



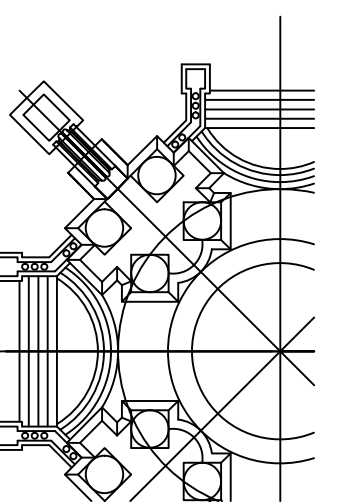
VILLA BLANC

311 - 315 SANTANDER AVENUE, CORAL GABLES, FL 33134

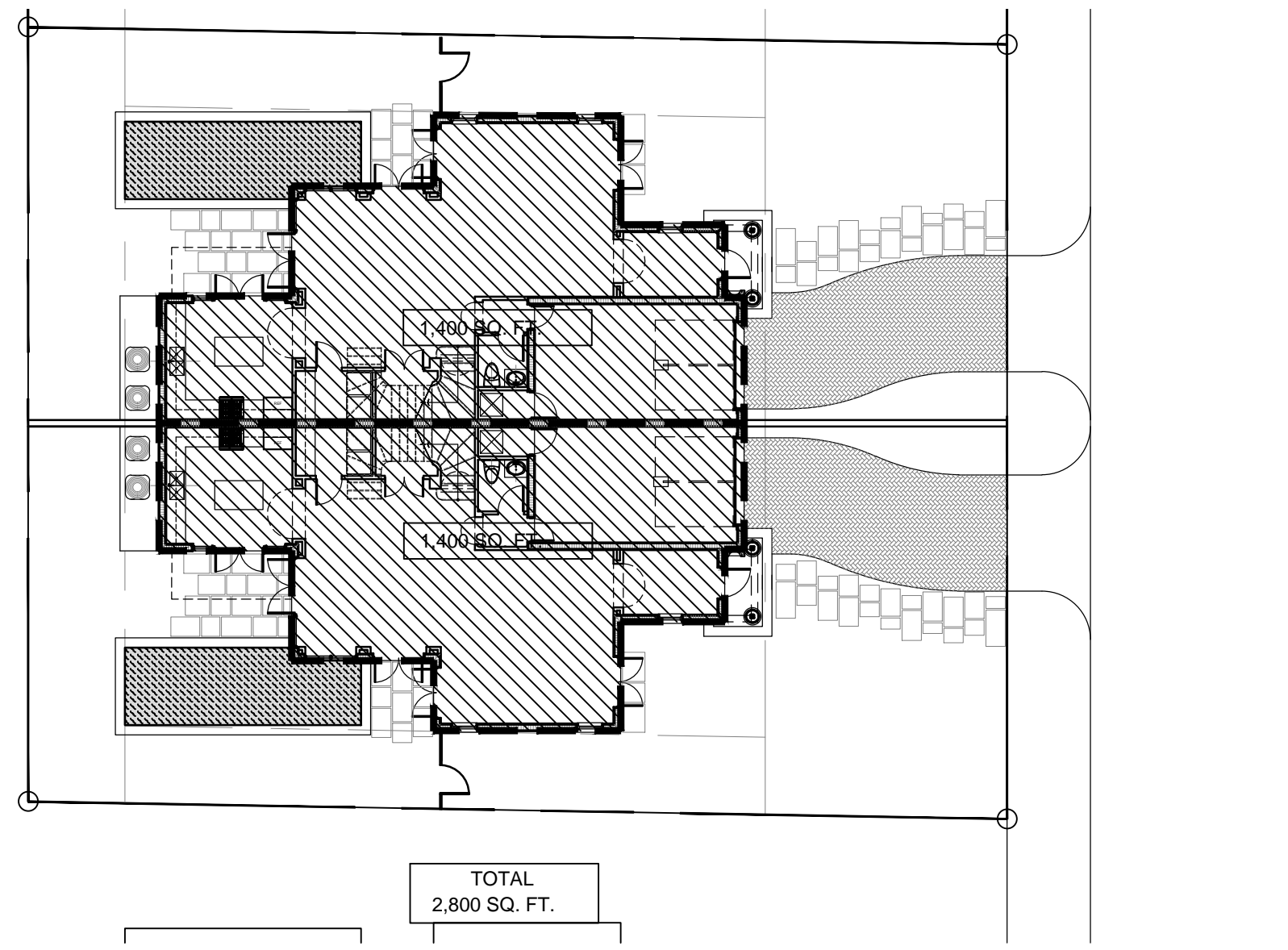
Addendum to original submittal

Z.W. JAROSZ ARCHITECT, P.A.

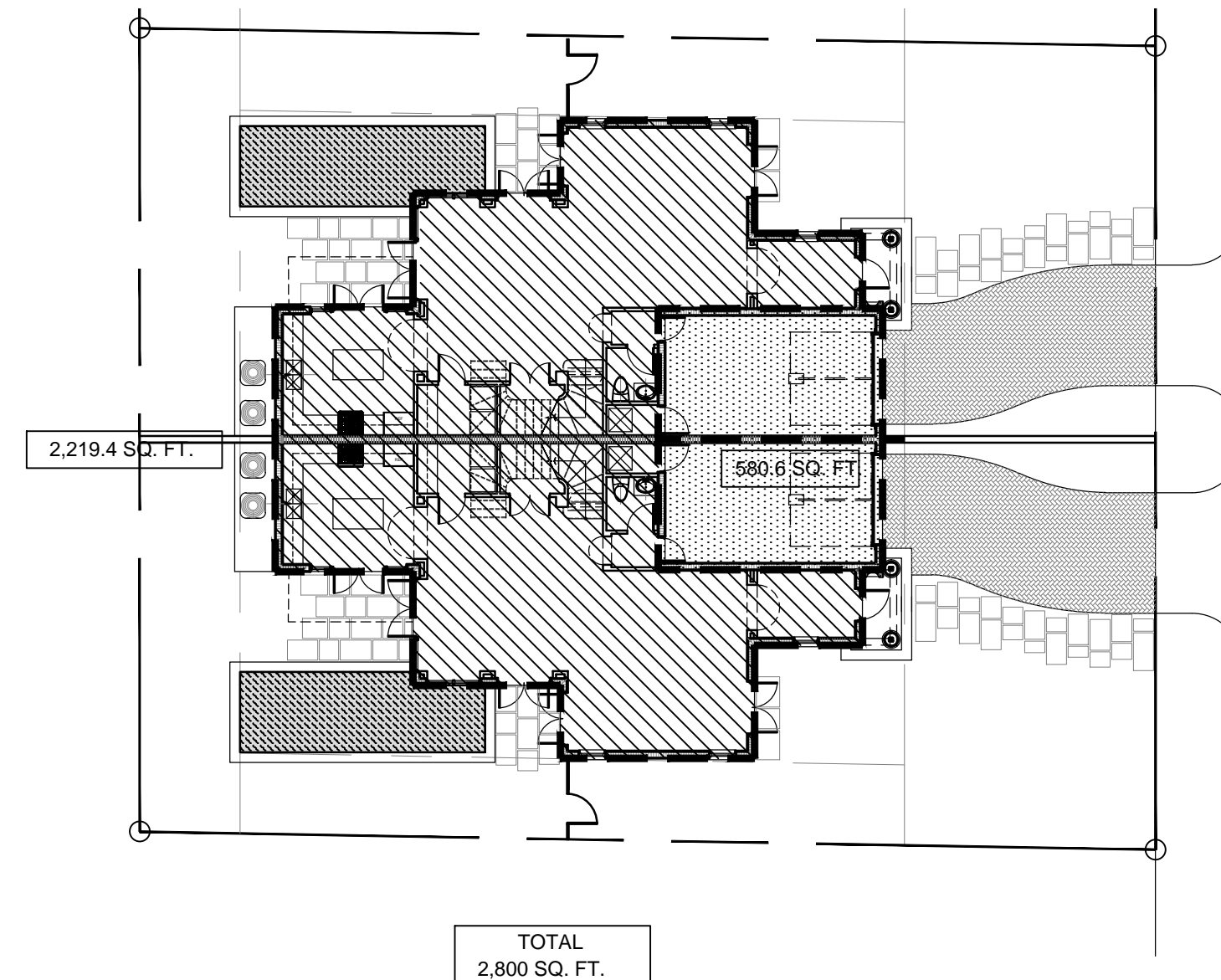
3326 MARY STREET SUITE 500
COCONUT GROVE, FLORIDA 33133
305.446.0888 WWW.JAROSZARCH.COM



DESIGN ARCHITECT: Z.W. JAROSZ, AIA, RIBA. ARC 8223



LOT COVERAGE DIAGRAM
SCALE: 1/16" = 1'-0"



FIRST FLOOR UNIT SIZE DIAGRAM
SCALE: 1/16" = 1'-0"

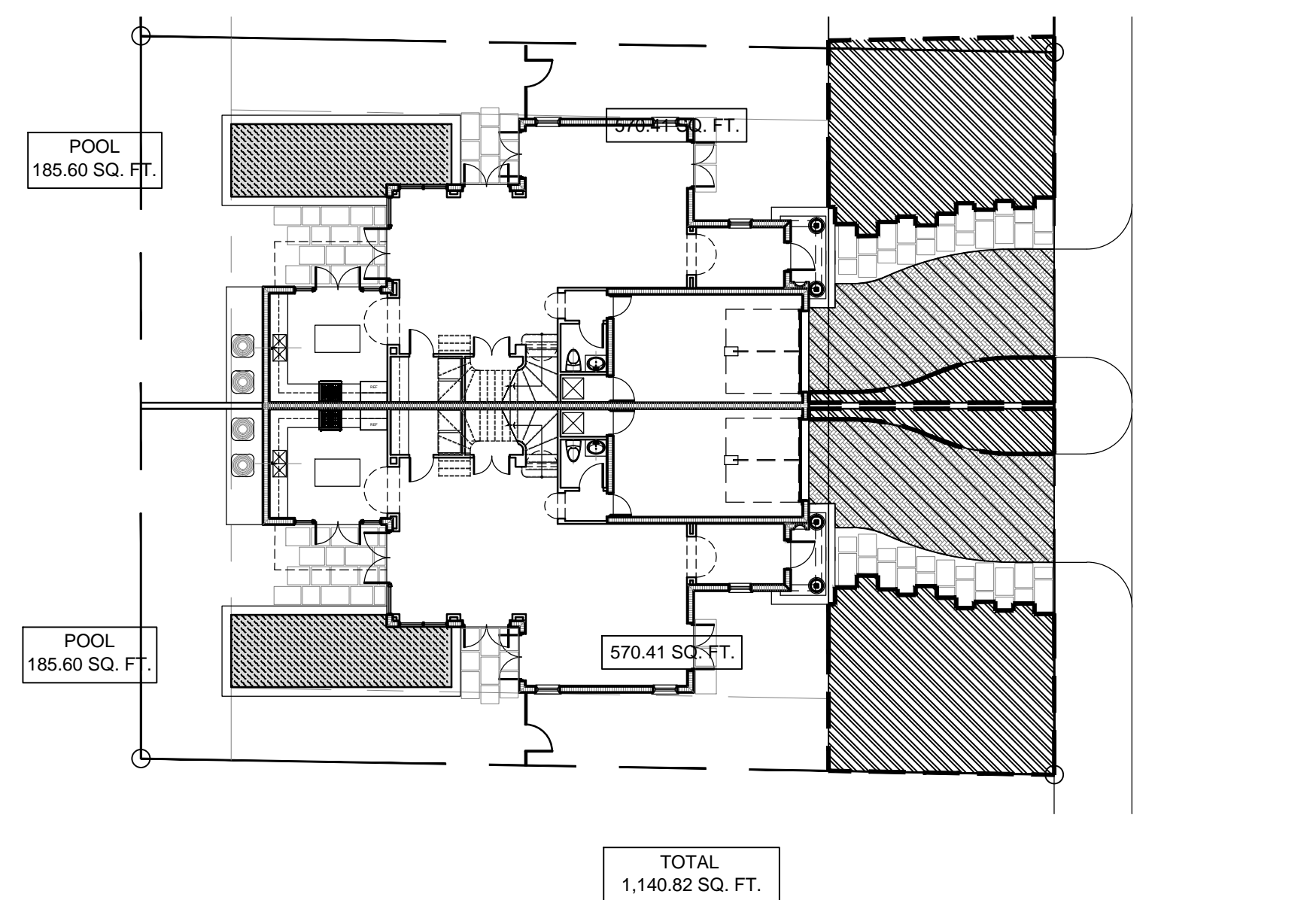
SITE DATA - 311 Santander Ave.		MF1- MULTI-FAMILY 1 DUPLEX
GROSS LOT AREA:	8,000 SQ. FT.	
GROUND AREA COVERAGE	ALLOWED (8,000 x 35.0%) 2,800 SQ. FT. MAIN BUILDING (5,507 x 10.0%) 500.0 SQ. FT. AUXILIARY STRUCTURES	PROPOSED 2,800.0 SQ. FT. (35.0%) MAIN BUILDINGS 371.2 SQ. FT. (4.64%) POOLS
	TOTAL: 3,600.0 SQ. FT. (45%)	3,171.2 SQ. FT. (39.64%)
	UNIT SIZE:	
FIRST FLOOR MAIN HOUSE UNIT A (AC)..... 1,109.7 SQ. FT. GARAGE UNIT A (NON-AC).....+290.3 SQ. FT. CANTILEVERS/OVREHANGS OVER 5' DEPTH.....+0 SQ. FT. MAIN HOUSE UNIT B (AC).... + 1,109.7 SQ. FT. GARAGE UNIT B (NON-AC).....+290.3 SQ. FT. CANTILEVERS/OVREHANGS OVER 5' DEPTH.....+0 SQ. FT. 2,800.0 SQ. FT. (35.0%)		POOL UNIT A+ 185.60 SQ. FT. POOL UNIT B+ 185.60 SQ. FT. (4.64%) 3,171.2 SQ. FT. (39.64%)
AUXILIARY STRUCTURE SETBACKS:		
MAIN SETBACKS:		
FRONT SETBACK:	25'-0" MIN.	27'-2" (SOUTH)
SIDE SETBACKS:	80'-0" x 20% = 16'-0" TOTAL	8'-1" (EAST) 8'-1" (WEST)
REAR SETBACK:	10'-0" MIN.	13'-6" (NORTH)
POOL SETBACKS:		
SIDE SETBACKS:	80'-0" x 20% = 16'-0" TOTAL	9'-2" (EAST) 8'-1" (WEST)
REAR SETBACK:	10'-0" (NORTH)	10'-0" (NORTH)
HEIGHT REQUIREMENT:		
	(2) FLOORS MAX. 29' MAX. FOR FIRST 50' OF LOT DEPTH. 34' MAX. FOR REMAINING PORTIONS OF THE LOT	29'-0" MAX.
LANDSCAPE REQUIREMENT:		
	MIN. REQUIRED TOTAL: 8,000.0 SQ. FT. x 40% = 3,200.0 SQ. FT.	3,669.3 SQ. FT. (45.86%)
	MIN. REQUIRED FRONT YARD: 3,200.0 SQ. FT. x 20% = 640.0 SQ. FT.	1,140.82 SQ. FT. (35.65%)

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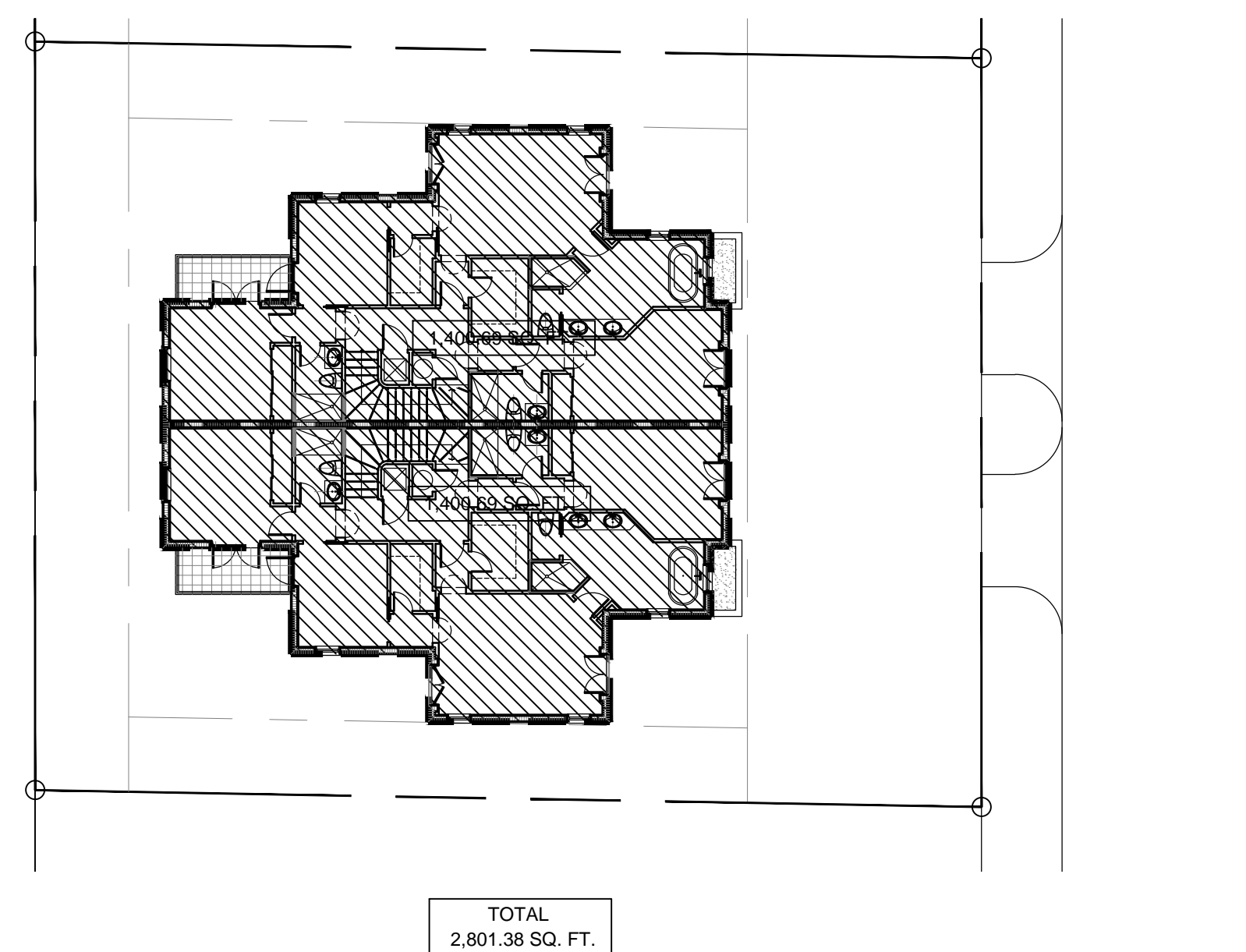
VILLA BLANC
311 Santander Avenue, Coral Gables, FL 33134
AREA DIAGRAMS

PROJECT / SHEET TITLE

LIC. AR8223



FRONT YARD COVERAGE DIAGRAM
SCALE: 1/16" = 1'-0"



SECOND FLOOR UNIT SIZE DIAGRAM
SCALE: 1/16" = 1'-0"

LEGEND:

- ENCLOSED AIR CONDITIONED SPACE
- ENCLOSED NON-AIR CONDITIONED SPACE
- HABITABLE SPACE ABOVE
- WATER

REVISIONS

NO.	DATE	DESCRIPTION

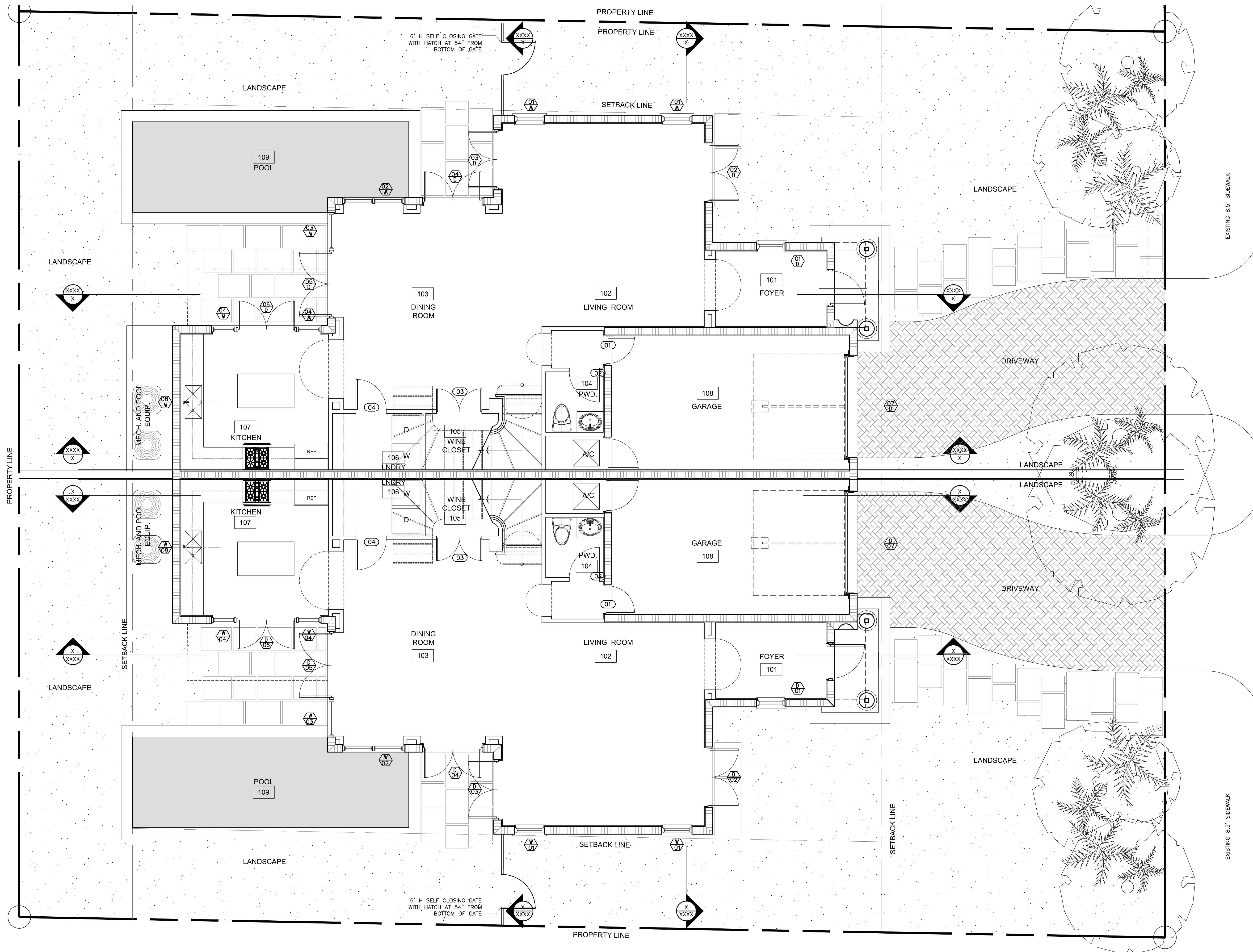
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1503-GUT

DATE: Aug. 12, 2015
DRAWN BY: AB
CHECKED BY: ZJ
SCALE: AS SHOWN

SHEET

A0.02



Santander Avenue

GENERAL NOTES:
SEE SHEET A1.01 FOR ALL GENERAL NOTES TYPICAL FOR THIS PROJECT

WALL LEGEND

CBS CONSTRUCTION	[Pattern]
GWIB PARTITION	[Pattern]
WET WALL (cement board / DUROCK behind tiles in wet areas)	[Pattern]
CONCRETE COLUMN	[Symbol]
STEEL COLUMN	[Symbol]

- NOTES:**
- ALL FINISH CONSTRUCTION MATERIAL IN THE GARAGE BELOW THE BASE FLOOD ELEVATION (+8'-0" NGVD) WILL BE FLOOD RESISTANT.
 - ALL MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT SHALL BE ABOVE THE BASE FLOOD ELEVATION (+8'-0" NGVD).
 - ALL BUILD SHALL HAVE A PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. SHALL BE DEEMED AS APPROVED W/ PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE W/ RULES AND LAWS ESTABLISHED BY THE F.D.A.C.S. AS PER FBC R 4409.13.5
 - NO CRAWL SPACE PROPOSED IN NEW CONSTRUCTION
 - ALL SHOWERS AND TUBS ENCLOSURES ARE CATEGORY II SAFETY GLASS.
 - ALL HALLWAYS TO BE MINIMUM 3'-0" IN WIDTH AS PER FBC R 311.6
 - ALL BATHROOM FIXTURES TO BE INSTALLED AS PER FBC R 307.1
 - ALL PARTITIONS TO BE INSULATED W/ R-11 BATT INSULATION

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PROJECT / SHEET TITLE

VILLA BLANC
311 Santander Avenue, Coral Gables, FL 33134
GROUND FLOOR PLAN

LIC. AR8223

REVISIONS

NO.	DATE	DESCRIPTION

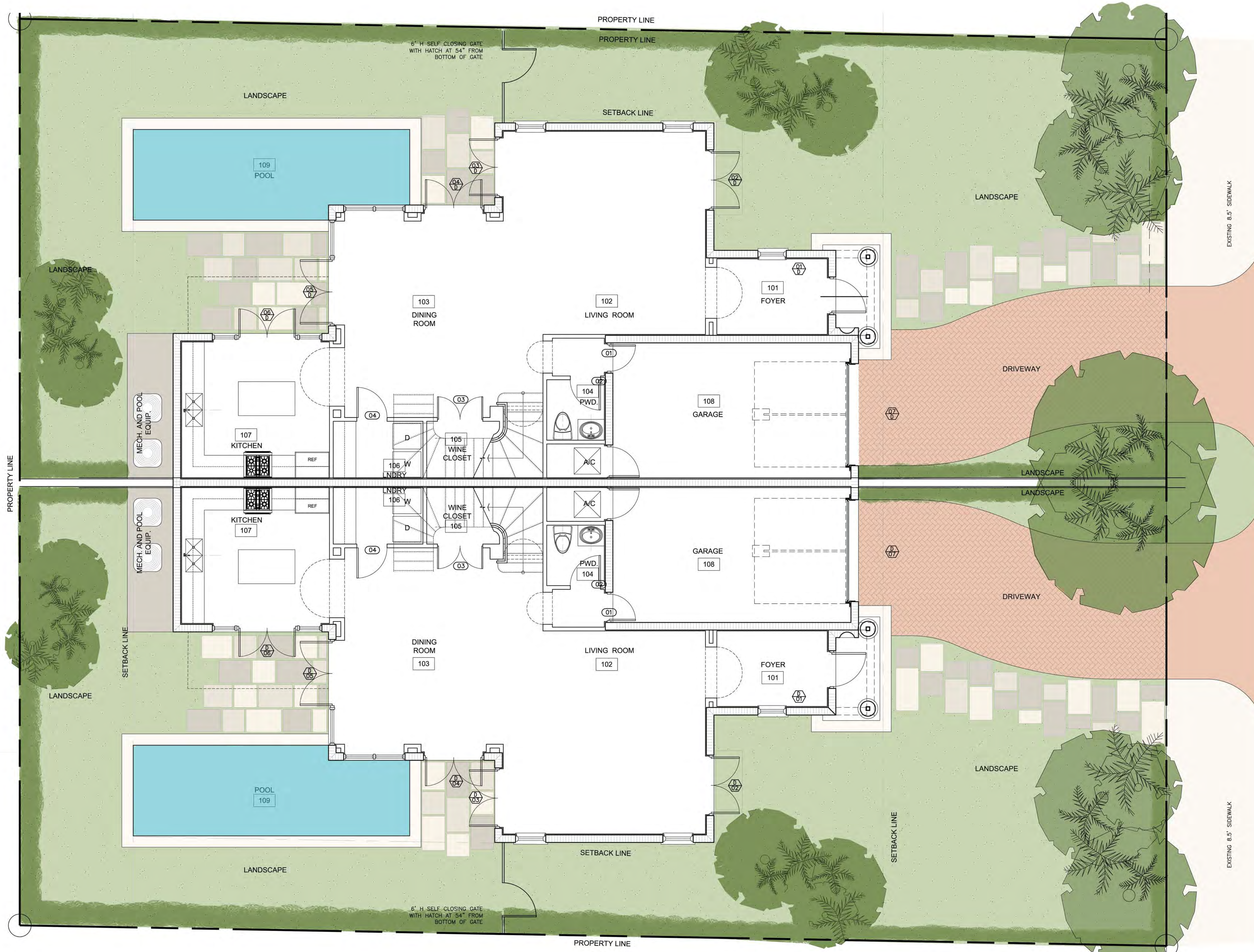
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CORAL GABLES AND THE COUNTY OF DADE. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON FOR ANY PURPOSES OTHER THAN THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS.

1503-GUT

DATE: Aug. 12, 2015
DRAWN BY: AB
CHECKED BY: ZJ
SCALE: AS SHOWN

GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

A2.01



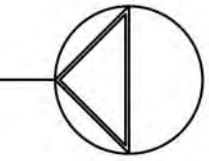
Santander Avenue

GENERAL NOTES:
SEE SHEET A1.01 FOR ALL GENERAL
NOTES TYPICAL FOR THIS PROJECT

WALL LEGEND	
CBS CONSTRUCTION	
GWB PARTITION	
WET WALL (cement board / DUROCK behind tiles in wet areas)	
CONCRETE COLUMN	
STEEL COLUMN	

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GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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PROJECT / SHEET TITLE
VILLA BLANC
311 Santander Avenue, Coral Gables, FL 33134
GROUND FLOOR PLAN

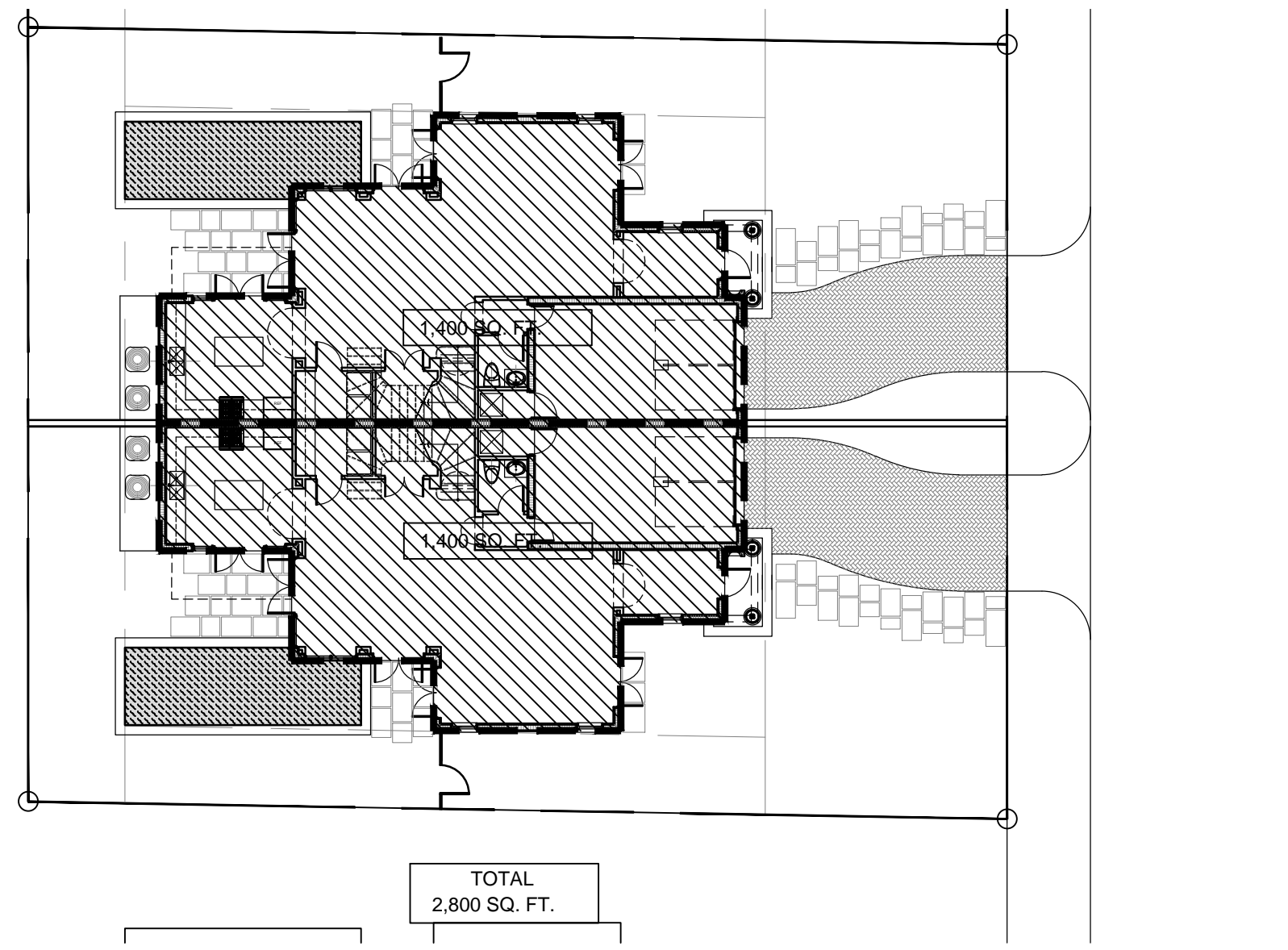
LIC. AR8223

REVISIONS		
NO.	DATE	DESCRIPTION

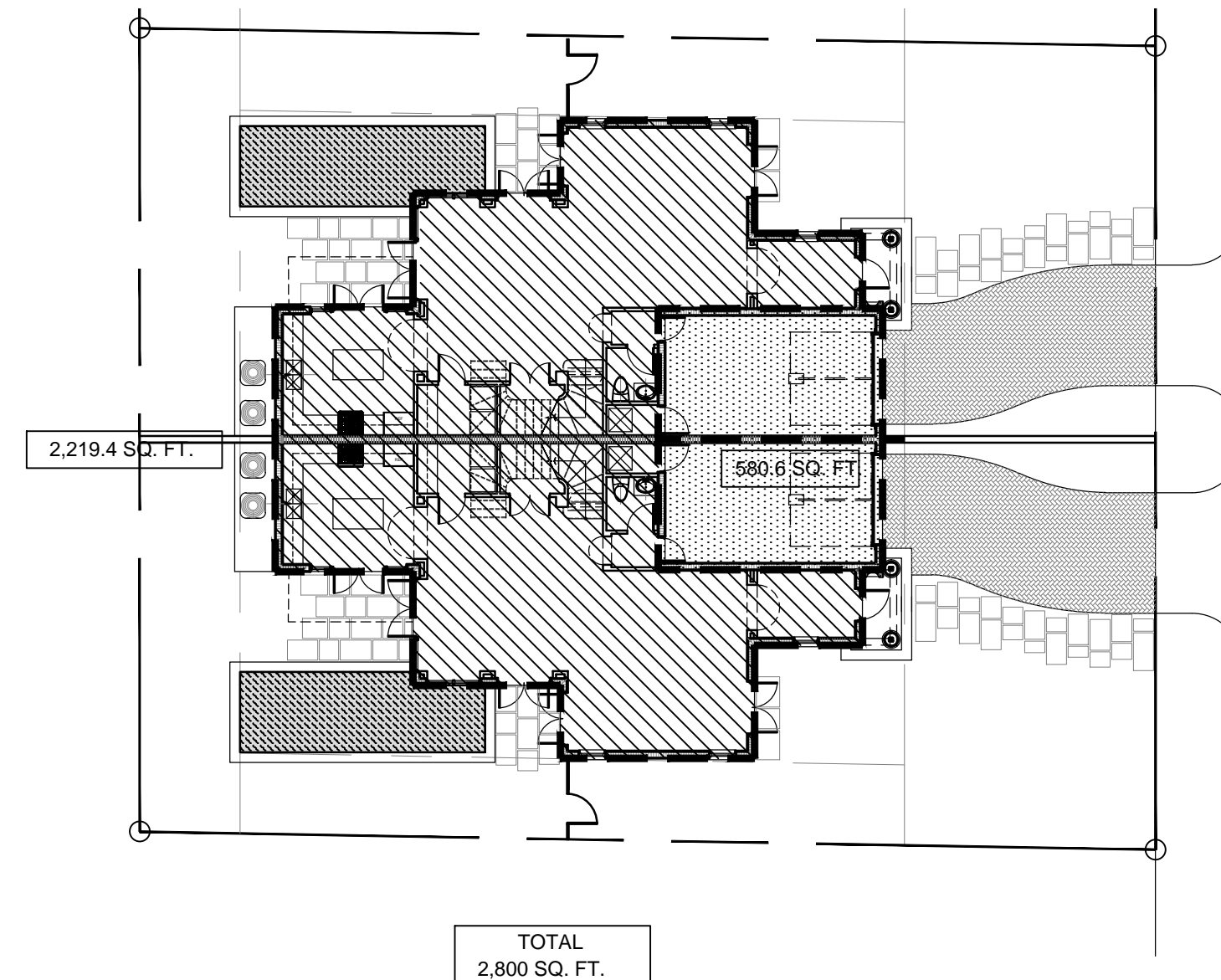
1503-GUT

DATE: Aug. 12, 2015
DRAWN BY: AB
CHECKED BY: ZJ
SCALE: AS SHOWN

SHEET
A2.01



LOT COVERAGE DIAGRAM
SCALE: 1/16" = 1'-0"



FIRST FLOOR UNIT SIZE DIAGRAM
SCALE: 1/16" = 1'-0"

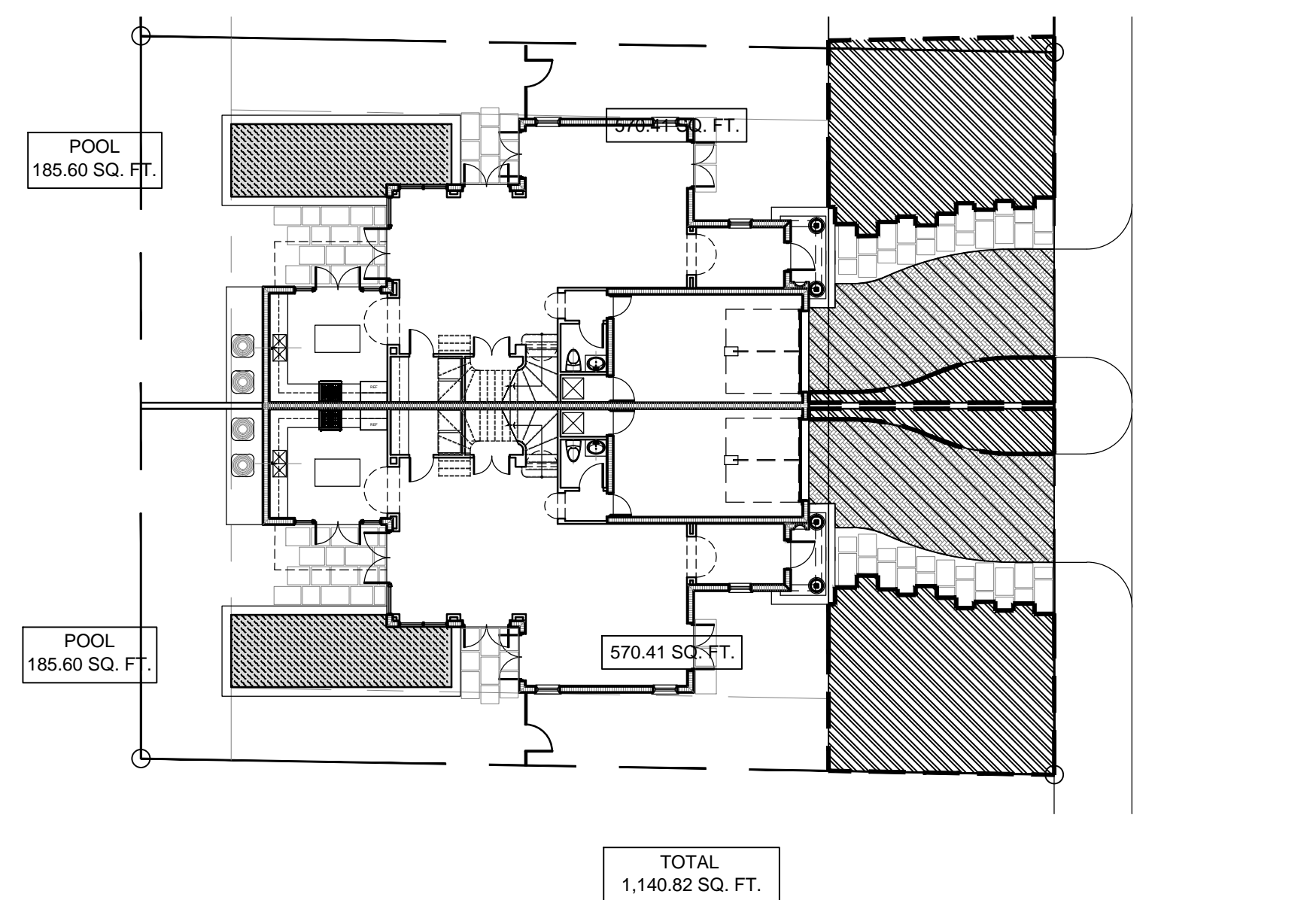
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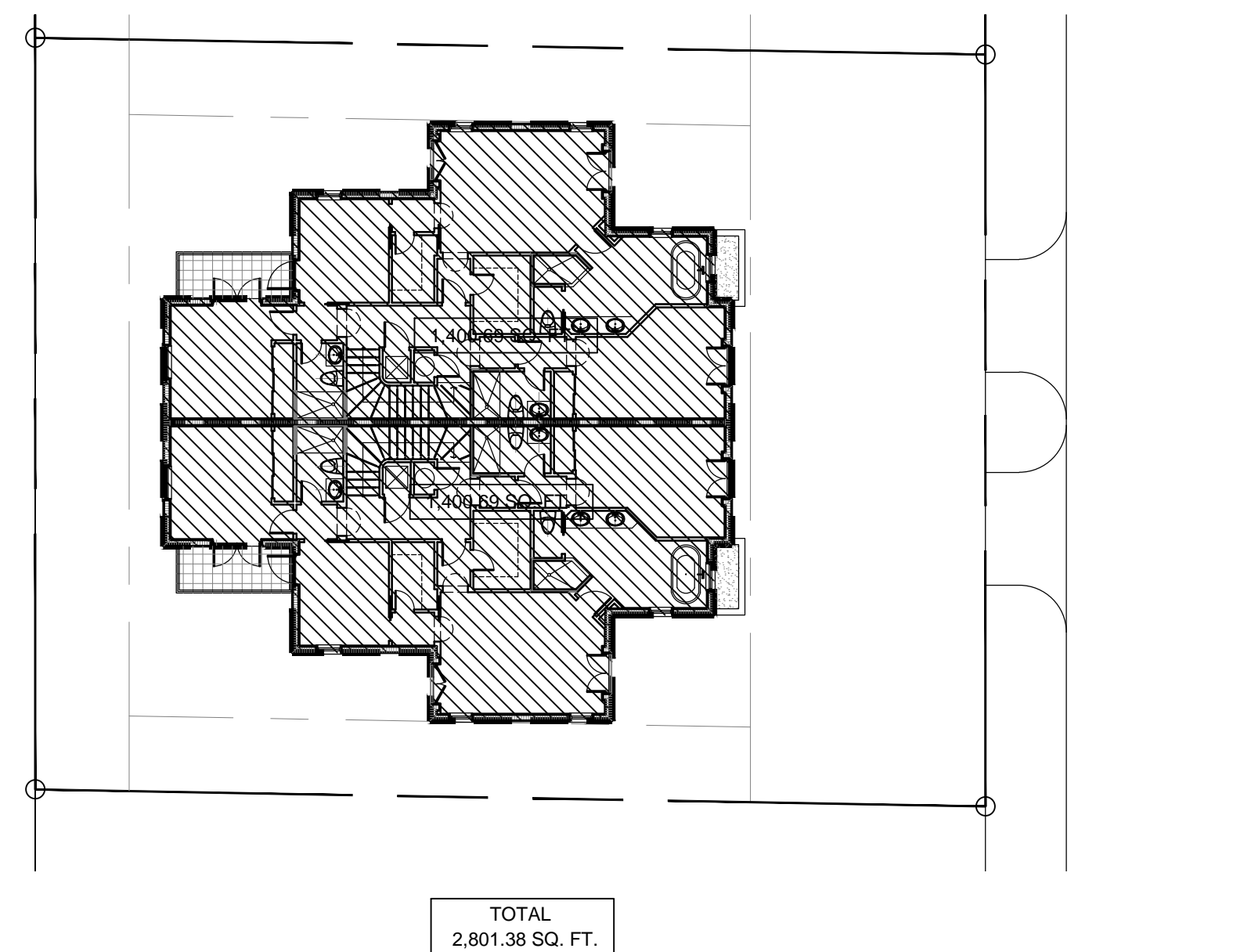
VILLA BLANC
315 Santander Avenue, Coral Gables, FL 33134
AREA DIAGRAMS

PROJECT / SHEET TITLE

LIC. AR8223



FRONT YARD COVERAGE DIAGRAM
SCALE: 1/16" = 1'-0"



SECOND FLOOR UNIT SIZE DIAGRAM
SCALE: 1/16" = 1'-0"

LEGEND:

- ENCLOSED AIR CONDITIONED SPACE
- ENCLOSED NON-AIR CONDITIONED SPACE
- HABITABLE SPACE ABOVE
- WATER

REVISIONS

NO.	DATE	DESCRIPTION

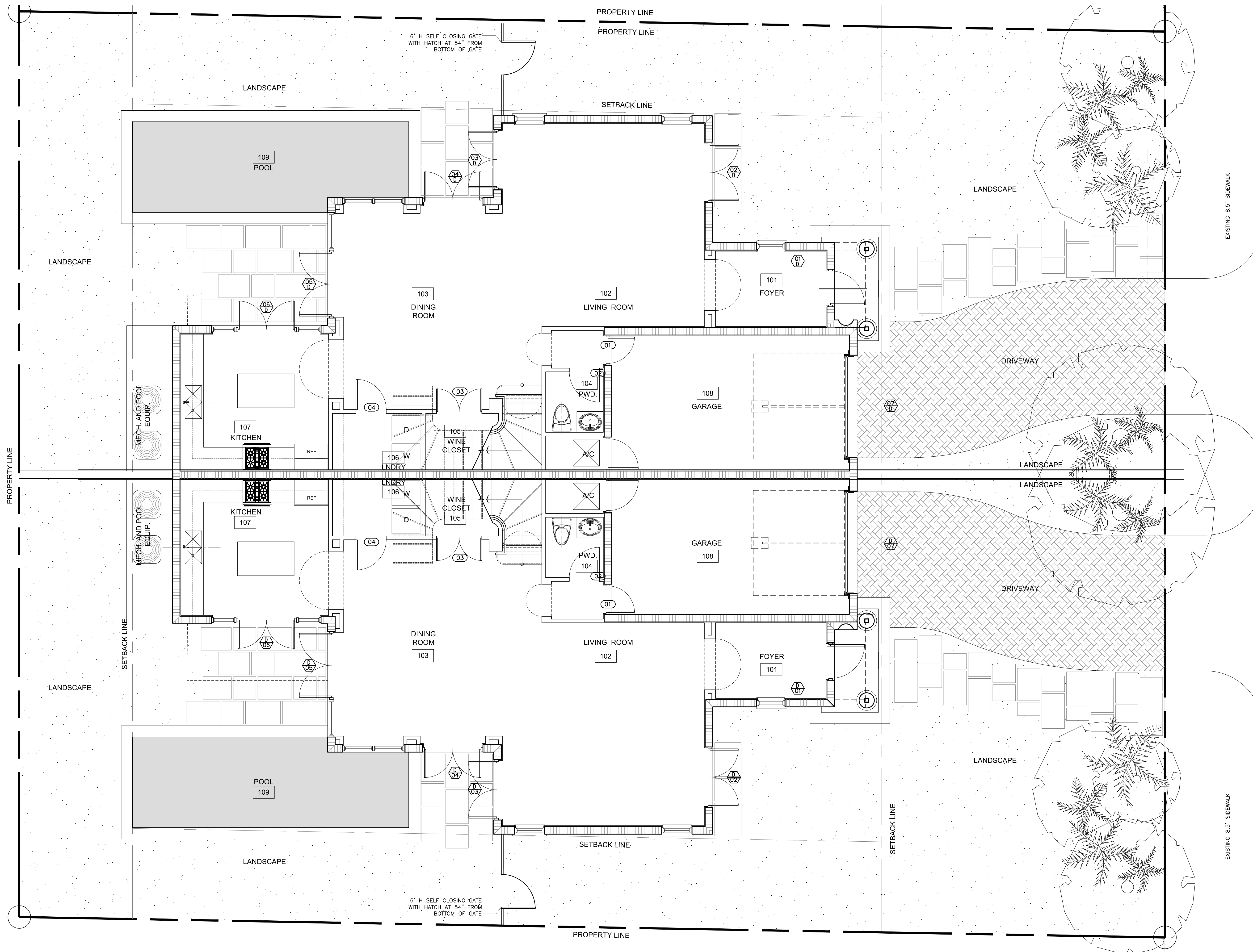
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1503-GUT

DATE: Aug. 12, 2015
DRAWN BY: AB
CHECKED BY: ZJ
SCALE: AS SHOWN

SHEET

A0.02



GENERAL NOTES:
SEE SHEET A1.01 FOR ALL GENERAL NOTES TYPICAL FOR THIS PROJECT

WALL LEGEND	
CBS CONSTRUCTION	
GW/B PARTITION	
WET WALL (cement board / DUROCK behind tiles in wet areas)	
CONCRETE COLUMN	
STEEL COLUMN	

- NOTES:
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PROJECT / SHEET TITLE
VILLA BLANC
 315 Santander Avenue, Coral Gables, FL 33134
GROUND FLOOR PLAN

LIC. AR8223

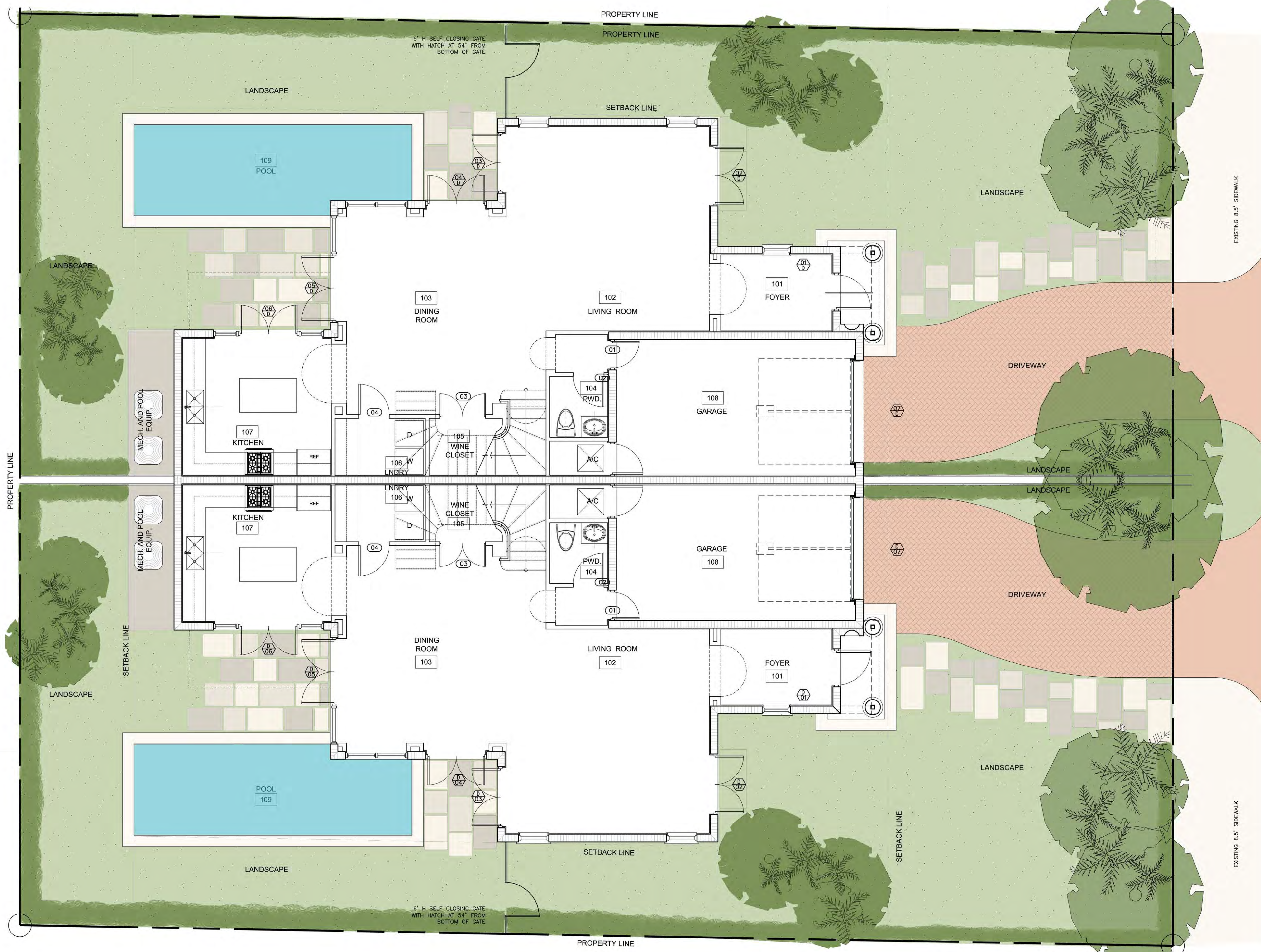
REVISIONS		
NO.	DATE	DESCRIPTION

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

1503-GUT

DATE: Aug. 12, 2015
 DRAWN BY: AB
 CHECKED BY: ZJ
 SCALE: AS SHOWN

SHEET
A2.01



Santander Avenue

GENERAL NOTES:
SEE SHEET A1.01 FOR ALL GENERAL
NOTES TYPICAL FOR THIS PROJECT

WALL LEGEND	
CBS CONSTRUCTION	
GWB PARTITION	
WET WALL (cement board / DUROCK behind tiles in wet areas)	
CONCRETE COLUMN	
STEEL COLUMN	

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PROJECT / SHEET TITLE

VILLA BLANC
 315 Santander Avenue, Coral Gables, FL 33134
GROUND FLOOR PLAN

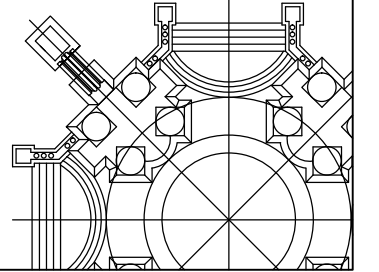
LIC. AR8223

REVISIONS		
NO.	DATE	DESCRIPTION

DATE: Aug. 12, 2015
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 SCALE: AS SHOWN
 SHEET

GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

A2.01



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3326 MARY STREET SUITE 500
COCONUT GROVE, FLORIDA 33133
305.446.0888 WWW.JAROSZARCH.COM

PROJECT / SHEET TITLE

GUTIERREZ DUPLEXES
311 Santander Avenue, Coral Gables, FL 33134

FRONT ELEVATION

LIC. AR8223

REVISIONS

NO.	DATE	DESCRIPTION

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SHEET

A3.01

FRONT ELEVATION
N.T.S.



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PROJECT / SHEET TITLE

GUTIERREZ DUPLEXES
 311 Santander Avenue, Coral Gables, FL 33134
3D STUDY

LIC. AR8223

REVISIONS

NO.	DATE	DESCRIPTION

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1503-GUT

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SHEET

A3.11

3D STUDY
N.T.S.