

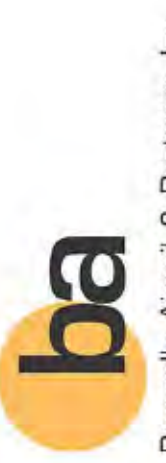
# VENERA

## 2nd COMMISSION HEARING

### MAY 22, 2018

1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
1537 SAN REMO AVE, 33146  
CORAL GABLES, FL

2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
P: (305) 859-2050  
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UPDATE TO PLANNING DIVISION APPLICATION

2ND COMMISSION HEARING  
MAY 22, 2018

VENERA  
CORAL GABLES, FL



INDEX

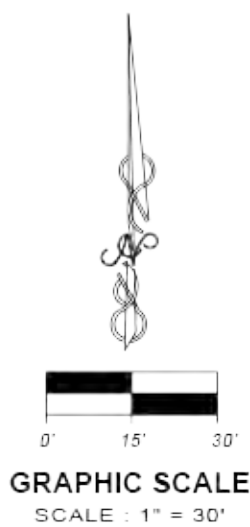
ARCHITECTURE

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LANDSCAPE

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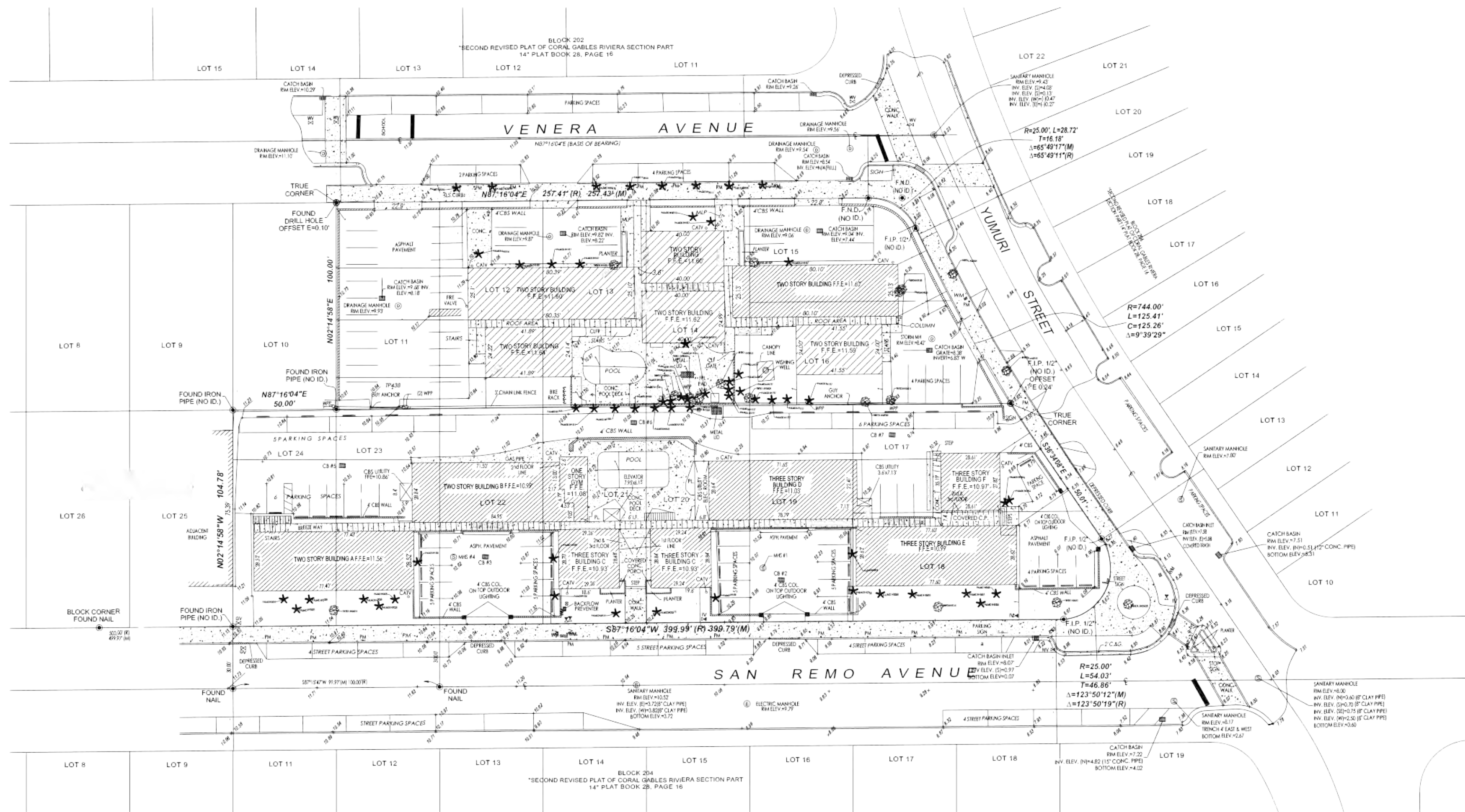
#### ABBREVIATIONS

|            |                          |
|------------|--------------------------|
| A/C        | Air Conditioning         |
| BFP        | Backflow Preventer       |
| CL         | Center Line              |
| CATV       | Backflow Preventer       |
| CO         | Cleanout                 |
| CONC       | Concrete                 |
| C.B.S.     | Concrete Block Structure |
| CLF        | Chain Link Fence         |
| C.S.       | Concrete Slab            |
| C & G      | Curb & Gutter            |
| C.P.       | Concrete Porch           |
| Dim.       | Dimension                |
| Dwy        | Driveway                 |
| EB         | Electric Box             |
| ELEV.      | Elevation                |
| F.F.E.     | Finish Floor Elevation   |
| FH         | Fire Hydrant             |
| F.I.P.     | Found Iron Pipe          |
| H          | Height                   |
| ID.        | Identification           |
| INV. ELEV. | Invert Elevation         |
| L          | Arc Length               |
| (M)        | Measured                 |
| MH         | Manhole                  |
| O.R.B.     | Official Record Book     |
| P.B.       | Plat Book                |
| E          | Property Line            |
| (R)        | Recorded                 |
| R/W        | Right-of-Way             |
| R          | Radius                   |
| WPP        | Wood Power Utility Pole  |
| WU         | Wood Utility             |

#### LEGEND

|  |                      |
|--|----------------------|
|  | Roof Area            |
|  | Concrete             |
|  | Chain Link Fence     |
|  | Right of Way Lines   |
|  | Electric Wiring Box  |
|  | Metal Light Pole     |
|  | Spot Elevation       |
|  | Catch Basin          |
|  | Gas Valve            |
|  | Irrigation Valve     |
|  | Water Valve          |
|  | Drainage Manhole     |
|  | Sanitary Manhole     |
|  | Palm (No Identified) |
|  | Tree (No Identified) |
|  | Columns              |
|  | Fire Hydrant         |
|  | Water Meter          |

## BOUNDARY AND TOPOGRAPHIC SURVEY



| MIAMI-DADE COUNTY PUBLIC WORKS DEPT. BENCHMARK USED   |   |           |
|---|---|-----------|
| BENCHMARK   | DESCRIPTION                                   | ELEVATION |
| P-601   | US HWY #1 --- 0.35' NW of NW edge of pavement | 10.12     |
| SW 57 Ave. --- 114.0' NE of Projected Edge of pavement.                                       |   |           |
| PK Nail and Brass washer in concrete gutter.  |   |           |
| CORAL GABLES BENCHMARK USED   |   |           |
| # 615   | SW Corner at Venera Avenue & Yumuri Street    | 9.24      |
| PK Nail and Brass washer in POC of Back sidewalk.   |   |           |
| ELEVATIONS AS SHOWN HEREON REFER TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929). |   |           |

| STATE PLANE COORDINATES  |  |
|--|--|
| All points (Northing and Easting) and bearings as depicted on the survey map are based on the North American Datum (NAD) 1983/1993 Adjustment, Florida East 901, Global Positioning Systems (GPS) Measurements were conducted in the field to acquire said coordinate values, based on the following horizontal control stations:  |  |
| Establishing Agency: Miami-Dade Water and Sewer Department<br>State/County: Florida/Miami-Dade County<br>PID (Point Of Identification): 52<br>Station Name: REBORDERO<br>Datum: NAD 83/93<br>Latitude: N25°42'12.79771311"<br>Northing: 428554.915 (US Feet)<br>Longitude: W 80°18'08.494991"<br>Easting: 855892.398 (US Feet)<br>Station Description: The station is located southwest of the intersection of SW 72 St and SW 67 Av and is east of a brick "University Christian Church" sign. The mark is a concrete monument with a METRO-DADE GPS CONTROL PT. brass disk and is stamped "REBORDERO". |  |

#### LEGAL DESCRIPTION:

Lots 11 through 16 inclusive, Block 203, of CORAL GABLES RIVIERA SECTION PART 14, 2nd REVISION, according to the Plat thereof as recorded in Plat Book 28, Page 32, of the Public Records of Miami-Dade County, Florida.

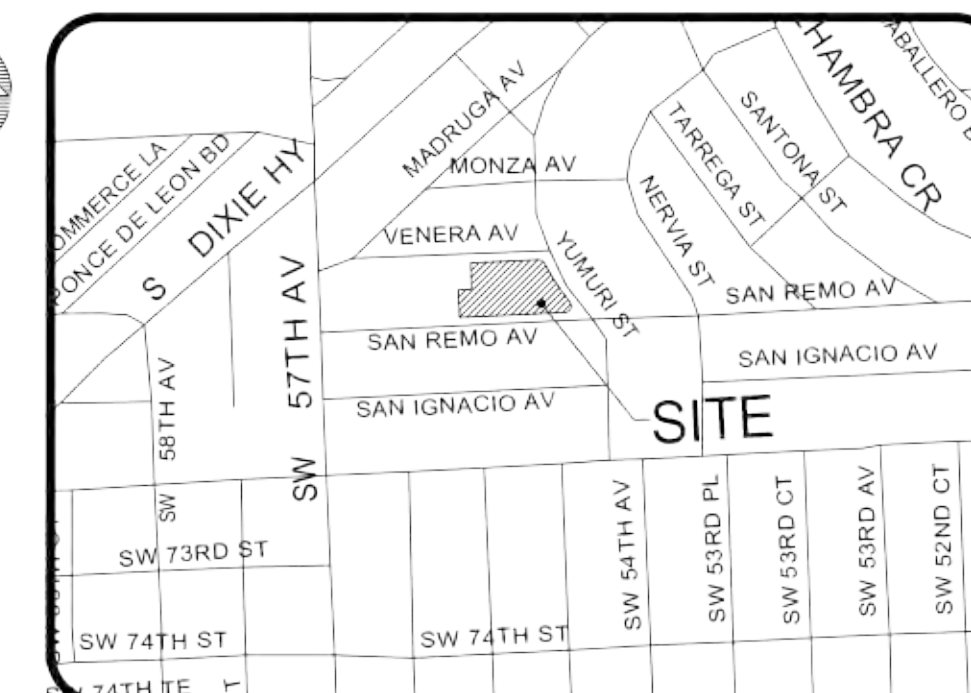
a/k/a: 1500 Venera Avenue, Coral Gables, Florida, 33146.  
Folio: 03-4130-009-1040

AND

Lots 17 through 24 inclusive, Block 203, of CORAL GABLES RIVIERA SECTION PART 14, 2nd REVISION, according to the Plat thereof as recorded in Plat Book 28, Page 32, of the Public Records of Miami-Dade County, Florida.  
a/k/a: VILLA SAN REMO CONDO

#### SURVEYOR'S NOTES:

- Last day of field work was performed on May 31st, 2016.
- Avino & Associates, Inc. and certifying Land Surveyor accept no responsibility for Rights-of-Way Easements, Restrictions of Record or other matters affecting title to lands surveyed other than those recited in current Deed and/or other instruments of record furnished by Client.
- Bearings shown hereon are based on an assumed Bearing of N87°16'04"E along the centerline of Venera Avenue, said line to be considered a well monumented line.



- By scaled determination the subject property appears to lie in Flood Zone X, Elevation N/A, as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120639, Map No. 12086C0458, Suffix L, Revised Date: 09-11-2009. An accurate Zoned determination should be made by the preparer of the map, the Federal Emergency Management Agency, or the Local Government Agency having jurisdiction over such matters prior to any judgments being made from the Zone as noted. The referenced Federal Emergency Management Agency Map states in the notes to the user that "this map is for insurance purposes only".
- The Survey depicted herein is not intended to show the location or existence of any Wetland or Jurisdictional areas, or areas of protected species of vegetation either natural or cultivated.
- Any use of this Survey for purposes other than which it was intended, without written verification, will be the user's sole risk and without liability to the surveyor. Nothing herein shall be construed to give any rights or benefits to anyone than those certified to.
- The minimum relative distance accuracy for this type of Survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement. Well-identified features as depicted on the Survey Map were measured to an estimated horizontal positional accuracy of 1/10 foot.
- Since no other information other than what is cited in the Sources of Data were furnished, the Client is hereby advised that there may legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of Miami-Dade County, or the records of any other public and private entities as their jurisdictions may appear. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear of public record.

No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations and/or improvements were located or shown hereon.

This notice is required by the "Standards of Practice for Land Surveying in the State of Florida," pursuant to Chapter 5J-17, Florida Administrative Code and as adopted by the Florida Board of Professional Surveyors and Mappers pursuant to Chapter 472, Florida Statutes.

Notice is hereby given that Sunshine State One Call of Florida, Inc. must be contacted at 1-800-432-4770 at least 48 hours in advance of any construction, excavation or demolition activity within, upon, abutting or adjacent to the Subject Property. This Notice is given in compliance with the "Underground Facility Damage Prevention and Safety Act," pursuant to Chapter 556.101-111 of the Florida Statutes.

#### SURVEYOR'S CERTIFICATE:

This is to certify to the herein named firm and/or persons that the "Boundary & Topographic Survey" of the herein described property is true and correct to the best of our knowledge and belief as surveyed under our direction. I further certify that this survey meets the Standards of Practice Requirements as set forth in Chapter 5J-17, Florida Administrative Code, as adopted by the Florida Board of Professional Surveyors and Mappers pursuant to 472.027 Florida Statute.

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

|  |            |
|--|------------|
| ACAD FILE: 1500 VENERA AVE BOUNDARY & TOPOGRAPHIC SURVEY.dwg |            |
| SEAL   | SHEET      |
| DRAWN BY: EO   | 1          |
| CHECKED BY: J.R.A.   |            |
| APPROVED BY: J.R.A.  |            |
| DATE: 06/09/2016   |            |
| SCALE: AS SHOWN  |            |
| JOB No.: 16126.00  | SHEET OF 1 |
| JORGE R. AVINO, P.E. #22207, P.L.S. #4996                    |            |

| MARK | DATE | REVISIONS |
|------|------|-----------|
|      |      |           |
|      |      |           |
|      |      |           |
|      |      |           |

BOUNDARY and TOPOGRAPHIC SURVEY  
1500 VENERA AVENUE  
CORAL GABLES, FLORIDA, 33146

BERMELLO AJAMIL & PARTNERS, INC.  
2601 S. BAYSHORE DRIVE  
SUITE 1000  
MIAMI, FLORIDA 33133



**Avino**  
& ASSOCIATES  
Engineers \* Planners \* Surveyors

1350 S.W. 57TH AVENUE, SUITE 207  
WEST MIAMI, FLORIDA 33146  
TEL: (305) 265-5030  
FAX: (305) 265-5033  
EB # 5098 LB # 5098  
E-MAIL: jravino@avinoandassociates.com



Barmello Ajamil & Partners, Inc.  
2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
P: (305) 859-2050  
WWW.BERMELLOAJAMIL.COM

VENERA

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1515 SAN REMO AVE, 33146  
CORAL GABLES, FL  
1537 SAN REMO AVE, 33146  
CORAL GABLES, FL

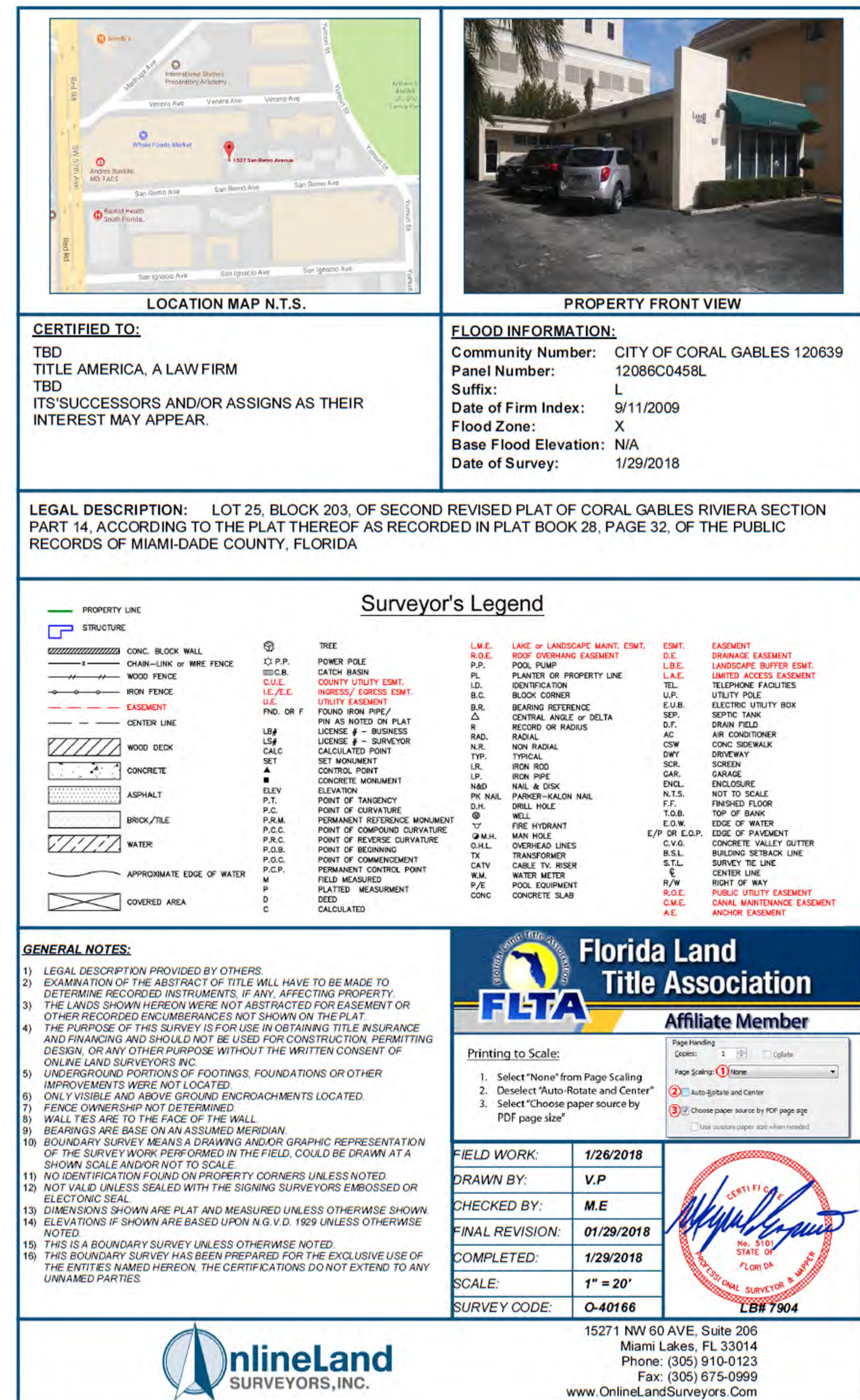
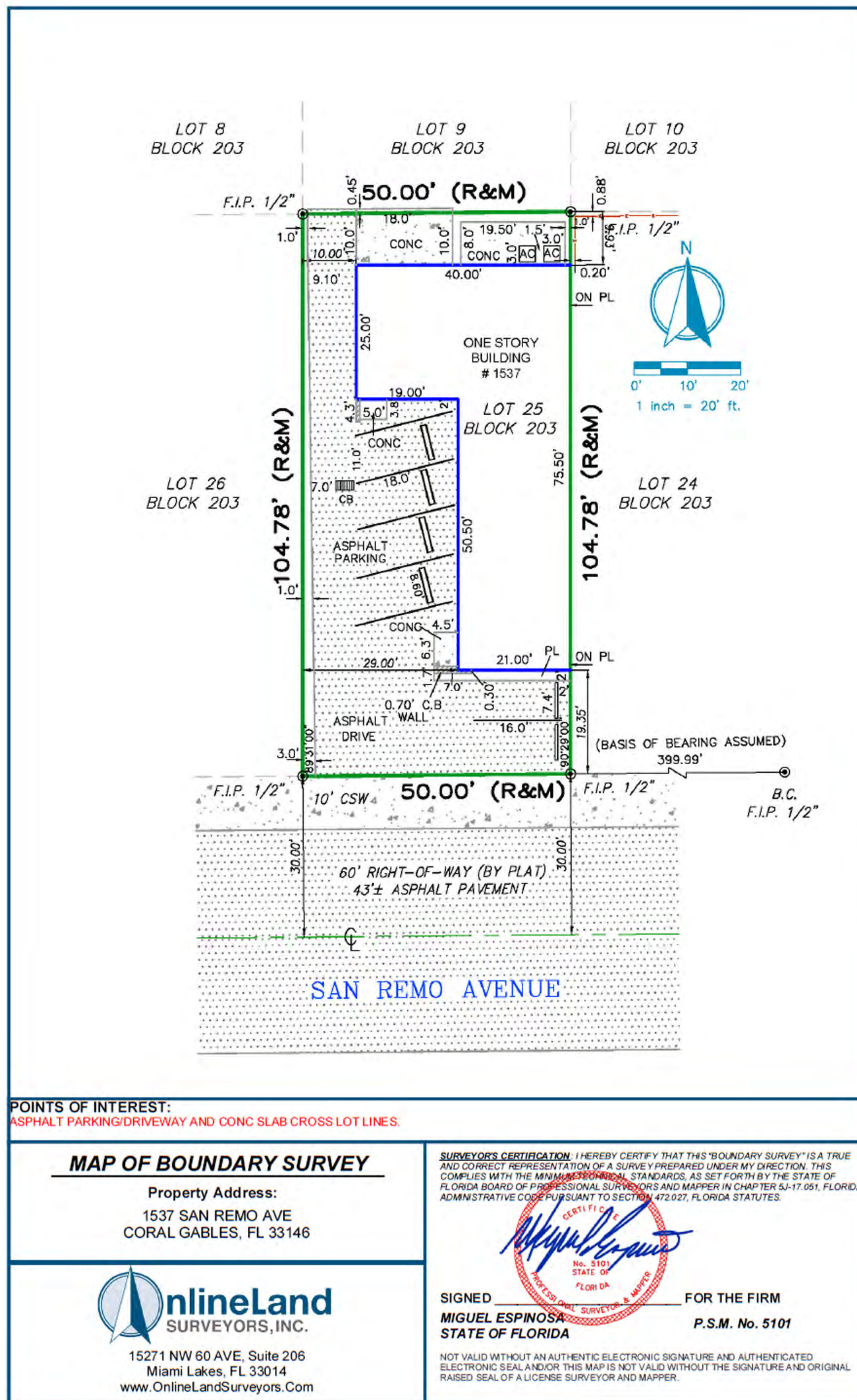
SHOMA

2ND COMMISSION HEARING  
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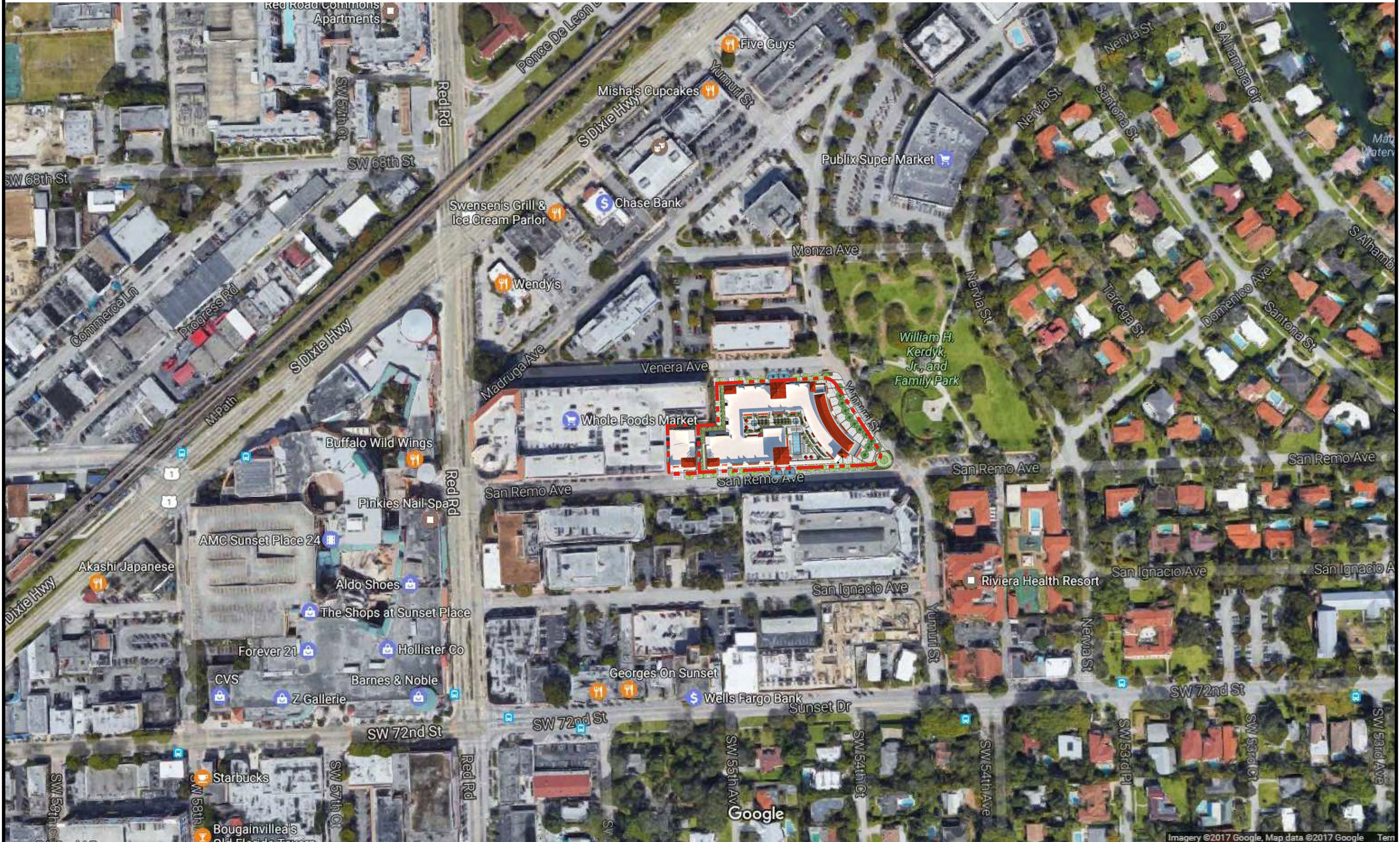
PROPERTY  
SURVEY

A-1

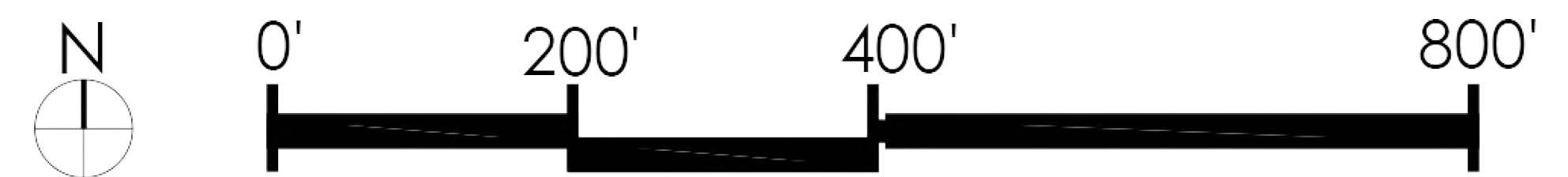




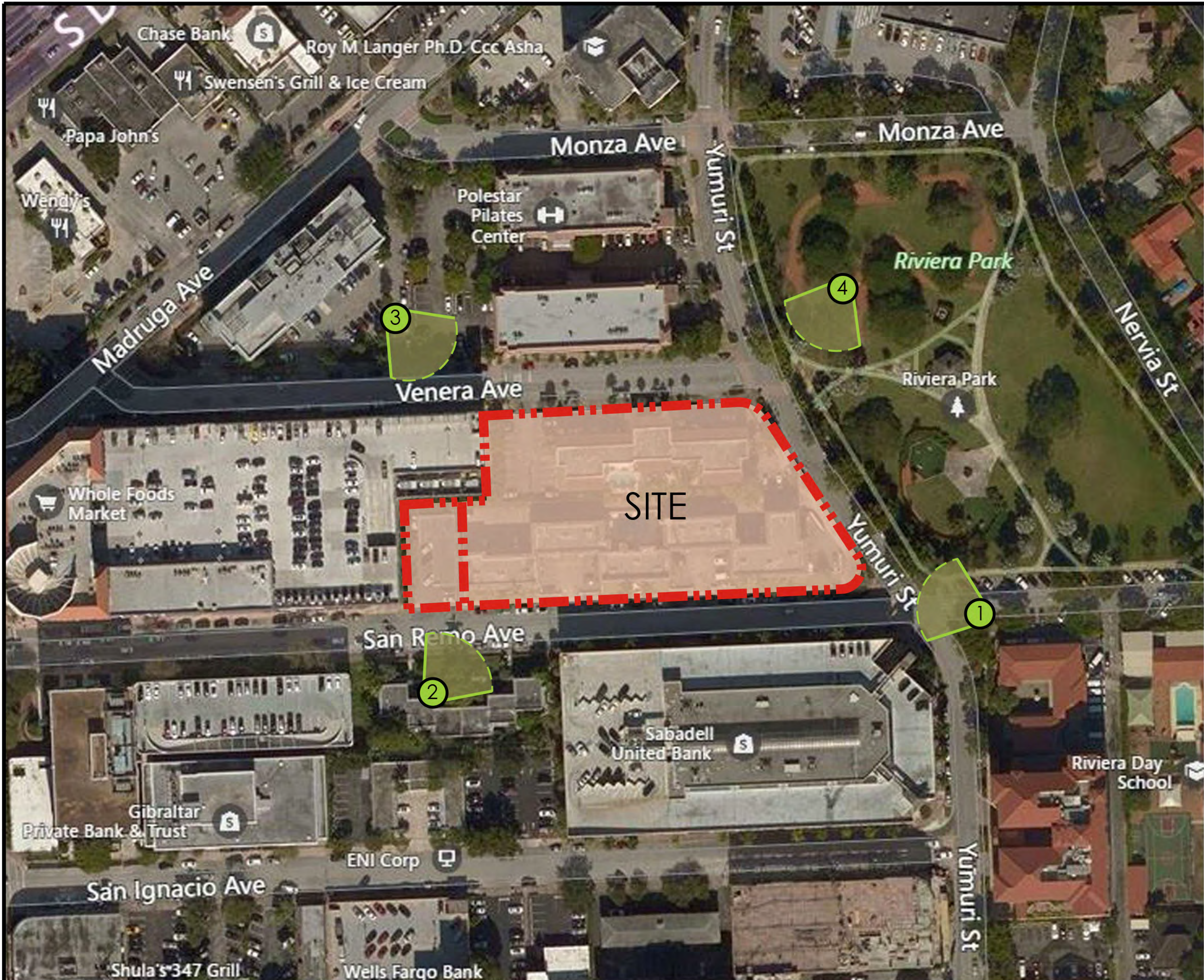




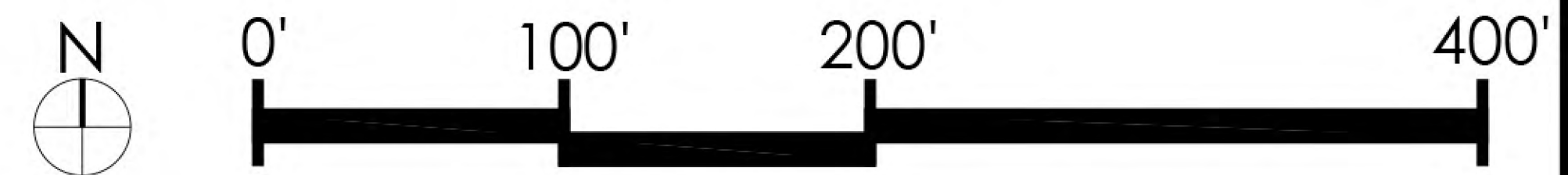
## FULL BLOCK SITE PLAN







AERIAL LOCATION







①



②



③



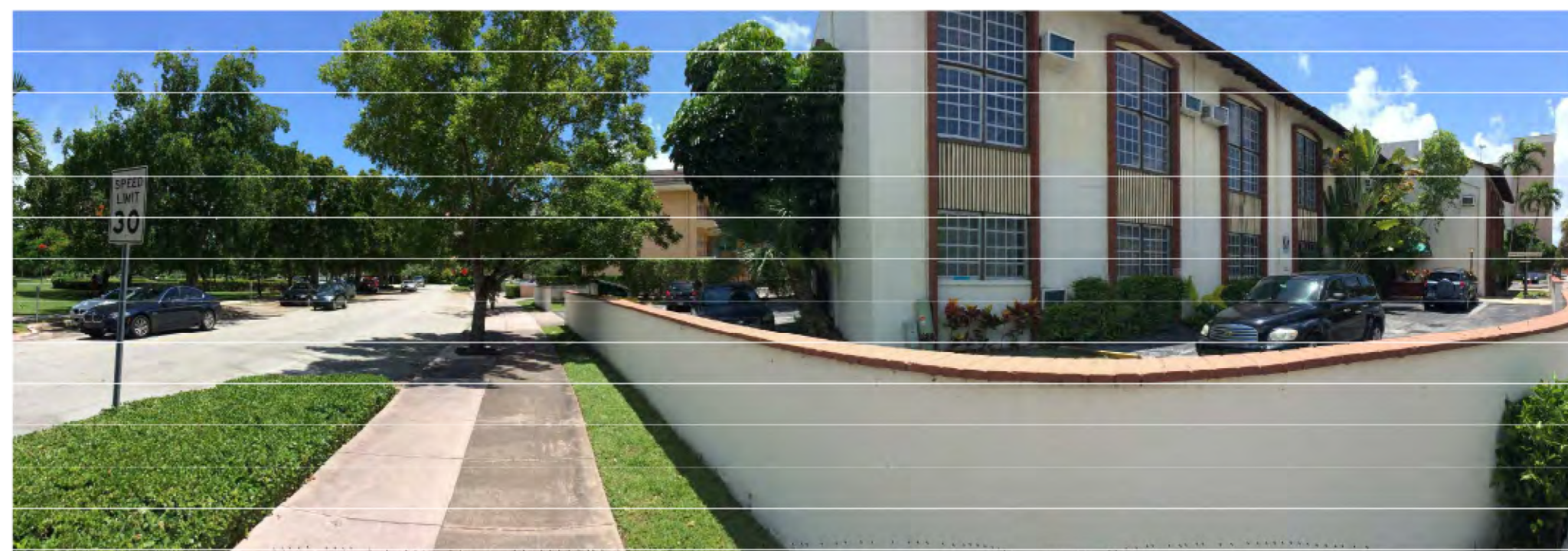
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⑤



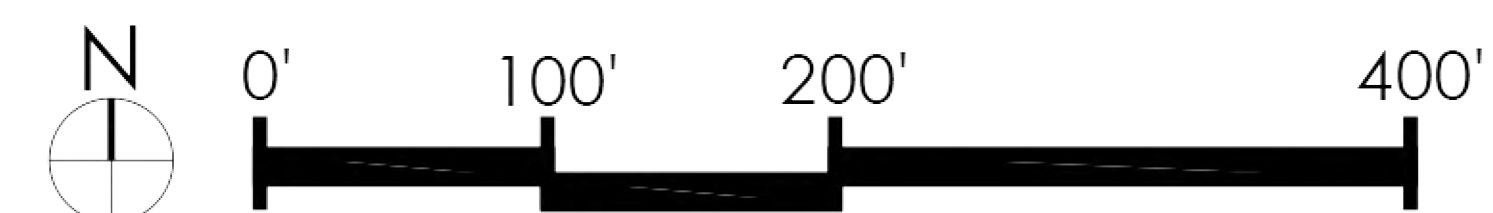
⑥



⑦



SITE PHOTOS



Bermello Ajamil & Partners, Inc.  
2401 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
P: (305) 859-2050  
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VENERA

1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL  
1537 SAN REMO AVE, 33146  
CORAL GABLES, FL

SHOMA

2ND COMMISSION HEARING  
MAY 22, 2018

SITE  
PHOTOS

A-4



| 1500 Venera Ave, 33146, Folio 03-4130-009-1040  |  |  |
|---|--|--|
| Property  | C (Commercial District)  |  |
| Property Size   | 29,900sf .686 acres  |  |
| Floor Lot Ratio   | 3.0 or 3.5 with architectural incentives.  |  |
| Total Development by Right  | (FAR 3.0) = 89,700sf (FAR of 3.5) = 104,650sf  |  |
| Principal Height  | Up to 70' max or 97' with architectural incentives   |  |
| Maximum Height Allowed:   | 70'0" if Mediterreanean Style = 97'-0"   |  |
| Maximum Units Allowed for Property:   |  |  |
| Setbacks:   | <b>Front:</b><br>15ft in height - 0' setback<br>Above 15' in height - 10' setback<br><b>Side:</b><br>interior side: Under 45' in height 0'0" setback<br>Above 45' in height 15'-0" + 1'-0" setback for each 3 feet of height<br><b>Rear:</b><br>Abutting street or alley - 0'-0"<br>NOT abutting steet - 10'0"<br><br>Balconies: max 6'0" over setback |  |
| 1515 San Remo Avenue, 33146, Folio 03-4130-033-0001   |  |  |
| Property  | MF2 (Multi-Family District)  |  |
| Property Size   | 42,473.63 sf .975 acres  |  |
| 1537 San Remo Ave, 33146, Folio 03-4130-009-1180  |  |  |
| Property  | C (Commercial District)  |  |
| Property Size   | 5,239 sf .120 acres  |  |
| 1500 Venera Ave, 33146, Folio 03-4130-009-1040<br>1515 San Remo Avenue, 33146, Folio 03-4130-033-0001<br>1537 San Remo Ave, 33146, Folio 03-4130-009-1180 |  |  |
| Property  | MXD (Mixed Use District)   |  |
| Property Size   | 77,612.63 sf 1.78 acres  |  |
| Floor Lot Ratio   | Up to 3.5 with Mediterranean architecture  |  |
| Total Development by Right  | <b>271,643 sf</b>  |  |
| Principal Height  | Up to 97'-0"   |  |
| Maximum Height Allowed:   | Up to 97'-0"   |  |
| Density   | Max 125/acres  |  |
| Maximum Units Allowed for Property:   | <b>222.5 units by right</b>  |  |
| Setbacks:   | <b>Front:</b><br>45ft in height - 0' setback<br>Above 45ft - 10'-0"<br><b>Side:</b><br>Interior side - none<br>Side street - 15'-0"<br><b>Rear:</b><br>Abutting an alley or street - none<br>NOT abutting street - 10'-0"<br><br>Balconies: max 6'0" over setback  |  |
| PARKING REQUIREMENTS  |  |  |
| RESIDENTIAL   | 1 bed= 1 <b>Per City 1 bed = 1 space</b><br>2 beds = 1.75<br>3 beds = 2.25 spaces  |  |
| RETAIL  | 1 per 250sf <b>Per City 1 PER 300SF</b>  |  |



| 1500 VENERA & 1537 SAN REMO<br>PROGRAM ANALYSIS      |                      |       |                      |                      |              |              |
|--|----------------------|-------|----------------------|----------------------|--------------|--------------|
| UNIT MATRIX  | 1 BED                | 2 BED | 3 BED                | TOTAL UNITS          | SF PER LEVEL | TOTAL S.F.   |
|  |                      |       |                      |                      |              |              |
| PHASE 1  | 1500 Venera Avenue   |       |                      |                      |              |              |
| GROUND LEVEL   | 0                    | 0     | 0                    |                      |              |              |
| 2ND LEVEL  | 1                    | 0     | 4                    |                      | 5,336        | 5,456        |
| 3RD LEVEL  | 1                    | 0     | 4                    |                      | 5,336        | 5,456        |
| 4TH LEVEL  | 1                    | 0     | 4                    |                      | 5,336        | 5,322        |
| 5TH LEVEL  | 4                    | 4     | 17                   |                      | 25,596       | 28,530       |
| 6TH LEVEL  | 4                    | 4     | 18                   |                      | 26,695       | 28,653       |
| 7TH-9TH LEVEL  | 12                   | 12    | 60                   |                      | 28,824       | 86,472       |
| PHASE 2  | 1537 San Remo Avenue |       |                      |                      |              |              |
| GROUND LEVEL   | 0                    | 0     | 0                    |                      |              |              |
| 2ND-4TH LEVEL  | 0                    | 0     | 0                    |                      |              |              |
| 5TH LEVEL  | 0                    | 0     | 0                    |                      |              |              |
| TOTAL  | 23                   | 20    | 107                  | 150                  |              | 159,889      |
| RETAIL AREA GROUND LEVEL - PHASE 1                   | 1500 Venera Avenue   |       |                      |                      |              |              |
|  | 21,009               |       |                      |                      |              |              |
|  |                      |       |                      |                      |              | GRAND TOTAL  |
|  |                      |       |                      |                      |              | 180,898      |
| FAR  |                      |       |                      | AREA                 | # LEVELS     | GROSS AREA   |
| PHASE 1 ALLOWABLE FAR                                |                      |       |                      | 253,307              |              |              |
| PHASE 2 ALLOWABLE FAR                                |                      |       |                      | 18,336               |              |              |
|  |                      |       |                      |                      |              |              |
| PHASE 1  |                      |       |                      | 1500 Venera Avenue   |              |              |
| GROUND FLOOR   |                      |       |                      | 43,797               |              |              |
| 2ND FLOOR  |                      |       |                      | 6,792                | 1            | 6,792        |
| 3RD FLOOR  |                      |       |                      | 6,792                | 1            | 6,792        |
| 4TH FLOOR  |                      |       |                      | 6,661                | 1            | 6,661        |
| 5TH FLOOR  |                      |       |                      | 37,071               | 1            | 37,071       |
| 6TH FLOOR  |                      |       |                      | 33,114               | 1            | 33,114       |
| 7TH TO 9TH FLOOR                                     |                      |       |                      | 35,622               | 3            | 106,866      |
| PHASE 2  |                      |       |                      | 1537 San Remo Avenue |              |              |
| GROUND FLOOR   |                      |       |                      | 2,764                | 1            | 2,764        |
| 2ND-4TH LEVEL  |                      |       |                      | 4,107                | 3            | 12,321       |
| 5TH LEVEL  |                      |       |                      | 3,042                | 1            | 3,042        |
| TOTAL PROPOSED FAR                                   |                      |       |                      | 259,220              |              |              |
| TOTAL ALLOWABLE FAR                                  |                      |       |                      | 271,643              |              |              |
|  |                      |       |                      | DELTA                |              |              |
|  |                      |       |                      | 12,423               |              |              |
| PARKING  |                      |       |                      |                      |              |              |
|  |                      |       |                      |                      |              |              |
|  |                      |       | REQ. RATIO           | # OF UNITS           | AREA         | REQ. PARKING |
| PHASE 1  |                      |       | 1500 Venera Avenue   |                      |              |              |
| 1 BEDROOM  |                      |       | 1                    | 23                   |              | 23           |
| 2 BEDROOM  |                      |       | 1.75                 | 20                   |              | 35           |
| 3 BEDROOM  |                      |       | 2.25                 | 107                  |              | 241          |
| RETAIL   |                      |       | 1 PER 300SF          |                      | 21,009       | 70           |
| PHASE 2  |                      |       | 1537 San Remo Avenue |                      |              |              |
| OFFICE   |                      |       | 1 PER 300SF          |                      | 15,363       | 51           |
| TOTAL PARKING REQUIRED                               |                      |       |                      |                      |              | 420          |
| TOTAL PARKING REQUIRED WITH SHARED PARKING REDUCTION |                      |       |                      |                      |              | 344          |
|  |                      |       |                      |                      |              |              |
| TOTAL PARKING PROVIDED                               |                      |       |                      |                      |              | 356          |
| * ADA PARKING TO BE ADDED PER RETAIL AREA            |                      |       |                      |                      |              | DELTA        |
|  |                      |       |                      |                      |              | 12           |

| 1500 Venera<br>SHARED PARKING TABULATION |                  |                       |                     |                  |                       |                     |
|--|------------------|-----------------------|---------------------|------------------|-----------------------|---------------------|
| Use                                      | Weekday          |                       |                     | Weekend          |                       |                     |
|  | Day<br>8am - 5pm | Evening<br>5pm - 12am | Night<br>12am - 8am | Day<br>8am - 5pm | Evening<br>5pm - 12am | Night<br>12am - 8am |
| Residential                              | 60%              | 90%                   | 100%                | 80%              | 90%                   | 100%                |
| 150 Units = 299 spaces required          | 179              | 269                   | 299                 | 239              | 269                   | 299                 |
| Restaurant                               | 50%              | 100%                  | 10%                 | 75%              | 100%                  | 10%                 |
| 2,109 SF = 70 spaces required            | 35               | 70                    | 7                   | 53               | 70                    | 7                   |
| Office                                   | 100%             | 10%                   | 5%                  | 10%              | 5%                    | 5%                  |
| 15,363 SF = 51 spaces required           | 51               | 5                     | 3                   | 5                | 3                     | 3                   |
| TOTAL SPACES REQUIRED                    | 265              | 344                   | 309                 | 297              | 342                   | 309                 |
| TOTAL SPACES PROVIDED                    |                  | 356                   |                     |                  |                       |                     |
| DELTA                                    |                  | 12                    |                     |                  |                       |                     |

| PROPERTY                    |     |                         |
|-----------------------------|-----|-------------------------|
| COMMERCIAL DISTRICT         |     | 35,139 SF               |
| MULTI- FAMILY DISTRICT      |     | 42,473.63 SF            |
| MXD MIXED USE DISTRICT      |     | 77,612.63 SF 1.78 ACRES |
| TOTAL UNITS                 |     | 150                     |
| UNIT TYPES                  | 1BR | 2BR 3BR                 |
|                             | 23  | 20 107                  |
|                             | 15% | 14% 71%                 |
| TOTAL PARKING PROVIDED      |     | 356                     |
| BUILDING HEIGHT TO THE ROOF |     | 97'                     |

## Zoning Map

### Zoning Districts

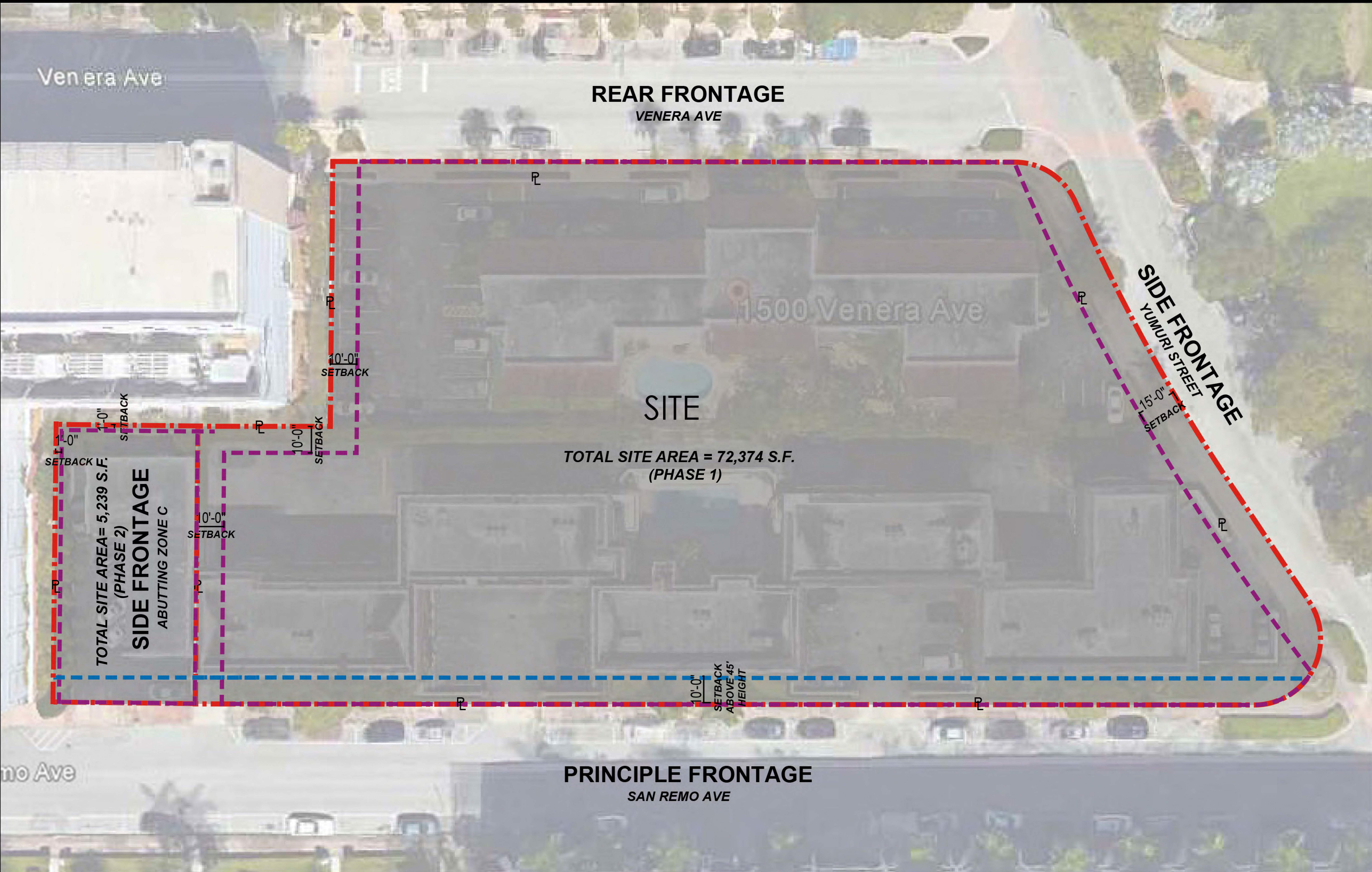
|   |                                  |
|---|----------------------------------|
| (SFR) Single-Family Residential District  | (S) Special Use District         |
| (MF1) Multi-Family 1 Duplex District      | (P) Preservation District        |
| (MF2) Multi-Family 2 District             | (CL) Commercial Limited District |
| (MFSA) Multi-Family Special Area District | (C) Commercial District          |
| (UCD) University Campus District          | (I) Industrial District          |

## Future Land Use Map

### Land Use Classifications

|  |   |                                  |                                   |
|--|---|----------------------------------|-----------------------------------|
| Residential Single-Family Low Density (6 Units/Acre)             | Residential Multi-Family High Density (150 Feet; 60 Units/Acre) | University Campus                | Conservation Areas                |
| Residential Single-Family High Density (9 Units/Acre)            | Commercial Low-Rise Intensity (50 Feet; 3.0 F.A.R.)             | University Campus Multi-Use Area | Public Buildings and Grounds      |
| Residential Multi-Family Duplex Density (8 Units/Acre)           | Residential Mid-Rise Intensity (70 Feet; 3.0 F.A.R.)            | Education                        | Hospital                          |
| Residential Multi-Family Low Density (50 Feet; 20 Units/Acre)    | Commercial High-Rise Intensity (150 Feet; 3.0 F.A.R.)           | Parks and Recreation             | Religious/Institutional           |
| Residential Multi-Family Medium Density (70 Feet; 40 Units/Acre) | Industrial  | Open Space                       | Community Services and Facilities |

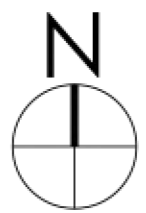




SETBACKS/ANALYSIS

LEGEND:

- PROPERTY LINE
- SETBACKS
- SETBACKS ABOVE 45'



0'

50'

100'

200'

SETBACKS

A-5.5

SHOMA

2ND COMMISSION HEARING  
MAY 22, 2018

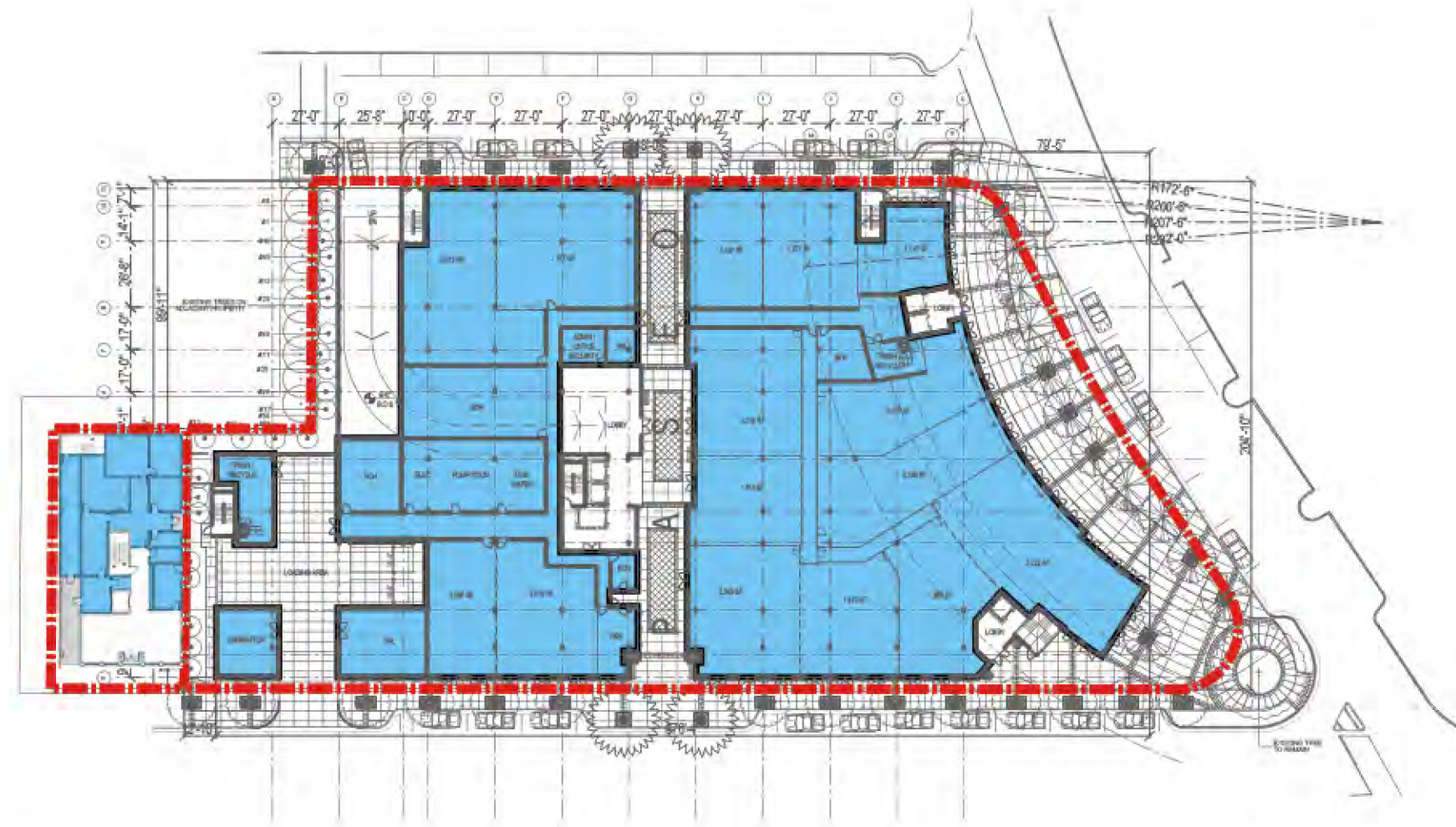
VENERA



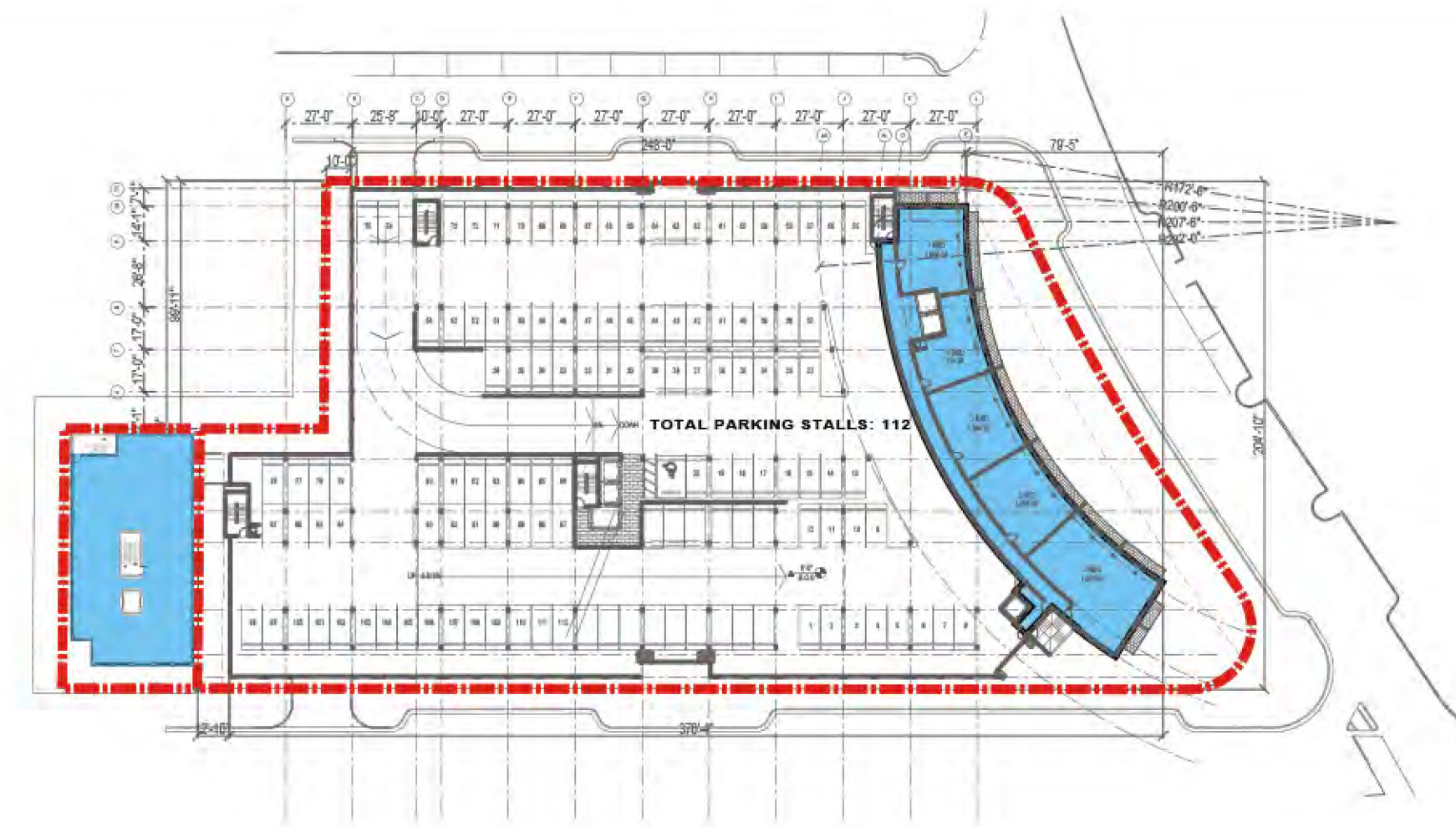
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2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
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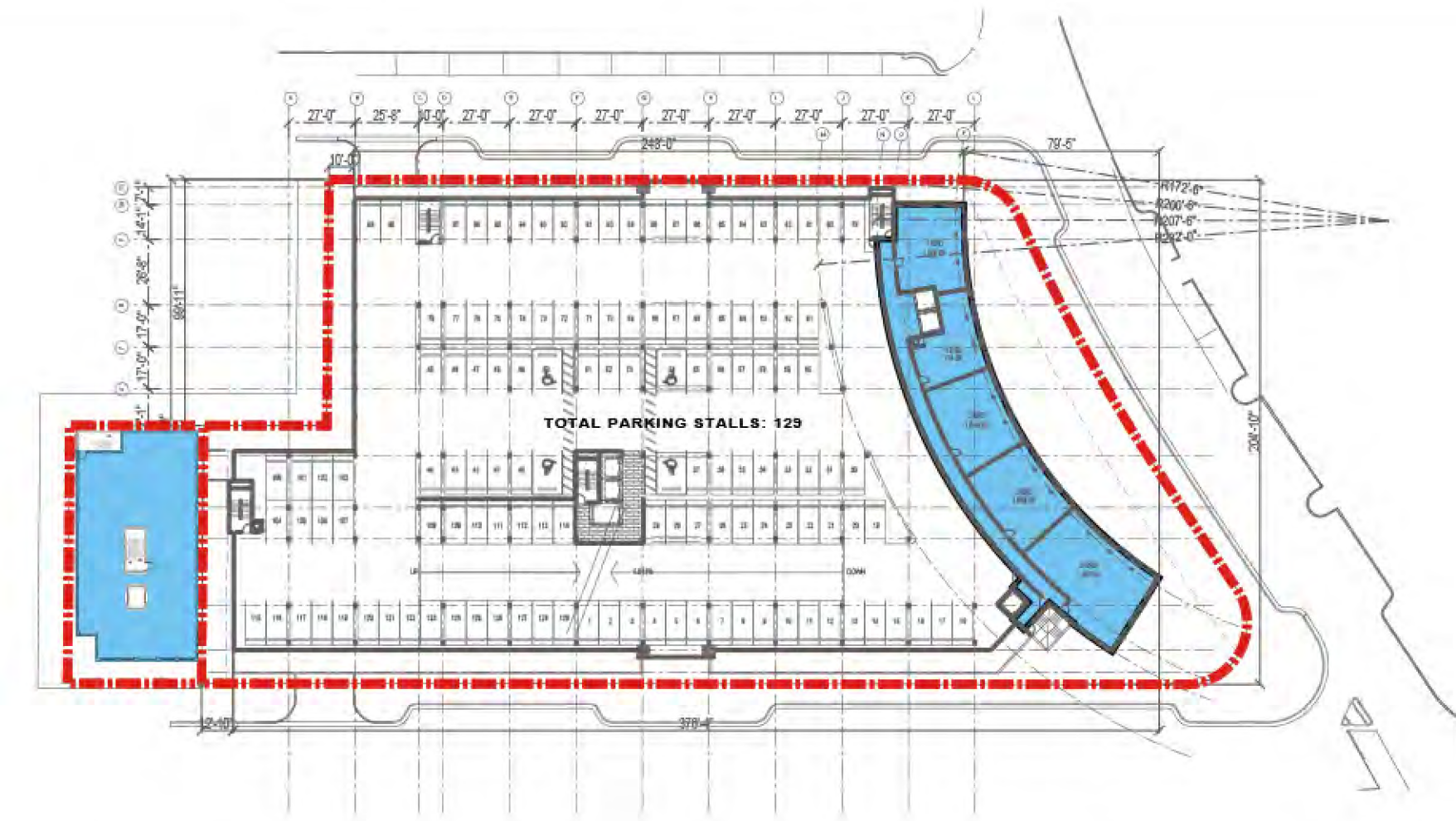




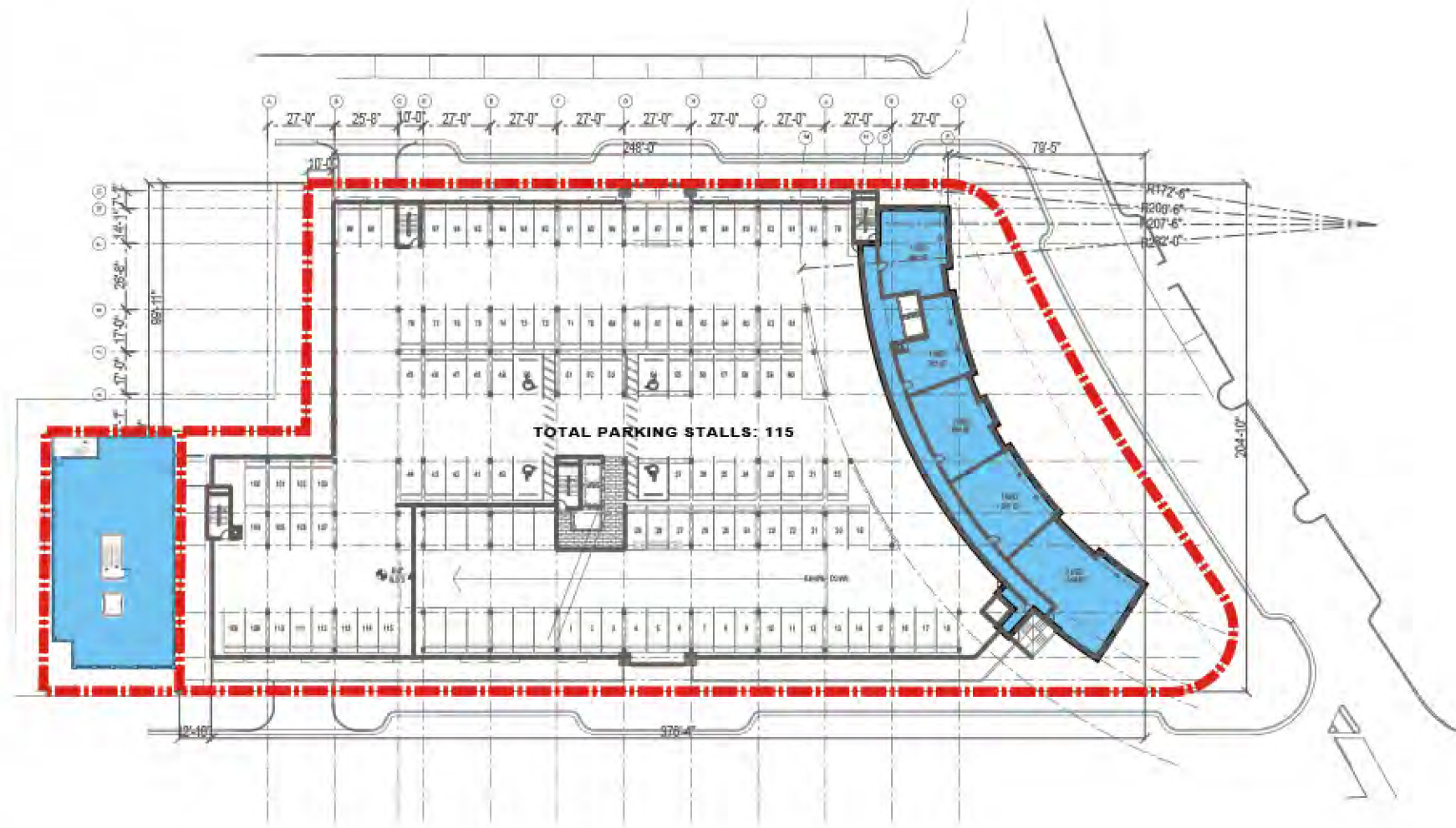
GROUND FLOOR  
FAR = 46,561 SF



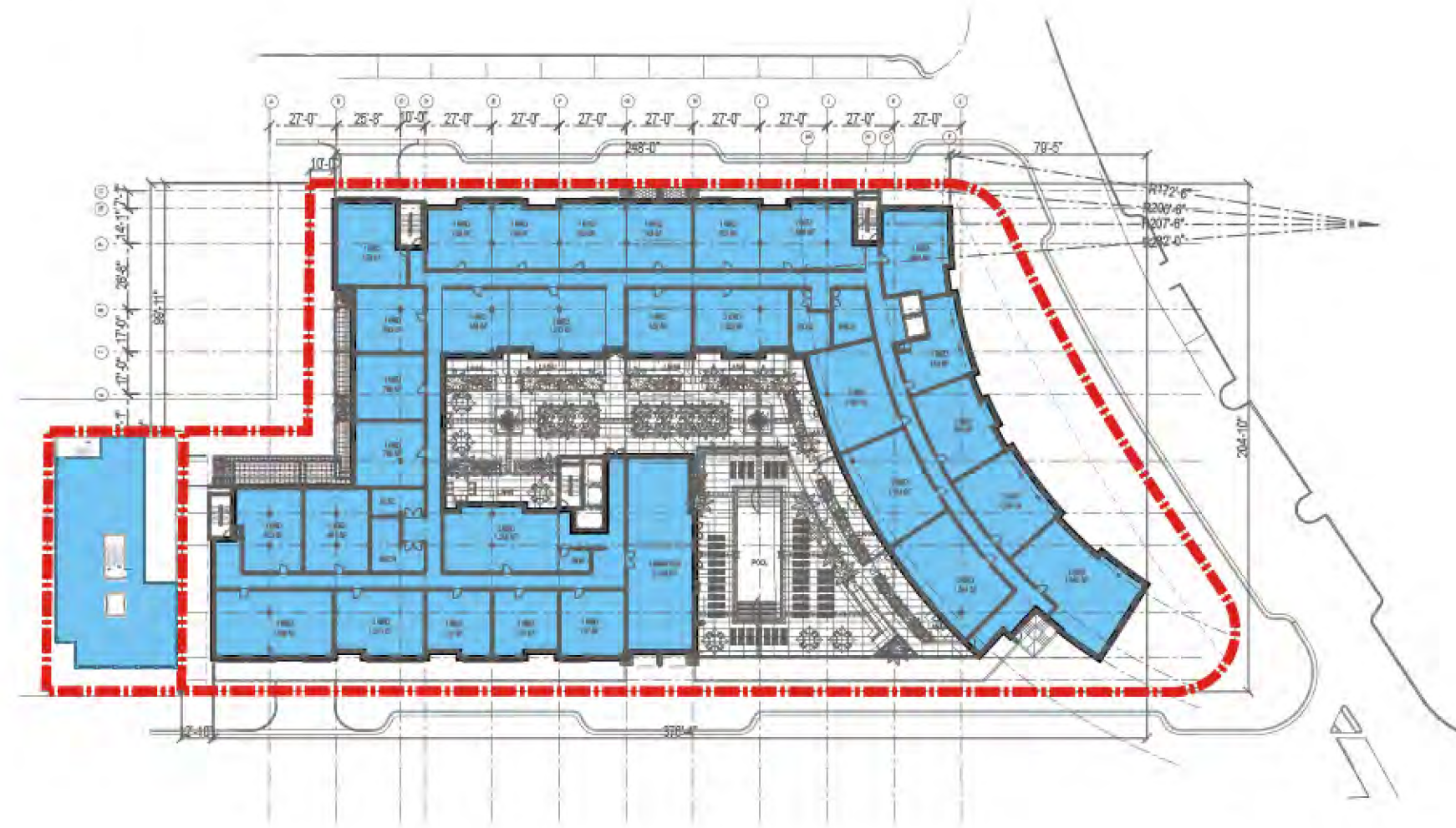
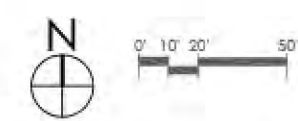
2ND FLOOR  
FAR = 10,899 SF



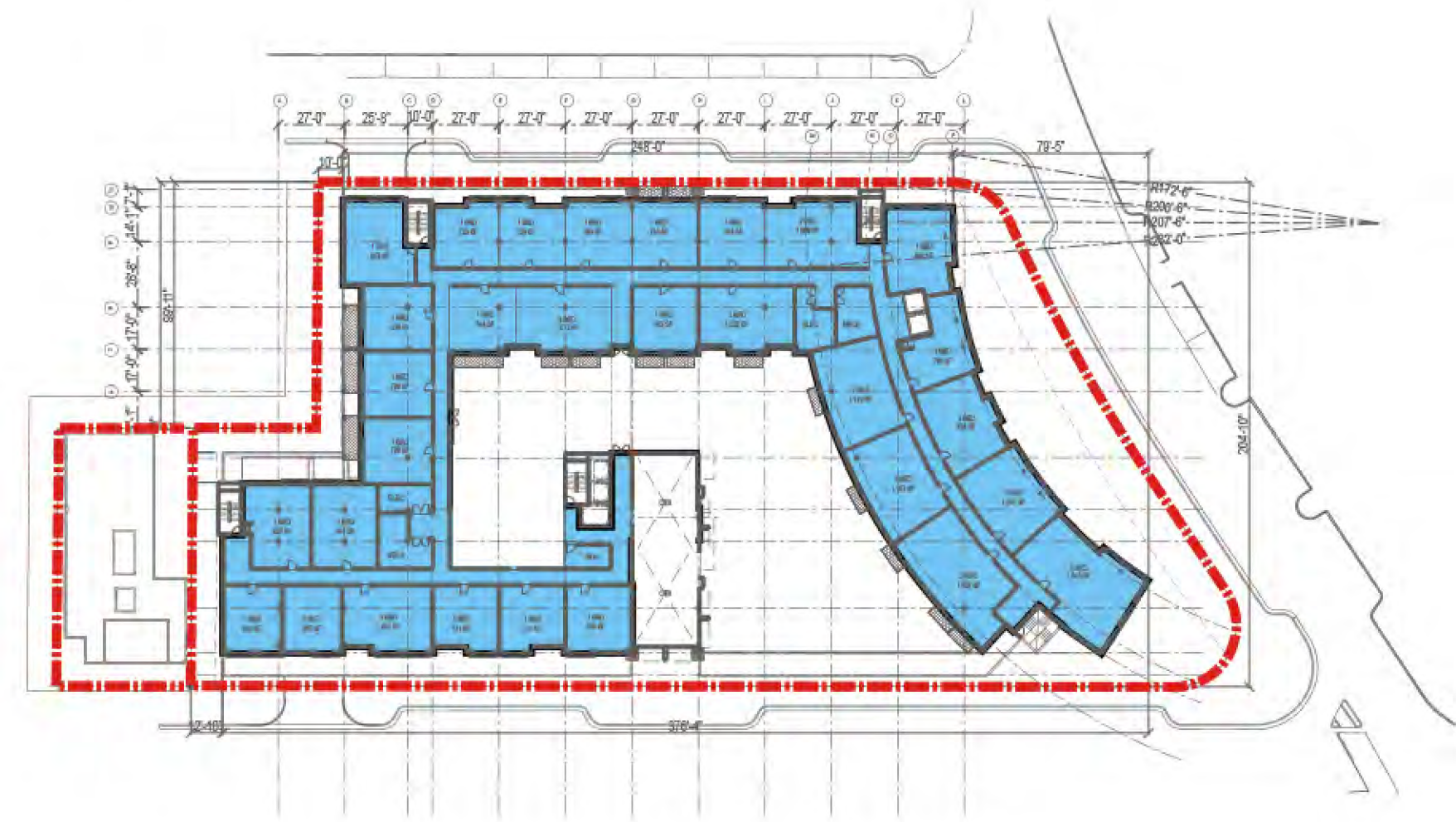
3RD FLOOR  
FAR = 10,899 SF



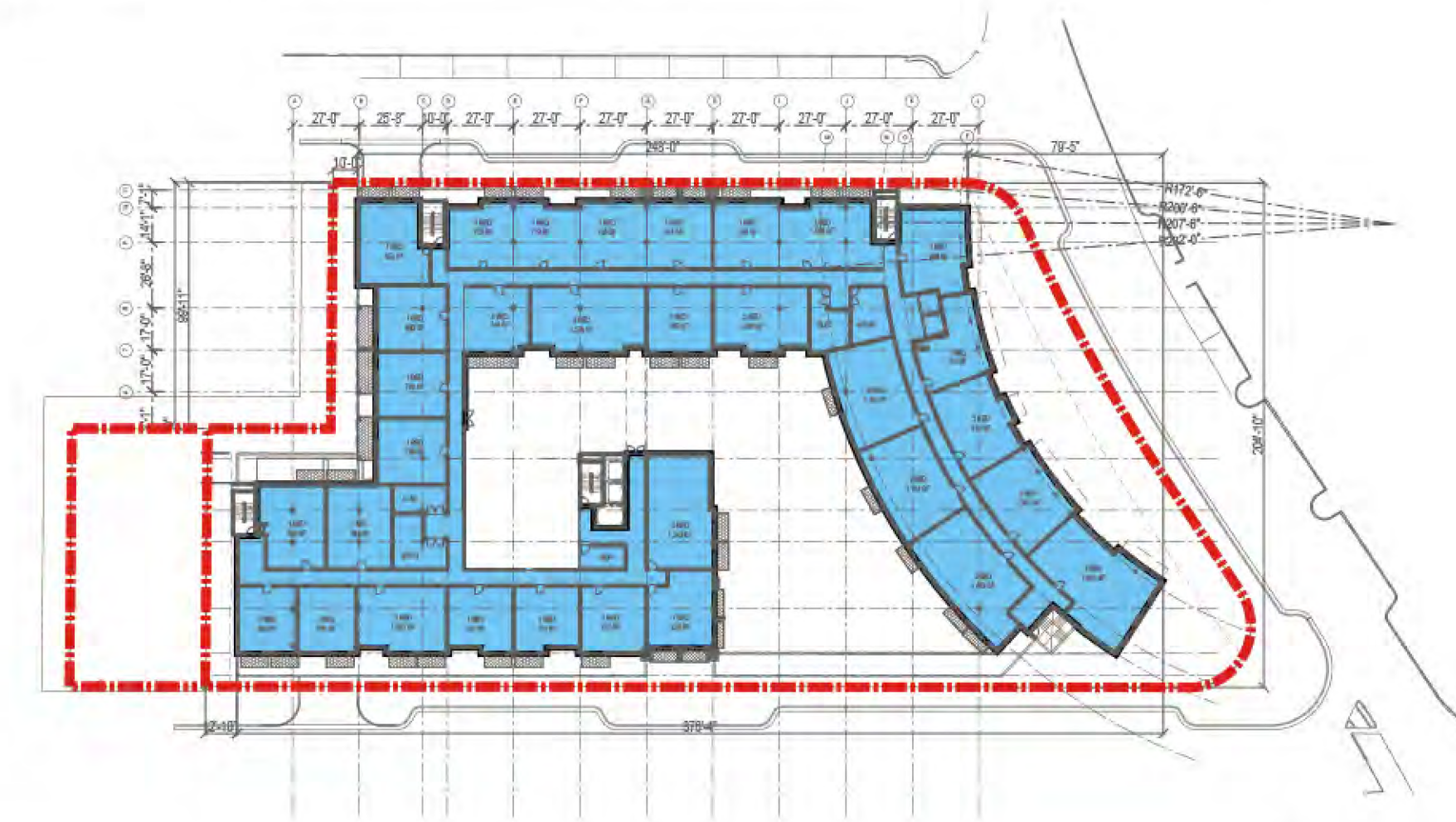
4TH FLOOR  
FAR = 10,768 SF



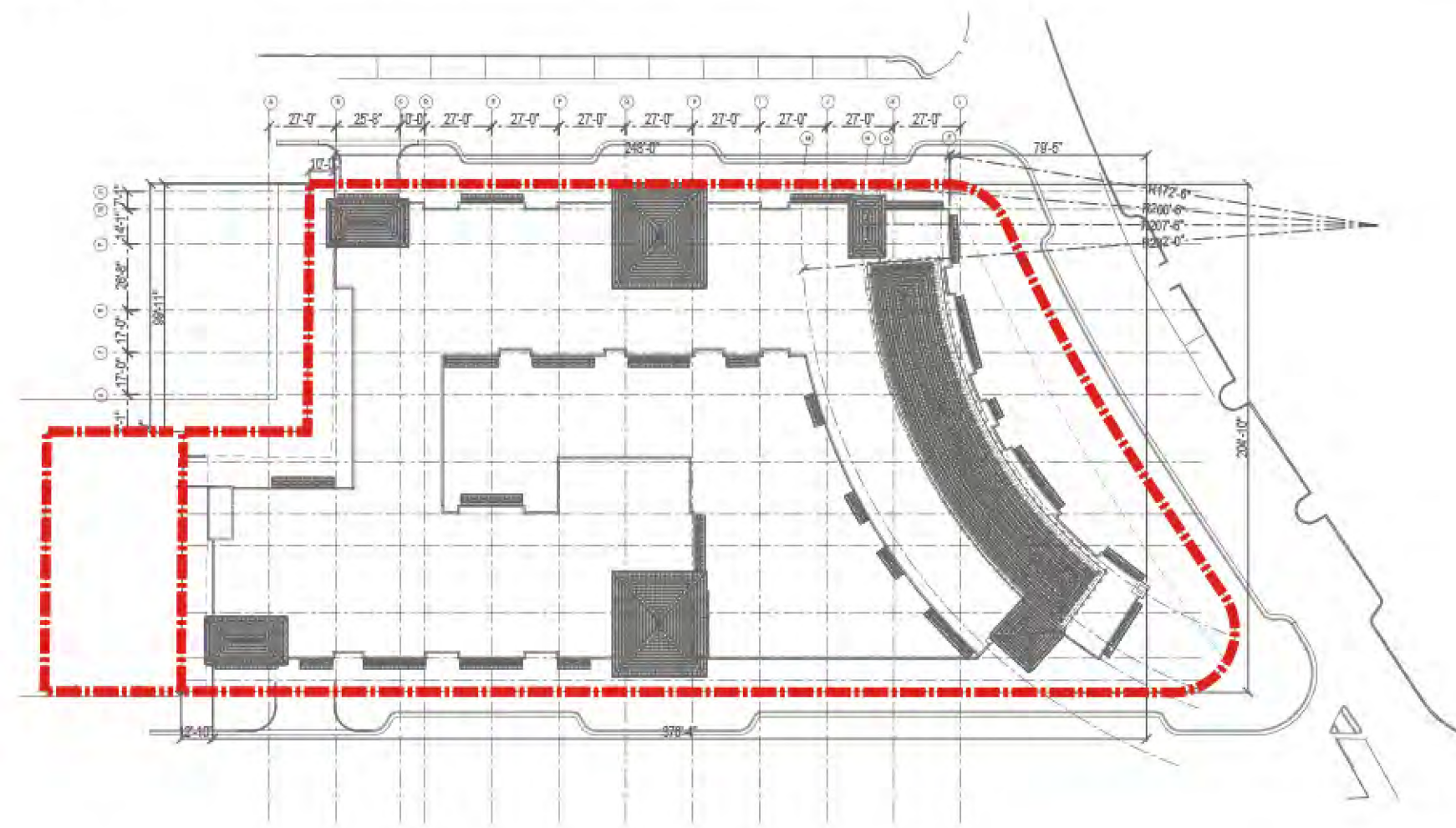
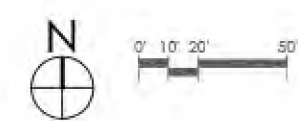
5TH FLOOR  
FAR = 40,113 SF



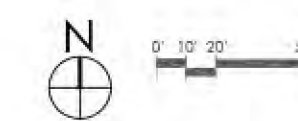
6TH FLOOR  
FAR = 33,114 SF



7TH - 9TH FLOOR  
FAR = 35,622 SF  
35,622 SF X 3 FLOORS = 106,866 SF



ROOF  
FAR = 0 SF



## FAR PLANS

SCALE: 1/64" = 1'-0"

TOTAL FAR = 46,561 + 10,899 + 10,899 + 10,768 + 40,113 + 33,114 + 106,866 = 259,220 SF

ALLOWABLE FAR = 271,643 SF

### LEGEND:

PROPERTY LINE  
SETBACKS  
SETBACKS ABOVE 45'



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2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
P: (305) 859-2050  
WWW.BERMELLOAJAMIL.COM

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1500 VENERA AVE, 33146  
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MAY 22, 2018

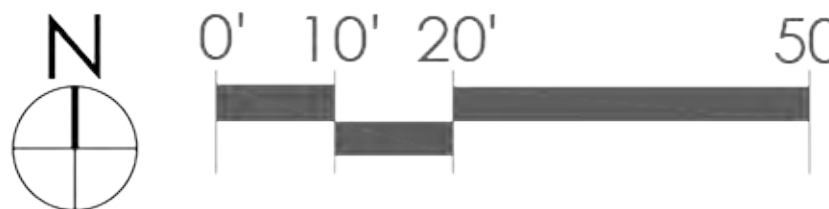
FAR  
PLANS

A-5.6





TOTAL OPEN AIR = 14,699 SF



LEGEND:

PROPERTY LINE

## SETBACKS

## SETBACKS ABOVE 45

OPEN AIR

# OPEN AIR DIAGRAM

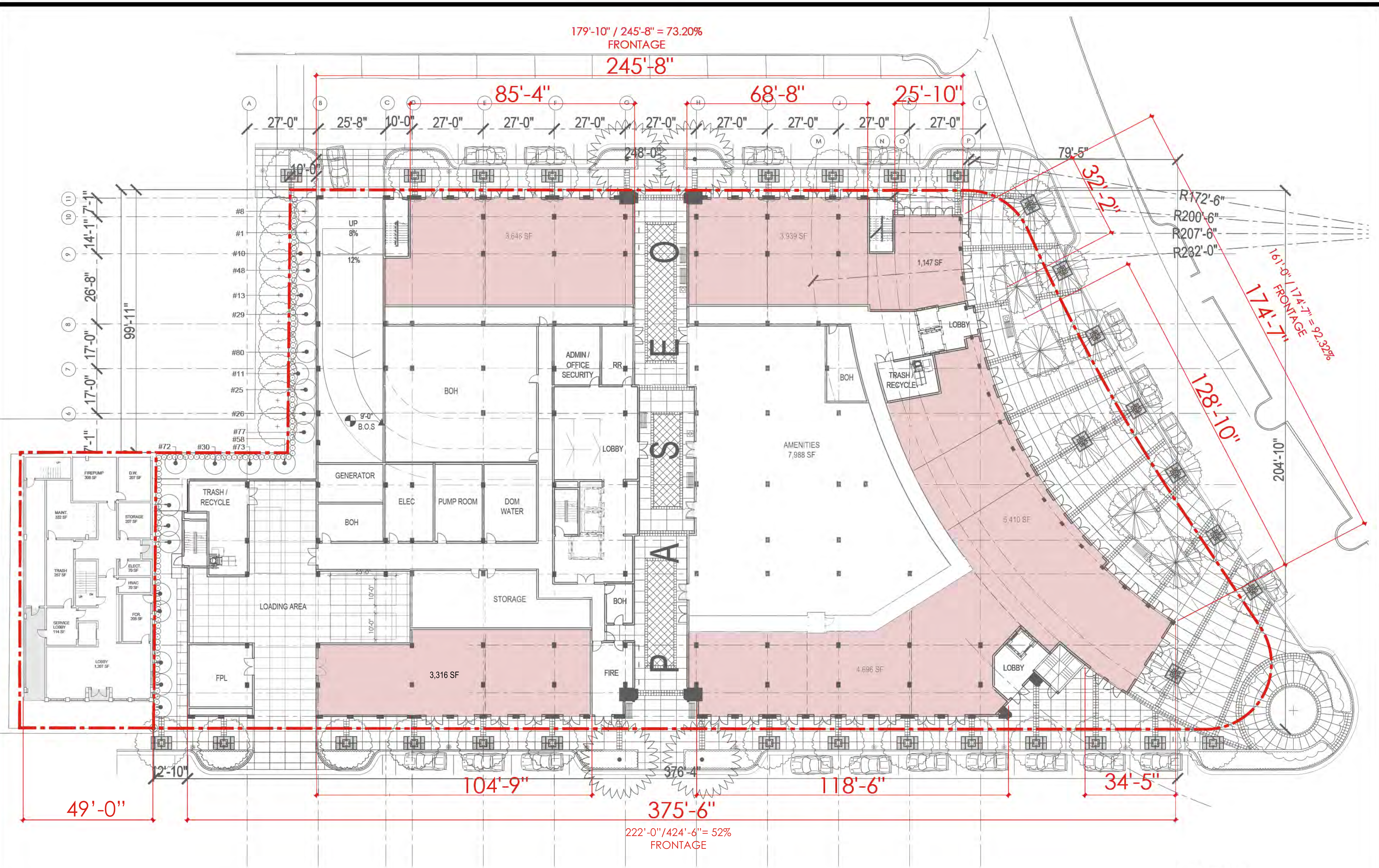
# A-5.7

# ARE WE THERE YET?

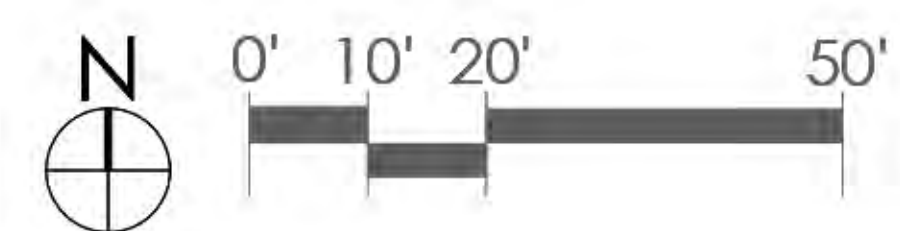
# SHOMA

END COMMISSION HEARING  
MAY 22, 2018





**GROUND FLOOR  
FRONTAGE DIAGRAM**  
SCALE: 1/16" = 1'-0"



**LEGEND:**  
 PROPERTY LINE  
 SETBACKS  
 SETBACKS ABOVE 45'

**ba**

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 2401 SOUTH BAYSHORE DRIVE, SUITE 1000  
 MIAMI, FL 33133  
 P: (305) 859-2050  
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1500 VENERA AVE, 33146  
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**SHOMA**

2ND COMMISSION HEARING  
 MAY 22, 2018

FRONTAGE  
DIAGRAM

A-5.8





# LEED 2009 for New Construction and Major Renovations

## Project Checklist

Project Name

Date

### ☐ ☐ ☐ Sustainable Sites Possible Points: 26

| Y | ? | N |            |   |   |
|---|---|---|------------|---|---|
| Y |   |   | Prereq 1   | Construction Activity Pollution Prevention                          |   |
|   |   |   | Credit 1   | Site Selection  | 1 |
|   |   |   | Credit 2   | Development Density and Community Connectivity                      | 5 |
|   |   |   | Credit 3   | Brownfield Redevelopment  | 1 |
|   |   |   | Credit 4.1 | Alternative Transportation—Public Transportation Access             | 6 |
|   |   |   | Credit 4.2 | Alternative Transportation—Bicycle Storage and Changing Rooms       | 1 |
|   |   |   | Credit 4.3 | Alternative Transportation—Low-Emitting and Fuel-Efficient Vehicles | 3 |
|   |   |   | Credit 4.4 | Alternative Transportation—Parking Capacity                         | 2 |
|   |   |   | Credit 5.1 | Site Development—Protect or Restore Habitat                         | 1 |
|   |   |   | Credit 5.2 | Site Development—Maximize Open Space                                | 1 |
|   |   |   | Credit 6.1 | Stormwater Design—Quantity Control                                  | 1 |
|   |   |   | Credit 6.2 | Stormwater Design—Quality Control                                   | 1 |
|   |   |   | Credit 7.1 | Heat Island Effect—Non-roof   | 1 |
|   |   |   | Credit 7.2 | Heat Island Effect—Roof   | 1 |
|   |   |   | Credit 8   | Light Pollution Reduction   | 1 |

### ☐ ☐ ☐ Water Efficiency Possible Points: 10

| Y | ? | N |          |                                    |        |
|---|---|---|----------|------------------------------------|--------|
| Y |   |   | Prereq 1 | Water Use Reduction—20% Reduction  |        |
|   |   |   | Credit 1 | Water Efficient Landscaping        | 2 to 4 |
|   |   |   | Credit 2 | Innovative Wastewater Technologies | 2      |
|   |   |   | Credit 3 | Water Use Reduction                | 2 to 4 |

### ☐ ☐ ☐ Energy and Atmosphere Possible Points: 35

| Y | ? | N |          |  |         |
|---|---|---|----------|--|---------|
| Y |   |   | Prereq 1 | Fundamental Commissioning of Building Energy Systems |         |
| Y |   |   | Prereq 2 | Minimum Energy Performance                           |         |
| Y |   |   | Prereq 3 | Fundamental Refrigerant Management                   |         |
|   |   |   | Credit 1 | Optimize Energy Performance                          | 1 to 19 |
|   |   |   | Credit 2 | On-Site Renewable Energy                             | 1 to 7  |
|   |   |   | Credit 3 | Enhanced Commissioning                               | 2       |
|   |   |   | Credit 4 | Enhanced Refrigerant Management                      | 2       |
|   |   |   | Credit 5 | Measurement and Verification                         | 3       |
|   |   |   | Credit 6 | Green Power  | 2       |

### ☐ ☐ ☐ Materials and Resources Possible Points: 14

| Y | ? | N |            |   |        |
|---|---|---|------------|---|--------|
| Y |   |   | Prereq 1   | Storage and Collection of Recyclables                           |        |
|   |   |   | Credit 1.1 | Building Reuse—Maintain Existing Walls, Floors, and Roof        | 1 to 3 |
|   |   |   | Credit 1.2 | Building Reuse—Maintain 50% of Interior Non-Structural Elements | 1      |
|   |   |   | Credit 2   | Construction Waste Management                                   | 1 to 2 |
|   |   |   | Credit 3   | Materials Reuse   | 1 to 2 |

### ☐ ☐ ☐ Materials and Resources, Continued

| Y | ? | N |          |                             |        |
|---|---|---|----------|-----------------------------|--------|
|   |   |   | Credit 4 | Recycled Content            | 1 to 2 |
|   |   |   | Credit 5 | Regional Materials          | 1 to 2 |
|   |   |   | Credit 6 | Rapidly Renewable Materials | 1      |
|   |   |   | Credit 7 | Certified Wood              | 1      |

### ☐ ☐ ☐ Indoor Environmental Quality Possible Points: 15

| Y | ? | N |            |  |   |
|---|---|---|------------|--|---|
| Y |   |   | Prereq 1   | Minimum Indoor Air Quality Performance                       |   |
| Y |   |   | Prereq 2   | Environmental Tobacco Smoke (ETS) Control                    |   |
|   |   |   | Credit 1   | Outdoor Air Delivery Monitoring                              | 1 |
|   |   |   | Credit 2   | Increased Ventilation  | 1 |
|   |   |   | Credit 3.1 | Construction IAQ Management Plan—During Construction         | 1 |
|   |   |   | Credit 3.2 | Construction IAQ Management Plan—Before Occupancy            | 1 |
|   |   |   | Credit 4.1 | Low-Emitting Materials—Adhesives and Sealants                | 1 |
|   |   |   | Credit 4.2 | Low-Emitting Materials—Paints and Coatings                   | 1 |
|   |   |   | Credit 4.3 | Low-Emitting Materials—Flooring Systems                      | 1 |
|   |   |   | Credit 4.4 | Low-Emitting Materials—Composite Wood and Agrifiber Products | 1 |
|   |   |   | Credit 5   | Indoor Chemical and Pollutant Source Control                 | 1 |
|   |   |   | Credit 6.1 | Controllability of Systems—Lighting                          | 1 |
|   |   |   | Credit 6.2 | Controllability of Systems—Thermal Comfort                   | 1 |
|   |   |   | Credit 7.1 | Thermal Comfort—Design                                       | 1 |
|   |   |   | Credit 7.2 | Thermal Comfort—Verification                                 | 1 |
|   |   |   | Credit 8.1 | Daylight and Views—Daylight                                  | 1 |
|   |   |   | Credit 8.2 | Daylight and Views—Views                                     | 1 |

### ☐ ☐ ☐ Innovation and Design Process Possible Points: 6

| Y | ? | N |            |                                      |   |
|---|---|---|------------|--------------------------------------|---|
|   |   |   | Credit 1.1 | Innovation in Design: Specific Title | 1 |
|   |   |   | Credit 1.2 | Innovation in Design: Specific Title | 1 |
|   |   |   | Credit 1.3 | Innovation in Design: Specific Title | 1 |
|   |   |   | Credit 1.4 | Innovation in Design: Specific Title | 1 |
|   |   |   | Credit 1.5 | Innovation in Design: Specific Title | 1 |
|   |   |   | Credit 2   | LEED Accredited Professional         | 1 |

### ☐ ☐ ☐ Regional Priority Credits Possible Points: 4

| Y | ? | N |            |                                    |   |
|---|---|---|------------|------------------------------------|---|
|   |   |   | Credit 1.1 | Regional Priority: Specific Credit | 1 |
|   |   |   | Credit 1.2 | Regional Priority: Specific Credit | 1 |
|   |   |   | Credit 1.3 | Regional Priority: Specific Credit | 1 |
|   |   |   | Credit 1.4 | Regional Priority: Specific Credit | 1 |

### ☐ ☐ ☐ Total Possible Points: 110

Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110

ba

Bermello Ajamil & Partners, Inc.  
2401 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
P: (305) 859-2050  
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1500 VENERA AVE, 33146  
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MAY 22, 2018

LEED  
CHECKLIST

A-5.9



TABLE 1: ALL COMPLIES

| Table 1. Required standards |             |                 |           |   |  |
|-----------------------------|-------------|-----------------|-----------|---|--|
| Reference Number            | Residential | Non-Residential | Mixed Use | Type  | Requirements   |
| 1                           | ✓           | ✓               | ✓         | Architectural elements on building facades.             | Similar exterior architectural relief elements shall be provided on all sides of all buildings. No blank walls shall be permitted unless required pursuant to applicable City, State and Federal requirements (i.e., Fire and Life Safety Code, etc).<br><br>Parking garages shall include exterior architectural treatments compatible with buildings or structures that occupy the same property and/or street.  |
| 2                           |             | ✓               | ✓         | Architectural relief elements at street level.          | On any building facades fronting streets, where an adjoining pedestrian sidewalk is located, one or more of the following design features shall be included at the street level:<br>a. Display windows or retail display area; and/or,<br>b. Landscaping and/or ornamentation.<br>c. Architectural relief elements or ornamentation.   |
| 3                           | ✓           | ✓               | ✓         | Architectural elements located on the top of buildings. | Exclusion from height. The following shall be excluded from computation of building height in C, A and M-Use Districts: (3373)<br>a. Air-conditioning equipment room.<br>b. Elevator shafts.<br>c. Elevator mechanical equipment rooms.<br>d. Parapets.<br>e. Roof structures used only for ornamental and/or aesthetic purposes not exceeding a combined area of twenty-five (25%) percent of the floor area immediately below. Such exclusion shall be subject to the provisions that no such structure shall exceed a height of more than twenty-five (25) feet above the roof, except for commercial buildings in the Central Business District (CBD) where no such structure shall exceed a 1/3 of the allowable total building height. |
| 4                           | ✓           | ✓               | ✓         | Bicycle storage.  | To encourage the use of bicycles, bicycle storage facilities (racks) shall be provided. A minimum of five (5) bicycle storage spaces shall be provided for each 250 parking spaces or fraction thereof.  |
| 5                           | ✓           | ✓               | ✓         | Building facades.                                       | Facades in excess of 150 feet in length shall incorporate vertical breaks, stepbacks or variations in bulk/massing at a minimum of 100-foot intervals.   |
| 6                           | ✓           | ✓               | ✓         | Building lot coverage.                                  | No minimum or maximum building lot coverage is required.   |
| 7                           | ✓           | ✓               | ✓         | Drive through facilities.                               | Drive through facilities including but not limited to banking facilities, restaurants, pharmacies, dry cleaners, etc. are prohibited access to/from Ponce de Leon Boulevard from SW 8 <sup>th</sup> Street to Bird Road, Miracle Mile from Douglas Avenue to LeJeune Road, and Alhambra Circle from Douglas Avenue to LeJeune Road.  |
| 8                           | ✓           | ✓               | ✓         | Landscape open space area.                              | Each property shall provide the following minimum landscape open area (percentage based upon total lot area):<br>a. 5% for nonresidential properties;<br>b. 10% for mixed use properties; and,<br>c. 25% for residential properties.<br>The total area shall be based upon the total lot area. This landscape area can be provided at street level, within the public right-of-way, elevated areas, planter boxes, planters, etc.  |
| 9                           | ✓           | ✓               | ✓         | Lighting, street.                                       | Street lighting shall be provided and located on all streets/rights-of-way. The type of fixture shall be the approved City of Coral Gables light fixture and location/spacing, etc. shall be the subject to review and approval by the Department of Public Works.   |
| 10                          | ✓           | ✓               | ✓         | Parking garages.  | Ground floor parking as a part of a multi-use building shall not front on a primary street. ADA parking is permitted on the ground floor. Ground floor parking is permitted on secondary/side streets and shall be fully enclosed within the structure and/or shall be surrounded by retail uses and/or residential units. Ground floor parking is permitted on alley frontages.<br><br>Parking facilities shall strive to accommodate pedestrian access to all adjacent street(s) and alleys.   |
| 11                          | ✓           | ✓               | ✓         | Porte-cocheres.   | Porte-cocheres are prohibited access to/from Ponce de Leon Boulevard from SW 8 <sup>th</sup> Street to Bird Road, Miracle Mile from Douglas Avenue to LeJeune Road, and Alhambra Circle from Douglas Avenue to LeJeune Road.   |
| 12                          | ✓           | ✓               | ✓         | Rights-of-way improvements.                             | Landscape islands, landscape bulbouts, curbing, pedestrian crosswalks, bulbouts and other associated traffic calming improvements shall be installed within the sidewalk and/or rights-of-way (subject to encroachment review and approval) equal to the length  |

FOR COMPLIANCE SEE SHEET A14, A15, A16, A17

FOR COMPLIANCE SEE SHEET A14, A15, A16, A17

COMPLIES

FOR COMPLIANCE SEE SHEET L02

FOR COMPLIANCE SEE SHEET A14, A15, A16, A17  
OK

DOES NOT APPLY

FOR COMPLIANCE SEE SHEET L01

FOR COMPLIANCE SEE SHEET A14, A15, A16, A17

FOR COMPLIANCE SEE SHEET A6

DOES NOT APPLY TO OUR SITE

FOR COMPLIANCE SEE SHEET L01

| Table 1. Required standards |             |                 |           |                                      |  |
|-----------------------------|-------------|-----------------|-----------|--------------------------------------|--|
| Reference Number            | Residential | Non-Residential | Mixed Use | Type                                 | Requirements   |
|                             |             |                 |           |                                      | of the property frontage of the adjacent rights-of-way for all rights-of-way abutting the proposed uses.<br><br>In lieu of the above requirements, the City in accordance with its rules and regulations may allow for the payment of the above improvements into a designated fund in lieu of providing the improvements if the off site improvements exist or if off site constraints exist or it is determined that a comprehensive installation of the improvements will be more beneficial to the public realm. The estimate shall be based upon design, installation and cost of all improvements. Applicants shall provide staff an estimate prepared by a certified civil engineer. City Staff shall evaluate and approve all estimates in accordance with the City's rules and regulations.   |
| 13                          | ✓           | ✓               | ✓         | Rights-of-way planting requirements. | Street planting requirements. The below listed vegetation shall be installed within the sidewalk and/or rights-of-way (subject to encroachment review and approval) equal to the length of the property frontage of the adjacent rights-of-way for all rights-of-way abutting the proposed uses. The options available as to the types of trees to be planted and installation requirements at the time of planting area are as follows:<br>a. Shade or ornamental shade street trees shall be provided subject to the following requirements:<br>(1) One tree per 35 linear feet or fraction thereof of rights-of-way frontage.<br>(2) Minimum height of 18 feet at time of planting; or,<br>b. Palm trees. Maximum of 25 percent of the required total may be this variety subject to the following requirements:<br>(1) One tree per 35 feet linear feet or fraction thereof of rights-of-way frontage.<br>(2) Minimum height of 14 feet at time of planting.<br>c. Shrub or ground cover planting requirements shall be one (1) shrub per three (3) linear feet or fraction thereof of the rights-of-way frontage, or ground cover shall be three (3) plants per one (1) linear foot or fraction thereof of the rights-of-way frontage.<br><br>Median planting requirements. If a median can be established or exists on larger rights-of-way, the median shall include the below listed vegetation:<br>a. Shade or ornamental shade street trees shall be provided subject to the following requirements:<br>(1) One tree per 35 linear feet or fraction thereof of median length.<br>(2) Minimum height of 16 feet at time of planting; or,<br>b. Palm trees. Maximum of 25 percent of the required total may be this variety subject to the following requirements:<br>(1) One tree per 35 linear feet of median length.<br>(2) Minimum height of 14 feet at time of planting.<br>c. Shrub or ground cover planting requirements shall be one (1) shrub per 2.5 linear feet or fraction thereof of two (2) foot width planting area within median, or ground cover shall be three (3) plants per one (1) foot or fraction thereof of the median length.<br><br>Alley planting requirements. If vegetation can be located within an alley, the below listed vegetation shall be installed within the sidewalk and/or right-of-way abutting the proposed uses:<br>a. Shade or ornamental shade street trees shall be provided subject to the following requirements:<br>(1) One tree per 35 linear feet or fraction thereof of rights-of-way frontage.<br>(2) Minimum height of 16 feet at time of planting; or,<br>b. Palm tree. Maximum of 25 percent of the required total may be this variety subject to the following requirements:<br>(1) One tree per 35 linear feet or fraction thereof of rights-of-way frontage.<br>(2) Minimum height of 14 feet.<br>c. Shrub or ground cover planting requirements shall be one (1) shrub per ten (10) linear feet or fraction thereof of the rights-of-way frontage or ground cover shall be three (3) plants one (1) linear foot or fraction thereof of the rights-of-way frontage. |

FOR COMPLIANCE SEE SHEET L01

| Table 1. Required standards |             |                 |           |                                     |   |
|-----------------------------|-------------|-----------------|-----------|-------------------------------------|---|
| Reference Number            | Residential | Non-Residential | Mixed Use | Type                                | Requirements  |
|                             |             |                 |           |                                     | All landscape areas shall be irrigated with a fully operational underground irrigation system providing 100% plant material coverage.<br><br>In lieu of the above requirements, the City in accordance with its rules and regulations may allow for the payment of landscaping into a designated fund in lieu of providing the landscaping if the off site landscaping exists, or off site constraints exist or it is determined that a comprehensive installation of improvements is more beneficial to improving the public realm. The estimate shall be based upon all costs associated with the design, installation and cost of all materials. Applicants shall provide Staff an estimate prepared by a State of Florida landscape architect. City Staff shall evaluate and approve all estimates in accordance with the City's rules and regulations. |
| 14                          |             | ✓               | ✓         | Sanitation areas.                   | All refuse/sanitation areas for the storage of sanitation dumpsters or similar refuse containers for food refuse or perishable refuse shall be within a fully enclosed air-conditioned area.  |
| 15                          |             | ✓               | ✓         | Sidewalks/ pedestrian access.       | All buildings, except accessory buildings, shall have their main pedestrian entrances oriented towards adjoining streets.<br><br>Pedestrian pathways and/or sidewalks shall be provided from all pedestrian access points and shall connect to one another to form a continuous pedestrian network from buildings, parking facilities, parking garages entrances, etc. Wherever possible pathways shall be separated from vehicular traffic.  |
| 16                          | ✓           | ✓               | ✓         | Soil, structural.                   | Structural soil shall be utilized within in all rights-of-way for all street level planting areas with root barriers approved by the Public Service Department.   |
| 17                          | ✓           | ✓               | ✓         | Windows on Mediterranean buildings. | Mediterranean buildings desiring bonuses shall provide a minimum window casing depth of 4 inches as measured from the face of the building.   |

FOR COMPLIANCE SEE SHEET A6

FOR COMPLIANCE SEE SHEET A6

NOTED

NOTED

TABLE 2: ONLY 8 OF 12 MUST COMPLY FOR BONUS

| Table 2. Architectural and Public Realm Standards |             |                 |           |  |   |
|---|-------------|-----------------|-----------|--|---|
| Reference Number                                  | Residential | Non-Residential | Mixed Use | Type   | Qualifications  |
| 1   | ✓           | ✓               | ✓         | Arcades and/or loggias                           | Arcades, loggias or covered areas constructed adjacent, parallel, and/or perpendicular to building to provide cover and protection from the elements for pedestrian passageways, sidewalks, etc. thereby promoting pedestrian passage/use. Limitations of encroachments on corners of buildings may be required to control view corridors and ground stories building bulk and massing. Awnings or other similar items do not satisfy these provisions.   |
| 2   | ✓           | ✓               | ✓         | Building rooflines.                              | Incorporation of horizontal and vertical changes in the building roofline.  |
| 3   | ✓           | ✓               | ✓         | Building stepback.                               | Stepbacks on building facades of the building base, middle and/or top facade to further reduce the external impacts of the building bulk and mass.  |
| 4   | ✓           | ✓               | ✓         | Building towers.                                 | The use of towers or similar masses to reduce the mass and bulk of buildings.   |
| 5   | ✓           | ✓               | ✓         | Driveways.                                       | Consolidation of vehicular entrances for drive-thru facilities, garage entrances, service bays and loading/unloading facilities into one curb cut per street to reduce the amount of vehicular penetration into pedestrian sidewalks and adjoining rights-of-way.   |
| 6   | ✓           | ✓               | ✓         | Lighting of landscaping.                         | Uplighting of landscaping within and/or adjacent to pedestrian areas (i.e., sidewalks, plazas, open spaces, etc.).  |
| 7   | ✓           | ✓               | ✓         | Materials on exterior building facades.          | The use of natural materials shall be incorporated into the base of the building on exterior surfaces of building. This includes but not limited to the following: marble, granite, keystone, etc.  |
| 8   |             | ✓               | ✓         | Overhead doors.                                  | If overhead doors are utilized, the doors are not directed towards residentially zoned properties.  |
| 9   | ✓           | ✓               | ✓         | Paver treatments.                                | Inclusion of paver treatments in all of the following locations:<br>a. Driveway entrances minimum of 10% of total paving surface.<br>b. Sidewalks. Minimum of 26% of total ground level paving surface.<br>The type of paver shall be subject to Public Works Department review and approval. Poured concrete color shall be Coral Gables Beige.  |
| 10  | ✓           | ✓               | ✓         | Pedestrian amenities.                            | Pedestrian amenities on both private property and/or public open spaces including a minimum of four (4) of the following:<br>a. Benches.<br>b. Expanded sidewalk widths beyond the property line.<br>c. Freestanding information kiosk (no advertising shall be permitted).<br>d. Planter boxes.<br>e. Refuse containers.<br>f. Public art.<br>g. Water features, fountains and other similar water features. Ground and/or wall mounted.<br><br>Above amenities shall be consistent in design and form with the City Public Realm Design Manual. |
| 11  |             | ✓               | ✓         | Pedestrian pass-throughs/ passages on properties | Pedestrian pass throughs provided for each 250 linear feet or fraction thereof of building frontage provided on properties contiguous to alleys and/or streets or other publicly owned properties. Buildings less than 250 feet in size shall provide a minimum of one pass through. The pass throughs shall be subject to the following:   |

FOR COMPLIANCE SEE SHEET A14, A15, A16, A17

FOR COMPLIANCE SEE SHEET A14, A15, A16, A17

FOR COMPLIANCE SEE SHEET A14, A15, A16, A17

FOR COMPLIANCE SEE SHEET A6

FOR COMPLIANCE SEE SHEET LANDSCAPE DRAWINGS

COMPLIES

FOR COMPLIANCE SEE SHEET LANDSCAPE DRAWINGS

FOR COMPLIANCE SEE SHEET LANDSCAPE DRAWINGS

FOR COMPLIANCE SEE SHEET A6

| Table 2. Architectural and Public Realm Standards |             |                 |           |                                      |  |
|---|-------------|-----------------|-----------|--------------------------------------|--|
| Reference Number                                  | Residential | Non-Residential | Mixed Use | Type                                 | Qualifications   |
|   |             |                 |           | contiguous to alleys and/or streets. | a. Minimum of 10 feet in width.<br>b. Include pedestrian amenities as defined herein.<br>In lieu of providing one pass through of 10 feet in width every 250 feet of building frontage, two pass throughs can be combined to provide one (1) 20-foot wide pass through.  |
| 12  | ✓           | ✓               | ✓         | Underground parking.                 | The use of underground (below grade level) parking, equal in floor area of a minimum of 75% of the total surface lot area. Underground parking shall be located entirely below the established grade as measured from the top of the supporting structure and includes all areas utilized for the storage of vehicles and associated a circulation features. |

(11, CONTINUED) FOR COMPLIANCE SEE SHEET A6

BONUS CHECKLIST

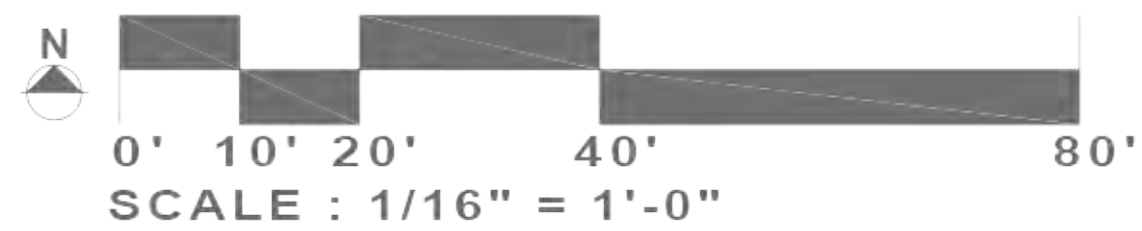
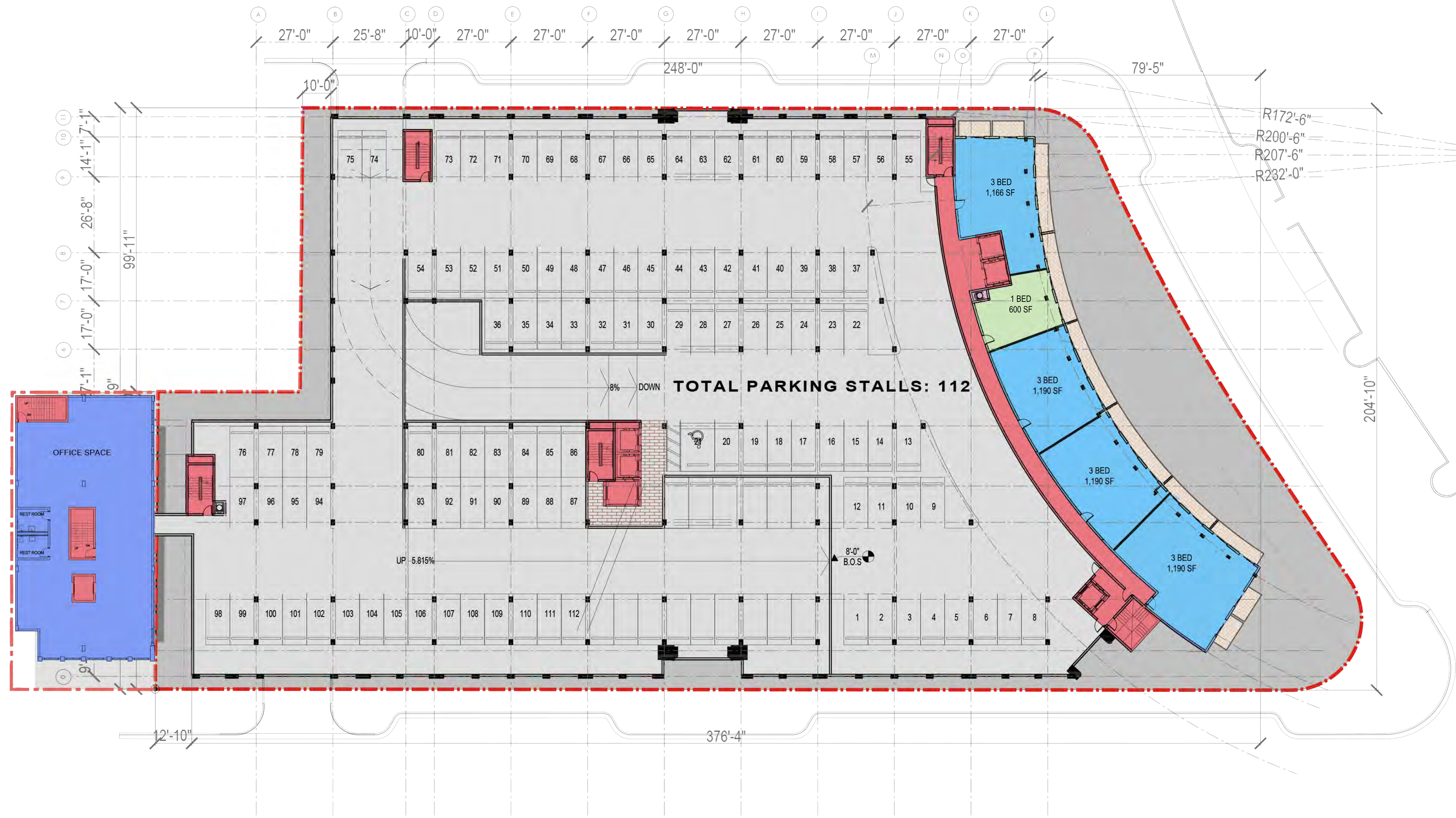




A-6



2ND FLOOR

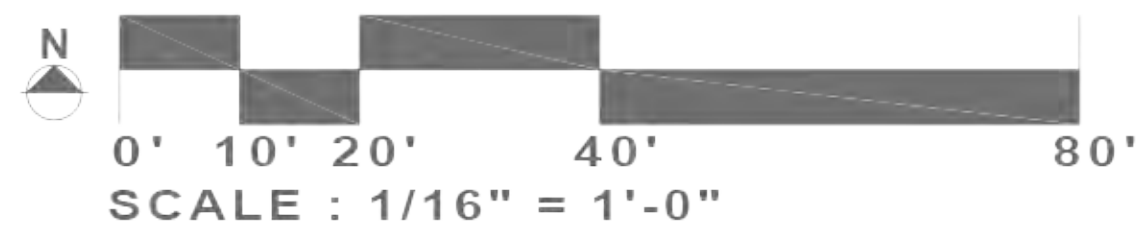
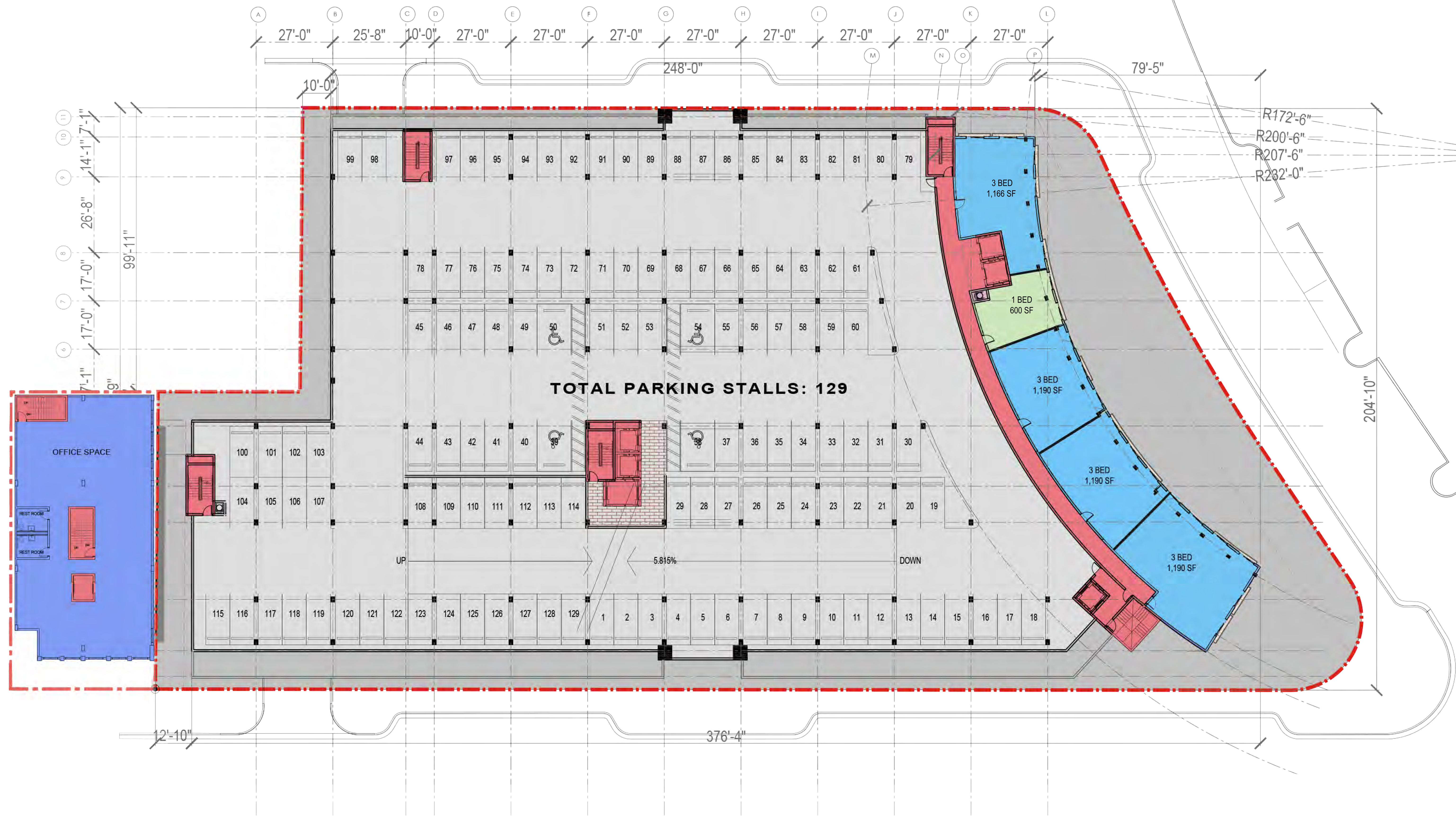


LEGEND

- |                            |             |                |
|----------------------------|-------------|----------------|
| --- PROPERTY LINE          | RETAIL      | OFFICE         |
| --- SETBACK LINE           | BOH         | 1 BEDROOM UNIT |
| --- SETBACK LINE ABOVE 45' | CIRCULATION | 2 BEDROOM UNIT |
|                            | AMENITIES   | 3 BEDROOM UNIT |



3RD FLOOR

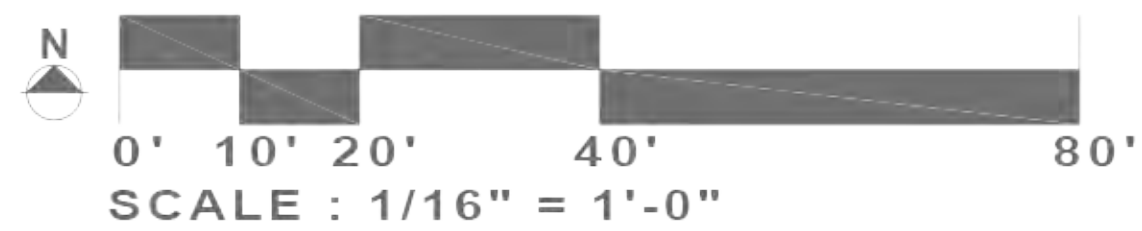
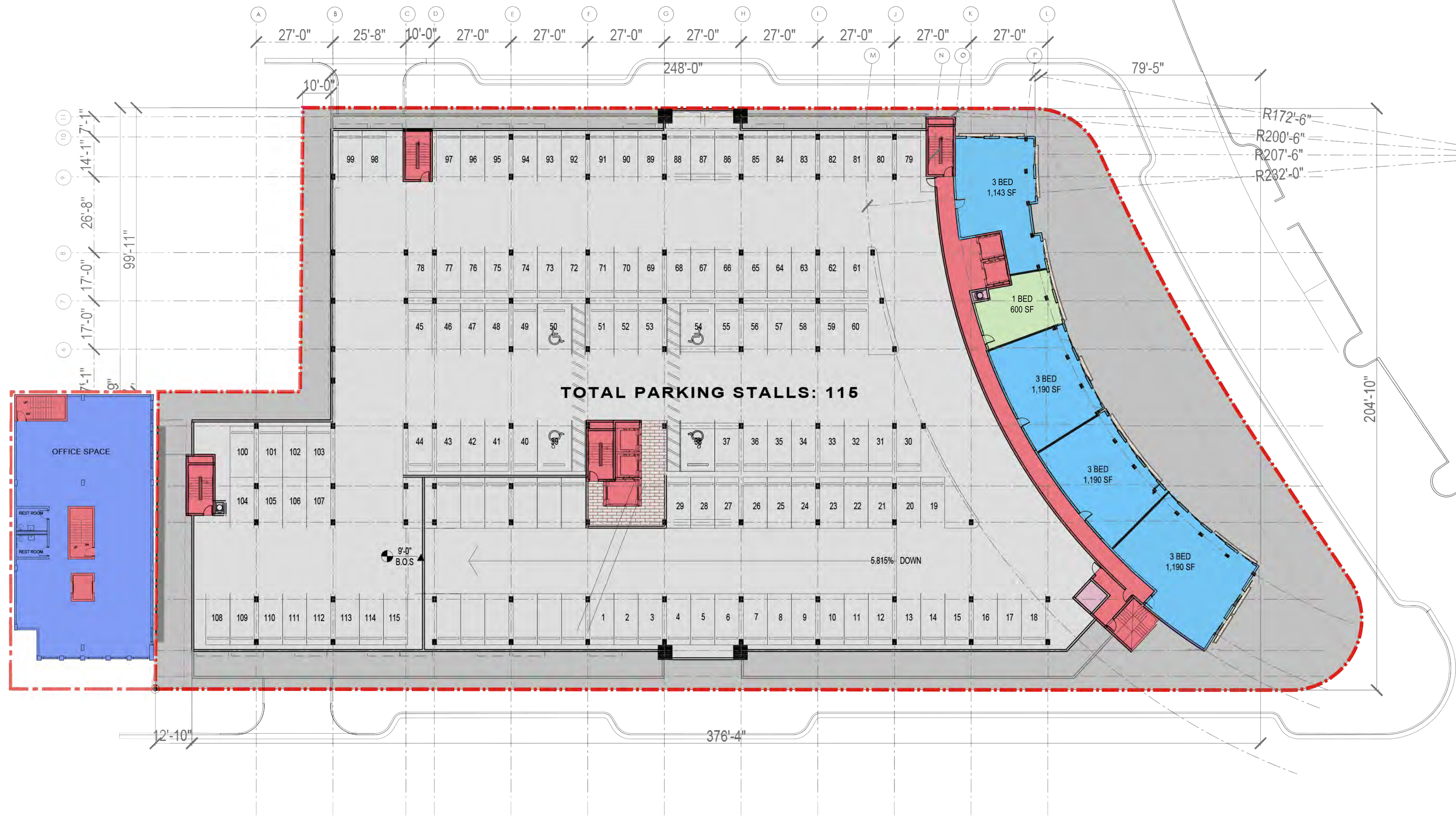


LEGEND

- PROPERTY LINE
- SETBACK LINE
- SETBACK LINE ABOVE 45'
- RETAIL
- BOH
- CIRCULATION
- AMENITIES
- OFFICE
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT



4TH FLOOR



LEGEND

- |                            |             |                |
|----------------------------|-------------|----------------|
| --- PROPERTY LINE          | RETAIL      | OFFICE         |
| --- SETBACK LINE           | BOH         | 1 BEDROOM UNIT |
| --- SETBACK LINE ABOVE 45' | CIRCULATION | 2 BEDROOM UNIT |
|                            | AMENITIES   | 3 BEDROOM UNIT |

VENERA

SHOMA

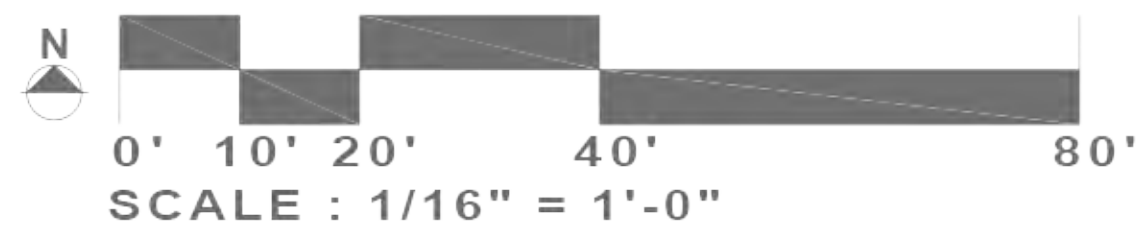
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MAY 22, 2018

4TH FLOOR

A-9



# 5TH FLOOR

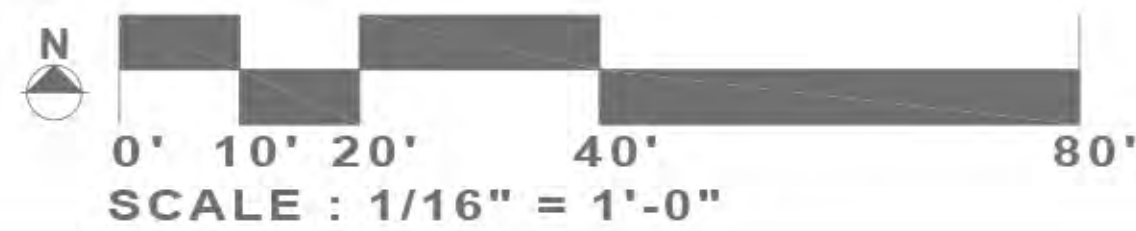


## LEGEND

- PROPERTY LINE
- SETBACK LINE
- SETBACK LINE ABOVE 45'
- RETAIL
- BOH
- CIRCULATION
- AMENITIES
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT



# 6TH FLOOR



## LEGEND

- PROPERTY LINE
- SETBACK LINE
- SETBACK LINE ABOVE 45'

- RETAIL
- BOH
- CIRCULATION
- AMENITIES
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT

6TH FLOOR

A-11

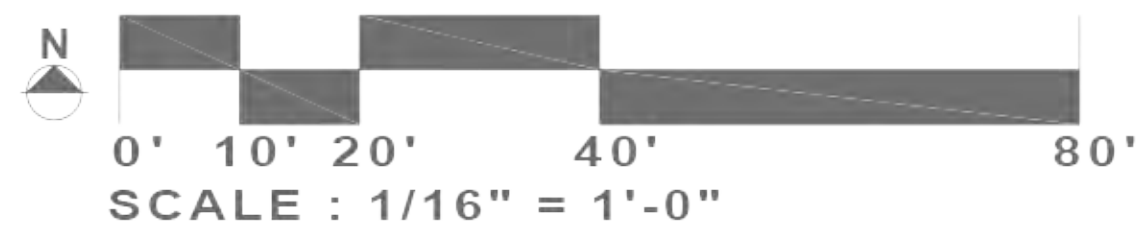
VENERA

SHOMA

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# 7TH-9TH FLOOR



## LEGEND

- PROPERTY LINE
- SETBACK LINE
- SETBACK LINE ABOVE 45'

- RETAIL
- BOH
- CIRCULATION
- AMENITIES
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT

VENERA

SHOMA

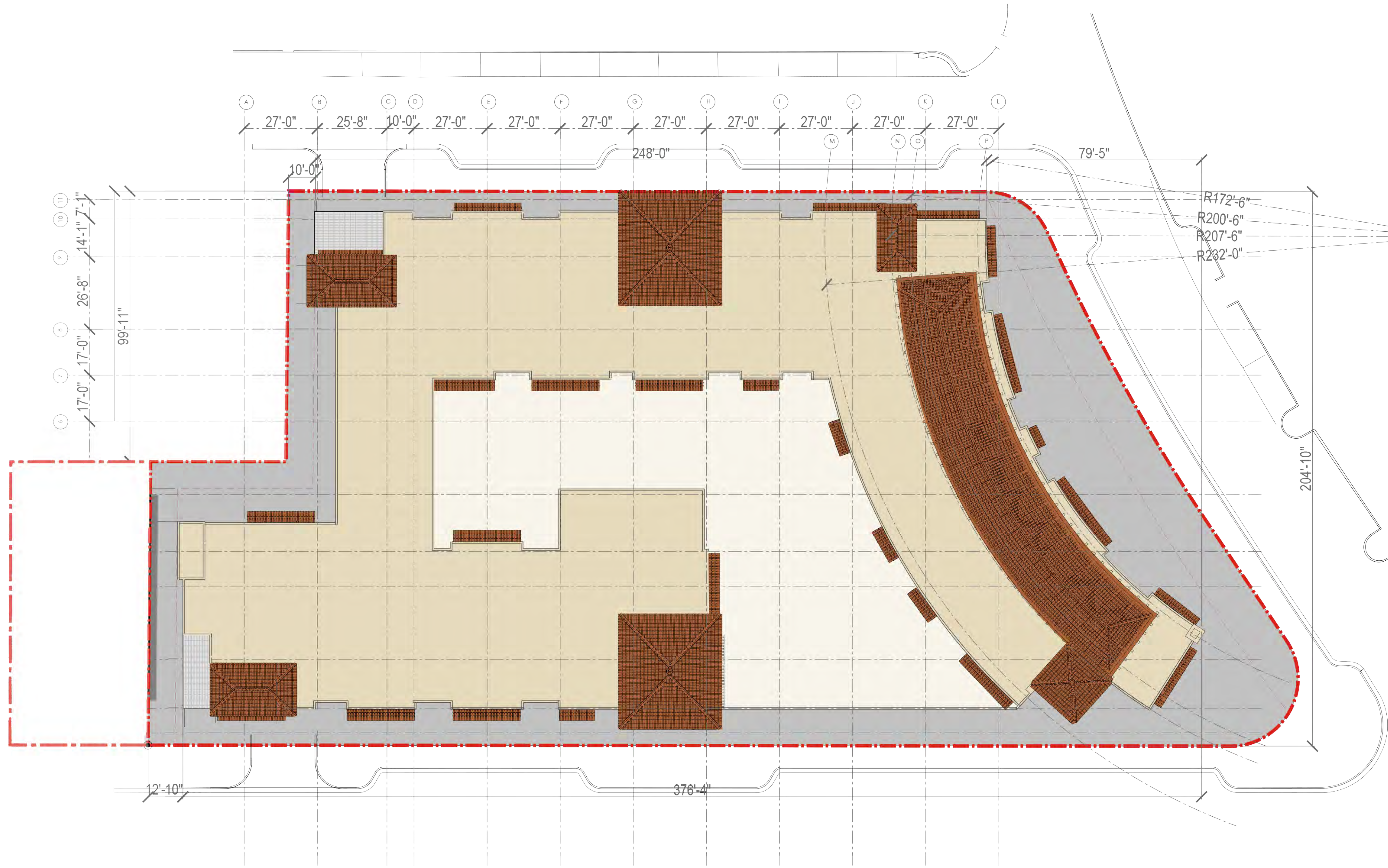
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MAY 22, 2018

7TH-9TH  
FLOOR

A-12



ROOF



**LEGEND**

- |                            |             |                |
|----------------------------|-------------|----------------|
| --- PROPERTY LINE          | RETAIL      | 1 BEDROOM UNIT |
| --- SETBACK LINE           | BOH         | 2 BEDROOM UNIT |
| --- SETBACK LINE ABOVE 45' | CIRCULATION | 3 BEDROOM UNIT |
|                            | AMENITIES   |                |

**VENERA**

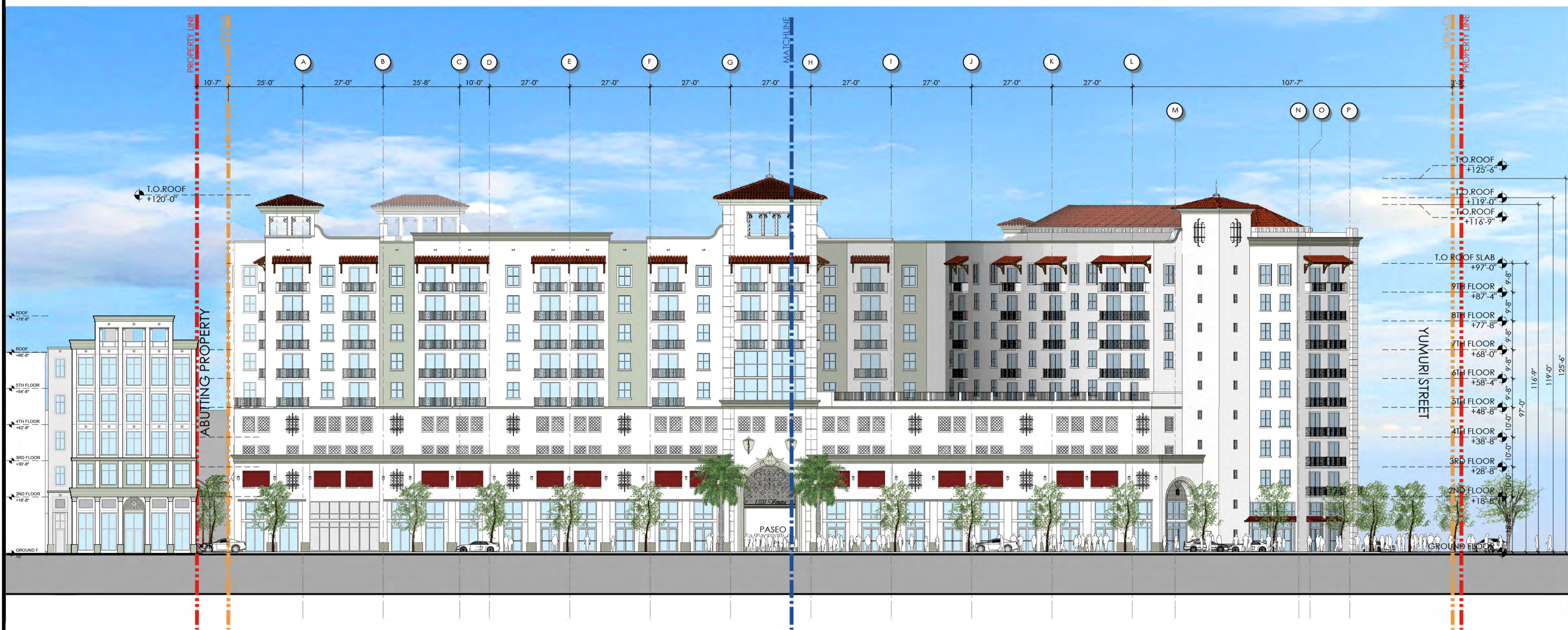
**SHOMA**

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MAY 22, 2018

ROOF

A-13

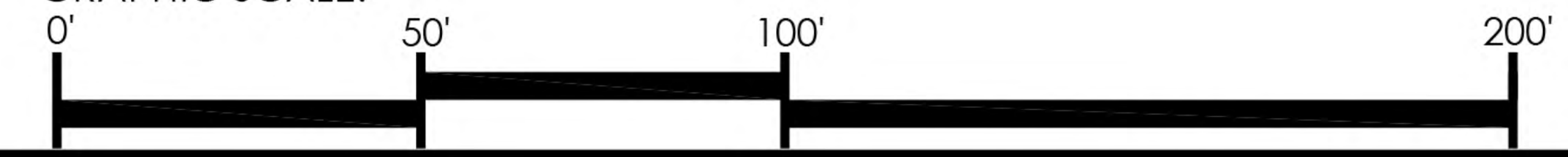




# SOUTH ELEVATION OVERALL

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"  
GRAPHIC SCALE:



# VENERA

SHOMA

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MAY 22, 2018

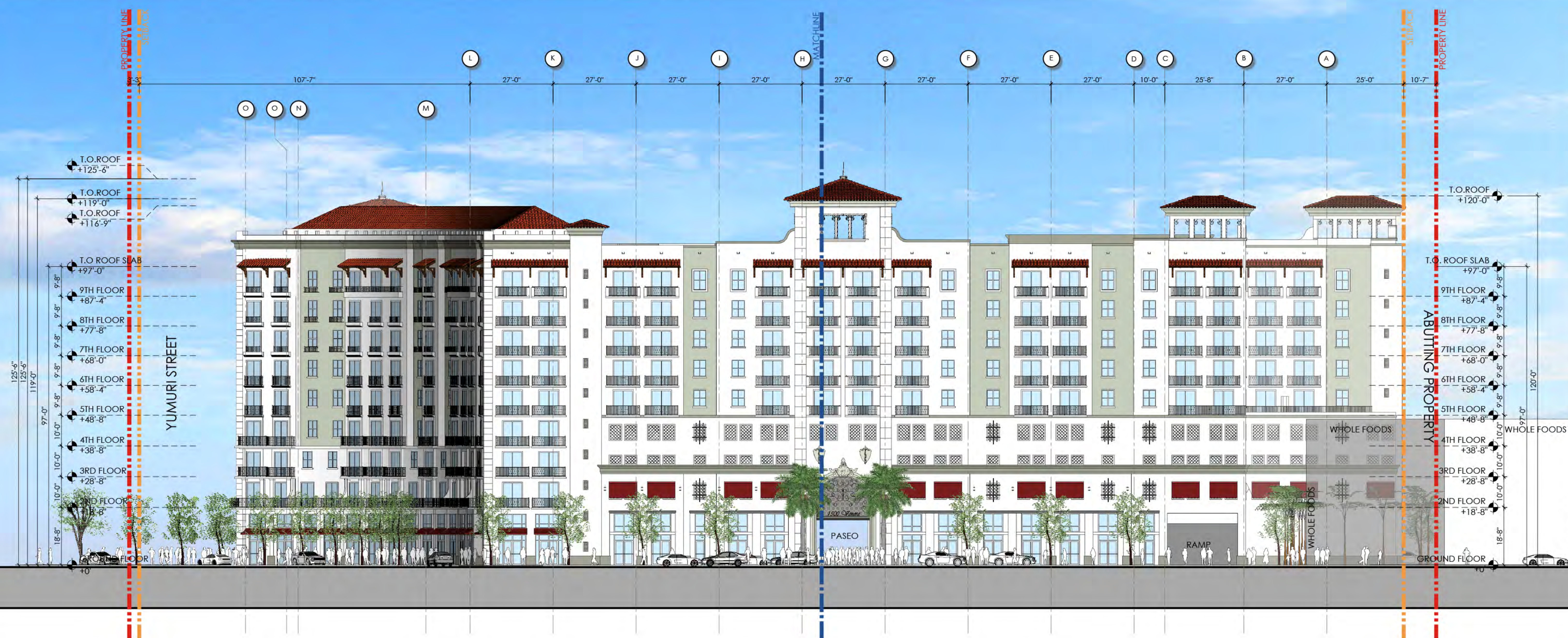
SOUTH  
ELEVATION  
OVERALL

A-14

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MIAMI, FL 33133  
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1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL  
1537 SAN REMO AVE, 33146  
CORAL GABLES, FL

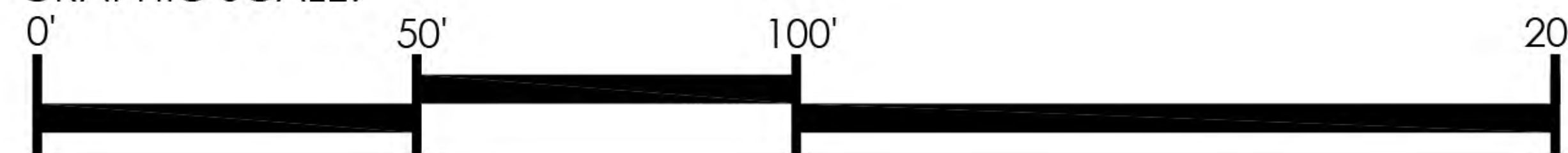




## NORTH ELEVATION OVERALL

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"  
GRAPHIC SCALE:

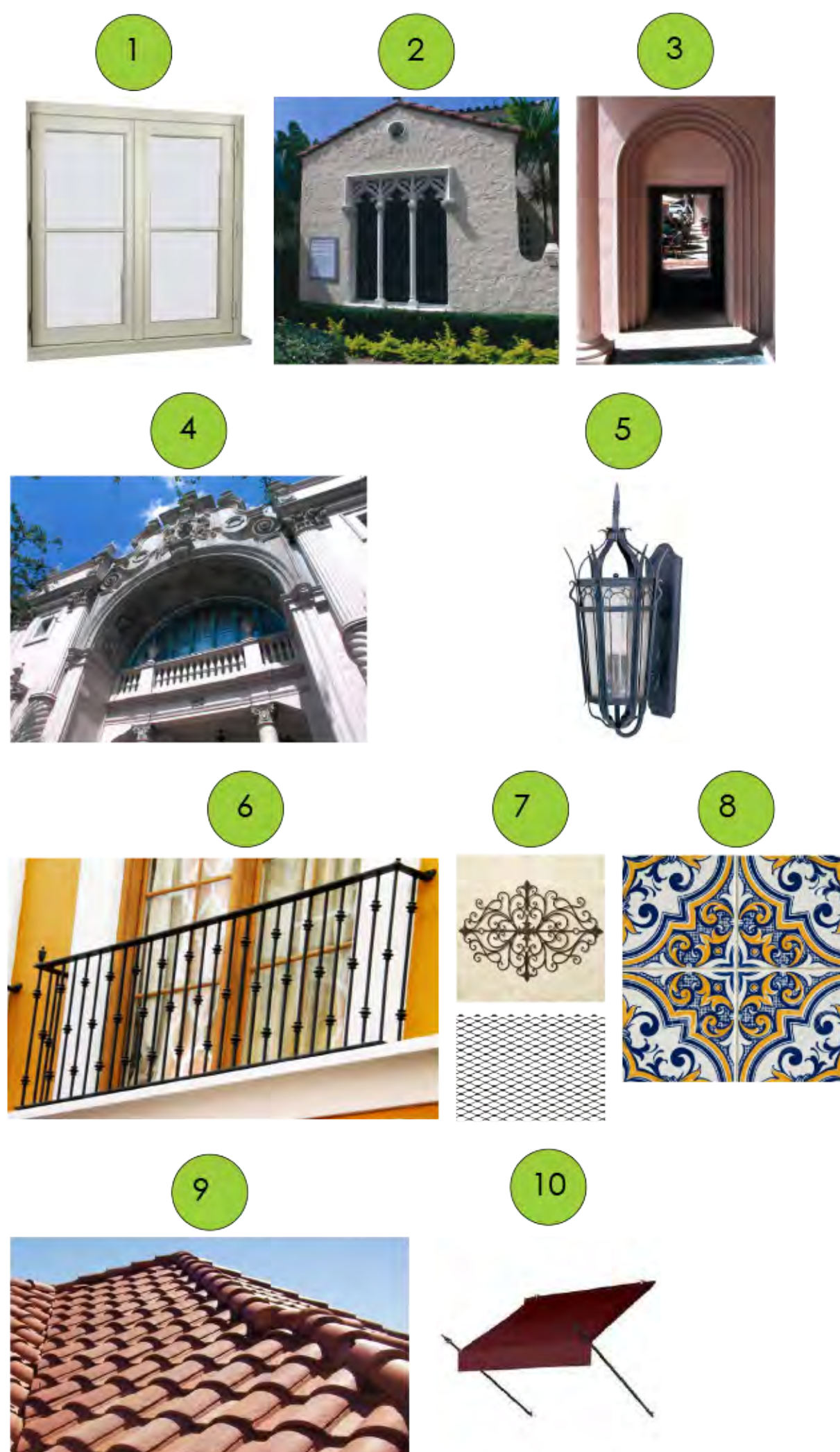




# LEGEND:

## MATERIALS

- 1 SMOOTH STUCCO REVEAL  
REFERENCE: BILTMORE HOTEL, CORAL GABLES
- 2 MEDITERRANEAN COLUMN  
CAPITAL DETAIL  
REFERENCE: H. GEORGE FINK OFFICES, CORAL GABLES
- 3 ARCH DETAILS  
REFERENCE: HOTEL COLONNADE, CORAL GABLES
- 4 MEDITERRANEAN DETAIL  
REFERENCE: HOTEL COLONNADE, CORAL GABLES
- 5 EXTERIOR OUTDOOR  
SCONCE
- 6 ALUMINUM RAILINGS
- 7 DECORATIVE GRILL
- 8 DECORATIVE TILE
- 9 SPANISH ROOF TILE
- 10 AWNING

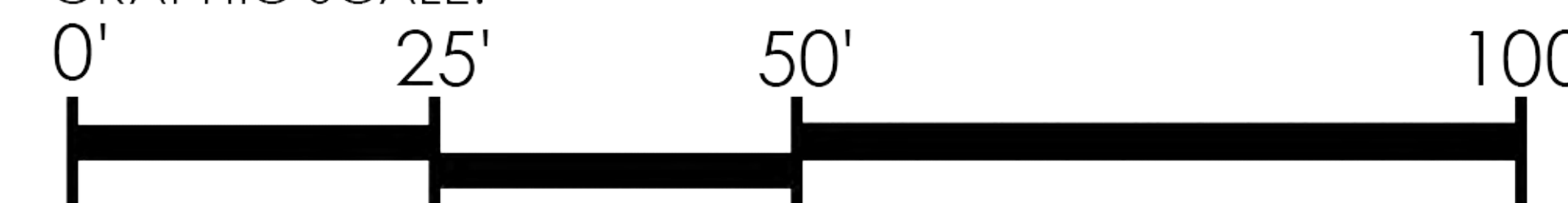


# EAST ELEVATION

SCALE: 3/32" = 1'-0"



SCALE: 3/32" = 1'-0"  
GRAPHIC SCALE:



# VENERA

## SHOMA

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EAST  
ELEVATION

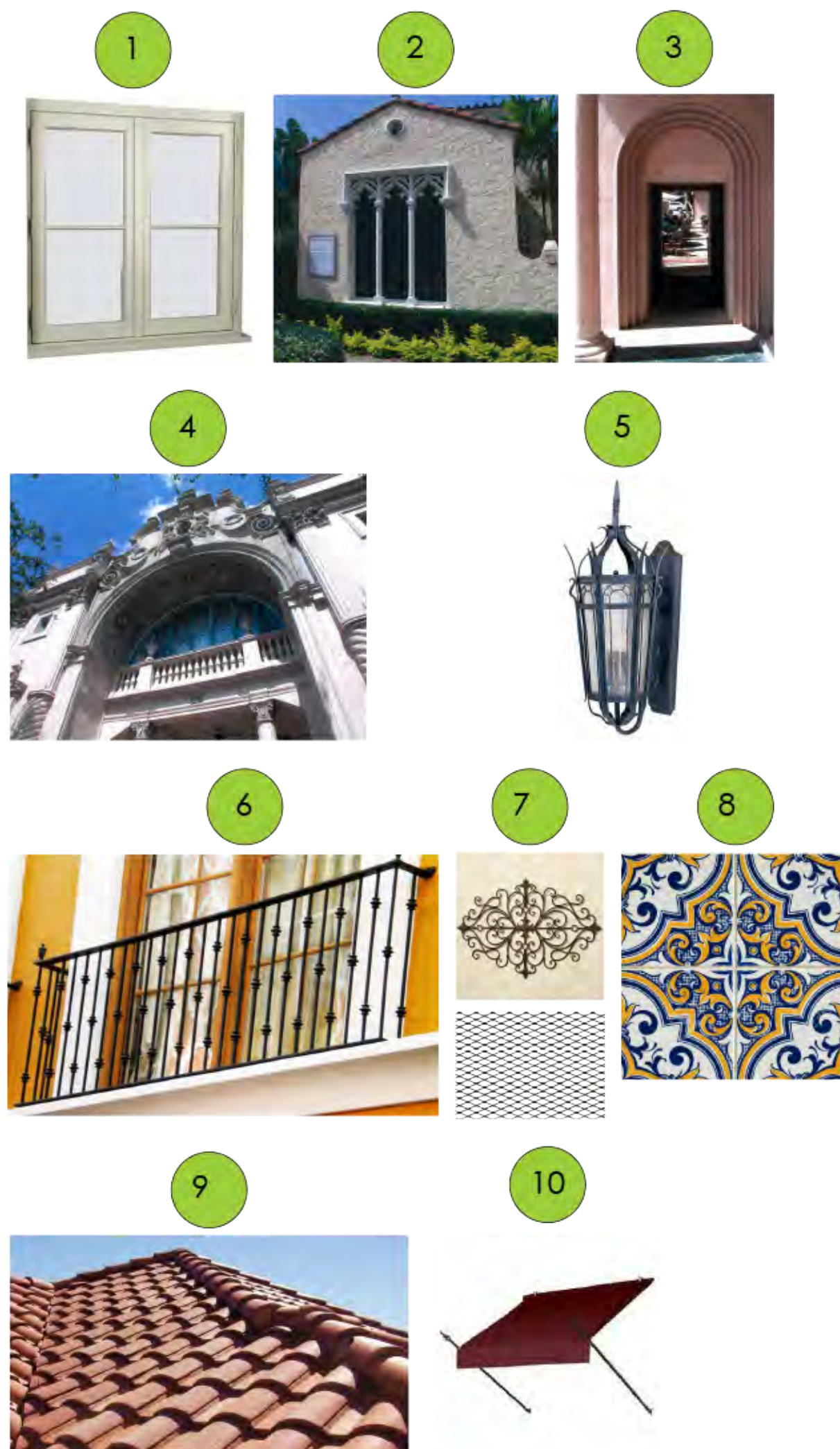
A-16



# LEGEND:

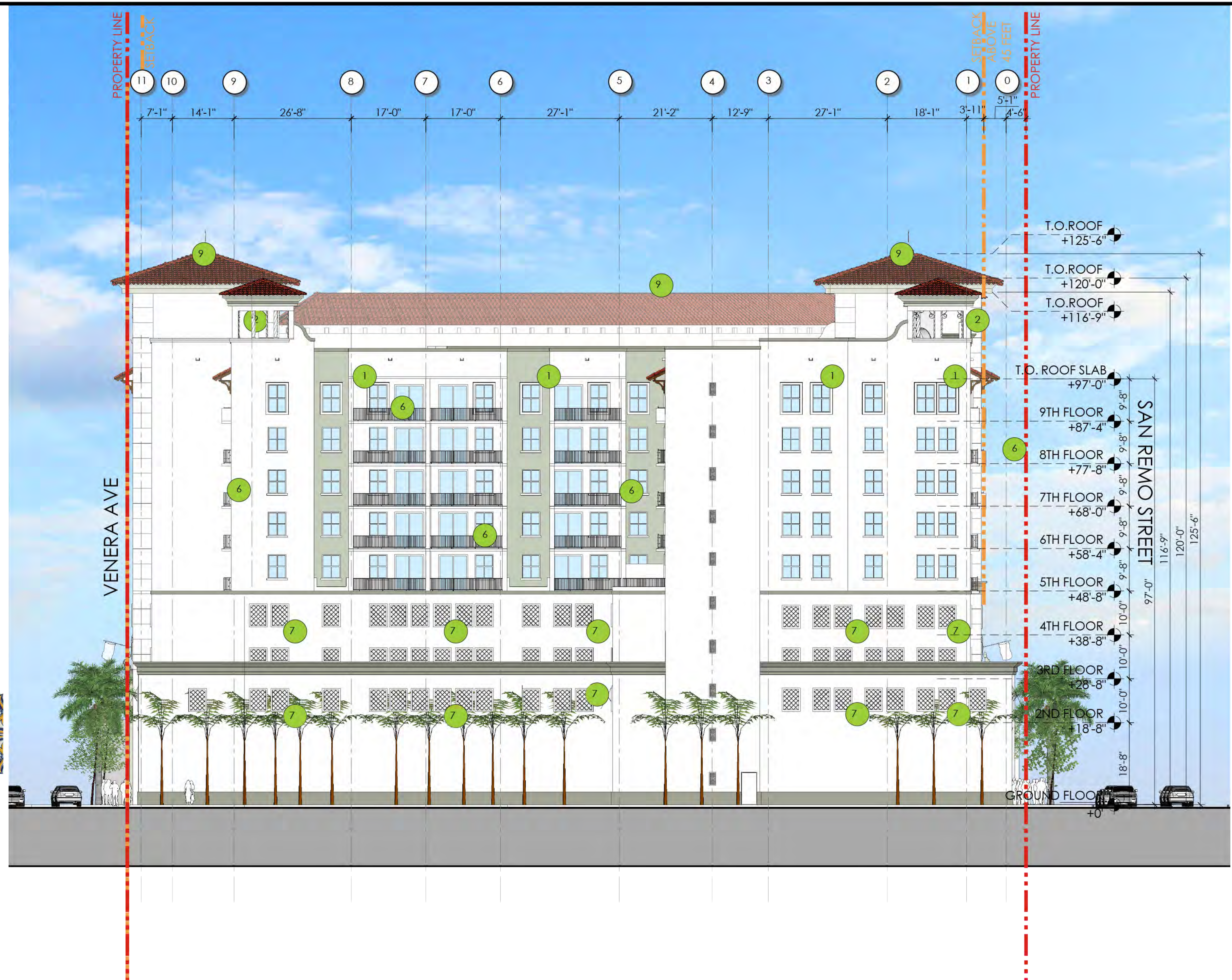
## MATERIALS

- 1 SMOOTH STUCCO REVEAL  
REFERENCE: BILTMORE HOTEL, CORAL GABLES
- 2 MEDITERRANEAN COLUMN  
CAPITAL DETAIL  
REFERENCE: H. GEORGE FINK OFFICES, CORAL GABLES
- 3 ARCH DETAILS  
REFERENCE: HOTEL COLONNADE, CORAL GABLES
- 4 MEDITERRANEAN DETAIL  
REFERENCE: HOTEL COLONNADE, CORAL GABLES
- 5 EXTERIOR OUTDOOR  
SCONCE
- 6 ALUMINUM RAILINGS
- 7 DECORATIVE GRILL
- 8 DECORATIVE TILE
- 9 SPANISH ROOF TILE
- 10 AWNING

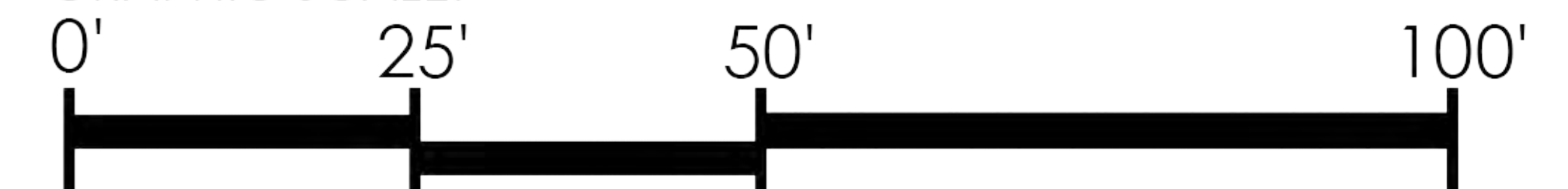


# WEST ELEVATION

SCALE: 3/32" = 1'-0"



SCALE: 3/32" = 1'-0"  
GRAPHIC SCALE:



WEST  
ELEVATION

A-17

VENERA

SHOMA

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MAY 22, 2018

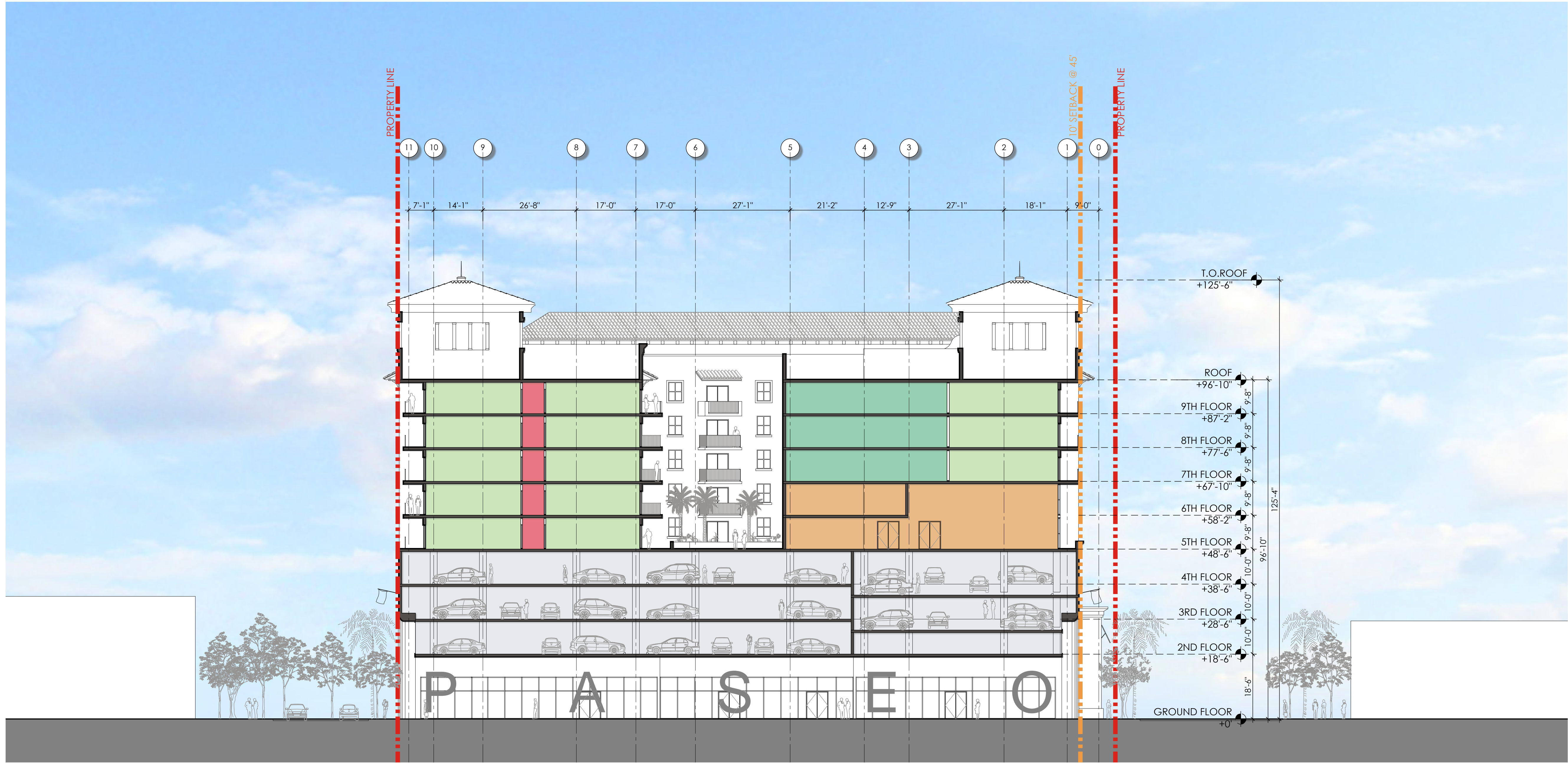
WEST  
ELEVATION

A-17

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2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
P: (305) 859-2050  
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CORAL GABLES, FL  
1537 SAN REMO AVE, 33146  
CORAL GABLES, FL

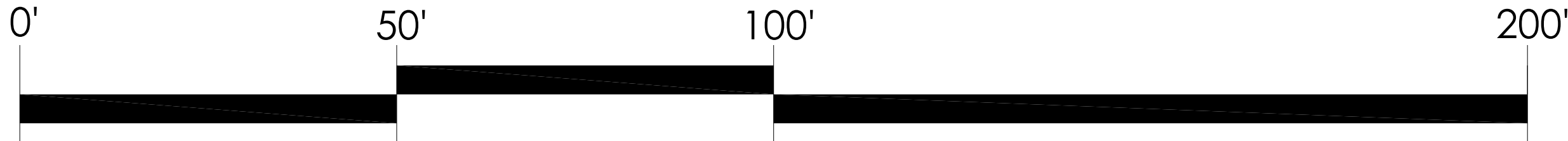




OVERALL DIAGRAMMATIC SECTION

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"  
GRAPHIC SCALE:

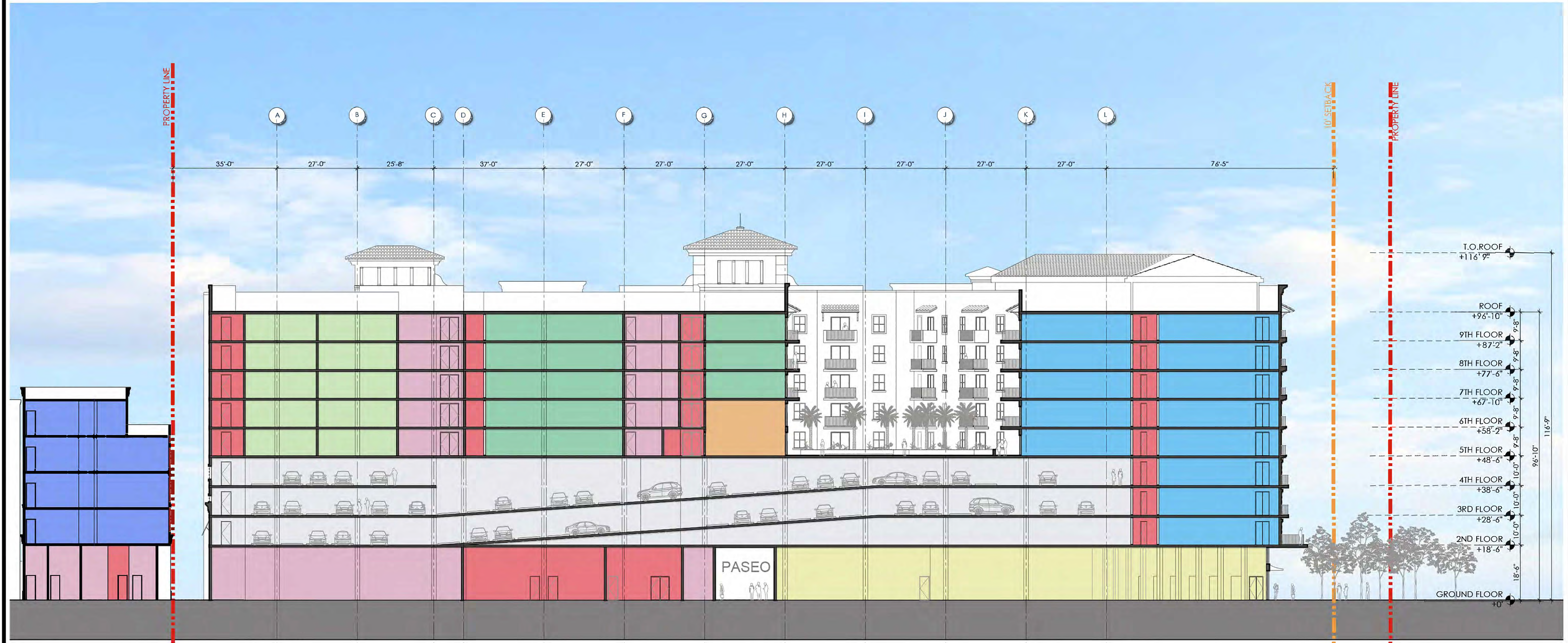


**LEGEND:**

|                     |              |           |
|---------------------|--------------|-----------|
| 1 BEDROOM           | 2 BEDROOM    | 3 BEDROOM |
| LOBBY / CIRCULATION | BOH          | AMENITIES |
| RETAIL              | PARKING AREA |           |

10' SETBACK  
PROPERTY LINE

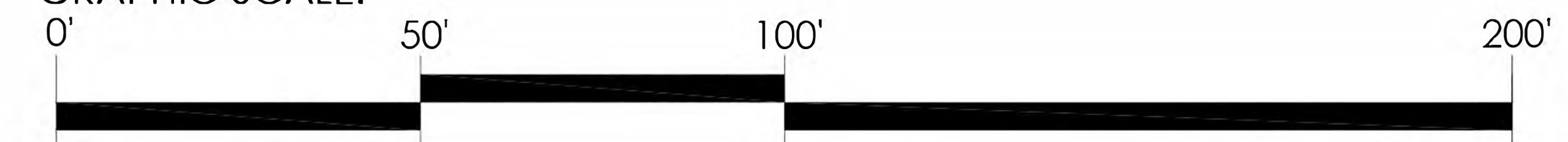




# OVERALL DIAGRAMMATIC SECTION

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"  
GRAPHIC SCALE:



|                              |              |           |
|------------------------------|--------------|-----------|
| <b>LEGEND:</b>               |              |           |
| 1 BEDROOM                    | 2 BEDROOM    | 3 BEDROOM |
| LOBBY / CIRCULATION          | BOH          | AMENITIES |
| RETAIL                       | PARKING AREA | OFFICE    |
| 10' SETBACK<br>PROPERTY LINE |              |           |





AERIAL VIEW LOOKING NORTHWEST FROM SAN REMO AVE

VENERA

1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL  
1537 SAN REMO AVE, 33146  
CORAL GABLES, FL

SHOMA

2ND COMMISSION HEARING  
MAY 22, 2018

RENDERINGS





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# VENERA

1500 VENERA AVE, 33146  
 1515 SAN REMO AVE, 33146  
 CORAL GABLES, FL  
 1537 SAN REMO AVE, 33146  
 CORAL GABLES, FL

## SHOMA

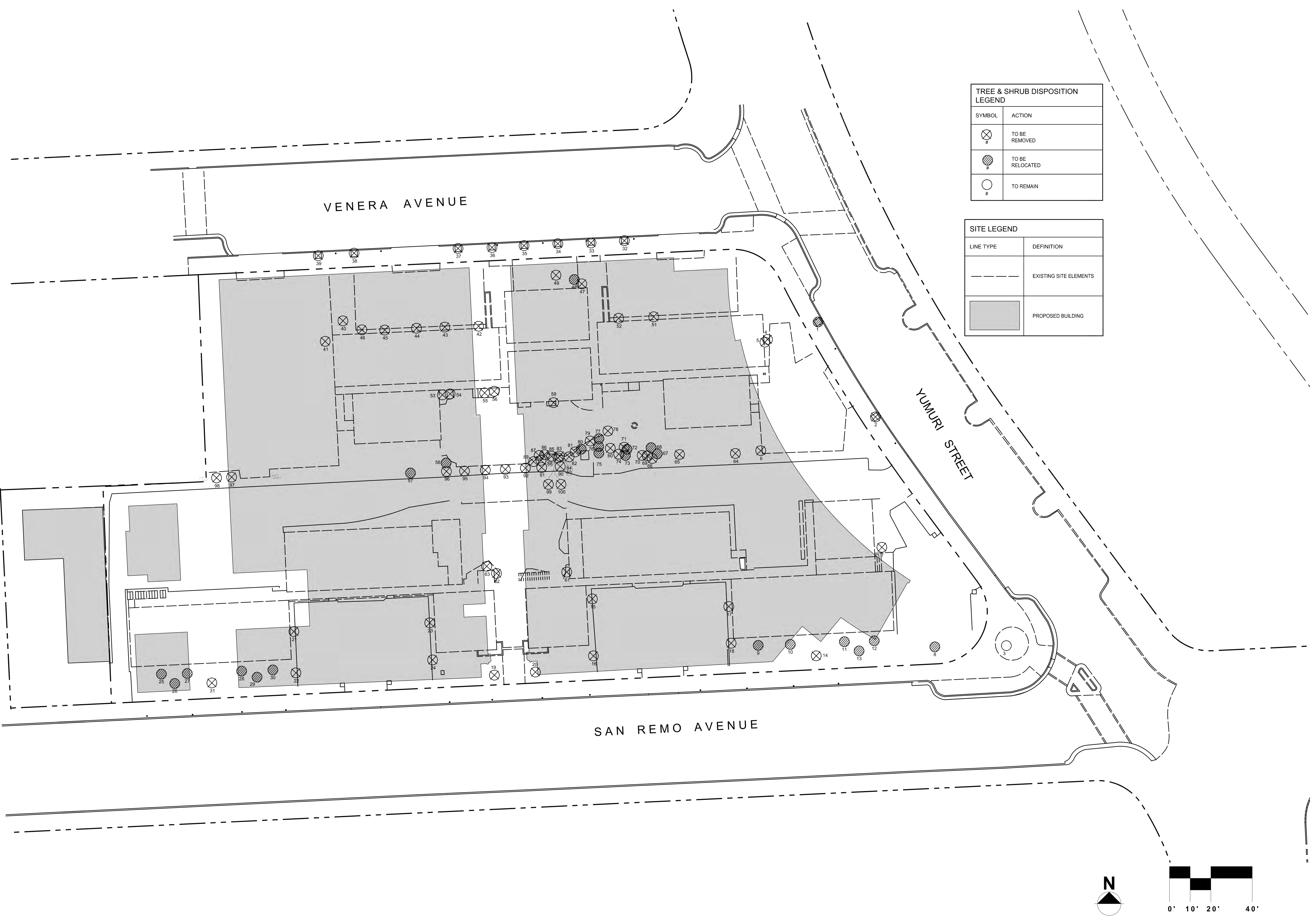
2ND COMMISSION HEARING  
 MAY 22, 2018

RENDERINGS

A-21

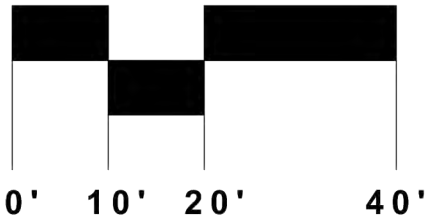
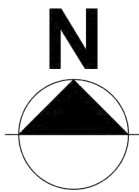
AERIAL VIEW LOOKING WEST FROM YUMURI STREET





| TREE & SHRUB DISPOSITION<br>LEGEND |                    |
|------------------------------------|--------------------|
| SYMBOL                             | ACTION             |
|                                    | TO BE<br>REMOVED   |
|                                    | TO BE<br>RELOCATED |
|                                    | TO REMAIN          |

| SITE LEGEND |                        |
|-------------|------------------------|
| LINE TYPE   | DEFINITION             |
|             | EXISTING SITE ELEMENTS |
|             | PROPOSED BUILDING      |



SCALE : 1" = 20'

2ND COMMISSION HEARING  
MAY 22, 2018

TREE  
DISPOSITION  
PLAN

LT-01

VENERA

1500 VENERA AVE, 33146  
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CORAL GABLES, FL  
1537 SAN REMO AVE, 33146  
CORAL GABLES, FL

SHOMA



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| NAME | SCIENTIFIC NAME            | COMMON NAME             | CONDITION           | DISPOSITION | HEIGHT (FT.) | SPREAD (FT.) | COMMENTS                            | AREA OF CANOPY REMOVED (SQ. FT.) |
|------|----------------------------|-------------------------|---------------------|-------------|--------------|--------------|-------------------------------------|----------------------------------|
| 1    | Swietenia mahagoni         | Mahogany                |                     | RELOCATE    | 25           | 25           |                                     | -                                |
| 2    | Swietenia mahagoni         | Mahogany                | POOR/POOR STRUCTURE | REMOVE      | 15           | 15           |                                     | 176.63                           |
| 3    | Ceiba speciosa             | Floss Silk              |                     | REMAIN      | 48           | 25           |                                     | -                                |
| 4    | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 10           | 10           |                                     | 78.50                            |
| 5    | Schefflera actinophylla    | Schefflera              |                     | REMOVE      | 25           | 15           | INVASIVE                            |                                  |
| 6    | Ficus aurea/Sabal Palmetto | Strangler/Cabbage Clump |                     | REMOVE      | 30           | 20           |                                     | 314.00                           |
| 7    | Adonidia merrillii         | Double Adonidia         |                     | REMOVE      | 25           | 15           |                                     | 176.63                           |
| 8    | Quercus virginiana         | Live Oak                |                     | RELOCATE    | 25           | 25           |                                     | -                                |
| 9    | Veitchia montgomeryana     | Montgomery Palm         |                     | RELOCATE    | 25           | 8            |                                     | -                                |
| 10   | Veitchia montgomeryana     | Montgomery Palm         |                     | RELOCATE    | 25           | 8            |                                     | -                                |
| 11   | Veitchia montgomeryana     | Montgomery Palm         |                     | RELOCATE    | 25           | 8            |                                     | -                                |
| 12   | Veitchia montgomeryana     | Montgomery Palm         |                     | RELOCATE    | 25           | 8            |                                     | -                                |
| 13   | Veitchia montgomeryana     | Montgomery Palm         |                     | RELOCATE    | 25           | 8            |                                     | -                                |
| 14   | Tabebuia serratifolia      | Yellow Tabebuia         |                     | REMOVE      | 20           | 20           |                                     | 314.00                           |
| 15   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 20           |              | NOT REGULATED                       |                                  |
| 16   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 15           |              | NOT REGULATED                       |                                  |
| 17   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 20           |              | NOT REGULATED                       |                                  |
| 18   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 20           |              | NOT REGULATED                       |                                  |
| 19   | Roystonea regia            | Royal Palm              |                     | REMOVE      | 30           | 25           |                                     | 490.63                           |
| 20   | Roystonea regia            | Royal Palm              |                     | REMOVE      | 30           | 25           |                                     | 490.63                           |
| 21   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 15           |              | NOT REGULATED                       |                                  |
| 22   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 12           |              | NOT REGULATED                       |                                  |
| 23   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 20           |              | NOT REGULATED                       |                                  |
| 24   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 25           |              | NOT REGULATED                       |                                  |
| 25   | Veitchia montgomeryana     | Montgomery Palm         |                     | RELOCATE    | 25           | 15           |                                     | -                                |
| 26   | Veitchia montgomeryana     | Montgomery Palm         |                     | RELOCATE    | 25           | 15           |                                     | -                                |
| 27   | Veitchia montgomeryana     | Montgomery Palm         |                     | RELOCATE    | 25           | 15           |                                     | -                                |
| 28   | Veitchia montgomeryana     | Montgomery Palm         |                     | RELOCATE    | 25           | 15           |                                     | -                                |
| 29   | Veitchia montgomeryana     | Montgomery Palm         |                     | RELOCATE    | 25           | 15           |                                     | -                                |
| 30   | Veitchia montgomeryana     | Montgomery Palm         |                     | RELOCATE    | 25           | 15           |                                     | -                                |
| 31   | Tabebuia serratifolia      | Yellow Tabebuia         |                     | REMOVE      | 20           | 20           |                                     | 314.00                           |
| 32   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 15           | 10           |                                     | 78.50                            |
| 33   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 15           | 10           |                                     | 78.50                            |
| 34   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 15           | 10           |                                     | 78.50                            |
| 35   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 15           | 10           |                                     | 78.50                            |
| 36   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 15           | 10           |                                     | 78.50                            |
| 37   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 15           | 10           |                                     | 78.50                            |
| 38   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 15           | 10           |                                     | 78.50                            |
| 39   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 15           | 10           |                                     | 78.50                            |
| 40   | Ptychosperma elegans       | Solitaire Palm          |                     | REMOVE      | 25           | 15           |                                     | 176.63                           |
| 41   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 10           | 10           | SHEFFLERA WITH INGROWN CABBAGE PALM | 78.50                            |
| 42   | Schefflera actinophylla    | Schefflera              |                     | REMOVE      | 25           |              | INVASIVE                            |                                  |
| 43   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 15           |              | NOT REGULATED                       |                                  |
| 44   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 15           | 10           |                                     | 78.50                            |
| 45   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 15           | 10           | NOT REGULATED                       |                                  |
| 46   | Schinus terebinthifolia    | Brazilian Pepper        |                     | REMOVE      | -            | -            | INVASIVE                            |                                  |
| 47   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 8            | 6            |                                     | 28.26                            |
| 48   | Ptychosperma elegans       | Solitaire Palm          |                     | RELOCATE    | 25           | 15           |                                     | -                                |
| 49   | Adonidia merrillii         | Adonidia                |                     | REMOVE      | 20           | 12           |                                     | 113.04                           |
| 50   | Adonidia merrillii         | Adonidia                |                     | REMOVE      | 10           | 5            |                                     | 19.63                            |
| 51   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 20           |              | NOT REGULATED                       |                                  |
| 52   | Tabebuia heterophylla      | Pink Tabebuia           | POOR                | REMOVE      | 25           | 10           |                                     | 78.50                            |
| 53   | Adonidia merrillii         | Adonidia                |                     | REMOVE      | 25           | 15           |                                     | 176.63                           |
| 54   | Adonidia merrillii         | Adonidia                |                     | REMOVE      | 20           | 12           |                                     | 113.04                           |
| 55   | Adonidia merrillii         | Adonidia                | POOR                | REMOVE      | 6            | 4            |                                     | 12.56                            |
| 56   | Adonidia merrillii         | Adonidia                |                     | REMOVE      | 15           | 10           |                                     | 78.50                            |
| 57   | Ptychosperma elegans       | Solitaire Palm          |                     | RELOCATE    | 20           | 10           |                                     | -                                |
| 58   | Ptychosperma elegans       | Solitaire Palm          |                     | RELOCATE    | 25           | 15           | RARE TRIPLE HEAD PALM               | -                                |
| 59   | Adonidia merrillii         | Adonidia                |                     | REMOVE      | 8            | 4            |                                     | 12.56                            |
| 60   | Ptychosperma elegans       | Solitaire Palm          |                     | REMOVE      | 10           | 8            |                                     | 50.24                            |
| 61   | Dypsis lutescens           | Areca Palm              |                     | REMOVE      | 10           | 5            |                                     | 19.63                            |
| 62   | Livistona chinensis        | Chinese Fan Palm        |                     | REMOVE      | 20           | 15           |                                     | 176.63                           |
| 63   | Ravenala madagascariensis  | Traveler's Palm         |                     | REMOVE      | 20           |              | NOT REGULATED                       |                                  |
| 64   | Unknown                    | Unknown                 | POOR                | REMOVE      | 25           | 15           |                                     | 176.63                           |
| 65   | Ptychosperma elegans       | Solitaire Palm          |                     | REMOVE      | 15           | 10           |                                     | 78.50                            |
| 66   | Ptychosperma elegans       | Solitaire Palm          |                     | REMOVE      | 8            | 4            |                                     | 12.56                            |
| 67   | Ptychosperma elegans       | Solitaire Palm          |                     | RELOCATE    | 20           | 10           |                                     | -                                |
| 68   | Ptychosperma elegans       | Solitaire Palm          |                     | RELOCATE    | 25           | 15           |                                     | -                                |
| 69   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 10           | 10           |                                     | 78.50                            |
| 70   | Sabal palmetto             | Cabbage Palm            |                     | REMOVE      | 10           | 10           |                                     | 78.50                            |
| 71   | Ptychosperma elegans       | Solitaire Palm          |                     | REMOVE      | 25           | 15           |                                     | 176.63                           |
| 72   | Ptychosperma elegans       | Solitaire Palm          |                     | RELOCATE    | 25           | 15           |                                     | -                                |
| 73   | Ptychosperma elegans       | Solitaire Palm          |                     | RELOCATE    | 25           | 15           |                                     | -                                |
| 74   | Schefflera actinophylla    | Shefflera               |                     | REMOVE      | 20           | 20           | INVASIVE                            |                                  |
| 75   | Ptychosperma elegans       | Solitaire Palm          |                     | REMOVE      | 3            | 2            |                                     | -                                |

| NAME   | SCIENTIFIC NAME          | COMMON NAME    | CONDITION | DISPOSITION | HEIGHT (FT.) | SPREAD (FT.) | COMMENTS     | AREA OF CANOPY REMOVED (SQ. FT.) |
|--|--------------------------|----------------|-----------|-------------|--------------|--------------|--------------|----------------------------------|
| 76   | Ptychosperma elegans     | Solitaire Palm |           | RELOCATE    | 25           | 15           |              | -                                |
| 77   | Ptychosperma elegans     | Solitaire Palm |           | RELOCATE    | 25           | 15           |              | -                                |
| 78   | Ptychosperma macarthurii | Macarthur Palm |           | REMOVE      | 25           | 20           | PALM CLUSTER | 314.00                           |
| 79   | Schefflera actinophylla  | Shefflera      |           | REMOVE      |              |              | INVASIVE     |                                  |
| 80   | Ptychosperma elegans     | Solitaire Palm |           | RELOCATE    | 20           | 10           |              | -                                |
| 81   | Ptychosperma elegans     | Solitaire Palm |           | REMOVE      | 20           | 10           |              | 78.50                            |
| 82   | Schefflera actinophylla  | Schefflera     |           | REMOVE      |              |              | INVASIVE     |                                  |
| 83   | Schefflera actinophylla  | Schefflera     |           | REMOVE      |              |              | INVASIVE     |                                  |
| 84   | Adonidia merrillii       | Adonidia       |           | REMOVE      | 10           | 5            |              | 19.63                            |
| 85   | Sabal palmetto           | Cabbage Palm   |           | REMOVE      | 10           | 10           |              | 78.50                            |
| 86   | Quercus virginiana       | Live Oak       | POOR      | REMOVE      | 10           | 10           |              | 78.50                            |
| 87   | Adonidia merrillii       | Adonidia       |           | REMOVE      | 12           | 6            |              | 28.26                            |
| 88   | Sabal palmetto           | Cabbage Palm   |           | REMOVE      | 10           | 10           |              | 78.50                            |
| 89   | Sabal palmetto           | Cabbage Palm   |           | REMOVE      | 10           | 10           |              | 78.50                            |
| 90   | Adonidia merrillii       | Adonidia       |           | REMOVE      | 12           | 8            |              | 50.24                            |
| 91   | Adonidia merrillii       | Adonidia       |           | REMOVE      | 12           | 8            |              | 50.24                            |
| 92   | Adonidia merrillii       | Adonidia       |           | REMOVE      | 12           | 8            |              | 50.24                            |
| 93   | Adonidia merrillii       | Adonidia       |           | REMOVE      | 12           | 8            |              | 50.24                            |
| 94   | Adonidia merrillii       | Adonidia       |           | REMOVE      | 12           | 8            |              | 50.24                            |
| 95   | Adonidia merrillii       | Adonidia       |           | REMOVE      | 12           | 8            |              | 50.24                            |
| 96   | Adonidia merrillii       | Adonidia       |           | REMOVE      | 12           | 8            |              | 50.24                            |
| 97   | Ptychosperma elegans     | Solitaire Palm |           | REMOVE      | 8            | 4            |              | 12.56                            |
| 98   | Sabal palmetto           | Cabbage Palm   |           | REMOVE      | 6            | 6            |              | 28.26                            |
| 99   | Ptychosperma elegans     | Solitaire Palm |           | REMOVE      | 8            | 4            |              | 12.56                            |
| 100  | Ptychosperma elegans     | Solitaire Palm |           | REMOVE      | 8            | 4            |              | 12.56                            |
| CANOPY TO BE REMOVED (IN SQUARE FEET)  |                          |                |           |             |              |              |              | 5,944.02                         |
| MITIGATION TREES REQUIRED: 1 SHADE TREE @ MIN. 12' HIGH / 500 SF OF CANOPY REMOVED |                          |                |           |             |              |              |              | 5,944 SF / 500SF= 12             |
| TREES PROVIDED TOWARDS MITIGATION REQUIREMENTS                                     |                          |                |           |             |              |              |              | 0                                |



Bermello Ajamil & Partners, Inc.  
2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
P: (305) 859-2050  
WWW.BERMELLOAJAMIL.COM

VENERA

1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL  
1537 SAN REMO AVE, 33146  
CORAL GABLES, FL

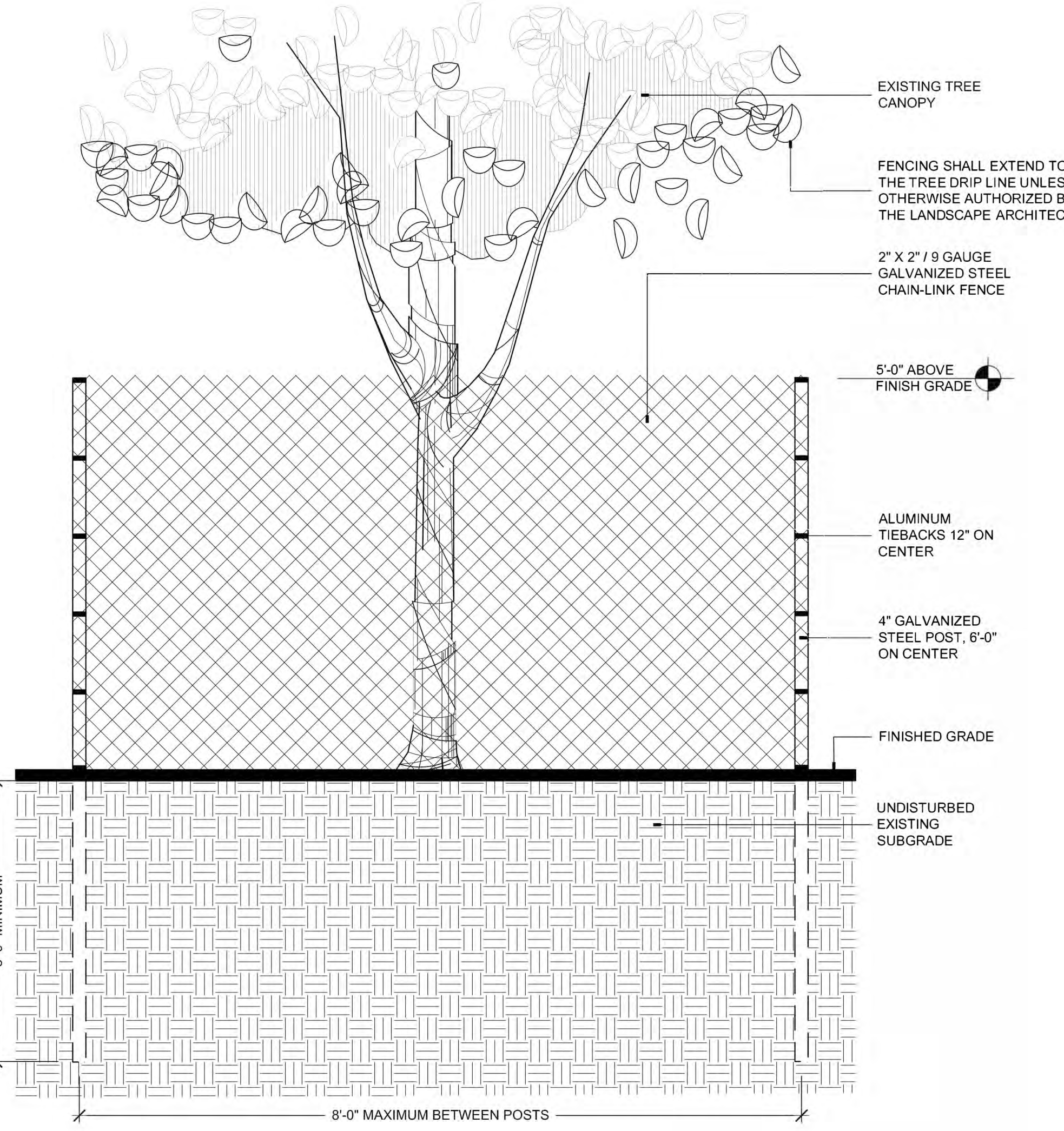
SHOMA

2ND COMMISSION HEARING  
MAY 22,2018

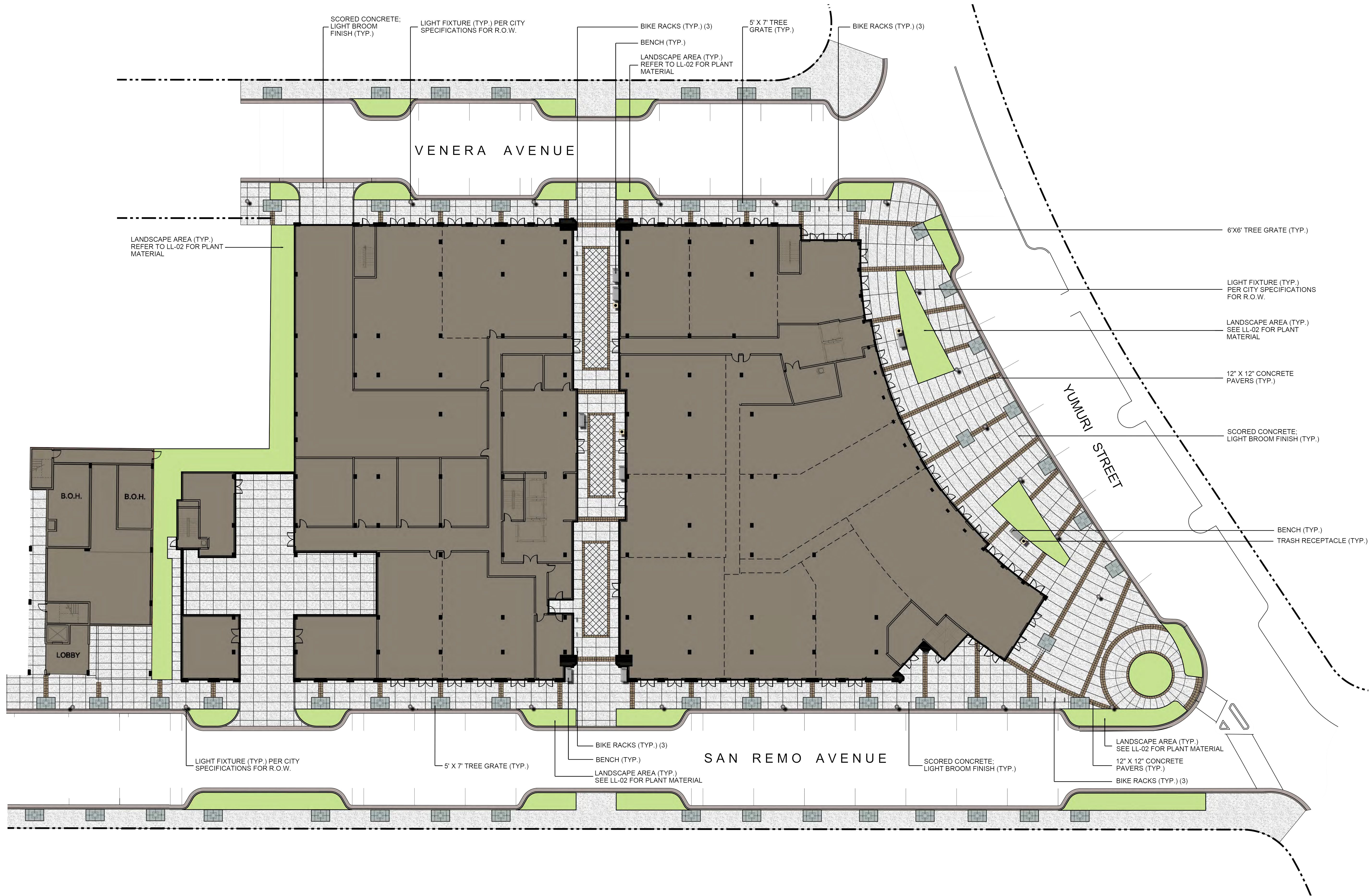
TREE  
DISPOSITION  
TABLE

LT-02



|  |  |   |  |   |
|--|--|---|--|---|
| <div><p>EXISTING TREE CANOPY</p><p>FENCING SHALL EXTEND TO THE TREE DRIP LINE UNLESS OTHERWISE AUTHORIZED BY THE LANDSCAPE ARCHITECT</p><p>2" X 2" / 9 GAUGE GALVANIZED STEEL CHAIN-LINK FENCE</p><p>5'-0" ABOVE FINISH GRADE</p><p>ALUMINUM TIEBACKS 12" ON CENTER</p><p>4" GALVANIZED STEEL POST, 6'-0" ON CENTER</p><p>FINISHED GRADE</p><p>UNDISTURBED EXISTING SUBGRADE</p><p>3'-0" MINIMUM</p><p>8'-0" MAXIMUM BETWEEN POSTS</p><p>NOTE: BARRIER TO BE CONTINUOUS AROUND THE TREE OR GROUP OF TREES. SEE LANDSCAPE PLAN FOR LOCATION OF TREES TO REMAIN</p></div> |  | <div><div><div>1</div><div>LT-03</div></div><div>TREE PROTECTION DETAIL</div><div>SCALE: 3/4"=1'-0"</div></div> |  | <div><div><div>3</div><div>LT-03</div></div><div>EXISTING TREE NOTES</div><div>SCALE: N/A</div></div> <div><div><div>1.</div><div>PROVIDE 2" X 4" PRESSURE TREATED WOOD BRACES AND STAKES FOR TREES UP TO 6" CALIPER.</div></div><div><div>2.</div><div>PROVIDE 4" X 4" PRESSURE TREATED WOOD BRACES AND STAKES FOR TREES OVER 8" CALIPER.</div></div><div><div>3.</div><div>PROVIDE THE NUMBER OF BRACE MEMBERS AND ASSOCIATED STAKES PER TREE AS FOLLOWS:<div><div>EXISTING TREE CALIPER</div><div>NUMBER OF PRESSURE TREATED BRACES AND STAKES</div></div><div><div>UP TO 4"</div><div>THREE</div></div><div><div>4" TO 8"</div><div>FOUR</div></div><div><div>8" TO 12"</div><div>FIVE</div></div><div><div>12" AND UP</div><div>EIGHT</div></div></div></div><div><div>4.</div><div>ALL BRACING SHALL BE ATTACHED STAKE AND BATTENS WITH GALVANIZED WOOD SCREWS.</div></div></div> |
|--|--|---|--|---|





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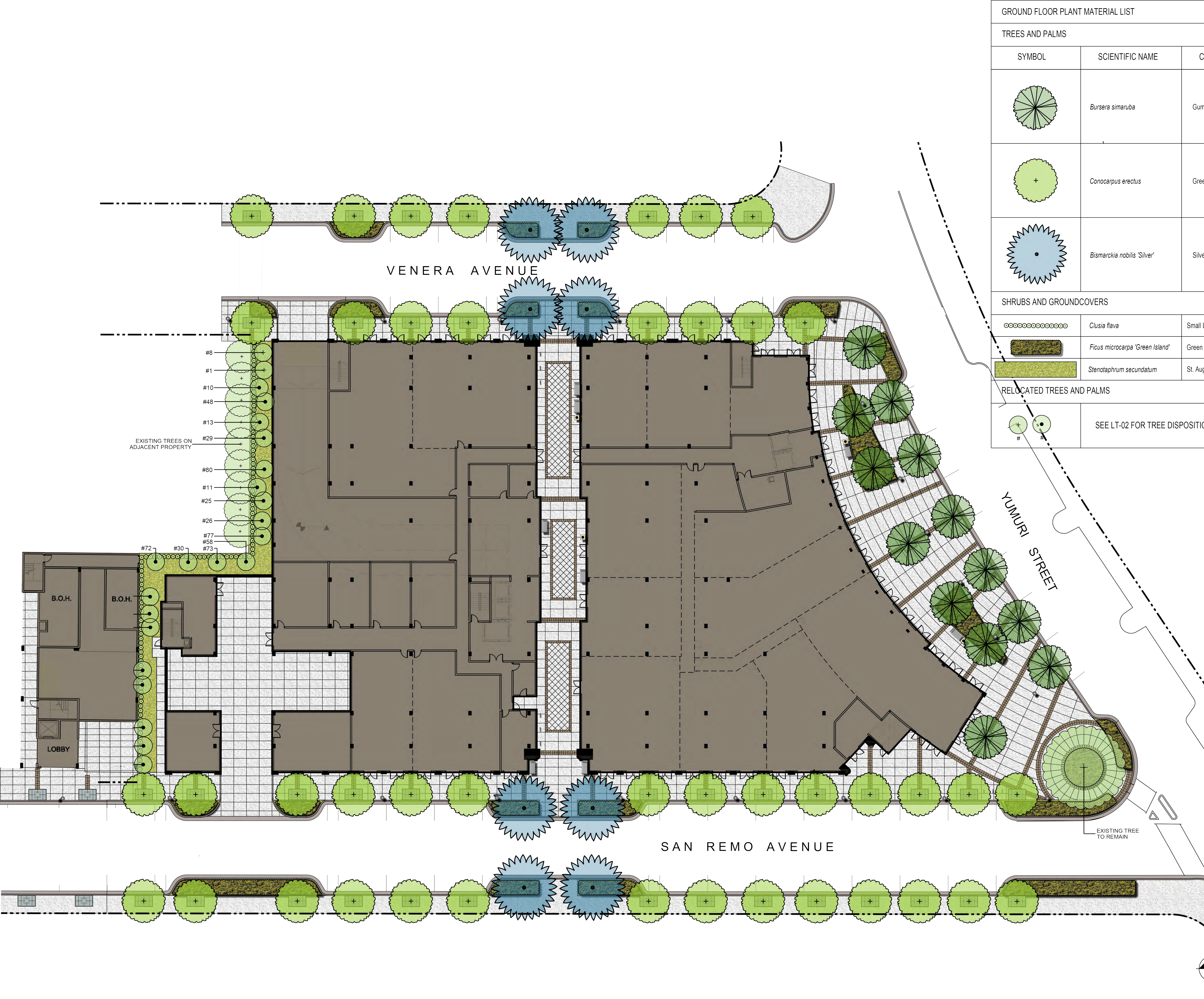
## SHOMA

2ND COMMISSION HEARING  
MAY 22, 2018

GROUND  
FLOOR SITE  
AMENITY  
PLAN

# LL-01







|  |  |  |
|--|--|--|
| <div data-bbox="102 56 543 322"> <p>GUY WIRE STAKING PLAN VIEW<br/>N.T.S.</p> </div> <div data-bbox="559 76 901 399"> <p><b>PLANT INSTALLATION NOTES:</b></p> <ol style="list-style-type: none"> <li>ALL PLANTING AREAS AND PLANTING PITS SHALL BE TESTED FOR SUFFICIENT PERCOLATION (AT A RATE OF 1" OF STANDING WATER IN 10 MINUTES) PRIOR TO INSTALLATION OF PLANT MATERIAL TO ENSURE SUFFICIENT DRAINAGE. IF INSUFFICIENT DRAINAGE IS IDENTIFIED, CONTRACTOR SHALL EXCAVATE UNTIL POSITIVE DRAINAGE IS ACHIEVED.</li> <li>ALL SYNTHETIC BURLAP, STRING, CORDS OR WIRE BASKETS SHALL BE REMOVED BEFORE TREES ARE PLANTED, WITHOUT BREAKING THE SOIL BALL. ALL SYNTHETIC TAPE SHALL BE REMOVED FROM BRANCHES AND TRUNKS PRIOR TO FINAL ACCEPTANCE. THE TOP 1/3 OF NATURAL BURLAP SHALL BE REMOVED, AFTER THE TREE IS SET IN THE PLANTING HOLE AND BEFORE THE TREES ARE BACKFILLED.</li> </ol> </div> <div data-bbox="31 433 901 1179"> <p>TREE TRUNK: TO BE FREE OF DAMAGE SUCH AS GOUGES AND BURNS AND HAVE A UNIFORM CIRCUMFERENCE</p> <p>36" MIN. LENGTH SOFT RUBBER TUBULAR COLLAR; GUY WIRE SHALL NOT BE IN CONTACT WITH THE ANY PART OF THE TREE</p> <p>8'-0" MIN. HT. OF STAKING</p> <p>8 GAUGE STAINLESS STEEL GUY WIRE</p> <p>PROVIDE FLUORESCENT TAPE WARNING FLAGS AT 2' O.C. ON ALL GUY WIRE</p> <p>TREE GRATE</p> <p>3" MULCH; DO NOT MULCH ON TOP OF ROOT BALL</p> <p>CONCRETE</p> <p>3/4" X 6" STAINLESS STEEL EYE-BOLT EMBEDDED IN THICKENED EDGE CONCRETE AROUND TREE GRATE; MAINTAIN 8" MINIMUM SEPARATION FROM TREE GRATE ATTACHMENT BOLTS; TYP. OF 4 SEE GUY WIRE PLAN ABOVE</p> <p>EXCAVATE AND DISPOSE OF EXISTING MATERIAL TO 3'-0" DEPTH WITHIN EACH PLANTER/CUTOUT AND BACKFILL WITH SOIL BACKFILL PER SPECIFICATIONS ON LL-04</p> <p>ROOT BALL; SET 3" ABOVE TOP LEVEL OF BACKFILL</p> <p>SIDEWALK SUBGRADE</p> <p>UNDISTURBED SUBGRADE/STRUCTURAL SLAB; CONTRACTOR TO VERIFY PERCOLATION PRIOR TO INSTALLATION OF TREE; VERIFY COMPACTION TO DISCOURAGE SETTLING</p> </div> | <div data-bbox="972 46 1889 695"> <p>TRUNK TO BE FREE OF DAMAGE SUCH AS GOUGES AND BURNS AND HAVE A UNIFORM CIRCUMFERENCE</p> <p>WRAP TRUNK WITH 5 LAYERS OF BURLAP; WRAP CLEAT BAND AROUND FOUR 2" X 4" X 12" PRESSURE TREATED LUMBER AND ATTACH TO BRACE WITH GALVANIZED SCREWS</p> <p>4" X 4" PRESSURE TREATED WOOD BRACES (LENGTH VARIES), ATTACH TO WOOD MEMBERS UNDER CLEAT AND STAKE WITH GALVANIZED SCREWS</p> <p>PROVIDE FLUORESCENT TAPE WARNING FLAGS AT 2' O.C. ON ALL GUY WIRES AND STAKING AS SHOWN</p> <p>3" DEEP MULCH (TYP.) DO NOT MULCH ON TOP OF ROOT BALL</p> <p>2" X 4" X 24" PRESSURE TREATED STAKE; ATTACH TO BRACE WITH GALVANIZED SCREW</p> <p>ROOT BALL SHALL BE SET 3" ABOVE SURROUNDING FINISH GRADE</p> <p>EXISTING SUB-SOIL: VERIFY PERCOLATION RATE AT SPECIFIED RATE PRIOR TO COMMENCEMENT OF PALM INSTALLATION</p> <p>SET ROOT BALL ON WELL TAMPED/UNDISTURBED AREA TO PREVENT SETTLING</p> <p>50/50 MIX LOOSENED, EXISTING SOIL AND SOIL BACKFILL</p> </div> <div data-bbox="972 735 1414 1205"> <p>STAKING PLAN VIEW<br/>N.T.S.</p> <p>STAKE</p> <p>BRACE</p> <p>PALM TRUNK</p> </div> <div data-bbox="1501 776 1874 1139"> <p><b>INSTALLATION NOTES:</b></p> <ol style="list-style-type: none"> <li>ALL PLANTING AREAS AND PLANTING PITS SHALL BE TESTED FOR SUFFICIENT PERCOLATION (AT A RATE OF 1" OF STANDING WATER IN 10 MINUTES) PRIOR TO INSTALLATION OF PLANT MATERIAL TO ENSURE SUFFICIENT DRAINAGE.</li> <li>PLANT BEDS IN PARKING LOTS AND IN AREAS COMPACTED BY EQUIPMENT AND MACHINERY SHALL BE LOOSENED SO THAT THE SPECIFIED DRAINAGE/PERCOLATION RATE IS ACHIEVED.</li> <li>ALL SYNTHETIC BURLAP, STRING, CORDS OR WIRE BASKETS SHALL BE REMOVED BEFORE TREES ARE PLANTED, WITHOUT BREAKING THE SOIL BALL. ALL SYNTHETIC TAPE SHALL BE REMOVED FROM BRANCHES AND TRUNKS PRIOR TO FINAL ACCEPTANCE. THE TOP 1/3 OF NATURAL BURLAP SHALL BE REMOVED, AFTER THE TREE IS SET IN THE PLANTING HOLE AND BEFORE THE TREES ARE BACKFILLED.</li> </ol> </div> | <div data-bbox="1920 1280 2853 1340"> <div>5</div> <div>LL-03</div> <div>SCALE:</div> </div> |
| <div data-bbox="31 1411 891 1895"> <p>INSTALL PLANT SO THAT TOP OF ROOTBALL IS FLUSH WITH FINISHED GRADE</p> <p>PROPOSED SHRUB OR GROUND COVER</p> <p>3" DEEP MULCH: PULL MULCH BACK TWO INCHES (2") FROM BASE OF STALK/STEM/TRUNK</p> <p>PROVIDE SOIL RING AROUND PLANT TO CREATE WATERING BASIN</p> <p>FINISH GRADE</p> <p>SOIL BACKFILL PER SPECIFICATIONS ON LL-04</p> <p>SURROUNDING SUBGRADE</p> <p>ROOT BALL DIAMETER</p> <p>2x ROOT BALL DIAMETER</p> </div> <div data-bbox="571 1784 891 1895"> <p><b>DRAINAGE NOTE:</b></p> <ol style="list-style-type: none"> <li>PRIOR TO INSTALLATION OF PLANTS, CONTRACTOR TO VERIFY PLANTING PITS HAVE A PERCOLATION RATE OF ONE INCH (1") OF WATER IN TEN (10) MINUTES.</li> </ol> </div>  | <div data-bbox="972 1945 1889 2005"> <div>4</div> <div>LL-03</div> <div>SCALE:</div> </div>  | <div data-bbox="1920 1945 2853 2005"> <div>6</div> <div>LL-03</div> <div>SCALE:</div> </div> |
| <div data-bbox="0 1945 957 2005"> <div>2</div> <div>LL-03</div> <div>SHRUB INSTALLATION DETAIL</div> <div>SCALE: 1/2"=1'-0"</div> </div>   | <div data-bbox="957 1945 1908 2005"> <div>4</div> <div>LL-03</div> <div>SCALE:</div> </div>  | <div data-bbox="1908 1945 2865 2005"> <div>6</div> <div>LL-03</div> <div>SCALE:</div> </div> |



| <div>1. CONTRACTOR SHALL GUARANTEE THAT ALL PLANT MATERIAL SHALL SURVIVE FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.</div> <div>2. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND WATERING OF PLANT MATERIAL UNTIL FINAL ACCEPTANCE.</div> <div>3. IF NECESSARY FOR PLANT VIGOR, THE CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION.</div> <div>4. CONTRACTOR SHALL SUBMIT WRITTEN MAINTENANCE PLAN FOR ESTABLISHMENT PERIOD (FROM FINAL ACCEPTANCE TO END OF ONE-YEAR GROW-IN PERIOD) INCLUDING WATERING SCHEDULE, TEMPORARY IRRIGATION, FERTILIZATION SCHEDULE, PRUNING ETC. TO OWNER'S REPRESENTATIVE.</div> <div>5. LOCATION OF ALL UTILITIES AND BASE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES AND OBSTRUCTIONS AND COORDINATE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INITIATING INSTALLATION WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGE COMMITTED TO EXISTING ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.</div> <div>6. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.</div> <div>7. CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE.</div> <div>8. CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. RUBBISH AND DEBRIS SHALL BE COLLECTED AND DISPOSED OF, AS DIRECTED, DAILY. ALL MATERIALS, PRODUCTS, AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION AS DIRECTED BY THE OWNER'S REPRESENTATIVE.</div> <div>9. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.</div> <div>10. ONCE PLANT MATERIAL IS INSTALLED, IF SURFACE DRAINAGE PROBLEMS EXIST IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE ALL PLANTS IF NEEDED REGRADE AREA AND REPLANT AT NO EXTRA COST TO THE OWNER.</div> <div>11. ALL NOTED CONTAINERS SIZES ARE MINIMUM. INCREASE CONTAINER SIZE IF NECESSARY TO PROVIDE PLANT HEIGHT AND WIDTH SIZE AND SPECIFICATIONS. ALL HEIGHT AND SPREAD SPECIFICATIONS ARE MINIMUM.</div> <div>12. SHRUB AND GROUND COVER BED QUANTITIES ARE INDICATED FOR EACH PLANT BED.</div> <div>13. SHRUB AND GROUNDCOVER SPACING IS INDICATED ON THE PLANT LIST, UNDER 'SPACING', AND SHOWN ON THE PLANS AS A MASS BED. TREES, HEDGES AND ACCENT PLANTS ARE INDICATED ON THE PLANT LIST AS "AS SHOWN" AND ARE SHOWN ON THE PLAN AS INDIVIDUAL SYMBOLS.</div> <div>14. PALM HEIGHTS AS INDICATED ON THE PLANS REFER TO "CLEAR TRUNK" HEIGHTS, UNLESS OTHERWISE NOTED AS "OA" (OVERALL HEIGHT), OR "GW" (GRAY WOOD).</div> <div>15. CONTRACTOR SHALL MULCH ALL NEW PLANT MATERIAL THROUGHOUT AND COMPLETELY TO DEPTH SPECIFIED.</div> <div>16. ANY SUBSTITUTIONS IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY OWNER'S REPRESENTATIVE BEFORE PLANTING CAN BEGIN.</div> <div>17. CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL. CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.</div> <div>18. PLANS FOR A FULL COVERAGE 50% OVERLAP IRRIGATION SYSTEM SHALL BE PROVIDED AT TIME OF BUILDING DEPARTMENT PERMITTING.</div> |  | <table><tr><th colspan="4">SITE DATA</th></tr><tr><td>Zoning/Land Use:</td><td colspan="3">Mixed Use</td></tr><tr><td>Net Lot Area:</td><td colspan="3">1.66 Acres (72,374 Sq. Ft.)</td></tr><tr><td>Open Space (non-paved area):</td><td colspan="3">N/A</td></tr><tr><th colspan="4">LANDSCAPE REQUIREMENTS &amp; CALCULATIONS</th></tr><tr><th>TREES</th><th>Calculations</th><th>Trees Required</th><th>Trees Provided</th></tr><tr><td>28 trees per net lot area</td><td>28 / 1.66=</td><td>47</td><td>0</td></tr><tr><td colspan="3">Relocated Trees</td><td>23</td></tr><tr><td colspan="3">Total Trees Provided</td><td>23</td></tr><tr><th colspan="4"></th></tr><tr><th>STREET TREES</th><th>Calculations</th><th>Street Trees Required</th><th>Street Trees Provided</th></tr><tr><td>Trees provided at average maximum spacing of 35' on center.<br/>LF of project = 915'</td><td>915' / 35' =</td><td>26</td><td>37</td></tr><tr><th colspan="4"></th></tr><tr><th>SHRUBS</th><th>Calculations</th><th>Shrubs Required</th><th>Shrubs Provided</th></tr><tr><td>10 shrubs per required tree</td><td>10 x 47 =</td><td>470</td><td>576</td></tr><tr><th colspan="4"></th></tr><tr><th>SOD</th><th>Calculations</th><th>Required</th><th>Provided</th></tr><tr><td>Sod</td><td>N/A</td><td>N/A</td><td>N/A</td></tr></table> |   | SITE DATA                     |                               |                   |  | Zoning/Land Use: | Mixed Use |  |  | Net Lot Area: | 1.66 Acres (72,374 Sq. Ft.) |  |  | Open Space (non-paved area): | N/A |  |  | LANDSCAPE REQUIREMENTS & CALCULATIONS |  |  |  | TREES | Calculations | Trees Required | Trees Provided | 28 trees per net lot area | 28 / 1.66= | 47 | 0 | Relocated Trees |  |  | 23 | Total Trees Provided |  |  | 23 |  |  |  |  | STREET TREES | Calculations | Street Trees Required | Street Trees Provided | Trees provided at average maximum spacing of 35' on center.<br>LF of project = 915' | 915' / 35' = | 26 | 37 |  |  |  |  | SHRUBS | Calculations | Shrubs Required | Shrubs Provided | 10 shrubs per required tree | 10 x 47 = | 470 | 576 |  |  |  |  | SOD | Calculations | Required | Provided | Sod | N/A | N/A | N/A |  |  |
|--|--|---|---|-------------------------------|-------------------------------|-------------------|--|------------------|-----------|--|--|---------------|-----------------------------|--|--|------------------------------|-----|--|--|---------------------------------------|--|--|--|-------|--------------|----------------|----------------|---------------------------|------------|----|---|-----------------|--|--|----|----------------------|--|--|----|--|--|--|--|--------------|--------------|-----------------------|-----------------------|---|--------------|----|----|--|--|--|--|--------|--------------|-----------------|-----------------|-----------------------------|-----------|-----|-----|--|--|--|--|-----|--------------|----------|----------|-----|-----|-----|-----|--|--|
| SITE DATA  |  |   |   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| Zoning/Land Use:   | Mixed Use  |   |   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| Net Lot Area:  | 1.66 Acres (72,374 Sq. Ft.)                      |   |   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| Open Space (non-paved area):   | N/A  |   |   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| LANDSCAPE REQUIREMENTS & CALCULATIONS  |  |   |   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| TREES  | Calculations                                     | Trees Required  | Trees Provided                                    |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| 28 trees per net lot area  | 28 / 1.66=                                       | 47  | 0   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| Relocated Trees  |  |   | 23  |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| Total Trees Provided   |  |   | 23  |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
|  |  |   |   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| STREET TREES   | Calculations                                     | Street Trees Required   | Street Trees Provided                             |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| Trees provided at average maximum spacing of 35' on center.<br>LF of project = 915'  | 915' / 35' =                                     | 26  | 37  |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
|  |  |   |   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| SHRUBS   | Calculations                                     | Shrubs Required   | Shrubs Provided                                   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| 10 shrubs per required tree  | 10 x 47 =  | 470   | 576   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
|  |  |   |   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| SOD  | Calculations                                     | Required  | Provided  |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| Sod  | N/A  | N/A   | N/A   |                               |                               |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| <div>1</div> <div>LL-04</div>  | <div>LANDSCAPE NOTES</div> <div>SCALE: N/A</div> | <div>3</div> <div>LL-04</div>   | <div>LANDSCAPE LEGEND</div> <div>SCALE: N/A</div> | <div>5</div> <div>LL-04</div> | <div>SCALE:</div>             |                   |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |
| <div>1. SOIL BACKFILL SHALL BE NATURAL SURFACE SOIL FROM WELL-DRAINED AREAS, FERTILE, FRIABLE AND FREE OF WEEDS AND TYPICAL OF PRODUCTIVE, CULTIVATED TOPSOIL; POSSESSING CHARACTERISTICS REPRESENTATIVE OF A WELL-DRAINED AREA IN FLORIDA.</div> <div>2. SOIL CONTAINING MUCK OR POORLY-DRAINED SOILS SHALL NOT BE USED.</div> <div>3. SOIL BACKFILL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE (PH 5.5 TO 7.0), NOR CONTAINING TOXIC SUBSTANCES SUCH AS LEAD OR MERCURY.</div> <div>4. SOIL BACKFILL SHALL BE REASONABLY FREE OF CLAY, STONES, STICKS, STUMPS, ROOTS, OR OTHER SIMILAR SUBSTANCES ONE-QUARTER-INCH (1/4") OR MORE IN DIAMETER OR ANY OTHER OBJECT WHICH MAY BE A HINDRANCE TO THE FINISH-GRADING OPERATION OR DETRIMENTAL OR INJURIOUS TO PLANTS. PARTICULAR CARE SHOULD BE TAKEN TO REMOVE PIECES OF MORTAR, CEMENT, WOOD, ROAD ROCK, LIME ROCK CHUNKS AND OTHER SIMILAR REMAINS OF CONSTRUCTION FROM ALL PLANTING AREAS.</div> <div>5. SOIL BACKFILL SHALL BE AS FOLLOWS: 1/3 TOPSOIL (AS DESCRIBED ABOVE), 1/3 FLORIDA PEAT, AND 1/3 CLEAN D.O.T. SAND.</div> <div>6. PRIOR TO INSTALLATION OF PLANT MATERIAL, CONTRACTOR SHALL WATER-IN IMPORTED SOIL BACKFILL, TO 2'-0" DEPTH, TO REMOVE ALL AIR POCKETS. CONTRACTOR SHALL PERFORM THIS TASK TWICE, TWO WEEKS APART. MECHANICAL COMPACTION OF PLANTING AREAS, WHERE LIVING SPECIES ARE TO BE LOCATED, IS PROHIBITED.</div> <div>7. PRIOR TO INSTALLATION OF PLANT MATERIAL IN PLANTERS (AREAS SURROUNDED BY CONCRETE OR PAVEMENT), ALL MATERIAL SHALL BE REMOVED TO 3'-0" DEPTH AND BACKFILLED WITH "SOIL BACKFILL".</div>   |  | <div>4</div> <div>LL-04</div>   |   | <div>SCALE:</div>             | <div>6</div> <div>LL-04</div> | <div>SCALE:</div> |  |                  |           |  |  |               |                             |  |  |                              |     |  |  |                                       |  |  |  |       |              |                |                |                           |            |    |   |                 |  |  |    |                      |  |  |    |  |  |  |  |              |              |                       |                       |   |              |    |    |  |  |  |  |        |              |                 |                 |                             |           |     |     |  |  |  |  |     |              |          |          |     |     |     |     |  |  |

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Bermello Ajamil & Partners, Inc.  
2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
P: (305) 859-2050  
WWW.BERMELLOAJAMIL.COM

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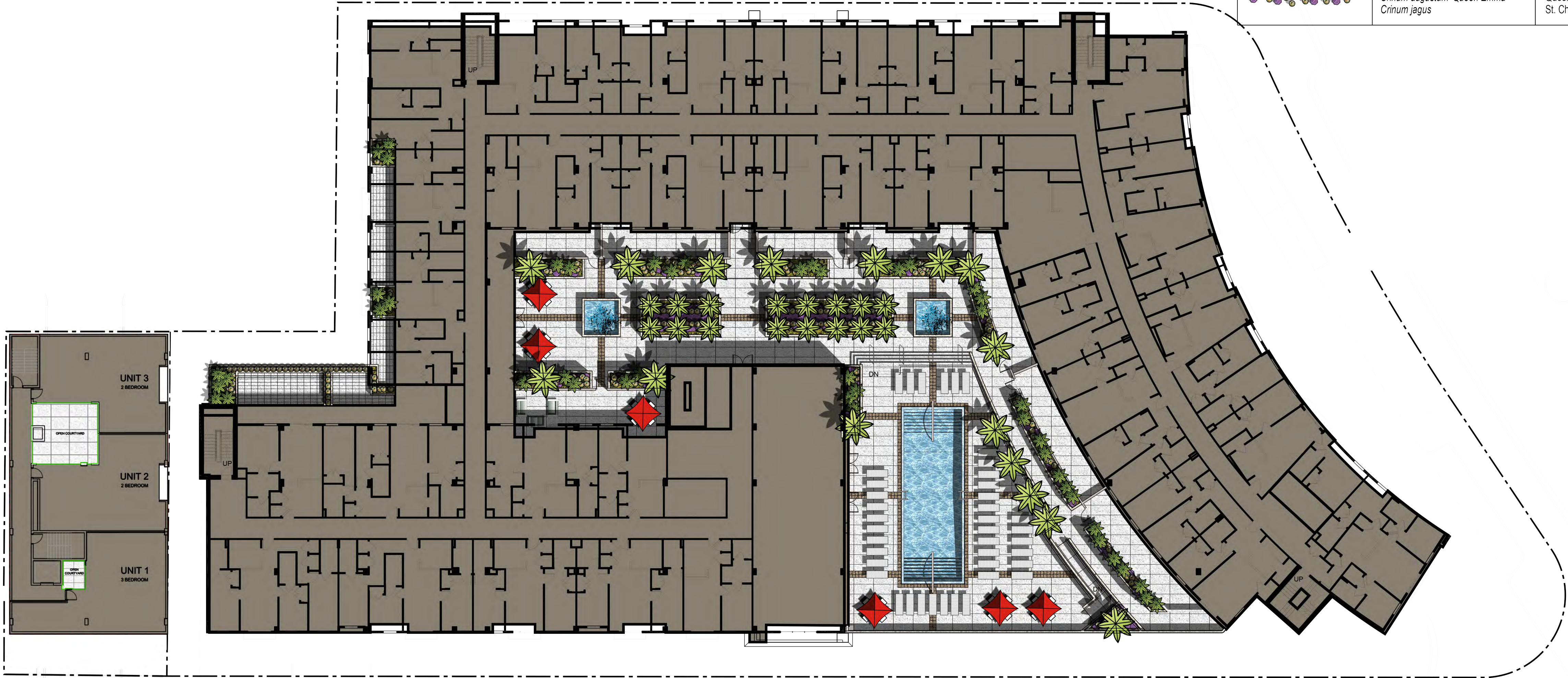
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2ND COMMISSION HEARING  
MAY 22,2018

LANDSCAPE  
NOTES &  
CALCS.

LL-04





| ROOF PLANT MATERIAL LIST  |  |   |  |
|---|--|---|--|
| PALMS   |  |   |  |
| SYMBOL  | SCIENTIFIC NAME  | COMMON NAME   | SPECIFICATIONS   |
|  | <i>Ptychosperma elegans</i>  | Solitaire Palm  | 15' overall height   |
|  | <i>Vietchia montgomeryana</i>  | Montgomery Palm   | 25' overall height   |
|  | <i>Phoenix sylvestris</i>  | Sylvester Date Palm   | 30' overall height   |
| SHRUBS AND GROUNDCOVERS   |  |   |  |
|  | <i>Aechmea 'malva'</i><br><i>Ficus microcarpa 'Green Island'</i><br><i>Nephrolepis biserrata</i><br><i>Petrea volubilis</i><br><i>Philodendron 'Burle Marx'</i><br><i>Philodendron 'Rojo Congo'</i><br><i>Thunbergia grandiflora</i> | Malva Bromeliad<br>Green Island Ficus<br>Macho Fern<br>Sandpaper Vine<br>Burle Marx Philodendron<br>Rojo Congo Philodendron<br>Sky Flower | 24" tall x 24" wide; 30" on center triangular spacing<br>18" tall x 18" wide; 24" on center triangular spacing<br>3 gal; 18" tall X 18" wide; 30" on center triangular spacing<br>10 gal; 6' overall height<br>3 gal; 18" tall X 18" wide; 30" on center triangular spacing<br>3 gal; 12" tall X 12" wide; 24" on center triangular spacing<br>10 gal; 6' overall height |
| ACCENT PLANTING   |  |   |  |
|  | <i>Alcantarea imperialis</i><br><i>Alocasia macrorrhiza 'Lutea'</i><br><i>Crinum augustum 'Queen Emma'</i><br><i>Crinum jagus</i>  | Giant Bromeliad<br>Golden Elephant Ear<br>Queen Emma Crinum Lily<br>St. Christopher Lily  | 15 gal; 24" X 24"<br>15 gal; 6' tall X 6' wide<br>15 gal; 6' tall X 6' wide<br>15 gal; 6' tall X 6' wide   |



0' 10' 20' 40'  
SCALE : 1" = 20'