

HISTORICAL: REMODELING & ADDITION

Alkhoury Residence

4210 Santa Maria St, Coral Gables Fl 33146

Project Team

LOCUS
ARCHITECTURE
INCORPORATED
500 South Dixie Highway, Suite 307
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ARCHITECTURE

Fuad Alkhoury & Julia Bisschops

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OWNER

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ARCHITECTURE

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| | |
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PRELIMINARY BOA SUBMITTAL: March 22, 2024
COA HISTORICAL SUBMITTAL: May 20, 2024
BOA RESUBMITTAL: October 18, 2024
COA HISTORICAL RESUBMITTAL: November 8, 2024
PERMIT SUBMITTAL:



FRONT VIEW



FRONT VIEW



AERIAL FRONT VIEW



AERIAL REAR VIEW

NOTES

LOCUS ARCHITECTURE INCORPORATED
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| | OWNER REVIEW | 12-01-23 |
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| | COA SUBMITTAL & ZONING REVIEW | 05-31-24 |
| | BOA SUBMITTAL REVISED | 10-18-24 |
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| | PERMIT SUBMITTAL | |

PROJECT

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 Coral Gables, FL 33146

DRAWING

Renderings

SEAL



Nelson de Leon
 AR 13937

SCALE

DRAWN

REVIEWED

NDL

PROJ. NO.

301

SHEET NO.

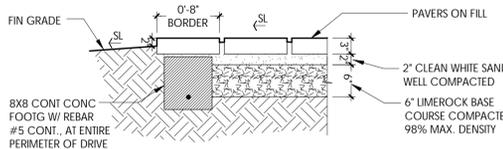
RENDERINGS

GENERAL NOTES

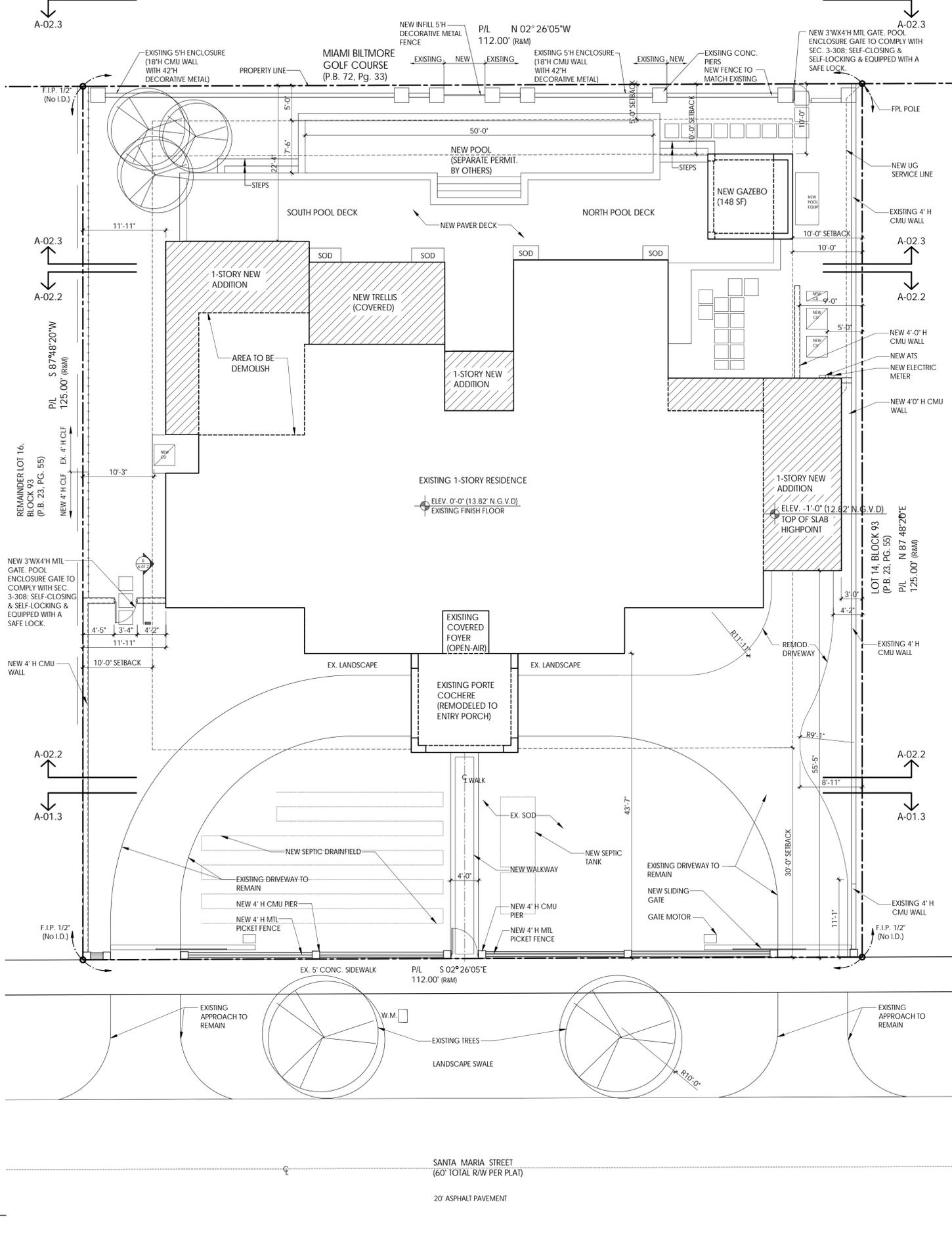
- A. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT OF RECORD.
- B. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.
- C. THESE DRAWINGS PROVIDE FOR THE LABOR, MATERIAL, EQUIPMENT AND SUPERVISION BY THE CONTRACTOR FOR A COMPLETE LOCK AND KEY JOB WITH THE ITEMS SPECIFICALLY NOTED FURNISHED BY THE CONTRACTOR OR AS AN ALLOWANCE. THE WORK SHALL BE EXECUTED IN A THOROUGH, SUBSTANTIAL AND NEAT MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.
- D. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT OF RECORD IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- E. ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA RESIDENTIAL BUILDING CODE 8TH ED (2023) AND ALL AUTHORITIES HAVING JURISDICTION.
- F. AIA DOCUMENT A-105 (2020) GENERAL CONDITIONS OF THE CONTRACT IS HEREBY MADE A PART OF THESE DRAWINGS AND SPECIFICATIONS.
- G. THE CONTRACTOR SHALL DETERMINE THE SEQUENCE OF CONSTRUCTION ITEMS, AS WELL AS THOSE PROVIDED FOR BY SEPARATE PERMIT. THE CONTRACTOR SHALL ARRANGE FOR INSPECTION AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL FEES AND COSTS FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING AND ZONING DEPARTMENT.
- H. THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCE SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.
- I. INSURANCE: WORKMENS COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.
- J. AFTER THE AWARD OF THE CONTRACT AND PRIOR TO START OF ANY WORK A PRE-WORK CONFERENCE WILL BE HELD BETWEEN THE CONTRACTOR, ARCHITECT, OWNER AND REPRESENTATIVES OF THE CONTRACTOR. THE TIME AND PLACE OF THIS CONFERENCE WILL BE SET BY THE OWNER. THE CONTRACTOR SHALL PREPARE A BRIEF WORK DESCRIPTION OF PROCEDURE TO BE USED IN THE PERFORMANCE OF THE WORK AND PROVIDE A SCHEDULE (BAR CHART) FOR THE PROJECT.
- K. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE FAMILIAR WITH THE NATURE AND LOCATION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING THOSE BEARING ON TRANSPORTATION, HANDLING AND STORAGE OF DEBRIS, ACCESS TO THE SITE, AND THE EQUIPMENT AND FACILITIES NEEDED TO PERFORM THE WORK.
- L. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.
- M. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO THE PREMISES AT ALL TIMES.
- N. ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED AND/OR AS SELECTED BY THE ARCHITECT, INTERIOR DESIGNER OR OWNER.
- O. THE CONTRACTOR SHALL ALLOW THE A/E TEAM A RESPONSE TIME OF 7 WORKING DAYS FOR RFIS AND 10 WORKING DAYS FOR SHOP-DRAWING REVIEWS.
- P. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR REPAIRS. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- Q. AT COMPLETION, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SURPLUS MATERIALS, LEAVING THE PROJECT "BROOM CLEAN".
- R. THE CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.
- S. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
- T. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- U. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.
- V. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH PARTIAL RELEASE OF LIEN FOR EACH PAYMENT, AND A FINAL RELEASE OF LIEN AT COMPLETION.
- W. FINAL DISBURSEMENT TO THE CONTRACTOR SHALL NOT BE MADE UNTIL THE OWNER'S PUNCH-LIST HAS BEEN SATISFIED.

SYMBOLS KEY

| | | | |
|------------------|--|--------------------|--|
| BUILDING SECTION | | ELEVATION | |
| WALL SECTION | | INTERIOR ELEVATION | |
| DETAIL | | DOOR ID | |
| DETAIL @ SECTION | | PARTITION TYPE | |
| | | REVISION | |
| | | EQUIPMENT ID | |



PAVER DETAIL: A
SCALE: 3/4"=1'-0"



PROPOSED OVERALL SITE PLAN

SCALE: 1/8"=1'-0"



LEGAL DESCRIPTION

SCALE: NTS

SCOPE OF WORK

LOT 15 AND THE NORTH 37' OF LOT 16, BLOCK 93 OF "CORAL GABLES COUNTRY CLUB SECTION, PART 5", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 23 AT PAGE 55 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ZONING INFORMATION

THE WORK ENTAILS THE INTERIOR REMODELING, INCLUDING PARTIAL DEMOLITION, NEW ADDITION AND MEP UPGRADES. SITE WORK INCLUDES, POOL, GATES & LANDSCAPE UPGRADES. .

ZONING INFORMATION

| | |
|-------------|-----------------------------------|
| ZONED: | SFR |
| FLOOD ZONE: | X |
| LOT SIZE | 14,000 SF |
| CODE: | FBC 2020, RESIDENTIAL 7TH EDITION |
| FOLIO: | 03-4119-001-3710 |

| F.A.R. ALLOWED | REQUIRED/ALLOWED | EXISTING/PROPOSED |
|-------------------------|--|---|
| | 5,350 SF (48% FIRST 5,000 SF, 35% NEXT 5,000 SF, 30% REMAINING) | 3,912.4 SF (PROPOSED) |
| LOT COVERAGE | 4,900 SF MAIN HOUSE: MAX. 35% LOT 6,300 SF ACCESS STRUCTURES: MAX. 45% LOT | 4,750 SF (PROPOSED) 5,313 SF (PROPOSED) |
| MIN. FLOOR ELEVATION | FROM 16" MIN/30" MAX ABOVE EST. GRADE EST. GRADE=12.32' NGVD | 13.82' NGVD EXISTING MAIN HOUSE |
| HEIGHT ALLOWED | TWO STORIES OR 25'-0" MAX. FROM FINISHED FLOOR TO TOP OF TIE BEAM ON TOP FLOOR | 9'-0" (EXISTING) |
| GARAGE FLOOR ELEV. | NO MORE THAN 6" ABOVE GRADE (12.82' NGVD) EST. GRADE=12.32' NGVD | 12.65' NGVD (LOWEST POINT PROPOSED) |
| LANDSCAPE AREA REQUIRED | 5,600 SF MIN. 40% LOT 1,120 SF MIN. 20% OF 40% AT FRONT YARD | 5,812.5 SF (PROPOSED) |
| FRONT YARD REQUIRED | | 3,729.2 SF (PROPOSED) |

SETBACK REQUIREMENTS

| | REQUIRED/ALLOWED | EXISTING/PROPOSED |
|------------------------|--------------------|--------------------|
| FRONT: | 30'-0" | 43'-7" (EXISTING) |
| SIDE: NORTH | 8'-11" (5'-0" MIN) | 3'-0" (PROPOSED) |
| SIDE: SOUTH | 10'-0" (5'-0" MIN) | 11'-11" (EXISTING) |
| REAR: | 10'-0" | 10'-0" (PROPOSED) |
| POOL & POOL EQUIPMENT: | 5'-0" | 5'-0" (PROPOSED) |

AREA CALCULATIONS: TOTALS : SEE SHEET A-01.1

WASA NOTES:

TOTAL AREA UNDER A/C: 4,165 SF

PUBLIC WORK NOTES:

1. SIDEWALK AT NEW APPROACH TO BE 6" THICK CONCRETE W/ WIRE REINFORCED MESH, COLOR CORAL GABLES BEIGE AS PER CITY SPECS.

2. PAVER DETAIL, SEE AIA-01.0.

ZONING NOTES:

3. ALL RAINWATER MUST BE RETAINED ON PROPERTY.

4. LANDSCAPING WILL COMPLY WITH THE CITY OF CORAL GABLES LANDSCAPE REQUIREMENT ORD 98-13 CHAPTER 18A. LANDSCAPING NOT ALLOWED TO GROW WITHIN TRIANGLE OF VISIBILITY BETWEEN A HEIGHT OF 30' AND 8'.

5. FILL SHALL NOT BE BROUGHT UNTO SITE.

6. SOIL TERMITE CONTROL: THE ENTIRE SOIL AREA TO BE COVERED BY FOOTINGS, SLABS, PORCHES, ETC., SHALL BE TREATED WITH FUMISEAL OR EQUAL FOR TERMITES IN ACCORDANCE WITH SPECIFICATIONS. PROVIDE OWNER WITH A PRINTED GUARANTEE AGAINST SUBTERRANEAN TERMITES FOR 5 YEARS, AND OTHER TERMITES FOR 2 YEARS, FROM DATE OF COMPLETION.

7. THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE

NOTES



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PROJECT

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DRAWING

Proposed Site Plan and
Zoning Information



Nelson de Leon
AR 13937

SHEET NO.

A-01.0

CODE:
FBC RESIDENTIAL 2023 8TH EDITION

SCALE

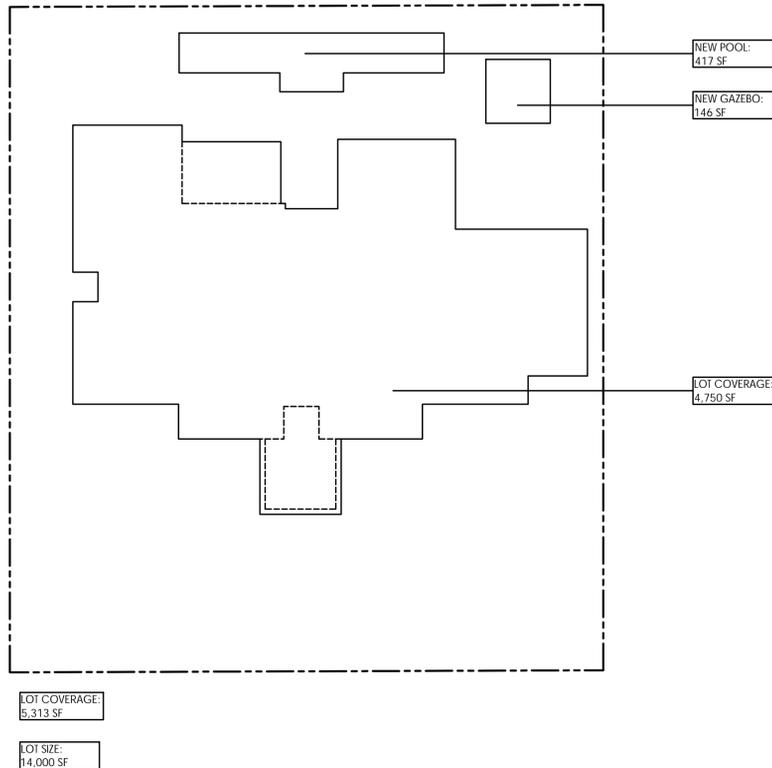
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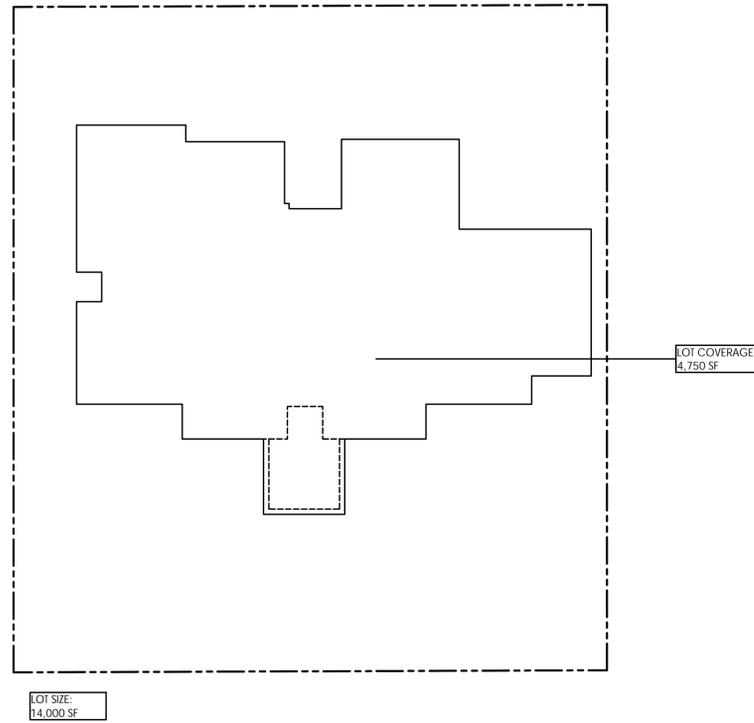
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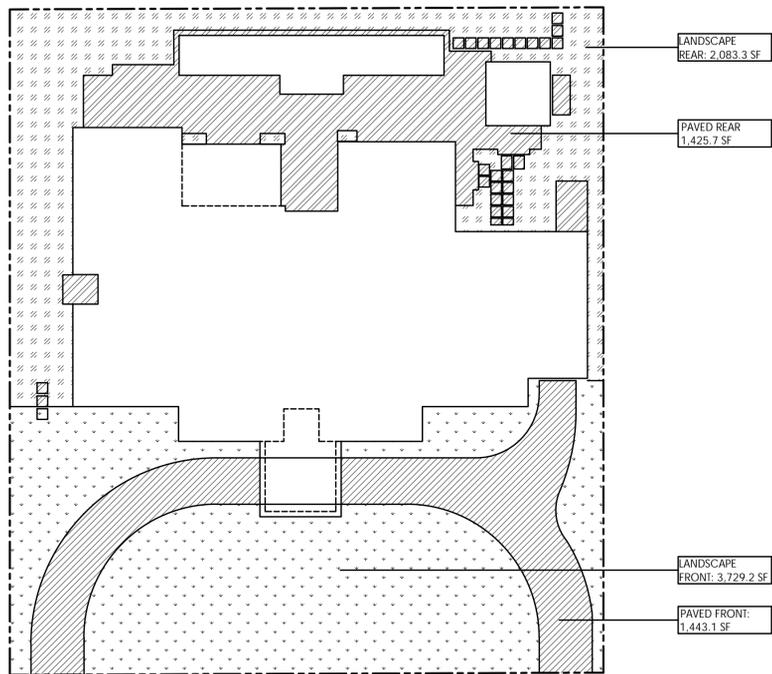
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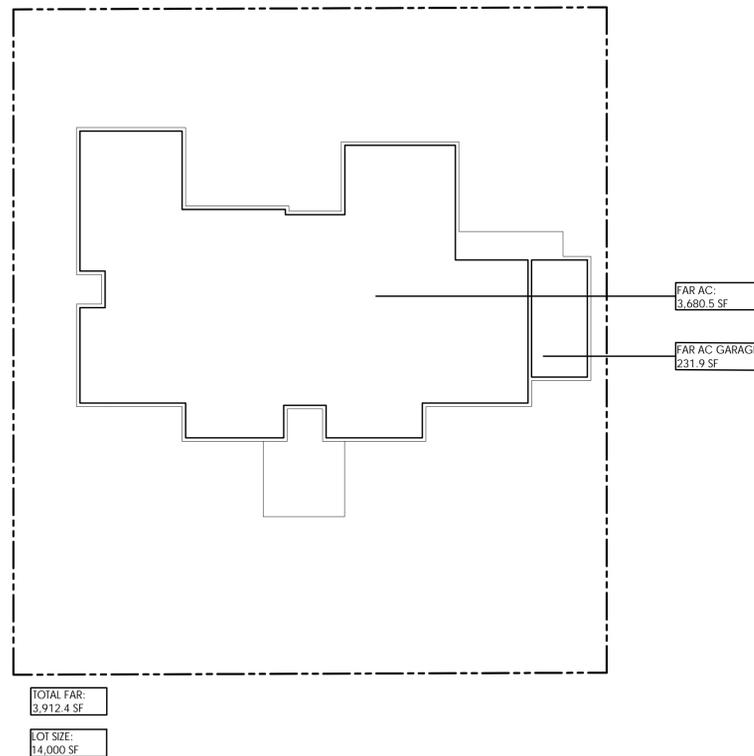
LOT COVERAGE 45%
SCALE: 1/16" = 1'-0"



LOT COVERAGE 35%
SCALE: 1/16" = 1'-0"



LANDSCAPE AND PAVED AREAS
SCALE: 1/16" = 1'-0"



FIRST FLOOR FAR
SCALE: 1/16" = 1'-0"

AREA CALCULATIONS: TOTALS LOT SIZE: 14,000 SF

| FAR CALCULATIONS: TOTAL ALLOWED = 5,350 SF | | PROPOSED |
|--|--|-------------------|
| MAIN HOUSE | | 3,680.5 SF |
| GARAGE | | 231.9 SF |
| TOTALS | | 3,912.4 SF |
| LOT COVERAGE CALCS: 35% TOTAL ALLOWED = 4,900 SF | | PROPOSED |
| MAIN HOUSE COVERED | | 4,750 SF |
| TOTALS | | 4,750 SF |
| LOT COVERAGE CALCS: 45% TOTAL ALLOWED = 6,300 SF | | PROPOSED |
| MAIN HOUSE COVERED | | 4,750 SF |
| NEW GAZEBO | | 146 SF |
| NEW POOL | | 417 SF |
| TOTALS | | 5,313 SF |
| LANDSCAPE AREAS: TOTAL REQUIRED = 5,600 SF | | PROPOSED |
| LANDSCAPE: BACKYARD | | 2,083.3 SF |
| LANDSCAPE: FRONT YARD 20% OF 40% = 1,120 REQ'D | | 3,729.2 SF |
| TOTALS | | 5,812.5 SF |
| PAVED AREAS | | PROPOSED |
| FRONT YARD | | 1,581.2 SF |
| BACK YARD | | 1,425.7 SF |
| TOTALS | | 3,006.9 SF |

NOTES



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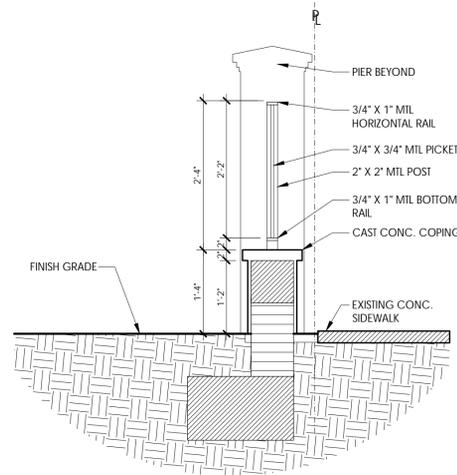
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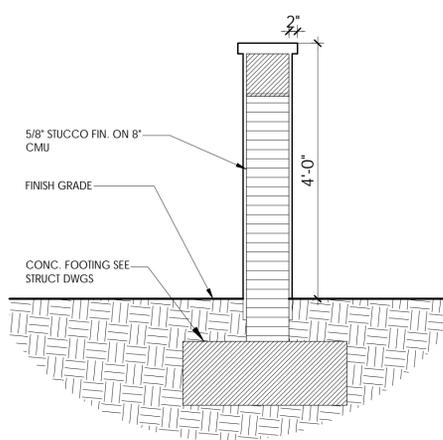
DRAWING
**Area Diagrams
and Calculations**

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| | SCALE |
| | DRAWN |
| | REVIEWED NDL |
| | PROJ. NO. 301 |

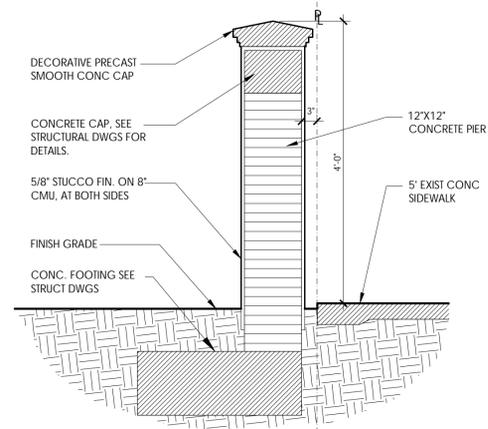
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A-01.1



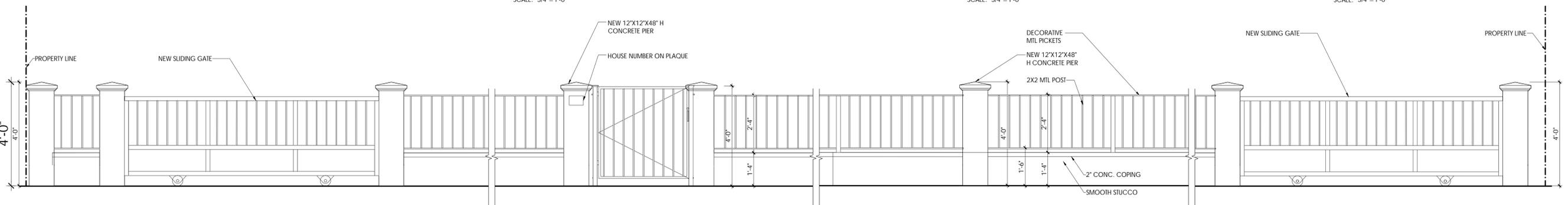
ENTRY WALL SECTION: C
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SITE WALL DETAIL: B
SCALE: 3/4"=1'-0"



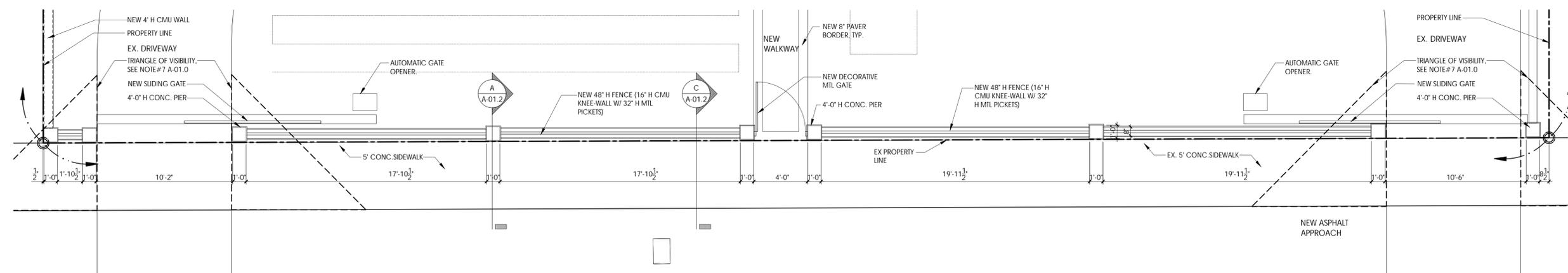
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4210 SANTA MARIA STREET: SITE WALL ENLARGED ELEVATION
SCALE: 1/2"=1'-0"



4210 SANTA MARIA STREET: SITE WALL ELEVATION
SCALE: 1/4"=1'-0"



4210 SANTA MARIA STREET: SITE WALL FLOOR PLAN
SCALE: 1/4"=1'-0"



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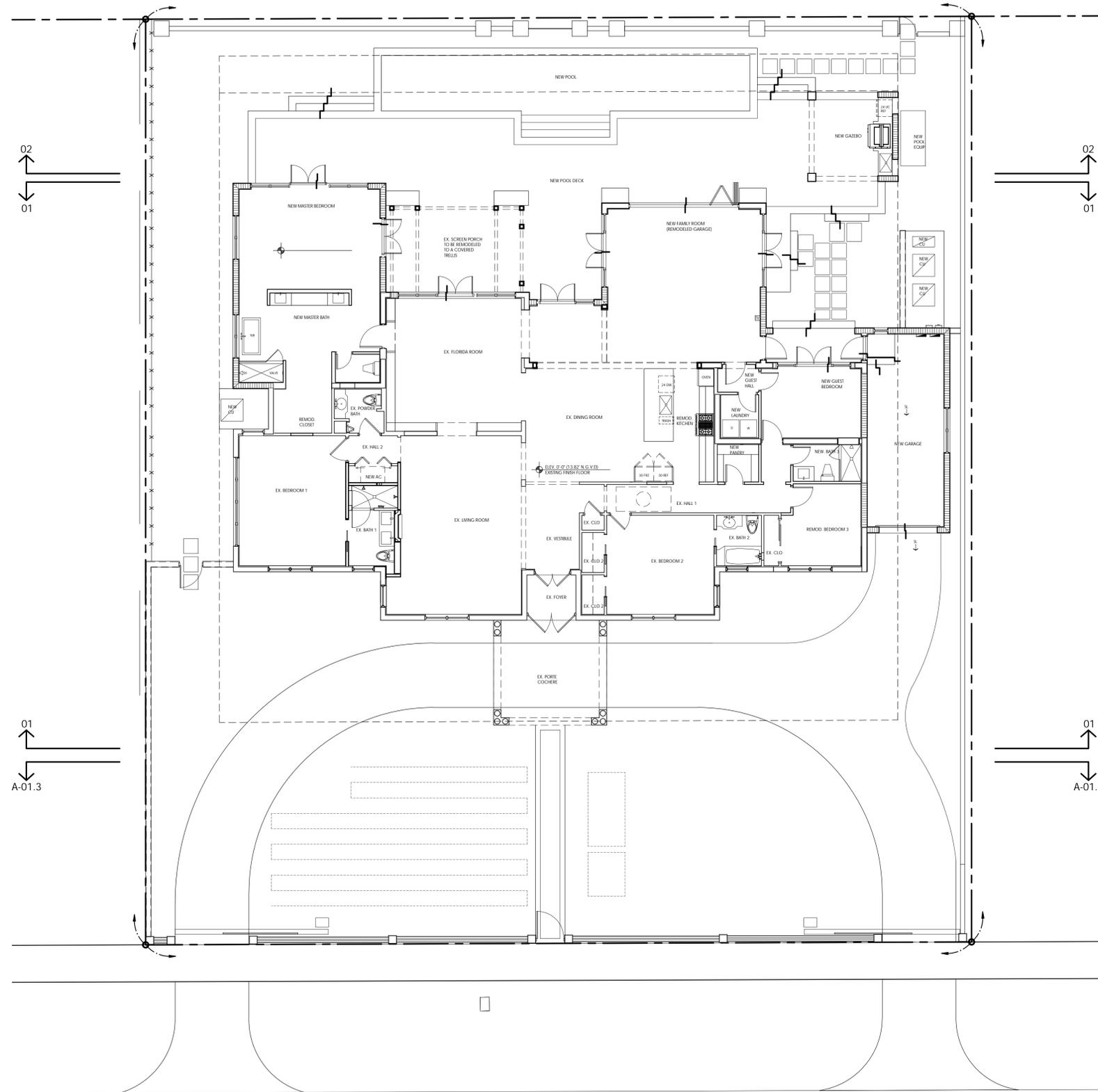
DRAWING
Site Walls & Details

SEAL

Nelson de Leon
AR 13937

SCALE
DRAWN
REVIEWED
NDL
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301

SHEET NO.
A-01.3



PROPOSED OVERALL FLOOR PLAN

SCALE: 1/8" = 1'-0"



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DRAWING

Proposed Floor Plan



Nelson de Leon
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SHEET NO.

A-02.1

SCALE

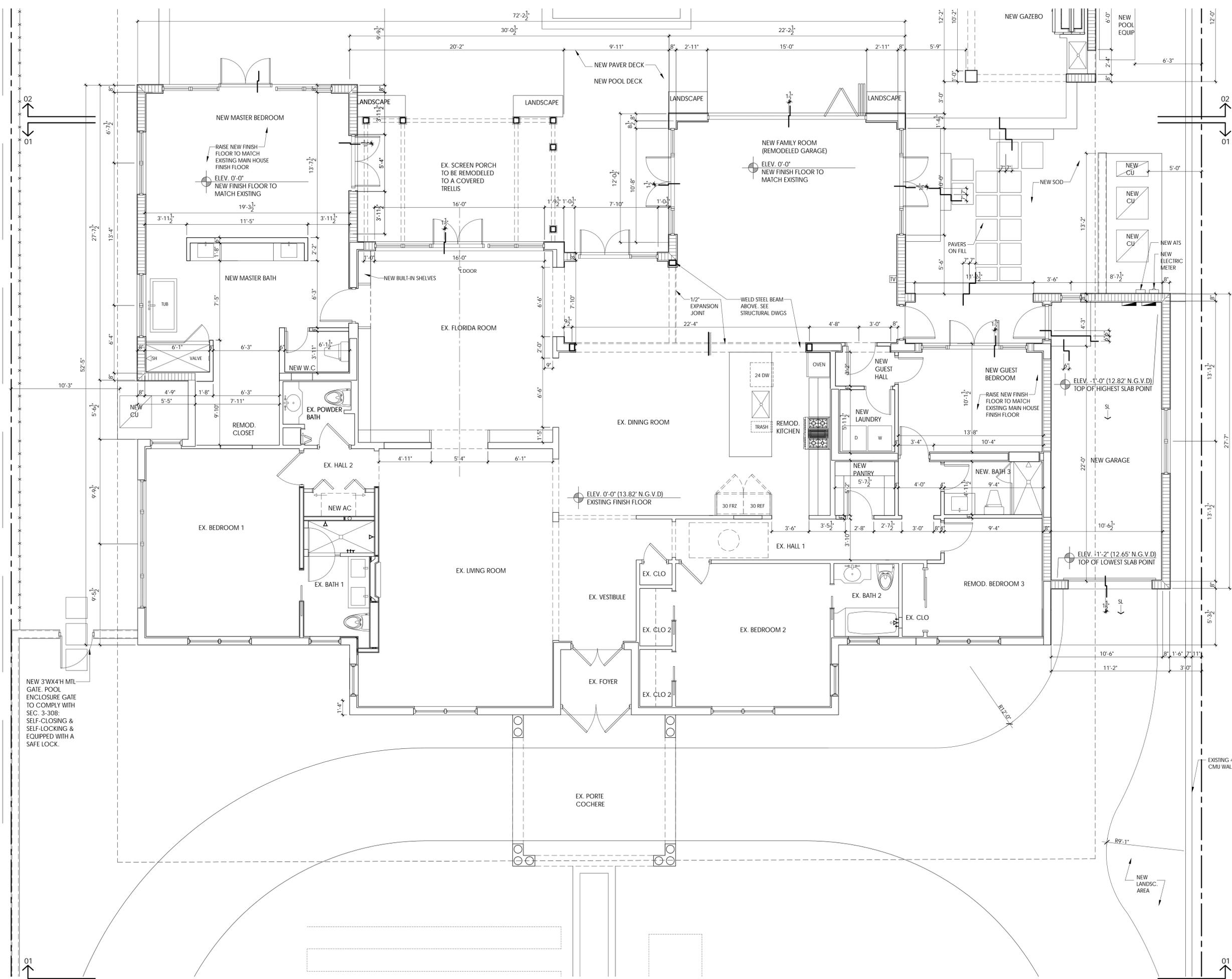
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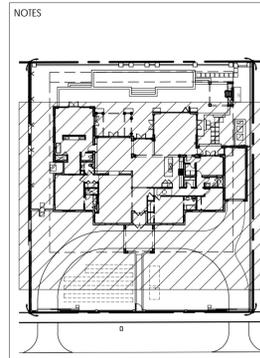
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301



NEW 3'WX4'H MIL GATE POOL ENCLOSURE GATE TO COMPLY WITH SEC. 3-30B. SELF-CLOSING & SELF-LOCKING & EQUIPPED WITH A SAFE LOCK.



KEY PLAN

SCALE: NTS

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DRAWING
 Proposed Partial
 Floor Plan 01

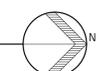
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 Nelson de Leon
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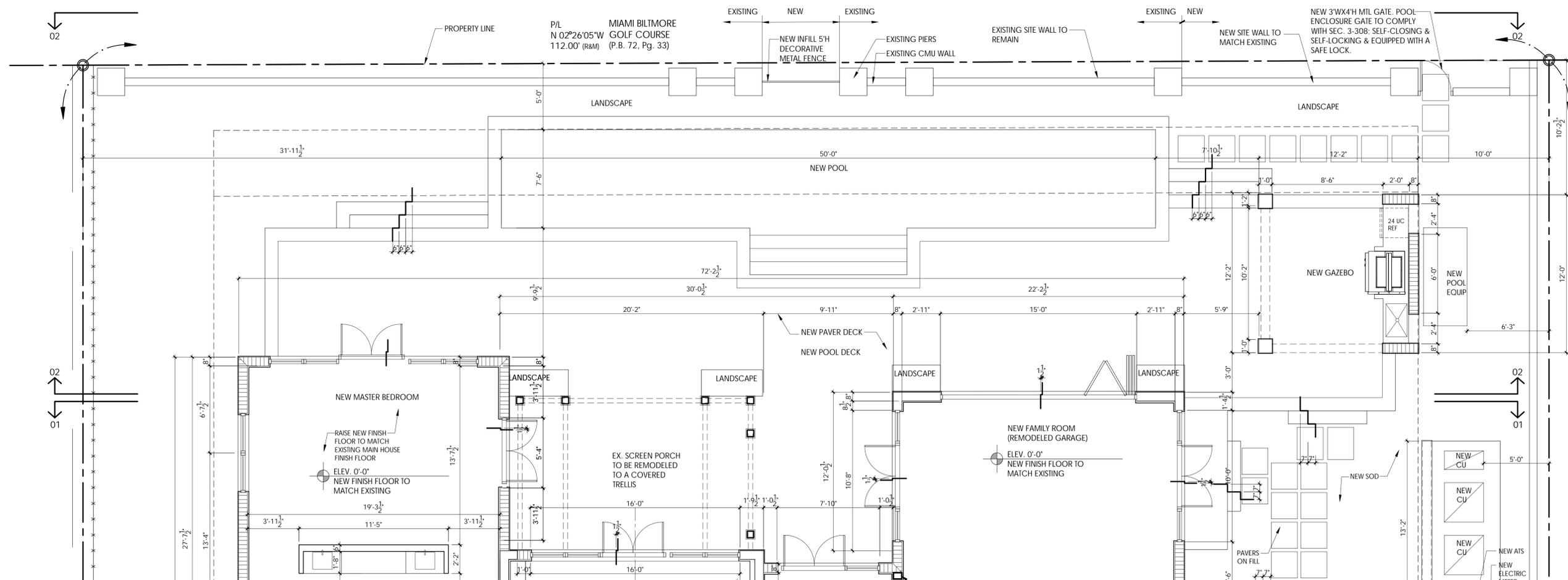
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 PROJ. NO.
 301
 SHEET NO.

A-02.2

PROPOSED PARTIAL FLOOR PLAN: 01
 SCALE: 1/4" = 1'-0"



1. CONTRACTOR TO PAINT ALL INTERIOR WALLS, CEILINGS, & EXTERIOR WALLS. COORDINATE COLORS WITH OWNERS.
2. CONTRACTOR TO VERIFY EXACT LOCATION OF ALL TOILET ROOM, LAUNDRY ROOM, CLOSET AND KITCHEN ACCESSORIES WITH OWNER. PROVIDE P.T. WOOD BLOCKING AT ALL CABINETS AND BATHROOM ACCESSORIES.
3. FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 8', AT INTERCONNECTIONS, AT OPENING, AT FLOOR JOISTS AROUND DOOR POCKETS AS PER FBC R440.0.7
4. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273.
5. AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE AT OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS BETWEEN 1/4" AND 1/2".
6. COORD. FLOORING, APPLIANCES, CABINETS, HARDWARE, PLUMBING, AND LIGHTING FIXTURES WITH OWNER SELECTIONS.
7. 2 HR MINIMUM RATING ACHIEVED USING FBC 2020 BUILDING SECTION 721 (PRESCRIPTIVE FIRE RESISTANCE) TABLE 721.1(2) F: 8" CMU HAVING CELLS FULL GROUTED EQUALS 4 HR RATINGS PER 4.7". ADDITIONALLY, ONE LAYER OF 5/8" GWB EQUALS 20 MIN RATING PER FBC TABLE 7221.1.4(2).

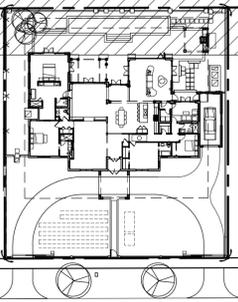


PROPOSED PARTIAL FLOOR PLAN: 02

SCALE: 1/4" = 1'-0"



NOTES



KEY PLAN

SCALE: NTS

LOCUS ARCHITECTURE INCORPORATED

500 South Dixie Highway, Suite 307
Coral Gables, Florida 33146
Tel: (305) 740-0120
License No. AR 13937

CONSULTANT(S)

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| | BOA SUBMITTAL REVISED | 10-18-24 |
| | COA SUBMITTAL REVISED | 11-08-24 |
| | PERMIT SUBMITTAL | |

PROJECT

Historically designated
Remodel & Additions:
Alkhoury Residence

4210 Santa Maria St.
Coral Gables, FL 33146

DRAWING

Proposed Partial
Floor Plan 02



Nelson de Leon
AR 13937

SHEET NO.

A-02.3

SCALE

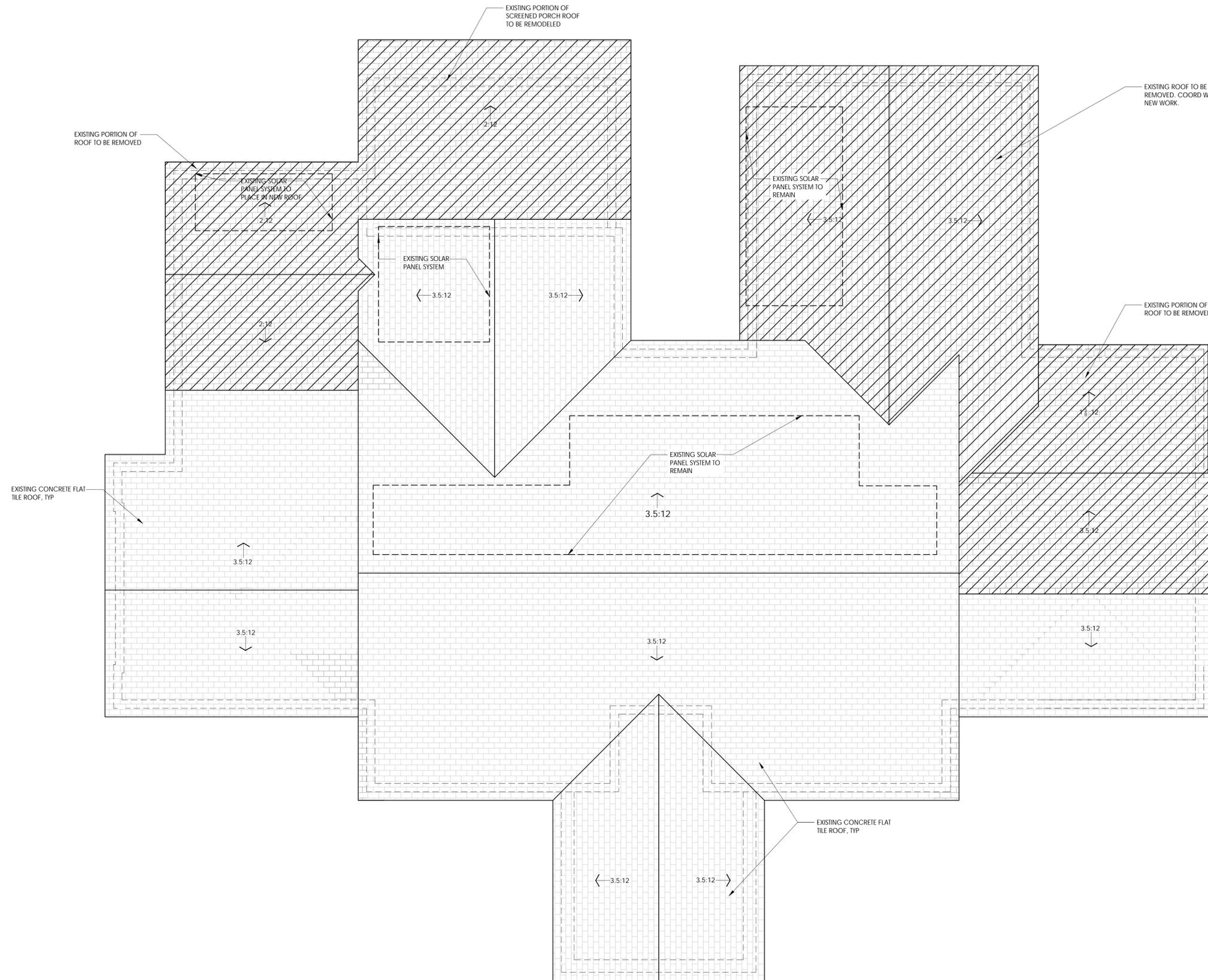
DRAWN

REVIEWED

NDL

PROJ. NO.

301



EXISTING AND DEMOLITION ROOF PLAN
 SCALE: 1/4" = 1'-0"

NOTES

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| | PERMIT SUBMITTAL | |

PROJECT
 Historically designated
 Remodel & Additions:
Alkhoury Residence
 4210 Santa Maria St.
 Coral Gables, FL 33146

DRAWING
 Existing and Demolition
 Roof Plan

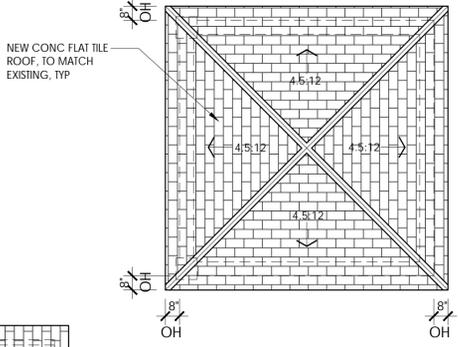
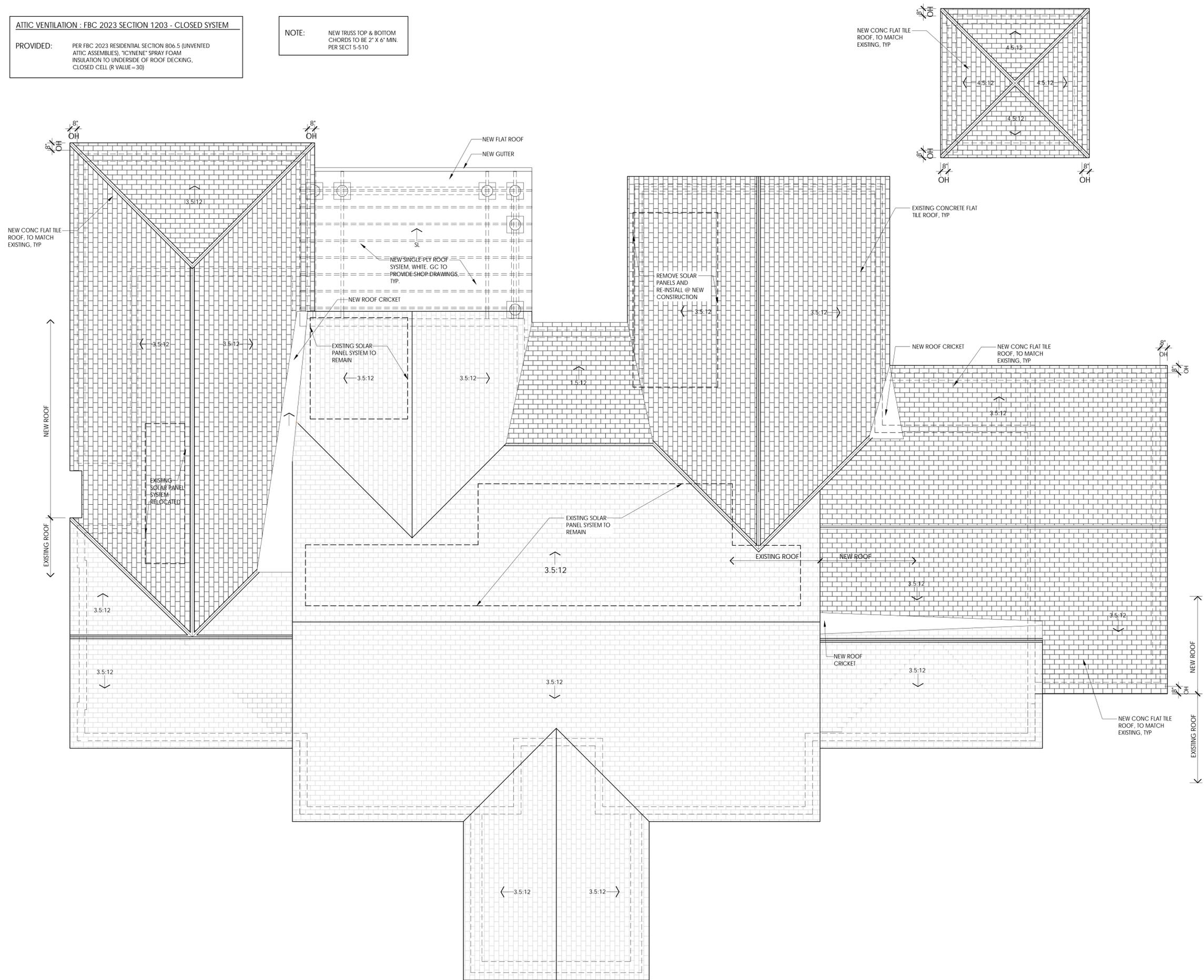
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|------|------------------|
| SEAL | SCALE |
| | DRAWN |
| | REVIEWED NDL |
| | PROJ. NO. 301 |

SHEET NO.
A-04.0

ATTIC VENTILATION : FBC 2023 SECTION 1203 - CLOSED SYSTEM

PROVIDED: PER FBC 2023 RESIDENTIAL SECTION 806.5 (UNVENTED ATTIC ASSEMBLIES), "ICYNENE" SPRAY FOAM INSULATION TO UNDERSIDE OF ROOF DECKING, CLOSED CELL (R VALUE=30)

NOTE: NEW TRUSS TOP & BOTTOM CHORDS TO BE 2" X 6" MIN. PER SECT 5-510



NOTES

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| | PERMIT SUBMITTAL | |

PROJECT

Historically designated Remodel & Additions:
Alkhoury Residence
 4210 Santa Maria St.
 Coral Gables, FL 33146

DRAWING

Proposed Roof Plan

| | |
|----------------------------|------------------|
| SEAL | SCALE |
| | DRAWN |
| | REVIEWED |
| | NDL |
| Nelson de Leon AR 13937 | PROJ. NO. 301 |

SHEET NO.

A-04.1

PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"



HISTORIC DEPARTMENT NOTES

1. WINDOW/DOOR MUNTINS ARE TO BE HIGH-PROFILE / DIMENSIONAL.
2. WINDOW/DOOR GLASS TO BE CLEAR/NON-REFLECTIVE/NON-TINT.
3. HOUSE IS NOT TO BE RESTUCCOED IN ITS ENTIRETY.
4. EXISTING WINDOW SILLS ARE TO REMAIN.



EXISTING AND DEMOLITION FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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| | PERMIT SUBMITTAL | |

PROJECT
Historically designated Remodel & Additions:
Alkhoury Residence
4210 Santa Maria St.
Coral Gables, FL 33146

DRAWING
Existing, Demolition and Proposed Front Elevation

SEAL

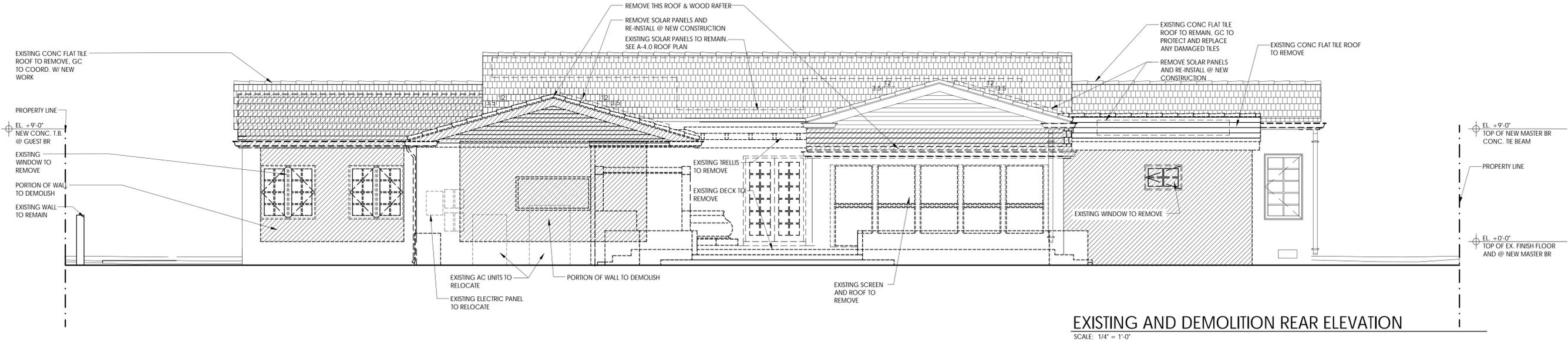
Nelson de Leon
AR 13937

SCALE
DRAWN
REVIEWED
NDL
PROJ. NO.
301

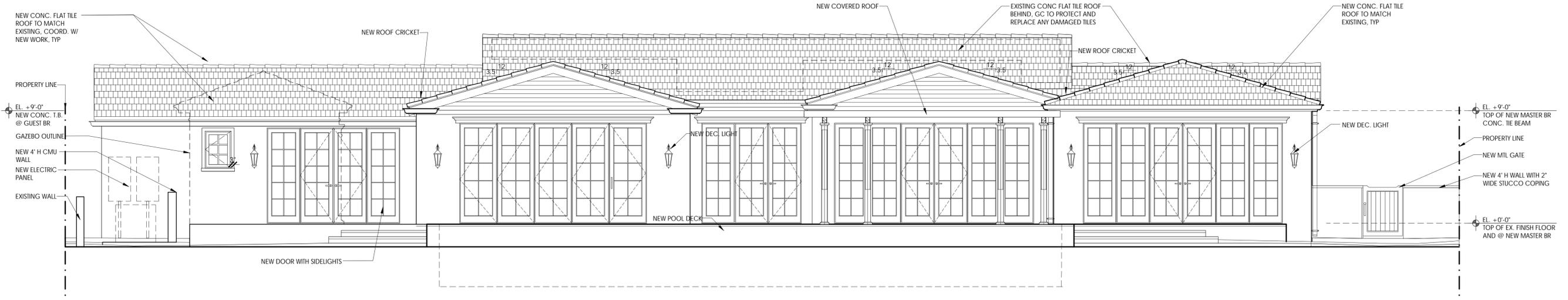
SHEET NO.
A-05.0

HISTORIC DEPARTMENT NOTES

1. WINDOW/DOOR MUNTINS ARE TO BE HIGH-PROFILE / DIMENSIONAL.
2. WINDOW/DOOR GLASS TO BE CLEAR/NON-REFLECTIVE/NON-TINT.
3. HOUSE IS NOT TO BE RESTUCCOED IN ITS ENTIRETY.
4. EXISTING WINDOW SILLS ARE TO REMAIN.



EXISTING AND DEMOLITION REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

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| | PERMIT SUBMITTAL | |

PROJECT

Historically designated Remodel & Additions:
Alkhoury Residence
4210 Santa Maria St.
Coral Gables, FL 33146

DRAWING

Existing, Demolition and Proposed Rear Elevation

SEAL

STATE OF FLORIDA
REGISTERED ARCHITECT
AR 13937

Nelson de Leon
AR 13937

SHEET NO.

SCALE

DRAWN

REVIEWED
NDL

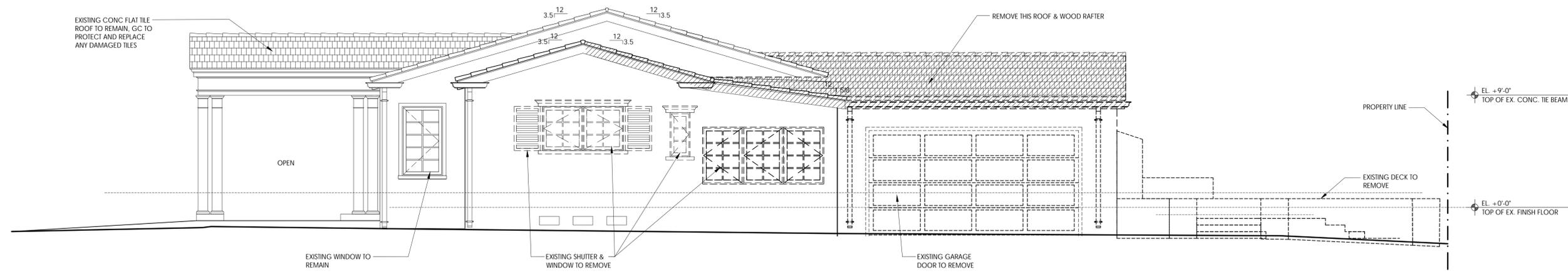
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301

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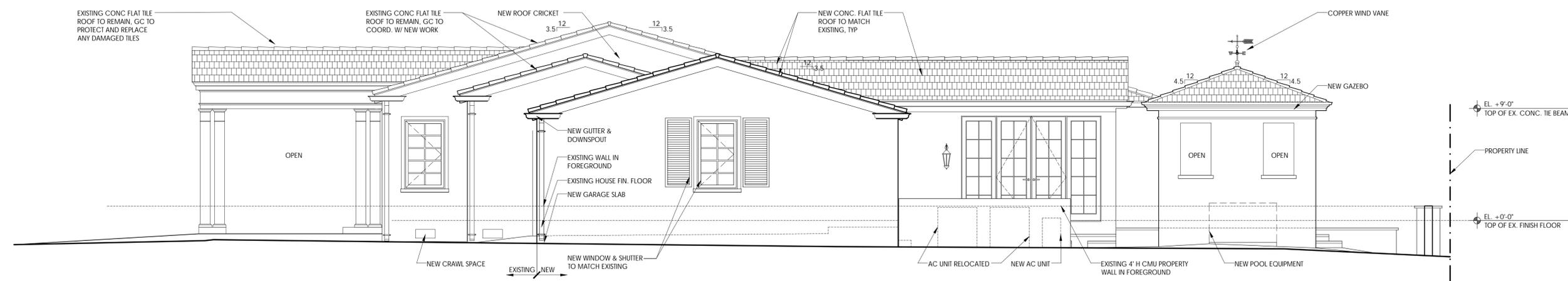
NOTES

HISTORIC DEPARTMENT NOTES

1. WINDOW/DOOR MUNTINS ARE TO BE HIGH-PROFILE / DIMENSIONAL.
2. WINDOW/DOOR GLASS TO BE CLEAR/NON-REFLECTIVE/NON-TINT.
3. HOUSE IS NOT TO BE RESTUCCOED IN ITS ENTIRETY.
4. EXISTING WINDOW SILLS ARE TO REMAIN.



EXISTING AND DEMOLITION SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



PROPOSED SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

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| | PERMIT SUBMITTAL | |
| | | |
| | | |

PROJECT

Historically designated
Remodel & Additions:
Alkhoury Residence
4210 Santa Maria St.
Coral Gables, FL 33146

DRAWING

Existing, Demolition and
Proposed North Side Elevation

SEAL

Nelson de Leon
AR 13937

SHEET NO.

SCALE

DRAWN

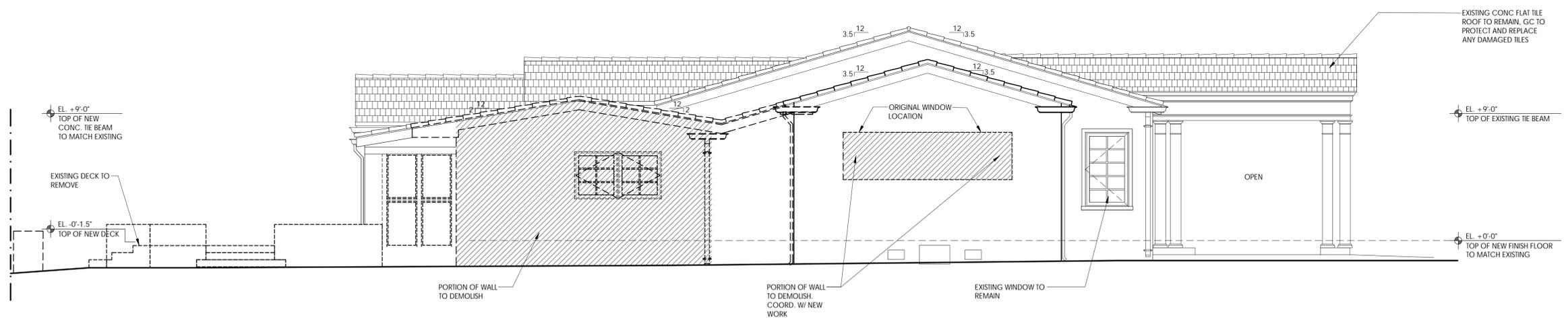
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NDL

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301

A-05.2

HISTORIC DEPARTMENT NOTES

1. WINDOW/DOOR MUNTINS ARE TO BE HIGH-PROFILE / DIMENSIONAL.
2. WINDOW/DOOR GLASS TO BE CLEAR/NON-REFLECTIVE/NON-TINT.
3. HOUSE IS NOT TO BE RESTUCCOED IN ITS ENTIRETY.
4. EXISTING WINDOW SILLS ARE TO REMAIN.



EXISTING AND DEMOLITION SIDE ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"

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| | COA SUBMITTAL REVISED | 11-08-24 |
| | PERMIT SUBMITTAL | |

PROJECT
 Historically designated Remodel & Additions:
Alkhoury Residence
 4210 Santa Maria St.
 Coral Gables, FL 33146

DRAWING
 Existing, Demolition and Proposed South Side Elevation

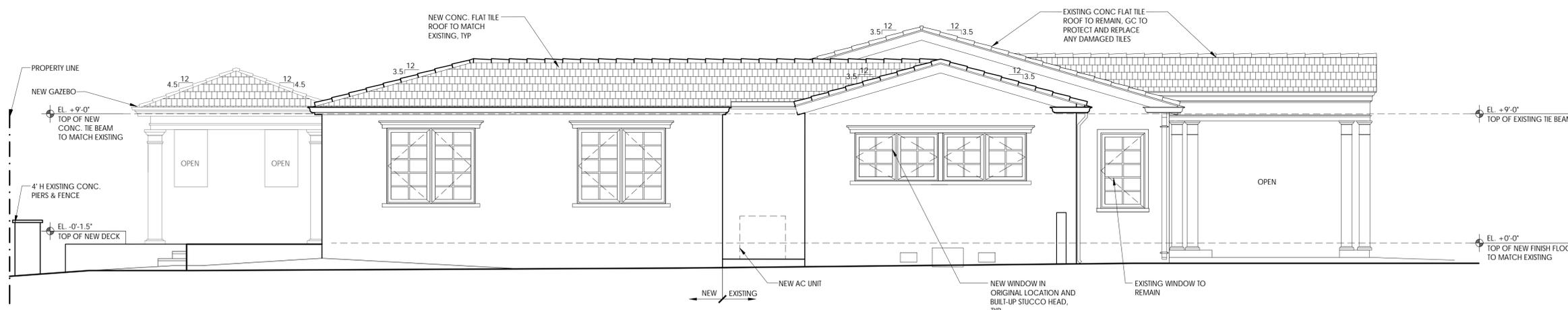
SEAL

SCALE

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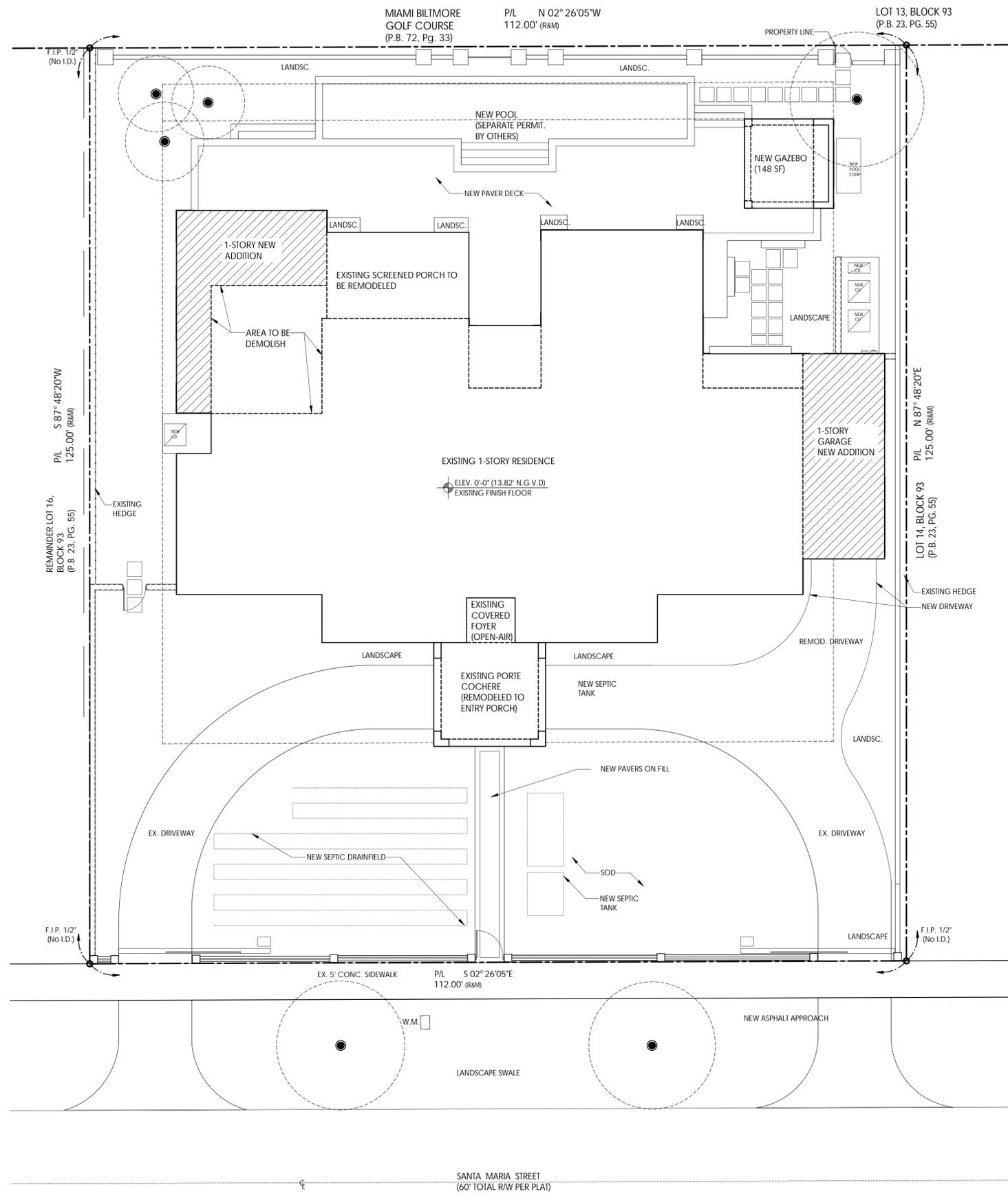
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PROPOSED SIDE ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

NOTES

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PROJECT

Historically designated
Remodel & Additions:
Alkhoury Residence
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Coral Gables, FL 33146

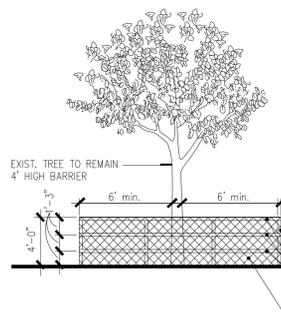
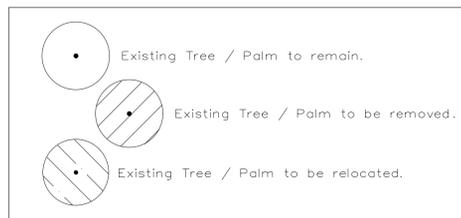
DRAWING

Landscape Plan

| | |
|----------------------------|------------------|
| | SCALE |
| | DRAWN |
| Nelson de Leon AR 13937 | REVIEWED NDL |
| | PROJ. NO. 301 |

SHEET NO.

L-01.0



CITY OF CORAL GABLES
TREE PROTECTION BARRICADE DETAIL

N.T.S.

WOODEN STAKES (2"x4"x5" MIN.) ON 5' CENTERS TO SUPPORT RAIL FENCING.

BARRIER TO FORM A CONTINUOUS BARRIER AROUND THE TREE OR GROUP OF TREES

THREE ROWS OF RAIL FENCING (2"x4") SPACED EQUALLY TO BE PLACED AROUND ALL EXISTING TREES TO REMAIN.

CONTRACTOR TO INSTALL PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES TO REMAIN-AT THE START OF THE PROJECT-FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.

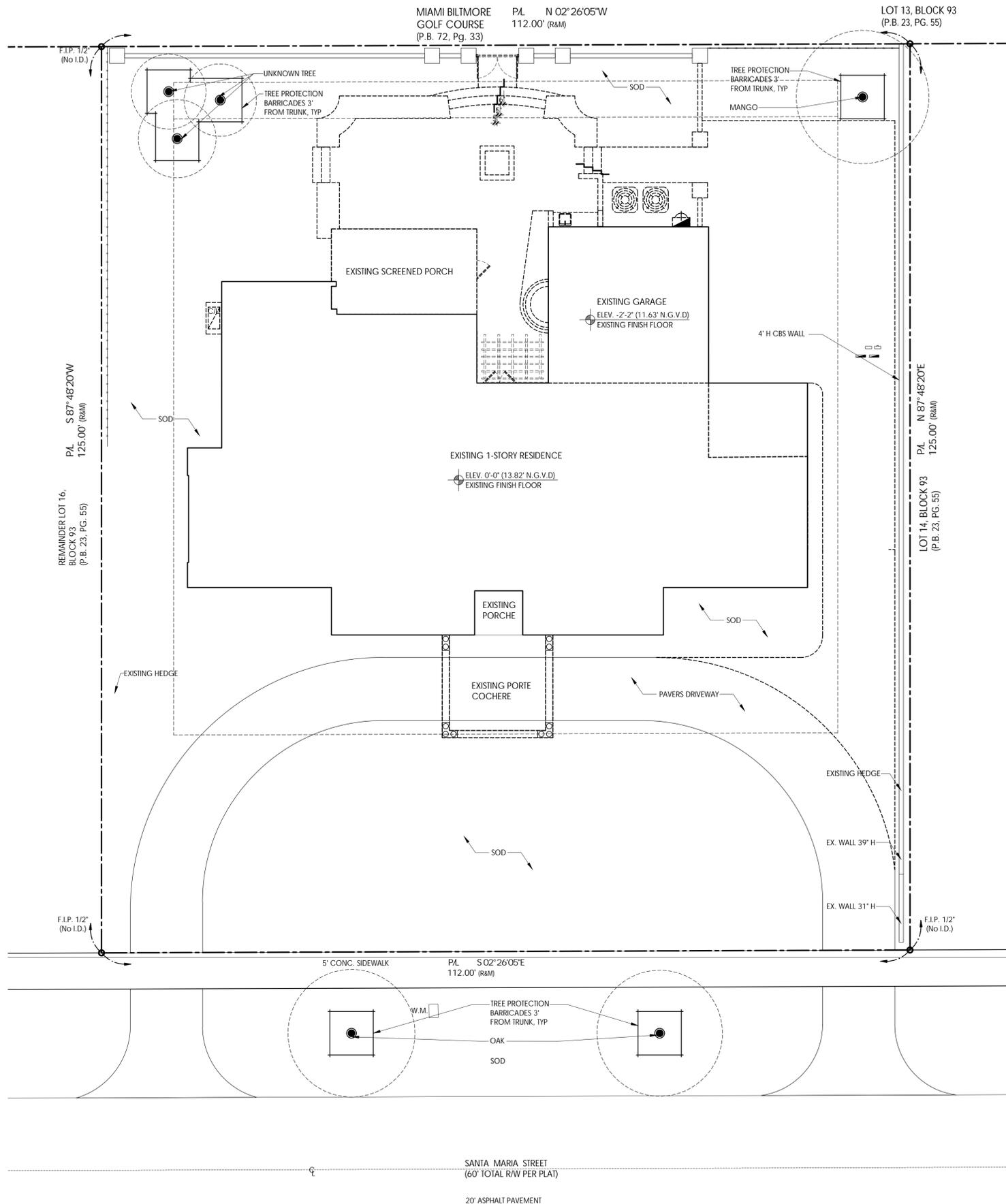
CONTRACTOR SHALL TAKE EXTRA CARE DURING EARTHWORK & UTILITY OPERATIONS TO PROTECT ALL EXIST. TREES-& SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED DURING CONSTRUCTION.

2" x 4" PT WD POSTS & RAILS. POST SPACING AT 5'-0" MAX.

TENSAR SAFETY BARRIER FLORESCENT ORANGE EX 2050

Notes:

- 1) Tree Protection Barricade dimensions are measured from the outside of the trunk.
- 2) Tree Protection Barricades are adjusted where necessary to account for buildings, adjacent sidewalks, & street/curb.
- 3) No disturbance to soil or disposal of any building material/waste is permitted within the tree protection zone.
- 4) Barricades to remain in place throughout the duration of construction activities.
- 5) Barricades to be attached to existing CLF's, WD fences or concrete walls where applicable.
- 6) Barricades to be located no closer than 2' from edge of pavement.
- 7) TPZ dimensions are 6' from face of trunk for exist. trees to remain on site or in the R/W. 3' for exist. palms.



TREE SURVEY/DISPOSITION & PROTECTION PLAN

SCALE: 1/8"=1'-0"



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PROJECT

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4210 Santa Maria St.
Coral Gables, FL 33146

DRAWING

Tree Disposition Plan



Nelson de Leon
AR 13937

SHEET NO.

L-01.1

SCALE

DRAWN

REVIEWED

NDL

PROJ. NO.

301