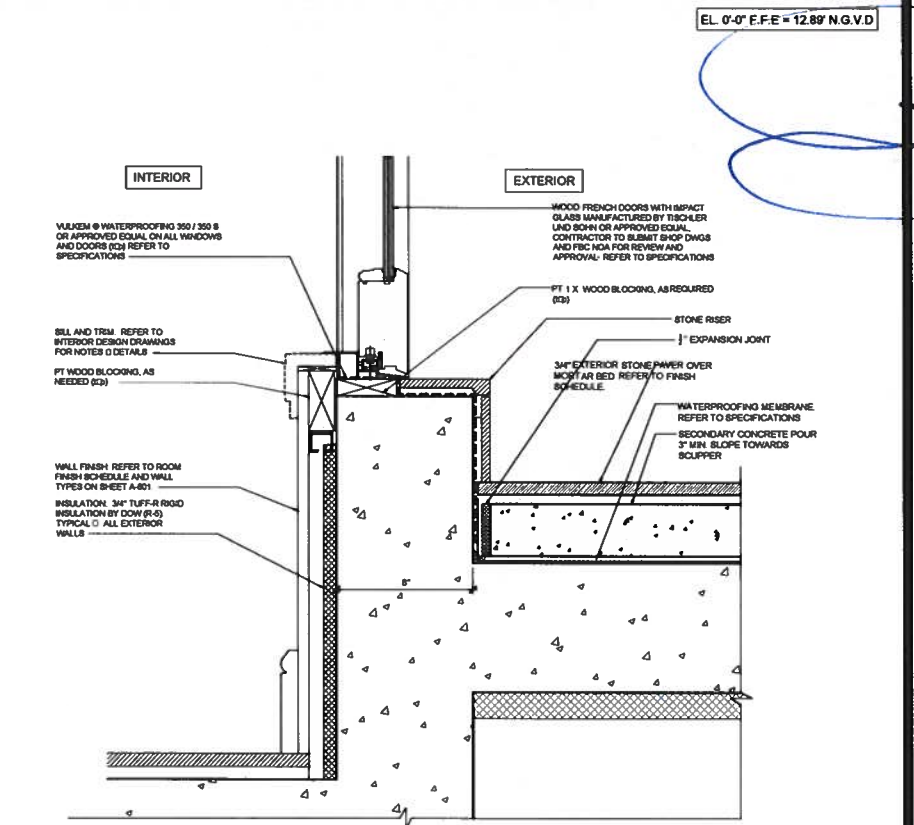
REVISIONS
2014-24
DATE
DRAWN BY
CHECKED BY

TITLE
A-502
SCALE
AS NOTED

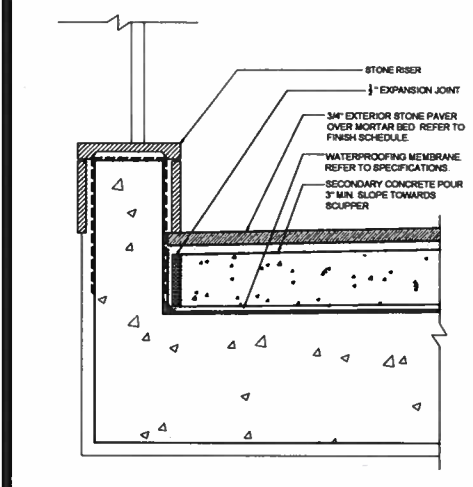
SHEET
OF
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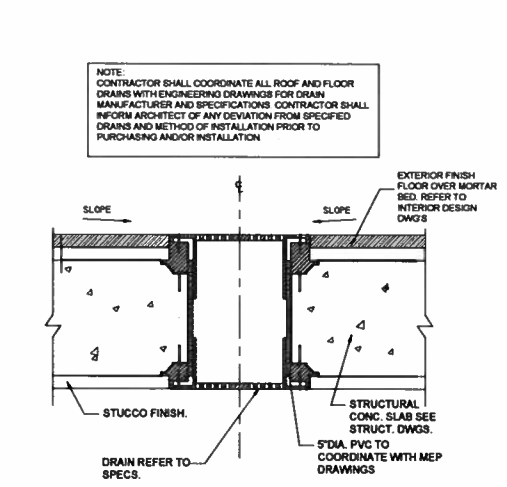
BALCONY



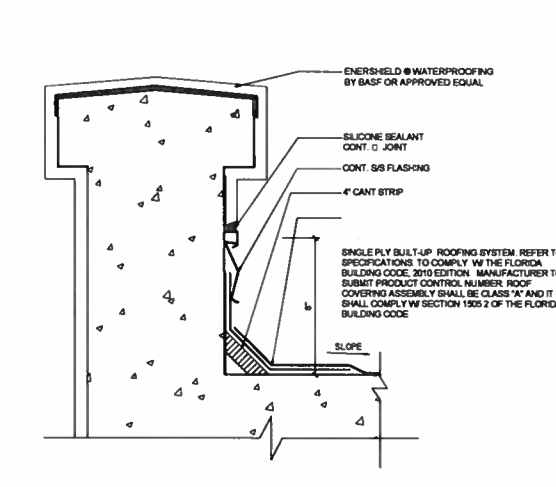
01 TERRACE WATERPROOFING DETAIL
3" = 1'-0"



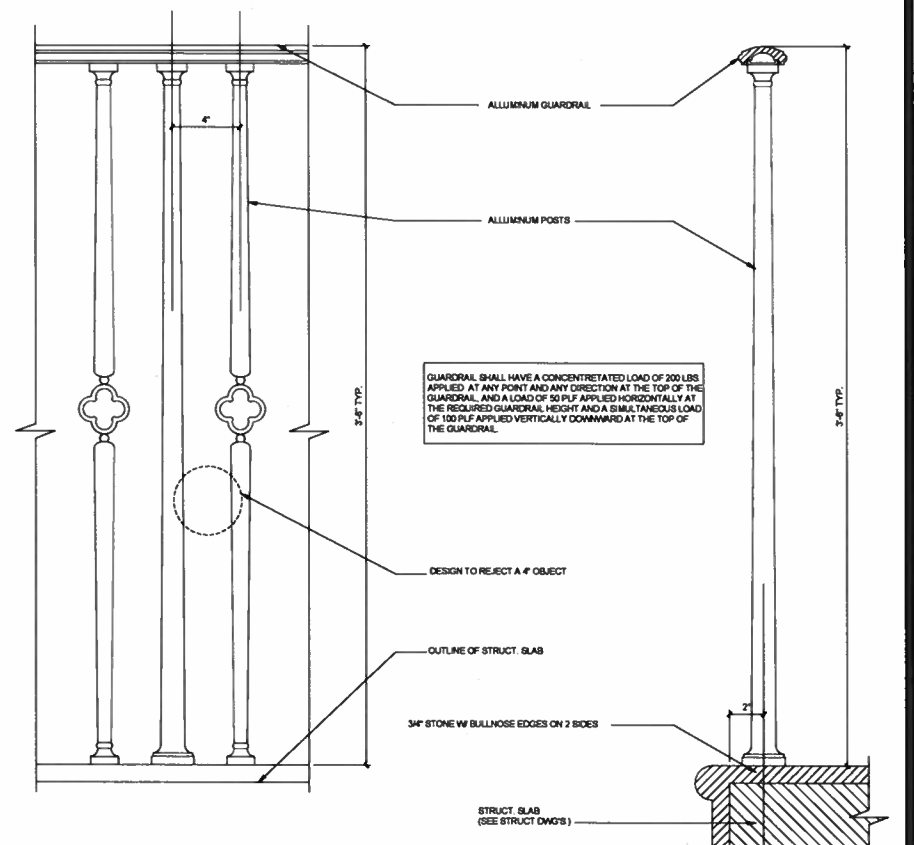
6 COPING DETAIL
3" = 1'-0"



5 FLOOR DRAIN DETAIL BALCONIES
3" = 1'-0"



4 COPING DETAIL
3" = 1'-0"

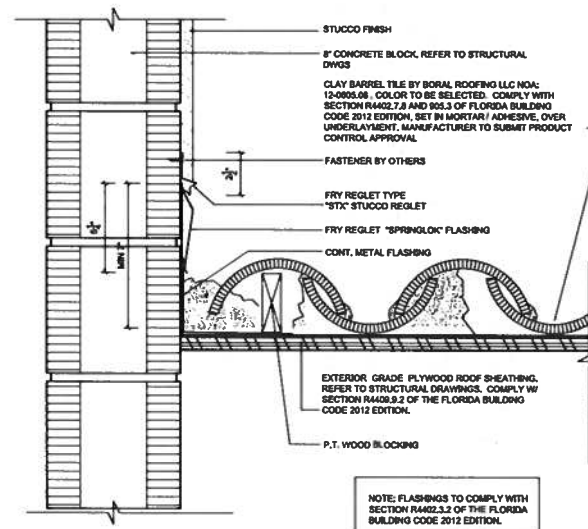


02 TERRACE GUARDRAIL DETAIL
3" = 1'-0"

EL. 0'-0" F.F.E. = 12.89' N.G.V.D.

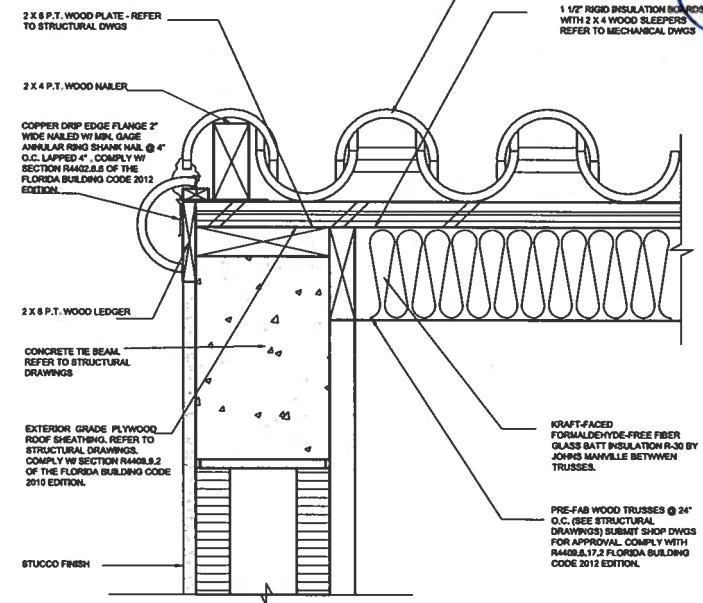
B. P. S. D.

OWNER	4208 SANTA MARIA RESIDENCE 4208 SANTA MARIA ST. CORAL GABLES, FL 33146
ARCHITECTS	PORTUONDO PEROTTI ARCHITECTS Architects - Planning - Interior Design AAC001407 5717 SW 8th Street, Miami, Florida 33144, USA Tel: (305) 255-1531 Fax: (305) 255-1516 http://www.portundoperotti.com
PROJECT NUMBER	3014-04
DATE	07/2015
DRAWN BY	CELAC
CHECKED BY	
TITLE	DETAILS
SCALE	AS NOTED
SHEET	A-503



03 RAKE FLASHING DETAIL
3" = 1'-0"

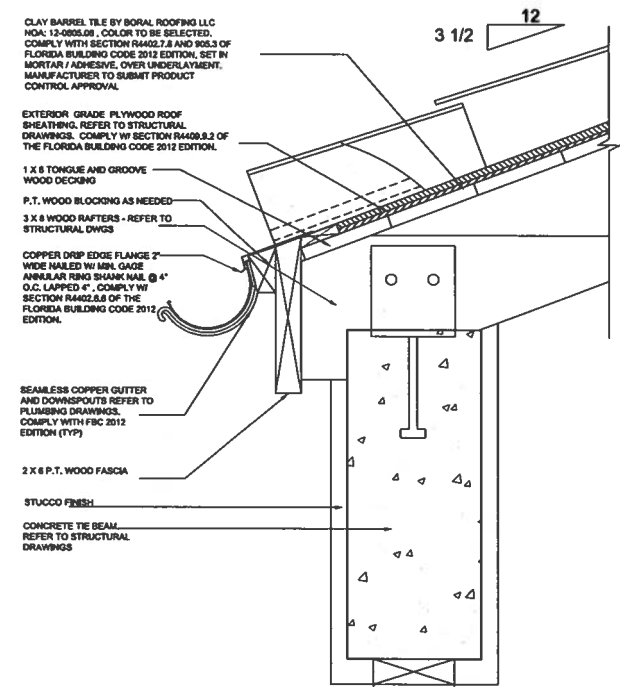
NOTE: FLASHINGS TO COMPLY WITH SECTION R409.3.2 OF THE FLORIDA BUILDING CODE 2012 EDITION.



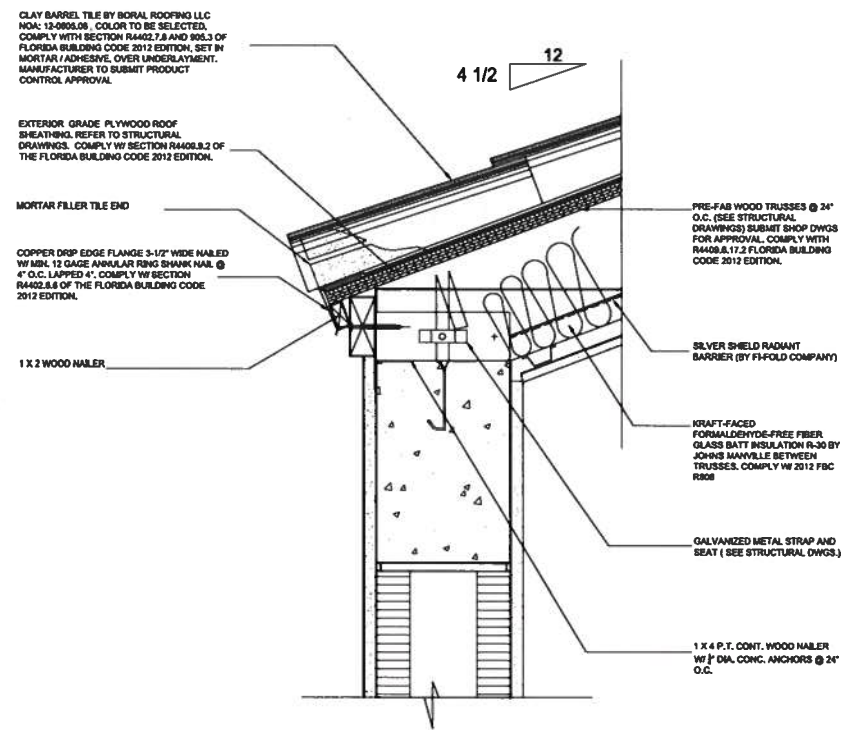
1 GABLE END DETAIL
3" = 1'-0"

EL. 0'-0" F.F.E = 12.89' N.O.V.D.

CLAY BARREL TILE BY BORAL ROOFING LLC NO: 12-0805.06, COLOR TO BE SELECTED, COMPLY WITH SECTION R402.7.8 AND R05.3 OF FLORIDA BUILDING CODE 2012 EDITION. SET IN MORTAR / ADHESIVE, OVER UNDERLAYMENT. MANUFACTURER TO SUBMIT PRODUCT CONTROL APPROVAL.



04 EAVE DETAIL @ TERRACES
3" = 1'-0"

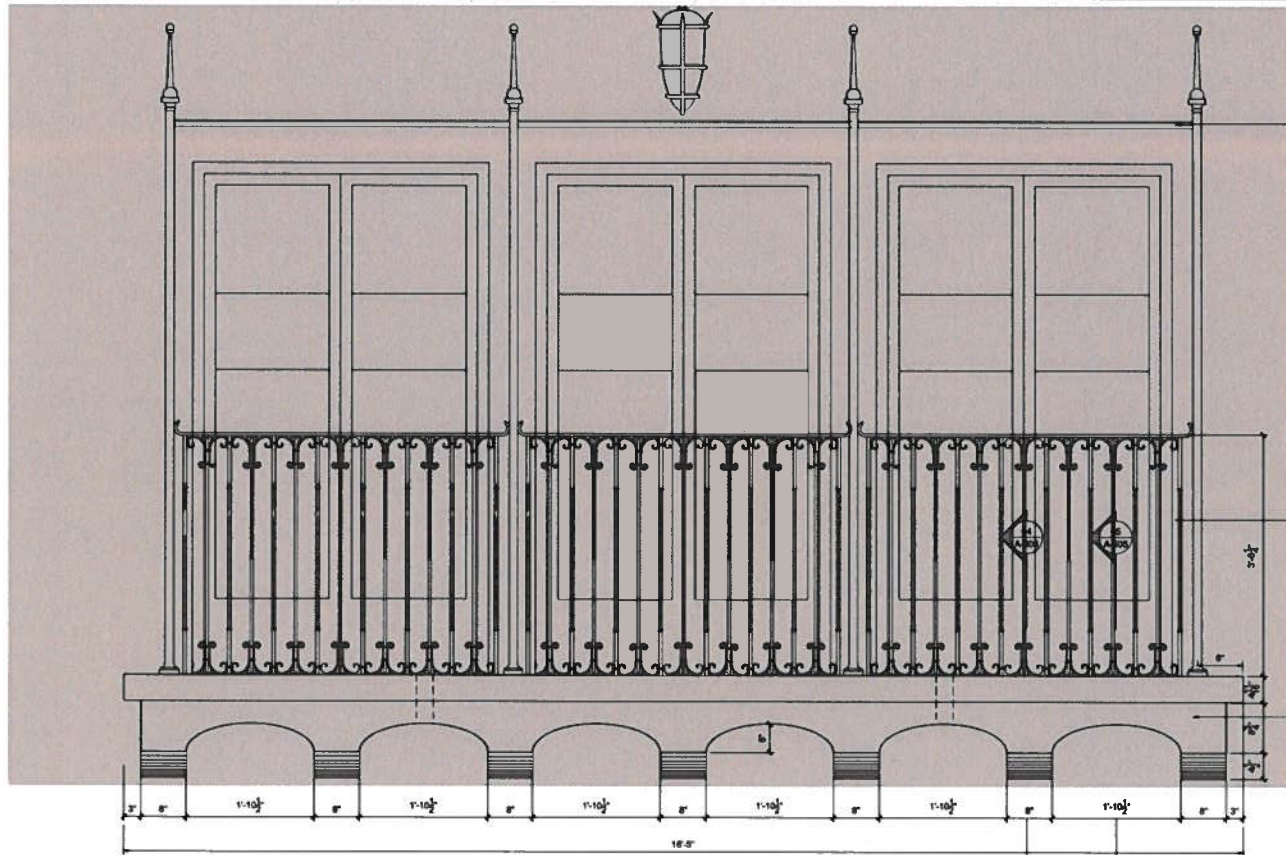


02 EAVE DETAIL
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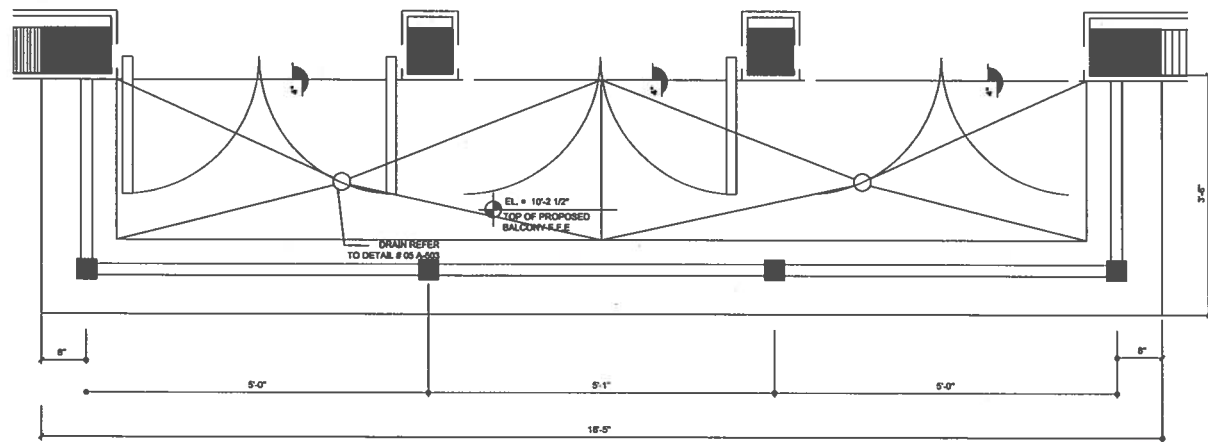
[Handwritten Signature]

PROJECT NUMBER	2014-38
DATE	07/20/15
DRAWN BY	CLC/C
CHECKED BY	
REVISIONS	
PORTUONDO PEROTTI ARCHITECTS	
Architects - Planning - Interior Design	
A.A.C.O.D. 1407 2014, USA	
9712 SW 120th Street, Suite 1001, Coral Gables, FL 33148	
Tel: (305) 220-1821 Fax: (305) 220-1819	
http://www.portundoperotti.com	
4209 SANTA MARIA RESIDENCE	
4209 SANTA MARIA BT.	
CORAL GABLES, FL 33148	
OWNER	
DETAILS	
SCALE	AS NOTED
TITLE	
NO:	A-504
OF	
DATE	07/20/15

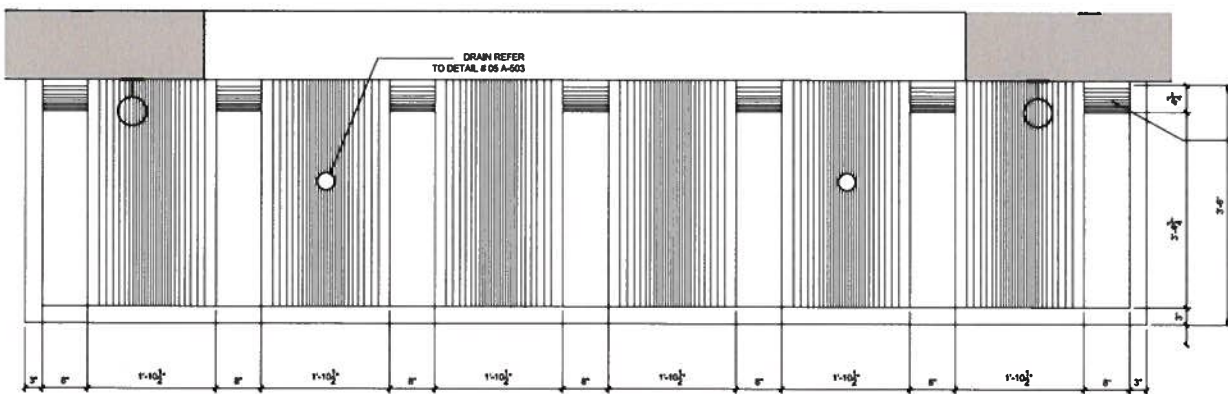
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01 BALCONY WEST ELEVATIONS
SCALE: 1"=1'-0"

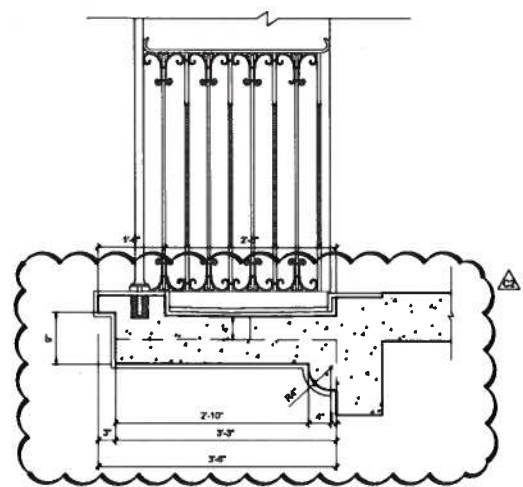


02 UPPER LEVEL PROPOSED FLOOR PLAN
SCALE: 1"=1'-0" POOL ADDITION

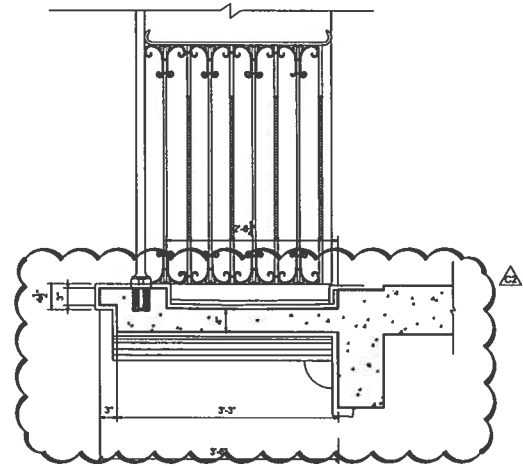


03 MAIN LEVEL PROPOSED REFLD. CLG. PLAN
SCALE: 1"=1'-0" HOUSE ADDITION

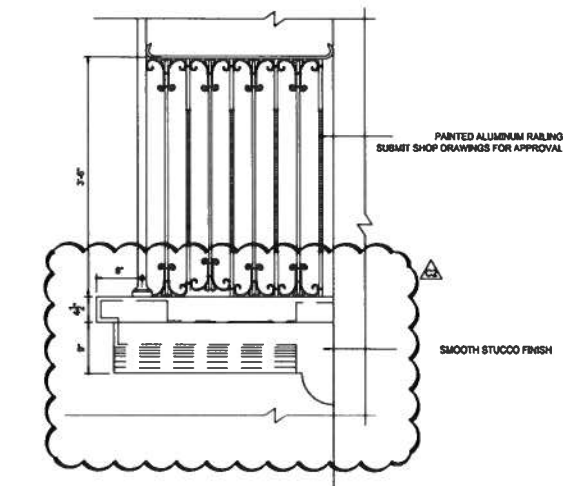
EL. 0'-0" FFE = 12.89' NGVD



04 BALCONY SOUTH SECTION 1
SCALE: 1"=1'-0"



05 BALCONY SOUTH SECTION 2
SCALE: 1"=1'-0"



06 BALCONY SOUTH ELEVATION
SCALE: 1"=1'-0"

PROJECT NUMBER	2014-24
DATE	07/20/15
DRAWN BY	CLC/C
CHECKED BY	
REVISIONS	
DATE	
BY	

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PORTUNDO PEROTTI ARCHITECTS
 Architects • Planning • Interior Design
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 5115 Ave. • Coral Gables, FL 33148
 Tel: (305) 255-8531 • Fax: (305) 255-1811
 Web: www.portundo-perotti.com

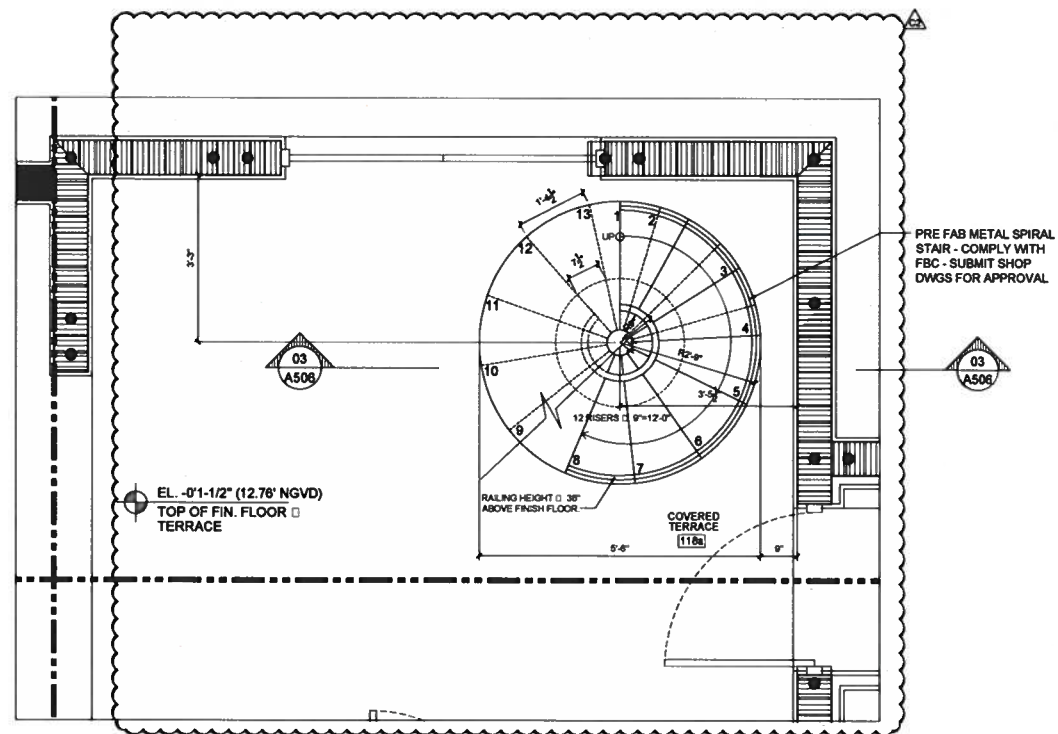
OWNER
4209 SANTA MARIA RESIDENCE
 4209 SANTA MARIA ST.
 CORAL GABLES, FL 33148

TITLE
BALCONY DETAIL

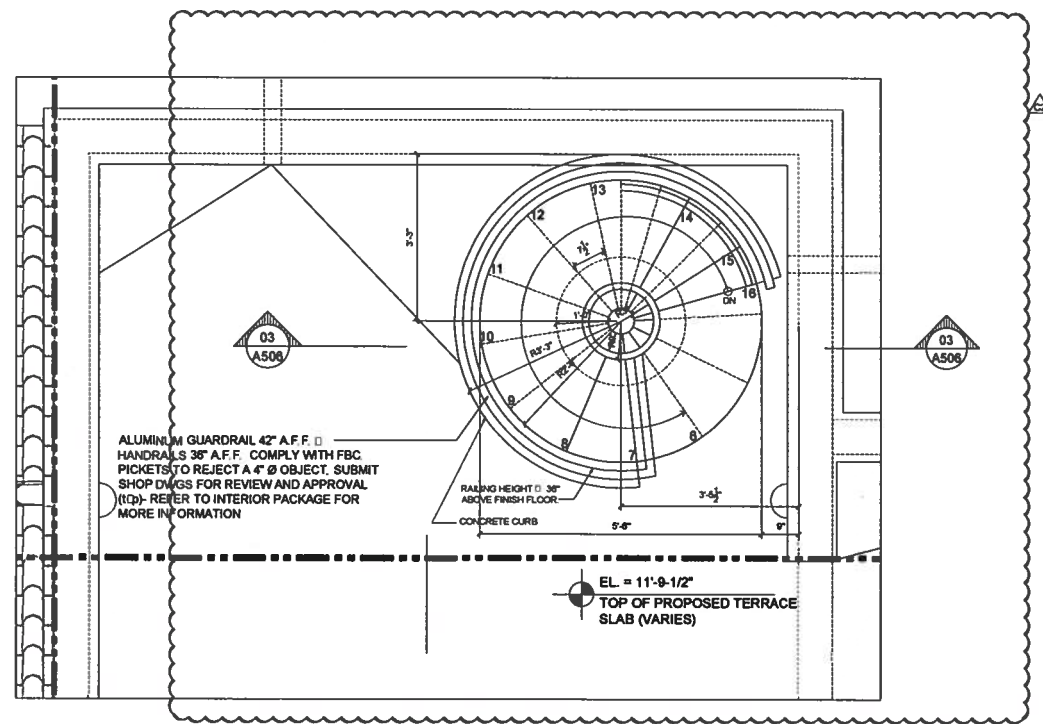
SCALE
 AS NOTED

SHEET
A-505
 OF
 5

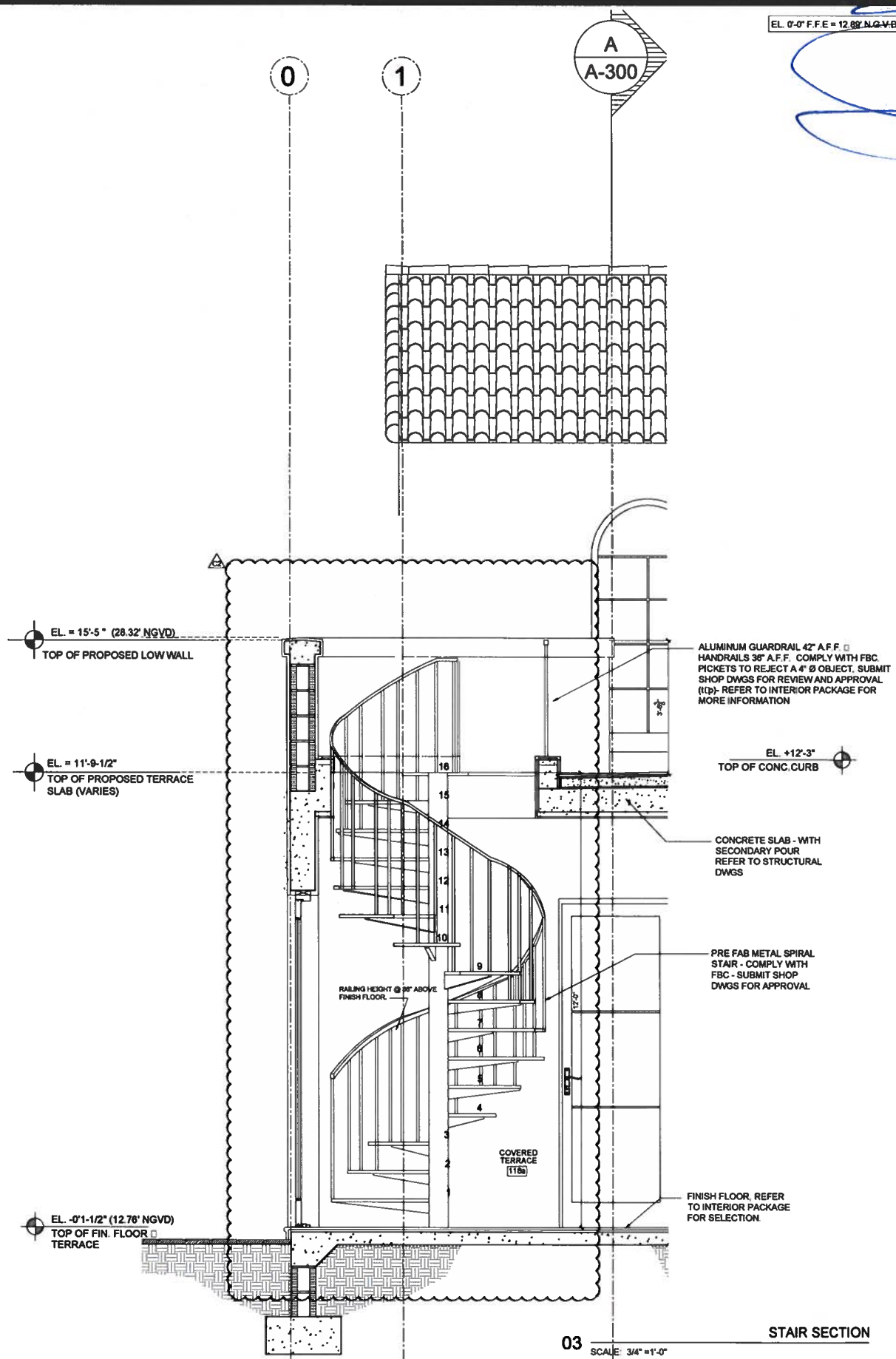
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01 STAIR MAIN LEVEL FLOOR PLAN
SCALE: 3/4"=1'-0"



02 STAIR UPPER LEVEL FLOOR PLAN
SCALE: 3/4"=1'-0"

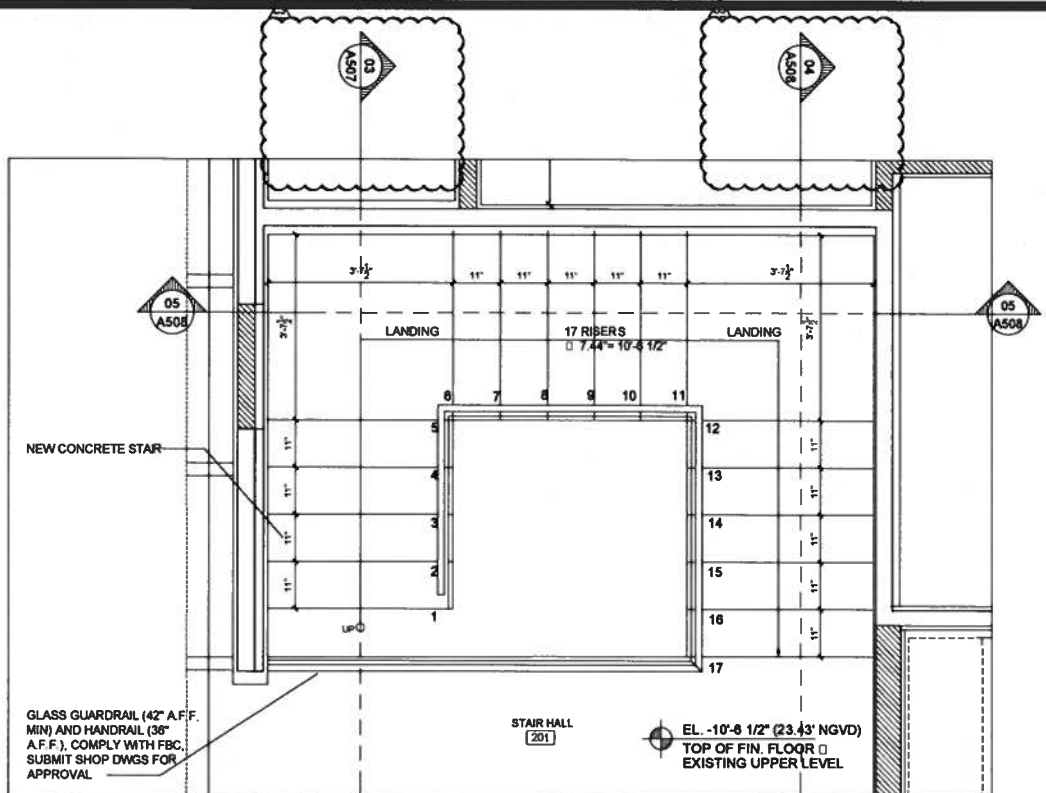


03 STAIR SECTION
SCALE: 3/4"=1'-0"

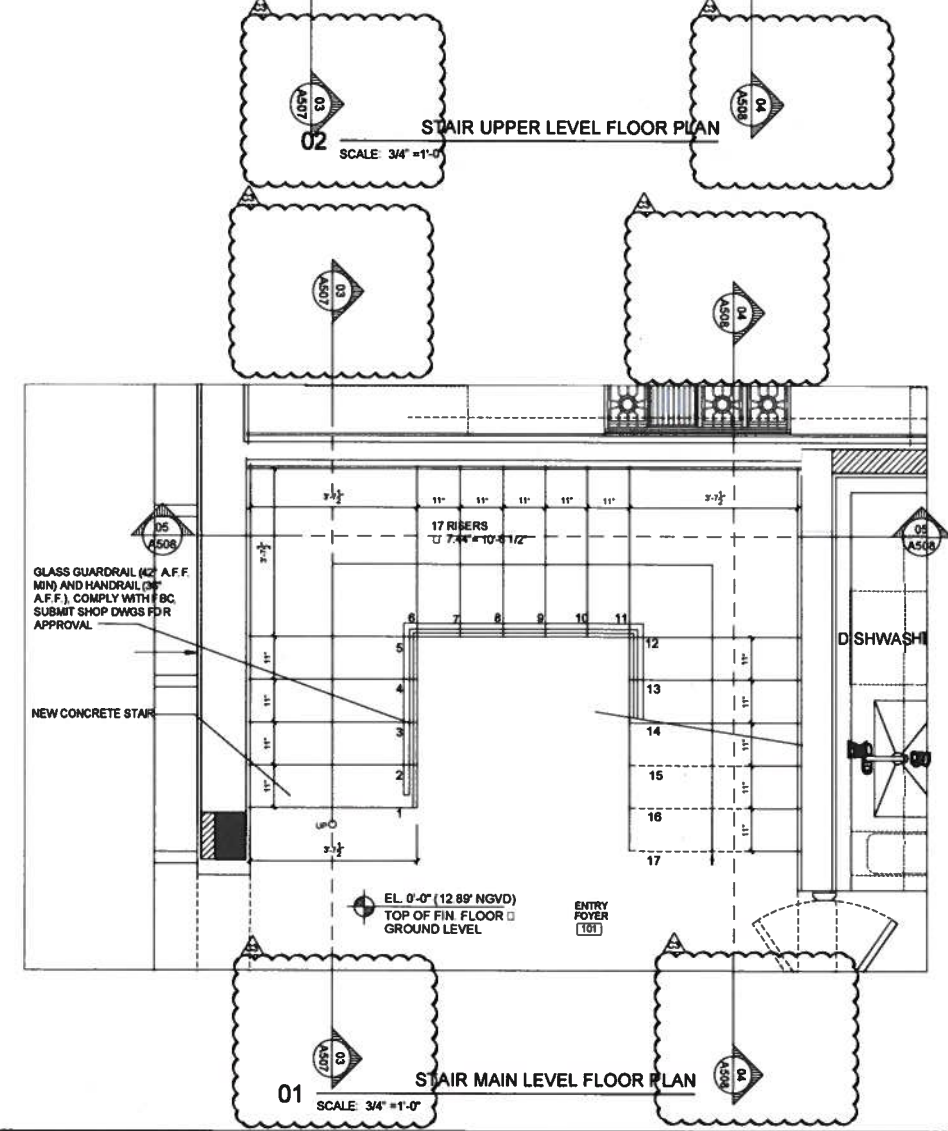
PROJECT NUMBER: 2014-24	REVISIONS: 07/2015	DATE: 08/23/15	DESIGNED BY: C.S.H.C.
ARCHITECTS: PORTUONDO PEROTTI ARCHITECTS	AA 0001407	25114 S.W. 5112 SW. 11th Street, Coral Gables, FL 33134	TEL: (305) 200-3321 FAX: (305) 200-3311
OWNER: 4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORAL GABLES, FL 33146			
TITLE: STAIR DETAILS			
SCALE: AS NOTED			
SHEET: A-506			

EL. 0'-0" F.F.E. = 12.89' NGVD

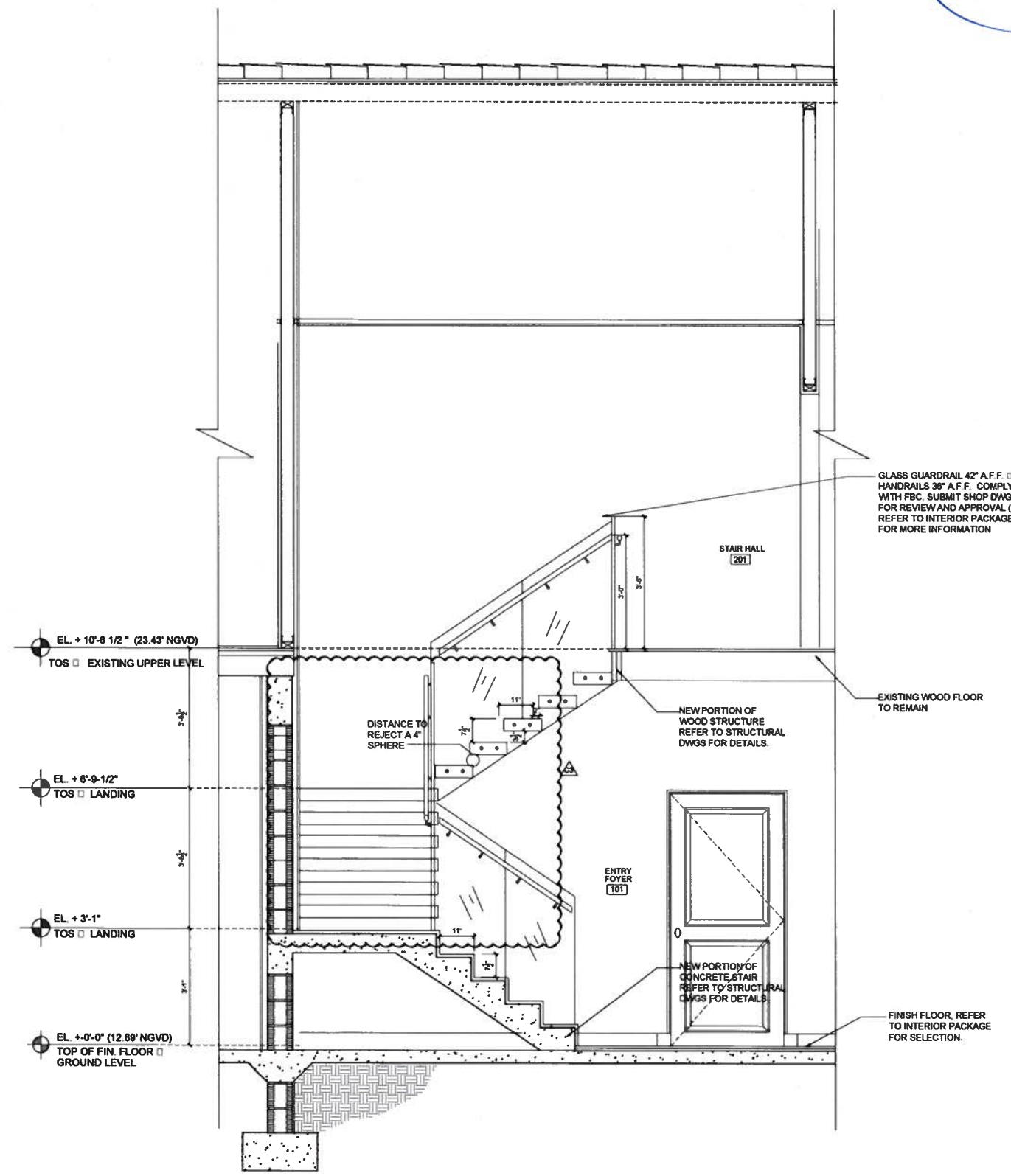
Handwritten signature and date: 2-15-16



02 STAIR UPPER LEVEL FLOOR PLAN
SCALE 3/4" = 1'-0"



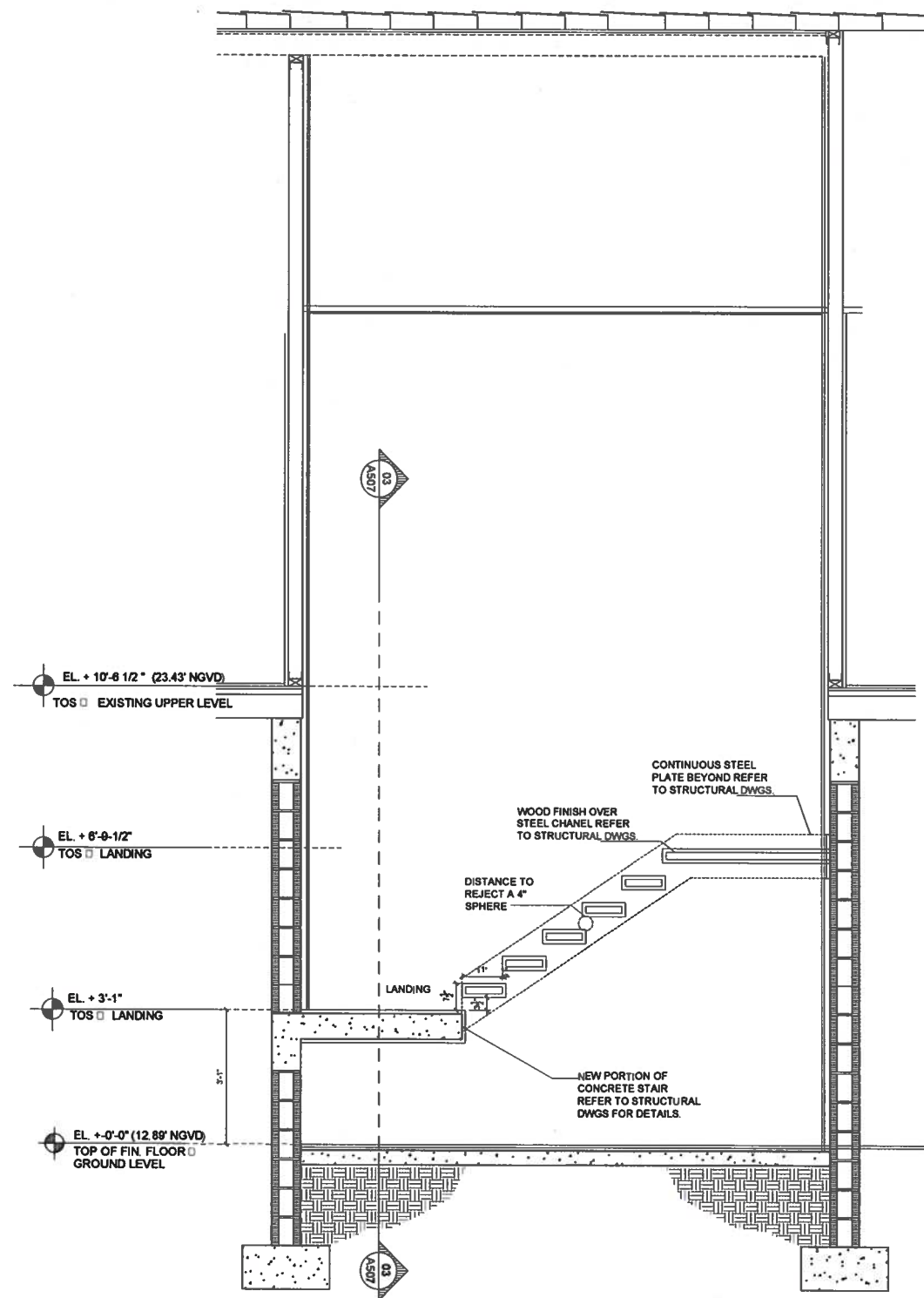
01 STAIR MAIN LEVEL FLOOR PLAN
SCALE 3/4" = 1'-0"



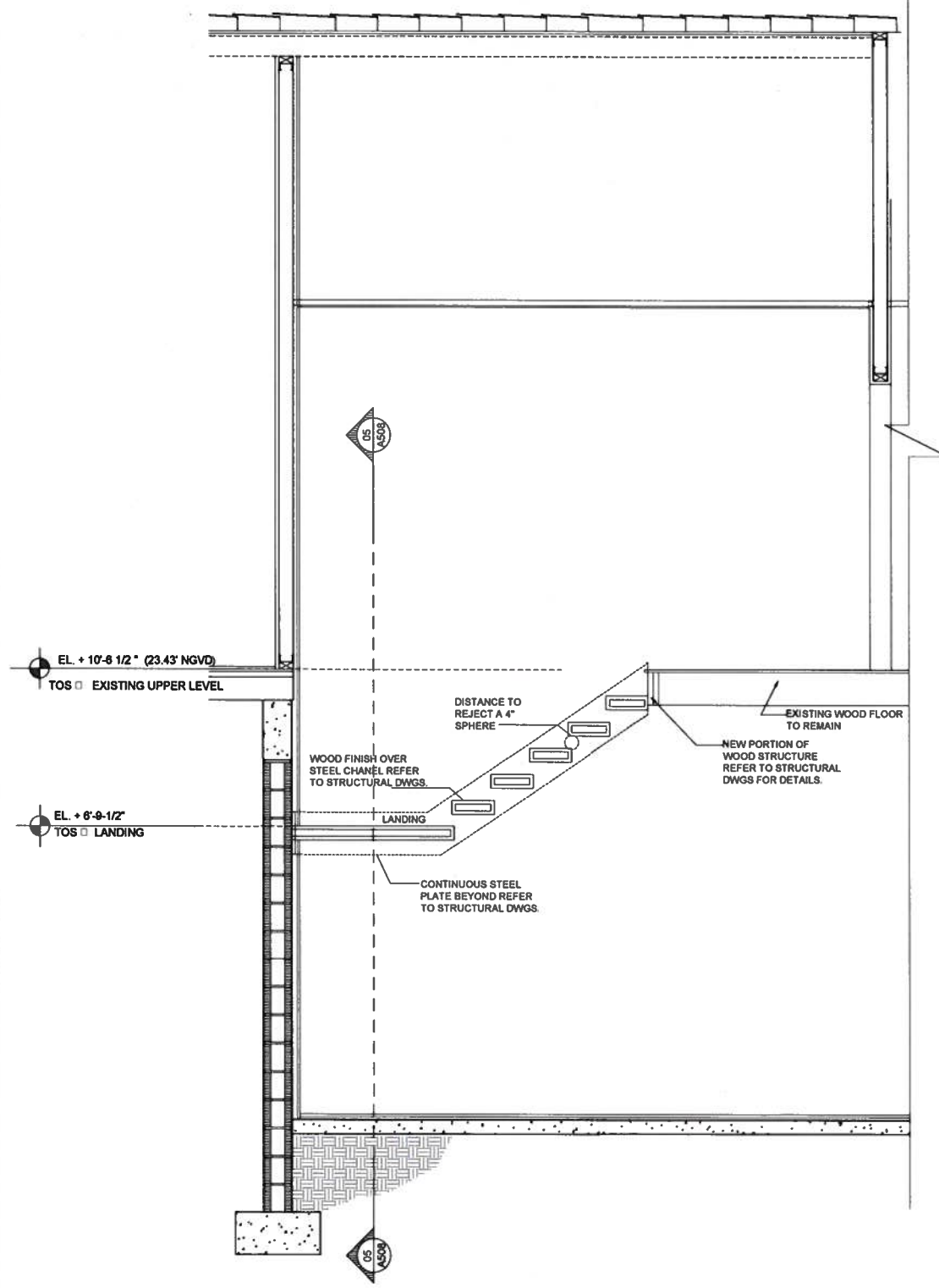
03 STAIR SECTION
SCALE 3/4" = 1'-0"

PROJECT NUMBER: 2014-24 DATE: 07/25/15 DRAWN BY: CMLC CHECKED BY:	REVISIONS: 04/09/16 06/25/16 08/06/16
ARCHITECTS: PORTUNDO PEROTTI ARCHITECTS Architects • Planners • Interior Design A A C O D 1 4 0 7 9717 SW 28th Street, Miami, Florida 33147, USA Tel: (305) 274-0000 Fax: (305) 274-0011 www.portundoperotti.com	
4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORAL GABLES, FL 33148	
TITLE: STAIR DETAILS SCALE: AS NOTED	
SHEET: A-507 OF: 05	

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05 STAIR SECTION
SCALE: 3/4" = 1'-0"

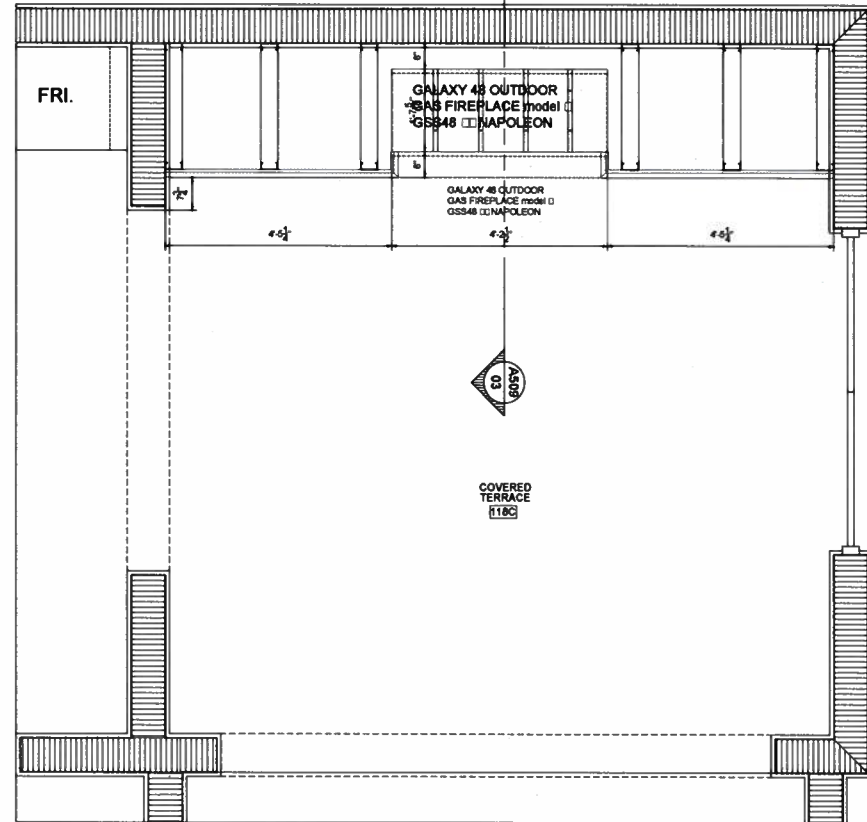


04 STAIR SECTION
SCALE: 3/4" = 1'-0"

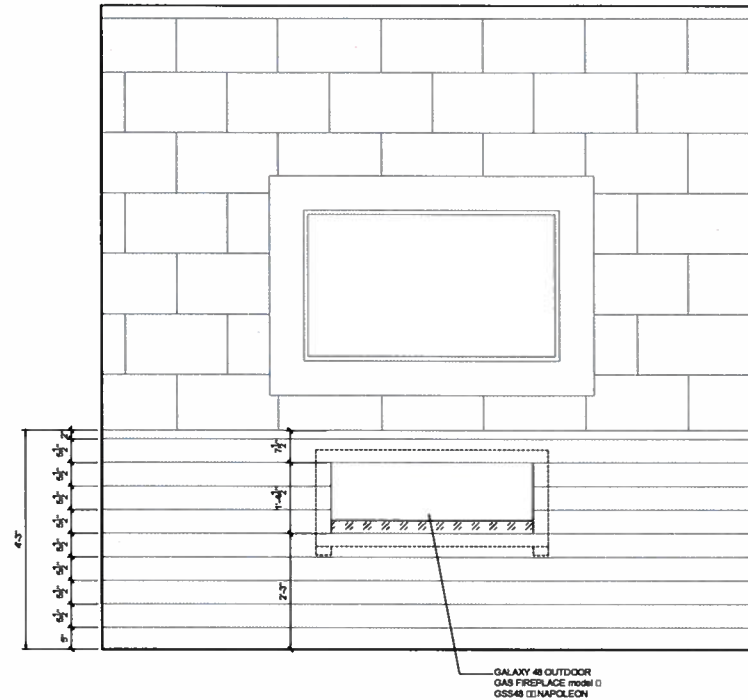
EL. 0'-0" F.F.E. ± 12.88' NGVD

03 STAIR SECTION
SCALE: 3/4" = 1'-0"

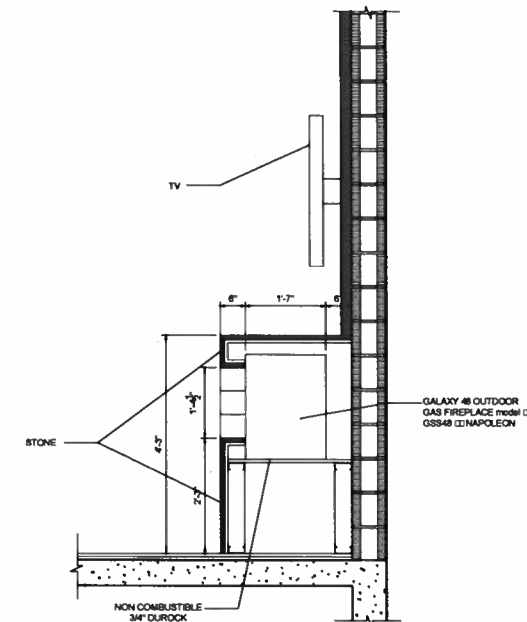
PROJECT NUMBER:	2014-24						
DATE:	07/25/15						
DRAWN BY:	CS/HC						
CHECKED BY:							
REVISIONS:	<table border="1"> <tr> <td>04/08/16</td> <td></td> </tr> <tr> <td>08/23/16</td> <td></td> </tr> <tr> <td>08/08/16</td> <td></td> </tr> </table>	04/08/16		08/23/16		08/08/16	
04/08/16							
08/23/16							
08/08/16							
ARCHITECTS PORTUNDO PEROTTI ARCHITECTS Architecture, Planning, Interiors, Landscape 1712 Ave. for Architecture Ft. Lauderdale, FL 33304 Tel: (954) 280-8321 Fax: (954) 280-1313 http://www.portundo-perotti.com							
4209 SANTA MARIA RESIDENCE 4209 SANTA MARIA ST. CORAL GABLES, FL 33146							
OWNER:							
TITLE:	STAIR DETAILS						
SCALE:	AS NOTED						
SHEET:	A-508						



01 OUTDOOR FIREPLACE FLOOR PLAN
SCALE: 3/4" = 1'-0"



02 OUTDOOR FIREPLACE ELEVATIONS
SCALE: 3/4" = 1'-0"



03 OUTDOOR FIREPLACE SECTION
SCALE: 3/4" = 1'-0"

EL. 0'-0" F.F.E. = 12.89' NGVD

Handwritten notes and signatures in blue ink, including a large signature and some illegible text.

REVISIONS	DATE	BY
04/03/17	04/03/17	CELAC
03/23/16	03/23/16	CELAC
03/03/16	03/03/16	CELAC
02/13/17	02/13/17	CELAC

ARCHITECTS
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Tel: (305) 780-1231, Fax: (305) 780-1218
http://www.pportuondo.com

4209 SANTA MARIA RESIDENCE
4209 SANTA MARIA ST.
CORAL GABLES, FL 33146

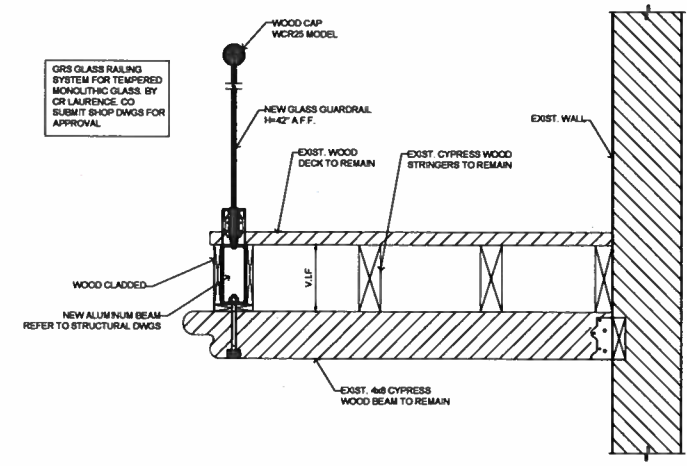
OWNER

TITLE: FIREPLACE DETAILS
SCALE: AS NOTED

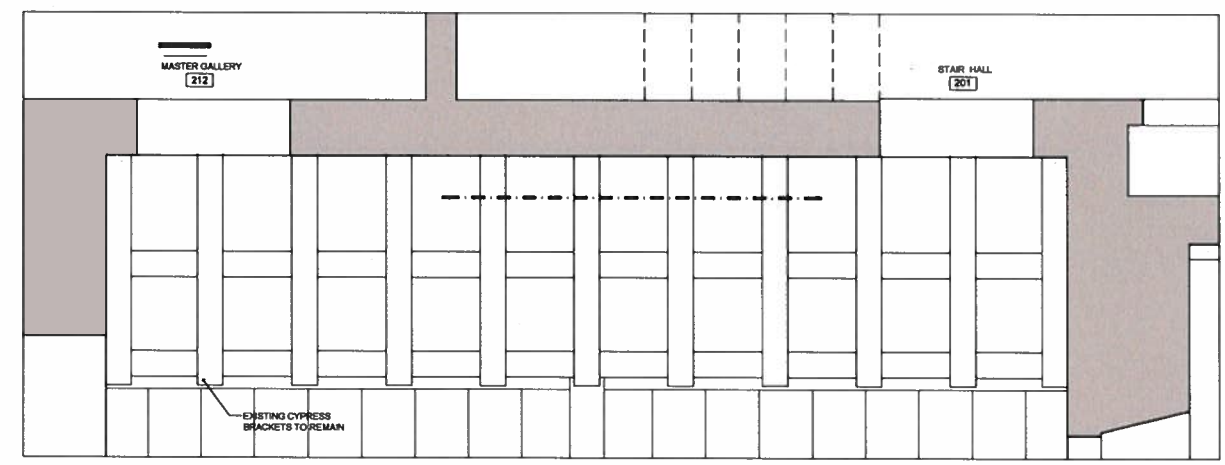
PROJECT: A-509
DATE: 04/03/17

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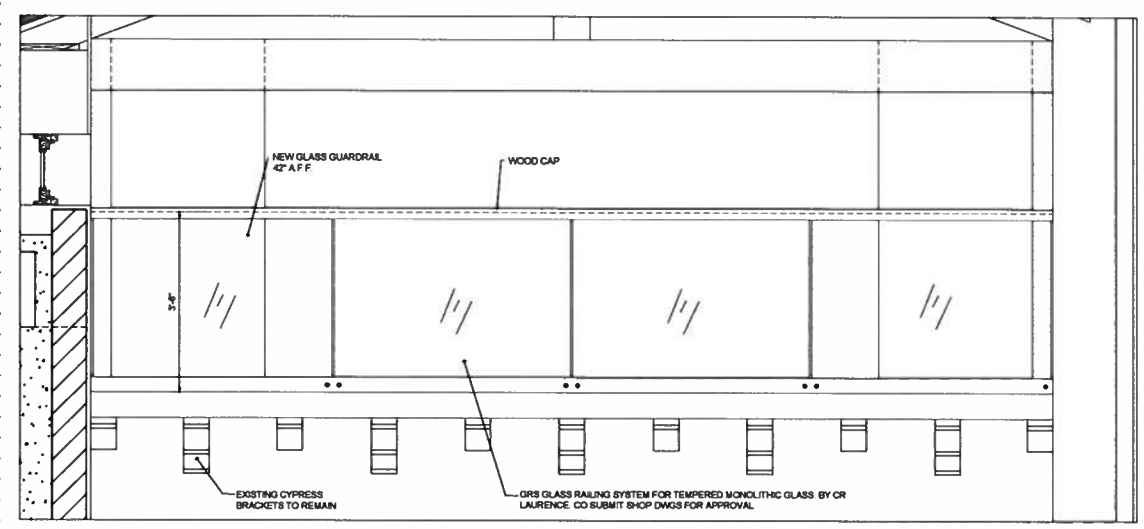
EL. 0'-0" F.F.E. = 12.88' N.G.V.D.



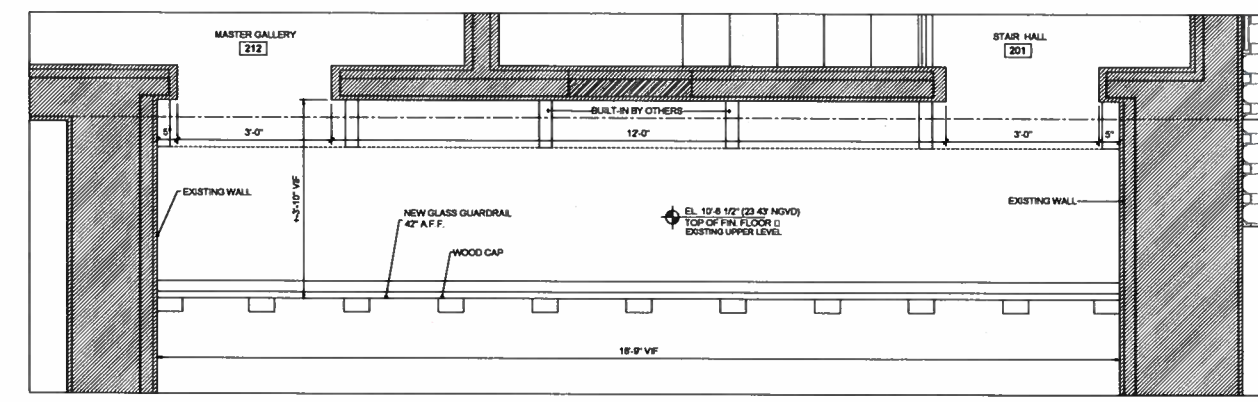
04 INTERIOR BALCONY SECTION
SCALE: 3/4" = 1'-0"



02 INTERIOR BALCONY CEILING PLAN
SCALE: 3/4" = 1'-0"



03 INTERIOR BALCONY ELEVATION
SCALE: 3/4" = 1'-0"



01 INTERIOR BALCONY FLOOR PLAN
SCALE: 3/4" = 1'-0"

Handwritten signature and date: 02/13/17

REVISIONS	DATE	BY
01	02/13/17	CRH
02	02/13/17	CRH
03	02/13/17	CRH

PROJECT NUMBER: 2014-24
 DATE: 07/25/16
 DRAWN BY: CRH
 CHECKED BY: CRH

ARCHITECTS
PORTUONDO PEROTTI ARCHITECTS
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 A A C 0 0 1 4 0 7
 5717 NW 26th Street, Miami, Florida 33141, USA
 Tel: (305) 441-1011
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4209 SANTA MARIA RESIDENCE
 4209 SANTA MARIA ST.
 CORAL GABLES, FL 33146

OWNER:
 INTERIOR BALCONY DETAILS
 SCALE: AS NOTED

SHEET: **A-510**
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EL. 0'-0" F.F.E. ± 12.89' N.G.V.D.

ROOM FINISH SCHEDULE MAIN HOUSE											
ROOM NO.	ROOM NAME	FLOOR	FLOOR BASE		WALLS				CEILING		REMARKS
			MATERIAL	FINISH	NORTH	SOUTH	EAST	WEST	MATERIAL	FINISH	
101	ENTRY FOYER	FL-1	B-1		WS	WS	WS	WS	C5	C5	
102	POWDER ROOM	FL-2	B-2		WS	WS	WS	WS	C5	C5	
103	A/C CLOSET	FL-1	B-1		WS	WS	WS	WS	C5	C5	
104	A/C CLOSET	FL-1	B-1		WS	WS	WS	WS	C5	C5	
105	GALLERY	FL-1	B-1		WS	WS	WS	WS	C5	C5	
106	EXISTING MANS ROOM	FL-1	B-1		WS	WS	WS	WS	C5	C5	
107	EXISTING MANS BATH	FL-1	B-1		WS	WS	WS	WS	C5	C5	
108	EXISTING GALLERY	FL-2	B-2		WS	WS	WS	WS	C5	C5	
109	EXISTING TWO CAR GARAGE	FL-4	B-4		WS	WS	WS	WS	C4	C4	
110	LAUNDRY ROOM	FL-2	B-2		WS	WS	WS	WS	C5	C5	
111	PANTRY	FL-1	B-1		WS	WS	WS	WS	C5	C5	
112	BUTLERS PANTRY	FL-1	B-1		WS	WS	WS	WS	C5	C5	
113	KITCHEN	FL-1	B-1		WS	WS	WS	WS	C5	C5	
114	WINE ROOM	FL-2	B-2		WS	WS	WS	WS	C5	C5	
115	BREAKFAST AREA	FL-1	B-1		WS	WS	WS	WS	C5	C5	
116	GREAT ROOM	FL-1	B-1		WS	WS	WS	WS	C5	C5	
117	EXISTING LIVING ROOM	FL-1	B-1		WS	WS	WS	WS	C4	C4	
118a	COVERED TERRACE	FL-2	B-2		WS	WS	WS	WS	C4	C4	
118b	COVERED TERRACE	FL-2	B-2		WS	WS	WS	WS	C4	C4	
118c	COVERED TERRACE	FL-2	B-2		WS	WS	WS	WS	C4	C4	
119	A/C CLOSET	FL-2	B-2		WS	WS	WS	WS	C5	C5	
120	FAMILY ROOM	FL-2	B-2		WS	WS	WS	WS	C5	C5	
121	GUEST ROOM	FL-1	B-1		WS	WS	WS	WS	C5	C5	
122	QUEST BATHROOM	FL-2	B-2		WS	WS	WS	WS	C5	C5	
123	OUTDOOR LIVING ROOM	FL-2	B-2		WS	WS	WS	WS	C4	C4	
124	GARDENERS STORAGE	FL-2	B-2		WS	WS	WS	WS	C5	C5	
SECOND FLOOR											
201	STAIR HALL	FL-1	B-1		WS	WS	WS	WS	C5	C5	
202	CLOSET #2	FL-1	B-1		WS	WS	WS	WS	C5	C5	
203	BEDROOM #2	FL-1	B-1		WS	WS	WS	WS	C5	C5	
204	BATHROOM #2	FL-3	B-3		WS	WS	WS	WS	C5	C5	
205	BEDROOM #1	FL-1	B-1		WS	WS	WS	WS	C5	C5	
206	CLOSET #1	FL-1	B-1		WS	WS	WS	WS	C5	C5	
207	BATHROOM #1	FL-3	B-3		WS	WS	WS	WS	C5	C5	
208	HIS W.I.C.	FL-1	B-1		WS	WS	WS	WS	C5	C5	
209	MASTER BATHROOM	FL-2	B-2	FL-2	FL-2	FL-2	FL-2	C5	C5		
210	HER W.I.C.	FL-1	B-1		WS	WS	WS	WS	C5	C5	
211	MASTER BEDROOM	FL-1	B-1		WS	WS	WS	WS	C5	C5	
212	MASTER GALLERY	FL-1	B-1		WS	WS	WS	WS	C5	C5	
213	OPEN TERRACE	FL-2	B-2		WS	WS	WS	WS			

WALL ASSEMBLIES

W-1

W-2

W-3

W-4

W-5

W-6

W-7

W-8

W-9

FLOOR FINISH SCHEDULE

FL-1	WOOD
FL-2	STONE
FL-3	TILE
FL-4	CARPET
FL-5	CONCRETE
B-1	WOOD BASE
B-2	STONE BASE
B-3	TILE BASE
B-4	PAINT

WALL FINISH SCHEDULE

W-1	GYPSUM BOARD
W-2	CEMENTITIOUS BOARD
W-3	STUCCO
W-4	BLOCK
W-5	PLASTER
WF-1	PAINT FINISH
WF-2	WALL COVERING
WF-3	STONE
WF-4	CERAMIC TILE

CEILING FINISH SCHEDULE

C-1	GYPSUM BOARD
C-2	PLYWOOD DECKING
C-3	STUCCO
C-4	WOOD
C-5	PLASTER
CF-1	CEILING PAINT FINISH

EL. 0'-0" F.F.E. ± 12.89' N.G.V.D.

2014-JA
07/20/15
DATE: 07/20/15
CHECKED BY: CBA/C

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4209 SANTA MARIA RESIDENCE
4209 SANTA MARIA ST.
CORAL GABLES, FL 33146

OWNER

TITLE: FINISH SCHEDULE
SCALE: AS NOTED

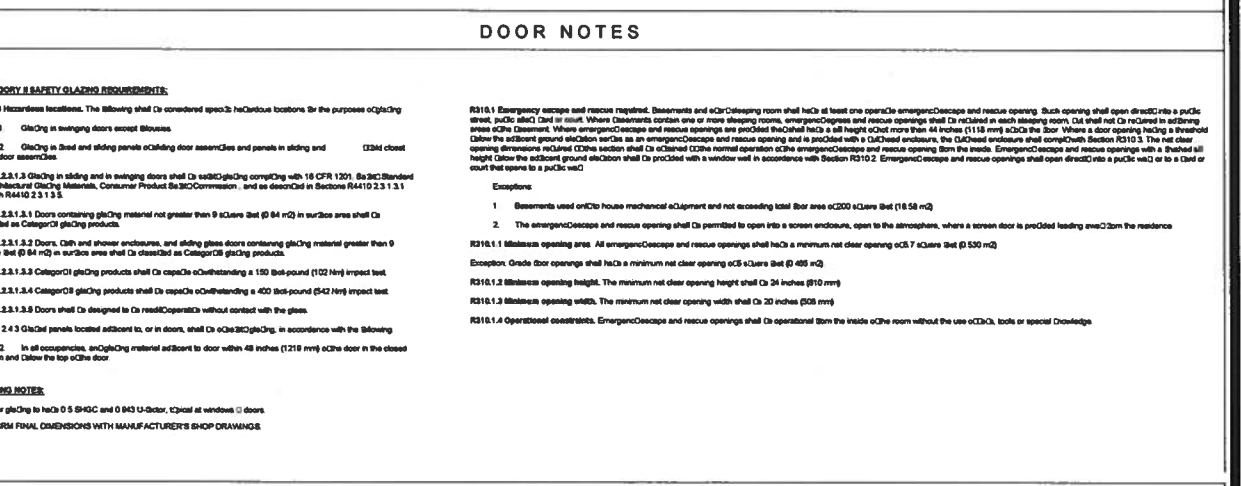
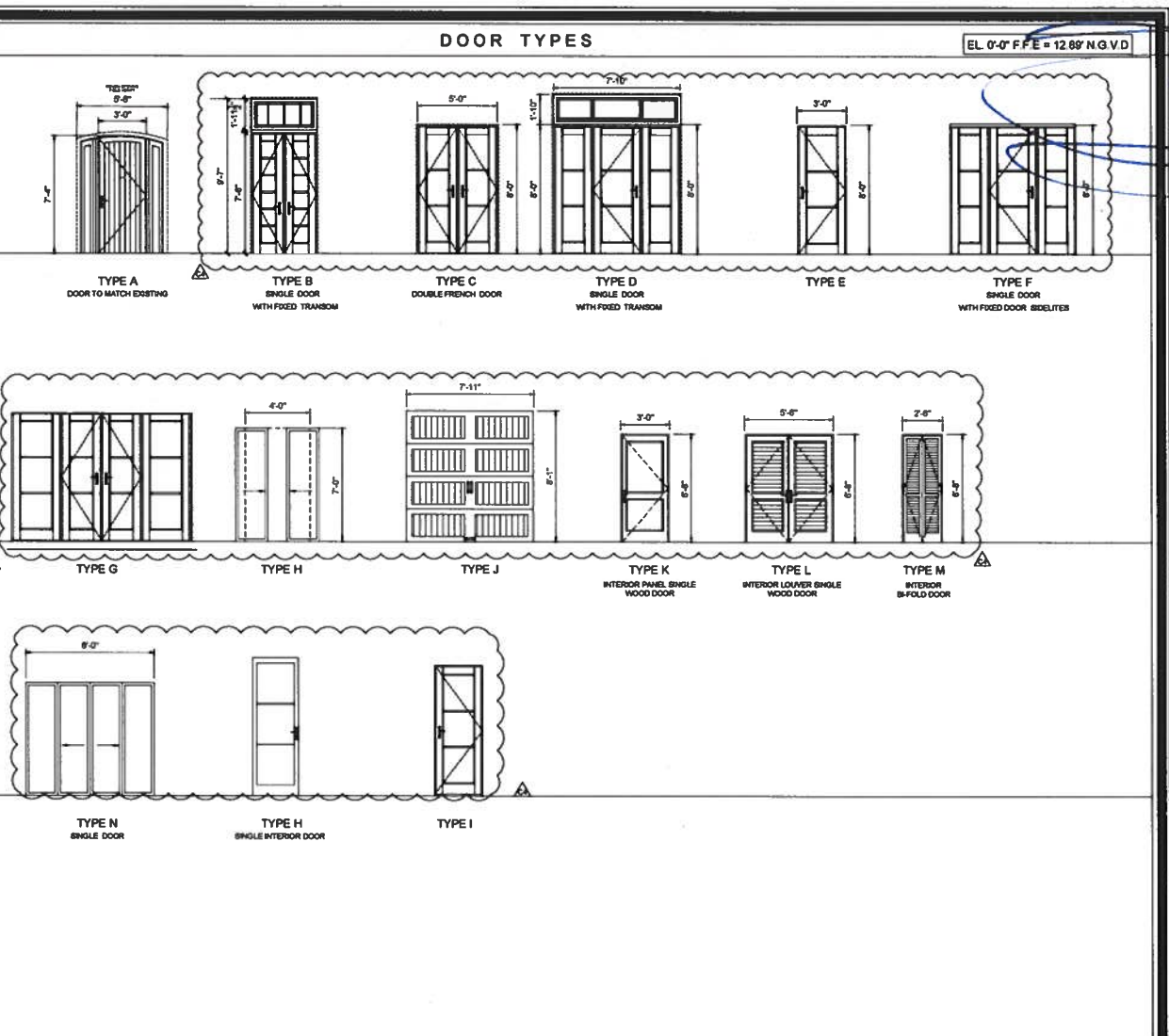
SHEET: A-601
OF: 0

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DOOR SCHEDULE													STATE APPROVAL								
DOOR NO.	TYPE	SIZE			DOOR		FRAME		GLASS	HOW SET	DETAILS			DOOR		TRANSOM	SIDELITES		REMARKS	DOOR	TRANSOM
		W	H	T	MATL.	FINISH	MATL.	FINISH			HEAD	JAMB	THR.	POS.	NEG.		POS.	NEG.			
MAIN LEVEL																					
101	A	9'-2"	7'-4"	1 3/4"	WOOD	PART	WOOD	PART	IMPACT											TO MATCH EXISTING OPENING SIDELITES 0-11 3/4"	
102	B	4'-0"	9'-8"	1 3/4"	METAL	PART	METAL	PART	IMPACT											TRANSOM 1'-10" TO MATCH EXISTING	
103	B	4'-0"	9'-8"	1 3/4"	METAL	PART	METAL	PART	IMPACT											TRANSOM 1'-10" TO MATCH EXISTING	
104	C	9'-0"	8'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT											SIDELITES 2'-5"	
105	F	7'-10"	8'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT											SIDELITES 2'-5"	
106	F	7'-10"	8'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT											SIDELITES 2'-5"	
107	F	7'-10"	8'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT											SIDELITES 2'-5"	
108	F	7'-10"	8'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT											SIDELITES 2'-5"	
109	E	3'-00"	8'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT												
110	D	7'-10"	8'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT											TRANSOM 1'-10"	
111	D	7'-10"	8'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT											TRANSOM 1'-10"	
112	D	7'-10"	8'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT											TRANSOM 1'-10"	
113	F	12'-0"	8'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT												
114	E	3'-0"	8'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT												
115	J	7'-11"	8'-11"	1 3/4"	METAL	PART	METAL	PART													
116	J	7'-11"	8'-11"	1 3/4"	METAL	PART	METAL	PART													
117	K	2'-8"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
118	L	8'-4"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
120	M	4'-0"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
121	M	4'-0"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
122	K	2'-8"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
123	K	2'-8"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
124	K	2'-8"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
125	N	14'-2"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
126	K	2'-8"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
127	K	2'-8"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
128	K	2'-8"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
129	H	3'-0"	8'-0"	1 3/4"	WOOD	PART	WOOD	PART													
130	H	3'-0"	8'-0"	1 3/4"	WOOD	PART	WOOD	PART													
131	K	2'-10"	8'-0"	1 3/4"	WOOD	PART	WOOD	PART													
132	L	2'-8"	8'-0"	1 3/4"	WOOD	PART	WOOD	PART													
133	L	2'-8"	8'-0"	1 3/4"	WOOD	PART	WOOD	PART													
134	H	3'-0"	8'-0"	1 3/4"	WOOD	PART	WOOD	PART													
135	H	3'-0"	8'-0"	1 3/4"	WOOD	PART	WOOD	PART													
136	H	3'-0"	8'-0"	1 3/4"	WOOD	PART	WOOD	PART													
137	H	3'-0"	8'-0"	1 3/4"	WOOD	PART	WOOD	PART													
138	H	3'-0"	8'-0"	1 3/4"	WOOD	PART	WOOD	PART													
139	H	3'-0"	8'-0"	1 3/4"	WOOD	PART	WOOD	PART													

DOOR SCHEDULE													STATE APPROVAL								
DOOR NO.	TYPE	SIZE			DOOR		FRAME		GLASS	HOW SET	DETAILS			DOOR		TRANSOM	SIDELITES		REMARKS	DOOR	TRANSOM
		W	H	T	MATL.	FINISH	MATL.	FINISH			HEAD	JAMB	THR.	POS.	NEG.		POS.	NEG.			
UPPER LEVEL																					
201	C	4'-0"	7'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT												
202	C	4'-0"	7'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT												
203	C	4'-0"	7'-0"	1 3/4"	METAL	PART	METAL	PART	IMPACT												
204	I	3'-0"	8'-8"	1 3/4"	METAL	PART	METAL	PART	IMPACT												
205	K	3'-0"	7'-0"	1 3/4"	WOOD	PART	WOOD	PART													
206	K	2'-4"	7'-0"	1 3/4"	WOOD	PART	WOOD	PART													
207	K	2'-4"	7'-0"	1 3/4"	WOOD	PART	WOOD	PART													
208	K	2'-8"	7'-0"	1 3/4"	WOOD	PART	WOOD	PART													
209	K	2'-8"	7'-0"	1 3/4"	WOOD	PART	WOOD	PART													
210	K	3'-0"	7'-0"	1 3/4"	WOOD	PART	WOOD	PART													
211	H	8'-2"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
212	K	2'-8"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
213	K	2'-8"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
214	K	2'-8"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
215	K	3'-0"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
216	K	2'-4"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													
217	K	2'-8"	8'-8"	1 3/4"	WOOD	PART	WOOD	PART													

SCREEN SCHEDULE													STATE APPROVAL							
SCREEN NO.	TYPE	SIZE			DOOR		FRAME		GLASS	HOW SET	DETAILS			DOOR		TRANSOM	REMARKS		WINDOW	TRANSOM
		W	H	T	MATL.	FINISH	MATL.	FINISH			HEAD	JAMB	THR.	POS.	NEG.		POS.	NEG.		
MAIN LEVEL																				
101	B	4'-4 1/2"	8'-8"	1 3/4"																
102	C	18'-5"	8'-2"	1 3/4"																
103	B	4'-4 1/2"	8'-8"	1 3/4"																
104	A	8'-2"	10'-3"	1 3/4"																TRANSOM 2'-1"
105	B	4'-4 1/2"	8'-8"	1 3/4"																
106	C	18'-5"	8'-2"	1 3/4"																
107	B	4'-4 1/2"	8'-8"	1 3/4"																
108	A	8'-2"	10'-8"	1 3/4"																TRANSOM 2'-1"
109	D	3'-0"	8'-2"	1 3/4"																



REVISIONS

2014/24	04/08/16		
07/25/16	05/08/16		
	06/08/16		
	06/08/16		
	06/08/16		
	06/08/16		

PROJECT NUMBER: 2014/24
DATE: 07/25/16
DRAWN BY: CB/HC
CHECKED BY: [Signature]

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CORAL GABLES, FL 33146

OWNER: [Signature]

TITLE: DOOR SCHEDULE
SCALE: AS NOTED

SHEET: A-602
OF: [Number]

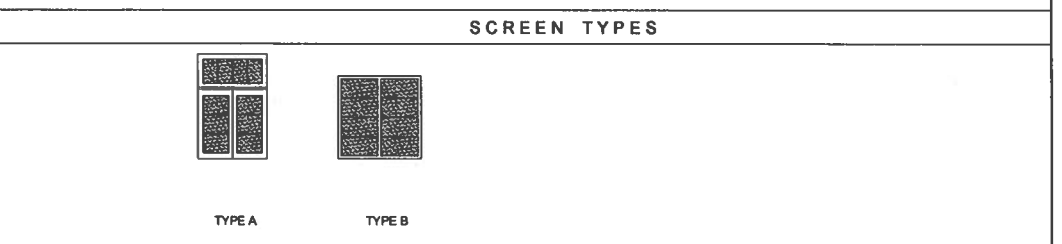
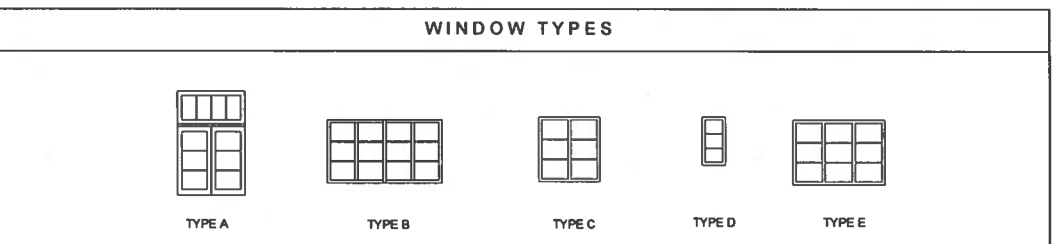
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EL 0'-0" F.F.E. = 12.89' R.G.V.D.

WINDOW SCHEDULE																
WINDOW	TYPE	SIZE		ROUGH OPENING		FRAME		GLASS	DETAILS			DESIGN PRESSURES		REMARKS		
		W	H	W	H	MATERIAL	FINISH		TYPE	HEAD	JAMB	SILL	POS		NEG	
MAIN LEVEL - MAIN HOUSE																
101	A	4'-0"	8'-2"			METAL	METAL	IMPACT				+38.0	-41.0	+38.0	-41.0	TRANSOM 2'-1"
102	A	4'-0"	8'-2"			METAL	METAL	IMPACT				+38.0	-41.0	+38.0	-41.0	TRANSOM 2'-1"
103	NA	7'-10"	1'-10"			METAL	METAL	IMPACT				+38.0	-45.4			
104	NA	7'-10"	1'-10"			METAL	METAL	IMPACT				+38.0	-45.4			
105	NA	7'-10"	1'-10"			METAL	METAL	IMPACT				+38.0	-45.4			
106	B	8'-10"	2'-4"			METAL	METAL	IMPACT				+38.0	-44.0			
107	E	8'-4"	2'-4"			METAL	METAL	IMPACT				+38.0	-44.0			
108	C	2'-4"	2'-4"			METAL	METAL	IMPACT				+38.0	-44.0			
109	C	2'-4"	2'-4"			METAL	METAL	IMPACT				+38.0	-44.0			

WINDOW SCHEDULE																
WINDOW	TYPE	SIZE		ROUGH OPENING		FRAME		GLASS	DETAILS			DESIGN PRESSURES		REMARKS		
		W	H	W	H	MATERIAL	FINISH		TYPE	HEAD	JAMB	SILL	POS		NEG	
SECOND FLOOR - MAIN HOUSE																
201	C	2'-7"	2'-4"			METAL	METAL	IMPACT				+38.0	-40.7			
202	B	8'-0"	2'-4"			METAL	METAL	IMPACT				+38.0	-44.0			
203	B	8'-0"	2'-4"			METAL	METAL	IMPACT				+38.0	-44.0			
204	C	2'-4"	2'-4"			METAL	METAL	IMPACT				+38.0	-44.0			
205	C	2'-0"	2'-4"			METAL	METAL	IMPACT				+40.1	-48.0			

SCREEN SCHEDULE																
WINDOW	TYPE	SIZE		ROUGH OPENING		FRAME		GLASS	DETAILS			DESIGN PRESSURES		REMARKS		
		W	H	W	H	MATERIAL	FINISH		TYPE	HEAD	JAMB	SILL	POS		NEG	
108	A	4'-0"	8'-2"													



WINDOW NOTES

CONFIRM FINAL DIMENSIONS WITH MANUFACTURER'S SHOP DRAWINGS.

2014-24
07/23/15

PROJECT NUMBER:
DATE

2014-24
07/23/15

PROJECT NUMBER:
DATE

DRAWN BY:
CHECKED BY:

DRAWN BY:
CHECKED BY:

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OWNER

WINDOW SCHEDULE
AS NOTED

SHEET
A-603
OF

REVISIONS
01/13/17