



BIRD ROAD AND LeJEUNE ROAD CORAL GABLES, FLORIDA

ENGINEER'S CERTIFICATION:

THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.

EDUARDO L. CARCACHE, PE 31914
CKE GROUP, INC. COA-4432

TENANT:

JP MORGAN CHASE BANK
8500 SW 117th ROAD
MIAMI, FLORIDA 33183-3318
ATTN: TERESA TORRES, VP

LANDLORD:

CENTURY LAGUNA, LLC
2301 NW 87 AVENUE
DORAL, FLORIDA 33172
ATTN: PEDRO HERNANDEZ

ARCHITECT:

bdg ARCHITECTS
1211 N FRANKLIN STREET
TAMPA, FLORIDA 33602
(813) 323-9233
ATTN: DAVID BAILEY

ENGINEER:

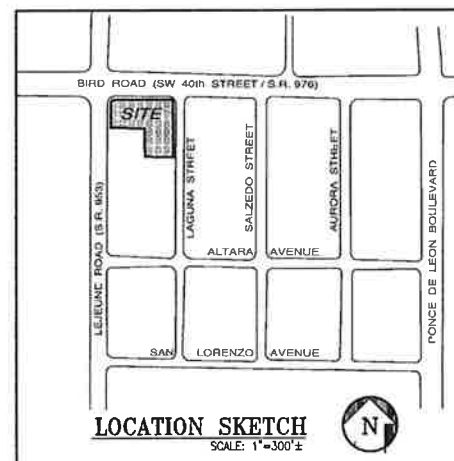
CKE GROUP, INC.
15500 NEW BARN ROAD, SUITE 106
MIAMI LAKES, FLORIDA 33014
(305) 558-4124
ATTN: EDUARDO L. CARCACHE

SURVEYOR:

FORTIN, LEAVY, SKILES, INC.
180 NORTHEAST 168th STREET
NORTH MIAMI BEACH, FLORIDA 33162
(305) 853-4493
ATTN: DANIEL C. FORTIN, P.S.M.

LANDSCAPE:

RICHARD BARTLETT LANDSCAPE, INC.
14417 STIRRUP LANE
WELLINGTON, FLORIDA 33414
(561) 795-0443
ATTN: RICHARD BARTLETT



LEGAL DESCRIPTION:

Lots 1 through 4, inclusive of Lots 39 through 42, Block 1, in the REVISED PLAT CORAL GABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida, LESS that portion of said Lot 42 conveyed to the County of Miami-Dade by deed dated October 18, 1981, and recorded in the Public Records of Miami-Dade County, Florida, described as the external area formed by a 15-foot radius arc concave to the Southeast, tangent to the North line of said Lot 42 and tangent to the West line of said Lot 42, TOGETHER WITH a portion of the 20 foot wide alley lying in said Block 1 and adjoining the East line of said Lots 39 through 42.

AND

Lots 5 and 6, Block 1, of the REVISED PLAT CORAL GABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida, LESS that portion of said Lot 6 being more particularly described as follows:

Begin at the Southeast corner of said Lot 6, thence run North along the East line of said Lot 6, a distance of 10 feet; thence West a distance of 90.06 feet; thence run in a Southwesterly direction a distance of 14.14 to the Southwest corner of said Lot 6; thence East along the South line of said Lot 6, a distance of 100.24 feet to the point of beginning; containing 4,060 square feet more or less.

This site lies in Section 20, Township 54 South, Range 41 East, City of Coral Gables, Miami-Dade County, Florida.

LEGAL DESCRIPTION (ALLEY):

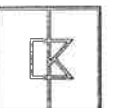
Lots 7 and 8, in Block 1, of the REVISED PLAT CORAL GABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida; together with that portion of Lot 6 being more particularly described as follows:

Begin at the Southeast corner of said Lot 6, thence run North along the East line of said Lot 6, a distance of 10 feet; thence West a distance of 90.06 feet; thence run in a Southwesterly direction a distance of 14.14 to the Southwest corner of said Lot 6; thence East along the South line of said Lot 6, a distance of 100.24 feet to the point of beginning; containing 4,080 square feet more or less.

INDEX OF DRAWINGS:

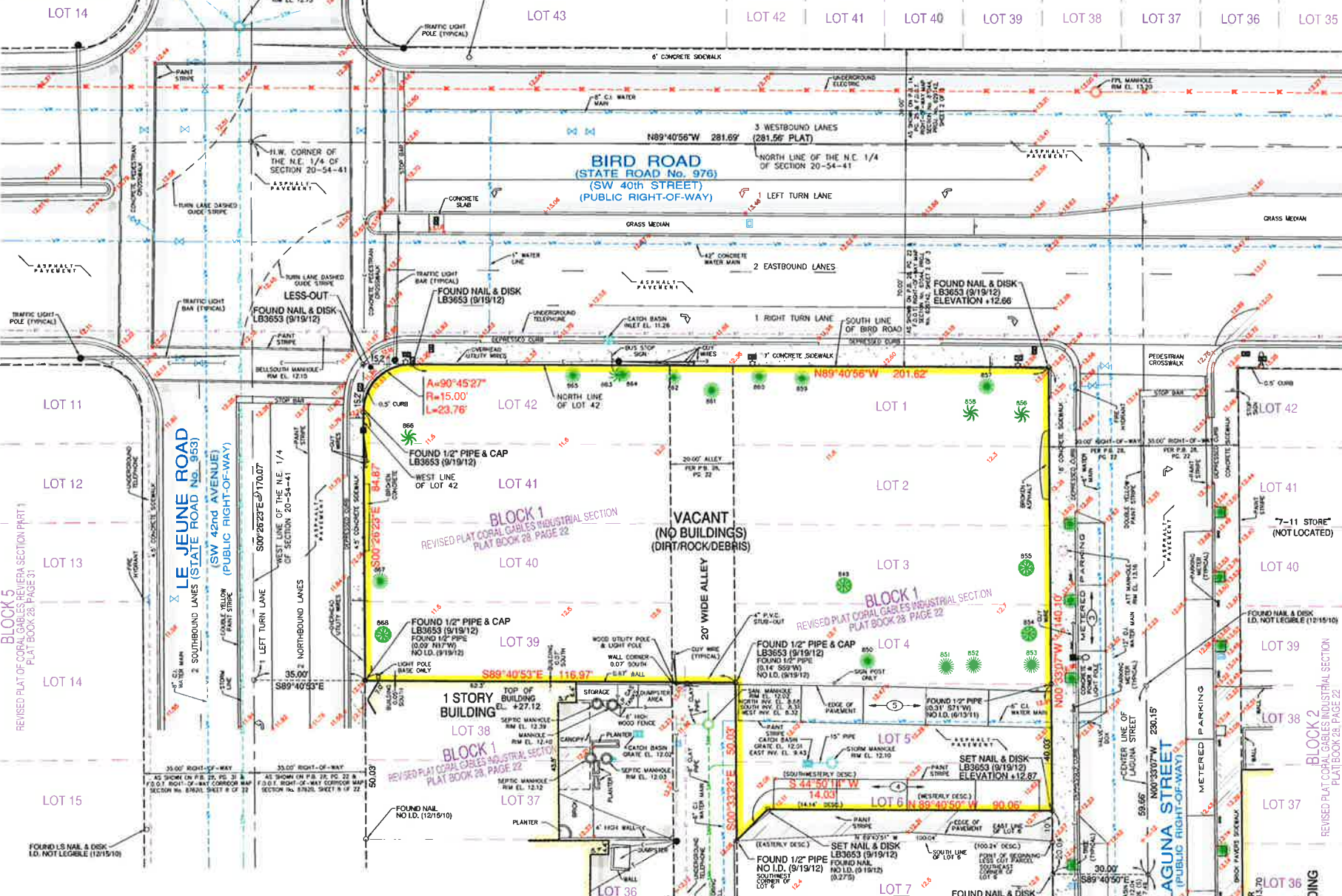
	COVER SHEET
	SURVEY
SD-1	SITE DEMOLITION PLAN
C-1	SITE PLAN
C-2	PAVING AND DRAINAGE PLAN
C-3	SITE UTILITY PLAN
C-4	SITE DETAILS
C-5	SITE DETAILS
C-6	POLLUTION PREVENTION DETAILS
C-7	MASSING PLAN
RD-1	ROADWAY PLAN (LAGUNA STREET)
CE-1	SITE ILLUMINATION PLAN
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L-2	IRRIGATION PLAN
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A1.1	FLOOR PLAN
A3.0	ROOF PLAN
A4.1	BUILDING ELEVATIONS
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CKE GROUP
INCORPORATED
engineering • architecture • planning



BLOCK 148
CORAL GABLES COUNTRY CLUB
SECTION PART SIX
PLAT BOOK 20, PAGE 1

BLOCK 33
CORAL GABLES COCONUT GROVE SECTION PART ONE
PLAT BOOK 14, PAGE 25



GRAPHIC SCALE
1 inch = 50 ft.



- LEGEND**
- CATCH BASIN
 - CATCH BASIN INLET
 - MANHOLE
 - LIGHT POLE
 - WATER METER
 - WATER VALVE
 - UTILITY POLE
 - RISER
 - FIRE HYDRANT
 - MANHOLE
 - SEWER/GAS VALVE
 - CLEANOUT
 - BELL
 - DRAIN
 - GRADE ELEVATION
 - BOLLARD
 - SIGN
 - OVERHEAD UTILITY WIRE
 - CHAIN LINK FENCE
 - NON-VEHICULAR ACCESS LINE
 - 0.5' CURB
 - 200' CURB & CUTTER
 - DL = ELEVATION
 - INV. = INVERT
 - SAN. = SANITARY
 - B.O.S. = BOTTOM OF STRUCTURE
 - P.A.M. = PERMANENT REFERENCE MARK
 - F.D.O.E. = FLORIDA DEPT. OF TRANSPORTATION
 - ASPHALT PAVEMENT
 - R/W = RIGHT-OF-WAY LINE
 - INCREMENT LINE
 - CENTER LINE
 - TRIP CLAY
 - V.C. = VERIFIED CLAY
 - CL = CAST IRON
 - DL = DUCTILE IRON
 - DEC. = DESCRIPTION

- TREE LEGEND**
- MAHOGANY TREE
 - PALM TREE
 - TREE

LEGAL DESCRIPTION:

Lots 1 through 4, inclusive of Lots 39 through 42, Block 1, in the REVISED PLAT CORAL GABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 26 at Page 22 of the Public Records of Miami-Dade County, Florida, LESS that portion of said Lot 42 conveyed to the County of Miami-Dade by deed dated October 18, 1981, and recorded in the Public Records of Miami-Dade County, Florida, described as the external area formed by a 15-foot radius arc concave to the Southeast, tangent to the North line of said Lot 42 and tangent to the West line of said Lot 42, TOGETHER WITH a portion of the 20 foot wide alley lying in said Block 1 and adjoining the East line of said Lots 39 through 42.

AND

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Begin at the Southeast corner of said Lot 6, thence run North along the East line of said Lot 6, a distance of 10 feet; thence West a distance of 90.88 feet; thence run in a Southerly direction a distance of 14.14 to the Southwest corner of said Lot 6; thence East along the South line of said Lot 6, a distance of 100.24 feet to the point of beginning, containing 4,060 square feet more or less.

SURVEYOR'S NOTES:

- This site lies in Section 20, Township 54 South, Range 41 East, City of Coral Gables, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida, unless otherwise noted.
- Lands shown hereon were NOT abstracted for restrictions, easements and/or rights-of-way of records.
- Bearings hereon are referred to an assumed value of N00°33'07"W for the center line of Laguna Street, and evidenced by one (1) Found Nail & Disk (I.D. Not Legible) and one (1) Found Magnetic Nail (No I.D.).
- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. CG-10-R, Elevation +13.09, located on November 24, 2010 near the intersection of Bird Road and University Drive on top of a headwall at the Coral Gables Canal Bridge.
- Lands shown hereon are located within an area having a Zone Designation X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12086C0457L, for Community No. 120639, dated September 11, 2009, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Lands shown hereon containing 25,710 square feet, or 0.590 acres, more or less.
- Roof overhang not located unless otherwise shown.
- Trees shown are surveyed for their horizontal location and/or size. Identification and/or name verification of all trees should be confirmed by the Division of Forestry State Forester or a professional in that field.
- Total striped parking spaces within legal description: 9 Regular and 0 Handicap. Parking spaces were not verified for any applicable requirements.
- Underground improvements and/or underground encroachments not shown, unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- The underground utilities shown hereon have been located from field survey information and existing as-built drawings from the City of Coral Gables. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.
- This firm recommends that the client obtain a certified zoning verification letter from the city, county or agency responsible for zoning classification for the parcel.
- Confirm all Minimum Building Setbacks and Height Restrictions with reference to the City of Coral Gables and/or Miami-Dade County as setbacks may vary depending on proposed construction.
- Legal description shown hereon based on information furnished by client and no claims as to ownership are made or implied.

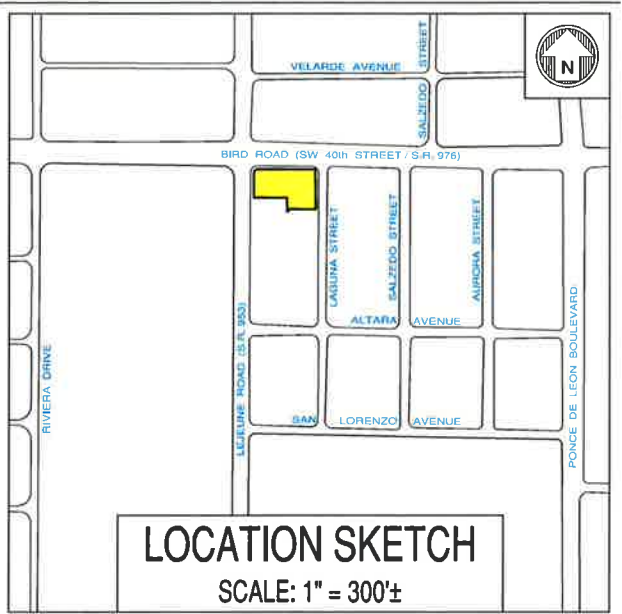
SURVEYOR'S CERTIFICATION:

This is to certify that this "Boundary & Topographic Survey" was made under my responsible charge on September 19, 2012, in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

*Not valid without the signature and the original record seal of a Florida Licensed Surveyor and Mapper

FORTIN, LEAVY, SKILES, INC., LB3653

By: Daniel C. Fortin, For The Firm
Surveyor and Mapper, LS2653
State of Florida.



TREE TABLE

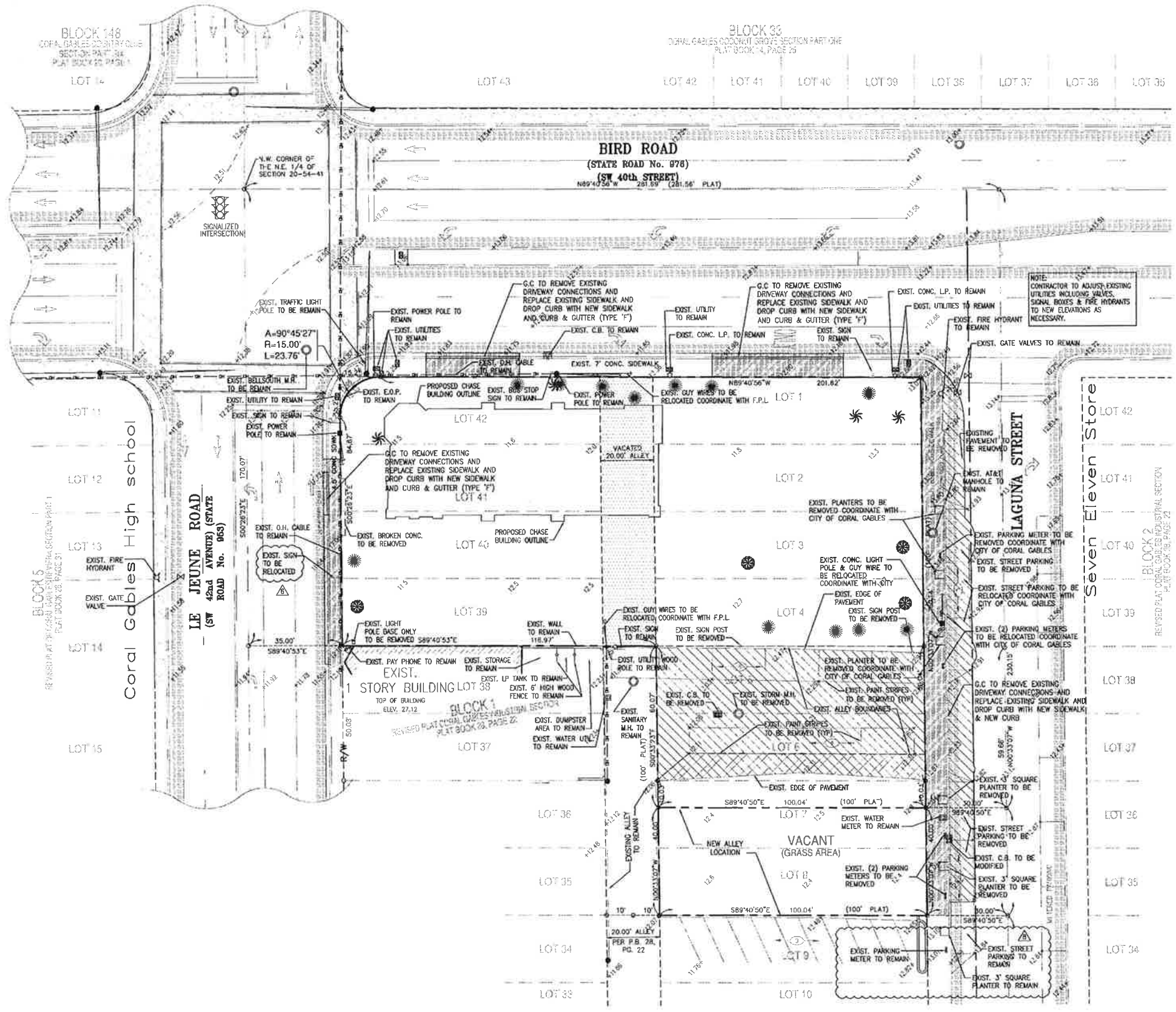
TREE #	SIZE	SPREAD	HEIGHT	TYPE
849	15"	30'	40'	Mahogany
850	36"	40'	45'	Bischofia
851	4"	10'	30'	Bischofia
852	15"	25'	35'	Bischofia
853	24"	25'	45'	Umbrella
854	12"	20'	45'	Mahogany
855	16"	30'	45'	Mahogany
856	24"	15'	18'	Christmas Palm
857	12"	25'	20'	Unknown
858	24"	18'	20'	Christmas Palm
859	10"	25'	25'	Unknown
860	10"	25'	23'	Unknown
861	6"	20'	18'	Unknown
862	12"	20'	20'	Unknown
863	16"	16'	15'	Cabbage Palm
864	10"	15'	20'	Unknown
865	10"	15'	20'	Unknown
866	10"	12'	25'	Royal Palm
867	16"	40'	30'	Unknown
868	16"	45'	45'	Mahogany

No.	Revision	Description

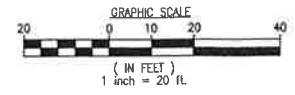
FORTIN, LEAVY, SKILES, INC.
CONSULTING ENGINEERS, SURVEYORS & MAPPERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653
180 Northeast 168th Street / North Miami Beach, Florida 33162
Phone: 305-653-4493 / Fax: 305-651-7157 / Email: fl@fsurvey.com

ALTA/ACSM LAND TITLE SURVEY
CHASE - BIRD ROAD & LEJEUNE ROAD
CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA

Date	9/19/12
Scale	1" = 20'
Drawn By	DWF
Cad. No.	100950
Plotted:	9/27/12 11:02a
Ref. Dwg.	2010-152-1
Field Book:	RL & TC 613/40 & F.S. - RLL
Job No.	121018
Dwg. No.	2010-152-4
Sheet	1 of 1

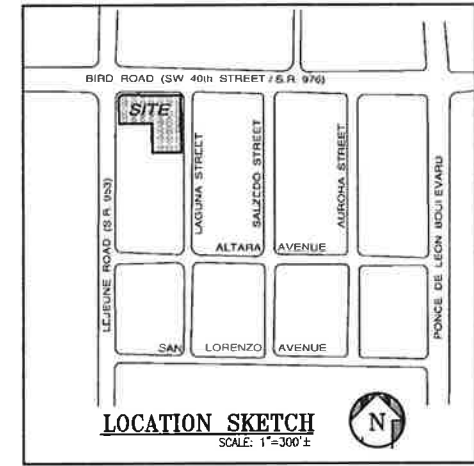


SITE DEMOLITION PLAN
1"=20'-0"



811
Know what's below.
Call before you dig.

- DEMOLITION NOTES**
- FOR TREES AND/OR LANDSCAPE REMOVAL AND/OR RELOCATION, REFER TO LANDSCAPE DRAWINGS.
 - ALL EXISTING PAVEMENT MARKINGS AND SIGNS WITHIN PROPERTY LINES TO BE REMOVED.
 - EXISTING ASPHALT PAVEMENT AND BASE WITHIN PROPERTY LINES TO BE REMOVED (DEPTH OF BASE REMOVAL BASED ON PROPOSED GRADES)
 - DENOTES TO BE REMOVED
 - DENOTES TO REMAIN
 - EXIST. ASPHALT PAVEMENT AND BASE TO BE REMOVED
 - EXIST. SIDEWALK TO BE REMOVED



GENERAL NOTES

- SEE SURVEY FOR DESCRIPTION OF EXISTING FEATURES WITHIN SITE.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE DEMOLITION OF EXISTING ON SITE FACILITIES ABOVE AND UNDERGROUND. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE SITE OF ALL DEMOLISHED MATERIALS, THE FILLING OF ALL DEPRESSIONS CAUSED BY DEMOLITION, AND THE GRADING OF THESE AREAS SO AS NOT TO BE OBJECTIONABLE TO VIEW. THE CONTRACTOR SHALL OBSERVE ALL REQUIRED SAFETY PRECAUTIONS IN THE PERFORMANCE OF HIS WORK.
- REMOVE ALL VEGETATION, ROLL AND COMPACT AREAS BEFORE REPLACING FILL. FILL SHALL BE PLACED IN 12" LAYERS LOOSE MEASURE AND COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY MSHTO-T180-78. FILL SHALL BE LOCALLY ACCEPTABLE AND SUITABLE FOR FILL PURPOSES. THE TOP 12" OF FILL OR CUT UNDER PAVEMENT BASE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY MSHTO-T180-78.
- THE CONTRACTOR SHALL BE REQUIRED TO STABILIZE SLOPED AREAS. THE CONTRACTOR SHALL GRADE AND SEED OR SOD THE AREA WITH THE PROVISION THAT HE SHALL MAINTAIN THE SEEDED OR SODDED AREA AS REQUIRED UNTIL SUCH TIME THAT THERE IS SUITABLE GROWTH TO ADEQUATELY PROTECT THE EMBANKMENT. THE MAXIMUM ALLOWABLE SLOPE SHALL BE 2 : 1. CONTRACTOR SHALL MATCH EXISTING GRADES AND ALL PROPERTY LINES AROUND SITE, UNLESS OTHERWISE SHOWN ON GRADING PLAN. FINISHED GRADING AND LANDSCAPING BY LANDSCAPE CONTRACTOR. GENERAL CONTRACTOR IS TO GRADE ALL LANDSCAPED AREAS TO WITHIN 4" (0.33') OF FINISHED GRADES. ALL GRADES SHOWN ON GRADING PLAN ARE FINISHED GRADES.
- DIMENSIONS, BUILDING LOCATION AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT TIME OF LAYOUT. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
- ALL CONSTRUCTION OF UTILITIES TO BE IN ACCORDANCE WITH LOCAL BUILDING CODES.
- IT IS THE CONTRACTOR'S FULL RESPONSIBILITY TO FURNISH AND INSTALL WATER SERVICES AS REQUIRED. LINES TO BE INSTALLED SHOULD BE EXTENDED FROM THE CLOSEST WATER MAIN CAP PLUGGED AT BUILDING. SEE C-3 FOR REQUIRED WATER SERVICE SIZE.
- LOCATION OF UNDERGROUND UTILITIES, EXISTING OR PROPOSED, ARE APPROXIMATE OR SCHEMATIC. LOCATION OF EXISTING UTILITIES MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION.
- GENERAL CONTRACTOR IS TO INCLUDE IN BID ALL UTILITY COSTS NECESSARY TO PROVIDE COMPLETE ELECTRICAL SERVICE, SEWER TIE-IN, TAP FEES, CONNECTION COSTS, AND WATER SERVICE AS REQUIRED BY LOCAL CODES AND UTILITY COMPANIES.
- THE CONTRACTOR SHALL BE REQUIRED TO EXTEND AND CONNECT SANITARY SEWER TO THE EXISTING SEWER SYSTEM. IF SEWER IS NOT ADJACENT TO SITE, THE CONTRACTOR SHALL BE REQUIRED TO EXTEND THE SANITARY SEWER SERVICE TO THIS SITE IN ACCORDANCE WITH THE PLANS. SANITARY SEWER LINE TO BE CONNECTED AT A MINIMUM 2% SLOPE USING A MINIMUM PIPE, MATCHING EXISTING PIPE MATERIAL, UNLESS OTHERWISE SPECIFIED.
- CONCRETE SIDEWALKS TO BE 3,000 P.S.I. CONCRETE, 4" THICK, WITH 6x6 - W1.4 x W1.4 WELDED WIRE MESH REINFORCED UNLESS OTHERWISE NOTED.
- ALL CONCRETE CURB TO BE CONSTRUCTED OF 3,000 P.S.I. CONCRETE.
- THE CONCRETE TRASH ENCLOSURE APRON SHALL BE 6" THICK OF 3,000 P.S.I. CONCRETE REINFORCED WITH #4 BARS @ 16" O.C. EACH WAY.
- COMMERCIAL DRIVEWAYS TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY, COUNTY, OR STATE HIGHWAY DEPARTMENT, WHICHEVER APPLIES.
- ALL WORK TO BE PERFORMED THAT IS NOT COVERED BY THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE, COUNTY, OR LOCAL CODES. ALL WORK IN PUBLIC RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.
- THE CONTRACTOR IS ADVISED THAT THE SOILS REPORT IS A PART OF THE BIDDING DOCUMENTS. IF THE SOILS REPORT IS NOT RECEIVED WITH THE BID SET, IT IS THE BIDDER'S RESPONSIBILITY TO OBTAIN AND REVIEW THE SOILS REPORT PRIOR TO SUBMITTING FINAL BID.
- SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C.K.E. GROUP, INC. AND TO MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.

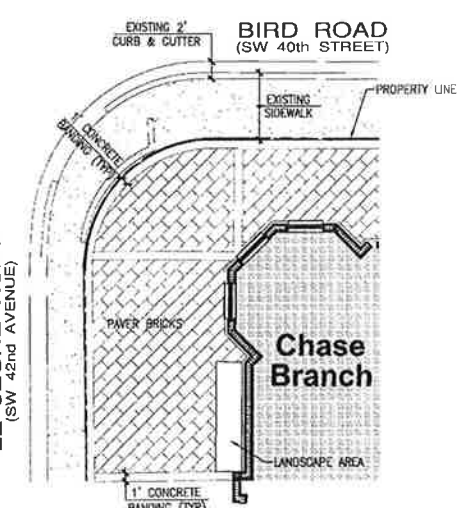
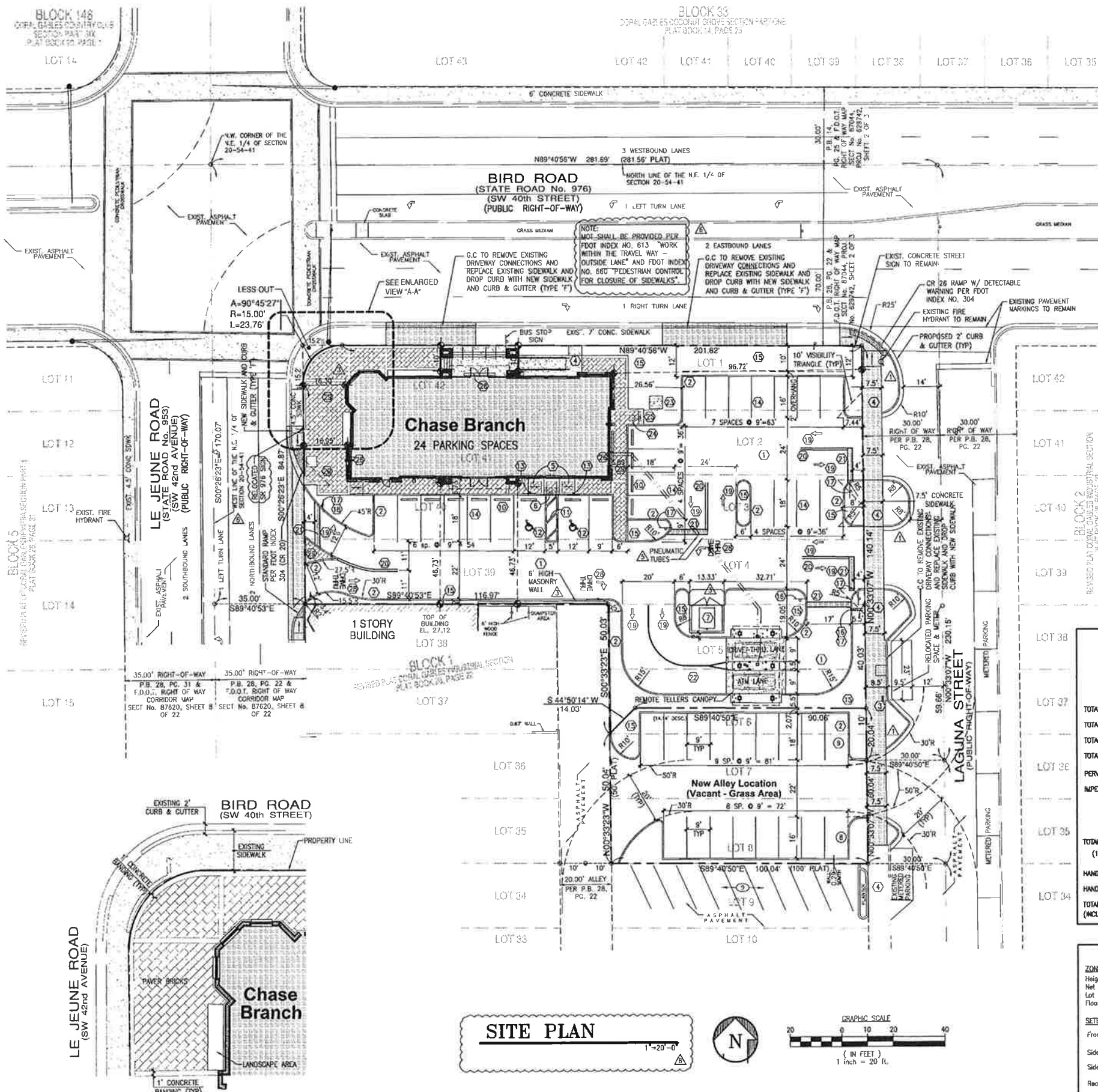
CKE GROUP
INCORPORATED
engineering • architecture • planning

CHASE
BIRD ROAD & LEJEUNE ROAD
CORAL GABLES, FLORIDA

Chase project no: 14903
CKE project no: 1269
scale: AS SHOWN
date: 9-09-10
drawn by: R.G.

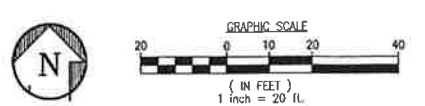
15500 NEW BARN ROAD
MIAMI LAKES, FLORIDA 33014
SUITE 106
[305] 558-4124

SD-1



ENLARGED VIEW "A-A"
1"=0'-0"

SITE PLAN
1"=20'-0"



LEGAL DESCRIPTION:

Lots 1 through 4, inclusive of Lots 39 through 42, Block 1, in the REVISED PLAT CORAL CABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida, LESS that portion of said Lot 42 conveyed to the County of Miami-Dade by deed dated October 18, 1951, and recorded in the Public Records of Miami-Dade County, Florida, described as the external area formed by a 15-foot radius arc concave to the Southeast, tangent to the North line of said Lot 42 and tangent to the West line of said Lot 42, TOGETHER WITH a portion of the 20 foot wide alley lying in said Block 1 and adjoining the East line of said Lots 39 through 42.

AND

Lots 5 and 6, Block 1, of the REVISED PLAT CORAL CABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida, LESS that portion of said Lot 6 being more particularly described as follows:

Begin at the Southeast corner of said Lot 6, thence run North along the East line of said Lot 6, a distance of 10 feet; thence Westerly a distance of 90.06 feet; thence run in a Southwesterly direction a distance of 14.14 to the Southwest corner of said Lot 6; thence East along the South line of said Lot 6, a distance of 100.24 feet to the point of beginning, containing 4,060 square feet more or less.

This site lies in Section 20, Township 54 South, Range 41 East, City of Coral Gables, Miami-Dade County, Florida.

LEGAL DESCRIPTION (ALLEY):

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LOCATION SKETCH
SCALE: 1"=300'

**ZONING: C & I
(COMMERCIAL & INDUSTRIAL)
SITE ANALYSIS**

TOTAL LAND AREA:	25,706.46 SQ. FT. (0.590± ACRES)
TOTAL BUILDING COVERAGE:	4,120.00 SQ. FT. (16.03 %)
TOTAL LANDSCAPED AREA:	4,154.66 SQ. FT. (16.16 %)
TOTAL PAVED AREA & WALKS:	17,431.80 SQ. FT. (67.81 %)
PERVIOUS AREA (OPEN AREA):	4,154.66 SQ. FT. (16.16 %) (0.095± AC)
IMPERVIOUS AREA:	21,551.80 SQ. FT. (83.84 %) (0.495± AC)

PARKING ANALYSIS

TOTAL PARKING SPACES REQUIRED: (1 SP PER 250 S.F. BLDG. : 4120 S.F./250=17)	17 SPACES
HANDICAP SPACES REQUIRED:	1 SPACES
HANDICAP SPACES PROVIDED:	2 SPACES
TOTAL PARKING SPACES PROVIDED: (INCLUDING HANDICAP)	24 SPACES

ZONING LEGEND

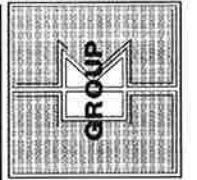
ZONING: C & I		
Height (top of parapet):		
Net Land Area:	25,706.46 SQ. FT. (0.590± ACRES)	
Lot Coverage (everything under roof):	4,120 SQ. FT.	
Floor Area Ratio:	4,120/25,706.46:	0.160
SETBACKS:		
Front (LEJEUNE RD.)	REQUIRED: 10'	PROVIDED: 15.0' (LEJEUNE ROAD)
Side (N) (BIRD RD.)	15' *	10.0' (BIRD ROAD)
Side (S) Interior	15'	46.75'
Rear (LAGUNA ST.)	10'	96.72'
* VARIANCE REQUIRED		

CONSTRUCTION NOTES:

- ASPHALT PAVEMENT AS PER DETAIL.
- 6" P.C.C. TYPE "D" CURB AS PER DETAIL.
- CURB EDGE SIDEWALK AS PER DETAIL.
- CONCRETE SIDEWALK AS PER DETAIL.
- P.C.C. HANDICAP RAMP - MAX SLOPE 1:12
- DETECTABLE WARNING SURFACE MATS PER FLORIDA ACCESSIBILITY CODE & PER CHASE SPECIFICATIONS
- TRASH ENCLOSURE (12'W X 10'D)
- METAL HALIDE PARKING LIGHT
- STEEL BOLLARDS
- 6" LONG P.C.C. WHEEL STOP AS PER DETAIL
- 6" WHITE STRIPES AT 60' (PER FDOT INDEX NO.17346)
- HANDICAP PARKING AS PER DETAIL.
- HANDICAP SIGN 7'-0" A.F.P AS PER DETAIL.
- 2-4" WHITE STRIPES (TYPICAL AT PARKING SPACES)
- LANDSCAPE AREA.
- "NO NOT ENTER" SIGN AS PER DETAIL
- STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN, R1-1 (30"x30")
- STANDARD F.D.O.T. "RIGHT TURN ONLY" SIGN (R3-SR)
- TRAFFIC ARROWS PAINTED WHITE
- 6" DOUBLE YELLOW SOLID STRIPES (THERMOPLASTIC)
- 24" WHITE STOP BAR (THERMOPLASTIC)
- 6" WHITE STRIPE (THERMOPLASTIC)
- TRANSFORMER PAD
- BICYCLE RACK BY HUNTCO-MODEL BR3 OR APPROVED EQUAL FINISH: POWDER COATED RED (SEE DETAIL ON SHEET C-4)
- "BICYCLE PARKING" SIGN
- BUILDING SIGN
- PROPOSED FREE STANDING MONUMENT SIGN (BY SEPARATE PERMIT)
- PAVEMENT MARKING-24" HIGH LETTERS AND ARROWS PAINTED WHITE
- PAVER SIDEWALK WITH CURB EDGE

NOTES

- ALL PAVEMENT MARKINGS ARE TO COMPLY WITH MIAMI-DADE COUNTY PUBLIC WORKS STANDARDS/MUTCD AND FDOT STANDARDS.
- PAVEMENT MARKING MATERIAL = PAINT (UNLESS OTHERWISE NOTED)
- ALL SIGNS BY SEPARATE PERMIT.
- ALL RADII AND DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT.
- NOT SHALL BE PROVIDED PER FDOT INDEX NO. 613 "WORK WITHIN THE TRAVEL WAY - OUTSIDE LANE" AND FDOT INDEX NO. 660 "PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS".

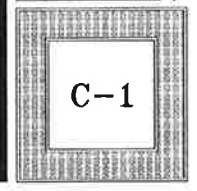


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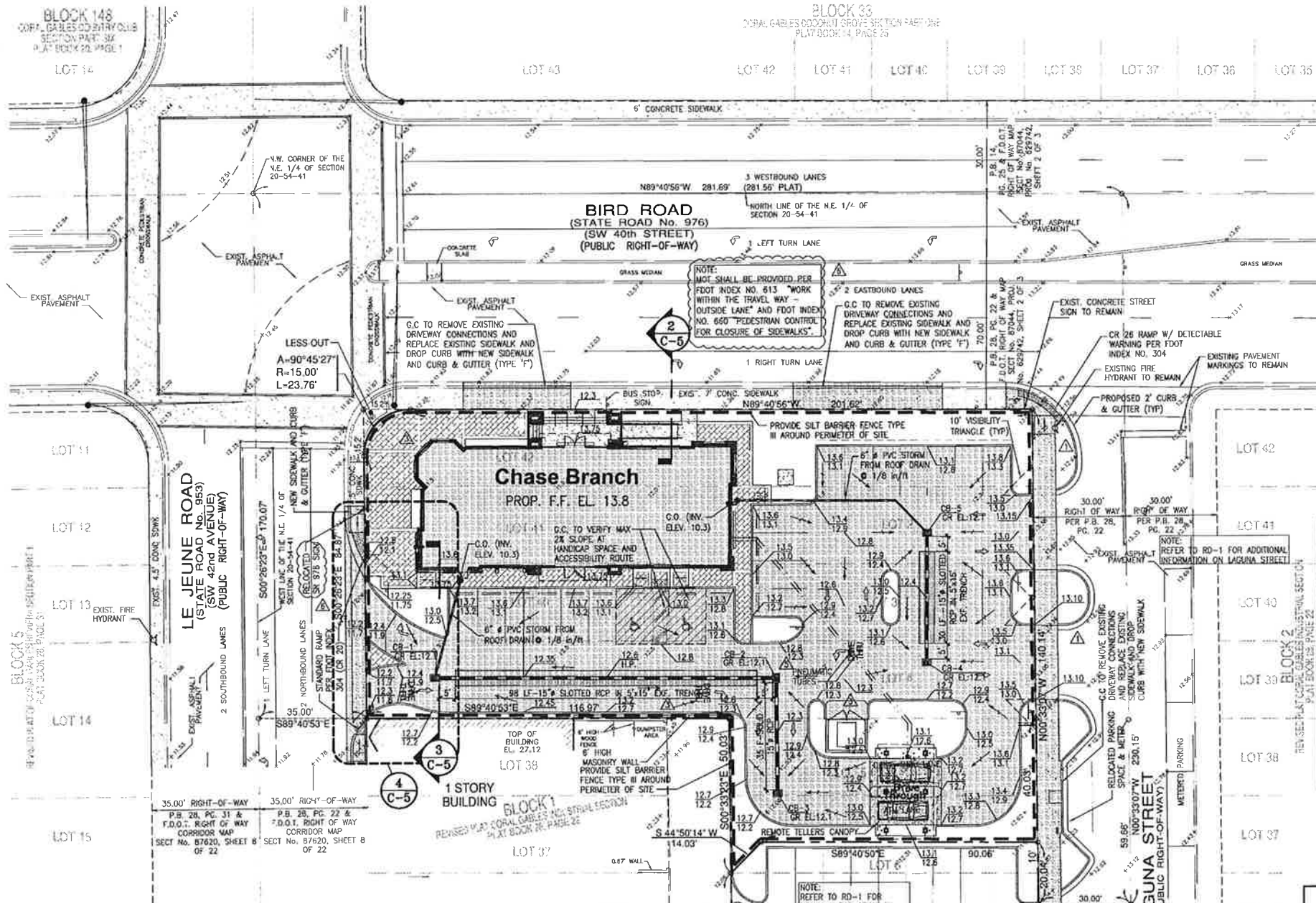
CHASE
BIRD ROAD & LEJEUNE ROAD
CORAL GABLES, FLORIDA

15500 NEW BARN ROAD
MIAMI LAKES, FLORIDA 33014
SUITE 106

Chase project no: 14903
CKE project no: 1269
scale: AS SHOWN
date: 9-09-10
drawn by: R.G.



C-1



LEGAL DESCRIPTION:

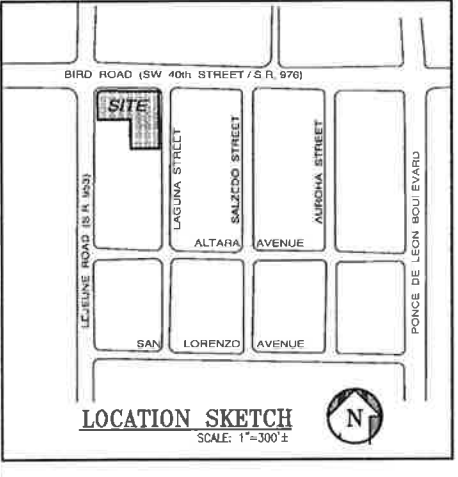
Lots 1 through 4, inclusive of Lots 39 through 42, Block 1, in the REVISED PLAT CORAL CABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida, LESS that portion of said Lot 42 conveyed to the County of Miami-Dade by deed dated October 18, 1961, and recorded in the Public Records of Miami-Dade County, Florida, described as the external area formed by a 15-foot radius arc concave to the Southeast, tangent to the North line of said Lot 42 and tangent to the West line of said Lot 42, TOGETHER WITH a portion of the 20 foot wide alley lying in said Block 1 and adjoining the East line of said Lots 39 through 42.

AND

Lots 5 and 6, Block 1, of the REVISED PLAT CORAL CABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida, LESS that portion of said Lot 6 being more particularly described as follows:

Begin at the Southeast corner of said Lot 6, thence run North along the East line of said Lot 6, a distance of 10 feet; thence West a distance of 90.06 feet; thence run in a Southwesterly direction a distance of 14.14 to the Southwest corner of said Lot 6; thence East along the South line of said Lot 6, a distance of 100.24 feet to the point of beginning; containing 4,060 square feet more or less.

This site lies in Section 20, Township 54 South, Range 41 East, City of Coral Gables, Miami-Dade County, Florida.



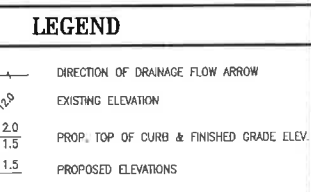
LEGAL DESCRIPTION (ALLEY):

Lots 7 and 8, in Block 1, of the REVISED PLAT CORAL CABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida; together with that portion of Lot 6 being more particularly described as follows:

Begin at the Southeast corner of said Lot 6, thence run North along the East line of said Lot 6, a distance of 10 feet; thence West a distance of 90.06 feet; thence run in a Southwesterly direction a distance of 14.14 to the Southwest corner of said Lot 6; thence East along the South line of said Lot 6, a distance of 100.24 feet to the point of beginning; containing 4,060 square feet more or less.

- GENERAL NOTES**
1. ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 10 FEET OF ANY AREA TO BE FILLED. THIS INCLUDES ALL BUILDING AREAS AND PAVING AREAS WHICH ARE BEING FILLED. ANY SUCH MATERIAL SHALL BE REPLACED WITH APPROVED GRANULAR FILL WHICH SHALL BE COMPACTED IN 8" LAYERS TO 100% OF MAXIMUM DENSITY AS PER ASPHO 1-99C.
 2. ALL UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE CONSTRUCTED, INSTALLED, AND ACCEPTED BY THE CITY OF CORAL GABLES ENGINEERING DEPARTMENT.
 3. STABILIZED SUBGRADE SHALL HAVE LIMEROCK BEARING RATION (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY ASPHO 1-99C.
 4. LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 911 OF THE FLORIDA D. O. T. STANDARD SPECIFICATIONS, EXCEPT THAT THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE 70%.
 5. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE S-III.
 6. PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D. O. T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
 7. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
 8. PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A. S. T. M. SPECIFICATIONS C-478 AND 64T, AND CITY OF CORAL GABLES ENGINEERING DEPARTMENT MINIMUM STANDARDS.
 9. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
 10. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A. S. T. M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION.
 11. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATERTIGHT.
 12. ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2 : 1 CEMENT MORTAR MIX.
 13. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF A. S. T. M. SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 FLORIDA D. O. T. STANDARD SPECIFICATIONS. (LATEST EDITION)
 14. ALL DRAINAGE SYSTEM PIPE JOINTS INCLUDING THOSE OUTSIDE THE EXFILTRATION TRENCH, TO BE WRAPPED IN FDOT APPROVED FILTER FABRIC WITH SECURING DEVICE (INDEX No. 280, FOOT DESIGN STANDARDS JANUARY 2004)
 15. ALL WORKMANSHIP, INSTALLATIONS, AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE CITY OF CORAL GABLES ENGINEERING DEPARTMENT MINIMUM STANDARDS.
 16. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON AS-BUILT INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 17. SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C. K. E. GROUP, INC. AND TO THE CITY OF CORAL GABLES ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED AS-BUILT DRAWINGS PRIOR TO FINAL INSPECTION BY THE CITY OF CORAL GABLES ENGINEERING DEPARTMENT OF UNDERGROUND UTILITIES.
 19. SOIL BORING RECORDS ARE PART OF THE BID DOCUMENTS. IN THE EVENT OF DISCREPANCY BETWEEN THE SPECIFICATIONS AND THE SOILS REPORT RECOMMENDATIONS, THE MOST STRINGENT OF THE TWO SHALL BE USED.

- NOTES**
1. SITE CONTRACTOR SHALL GRADE ALL LANDSCAPED AREAS TO AN ELEVATION 3" BELOW TOP OF CURB OR SIDEWALK, REFER TO LANDSCAPE DRAWINGS.
 2. SITE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL SITE, INCLUDING BERMS AND SWALES, IF ANY, COORDINATE WITH LANDSCAPE DRAWINGS AND LANDSCAPE CONTRACTOR.
 3. SITE CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE OVER ENTIRE SITE. NOTIFY CKE GROUP OF ANY PROBLEM AREAS.
 4. GENERAL CONTRACTOR SHALL PROVIDE SLEEVES FOR LANDSCAPE IRRIGATION LINES PRIOR TO PAVING. COORDINATE WITH IRRIGATION DRAWINGS AND IRRIGATION CONTRACTOR.
 5. SILT BARRIER FENCE MUST BE INSTALLED PRIOR TO START ANY WORK, AND MUST BE MAINTAINED IN PLACE UNTIL COMPLETION OF PROJECT.
 6. SITE CONTRACTOR SHALL REVIEW SOILS REPORT EXISTING SITE LBR AND RECOMMENDATIONS TO IMPROVE IT IF NECESSARY TO MIN. LBR=40



PROPOSED DRAINAGE SCHEDULE

STRUCTURE #	TYPE	GRATE EL.	INVERT ELEVATIONS			
			N	S	E	W
CB-1	"P"	12.1			4.0 *	
CB-2	"P"	12.1		4.0		4.0 *
CB-3	"P"	12.1	4.0			
CB-4	"P"	12.1	4.0 *			
CB-5	"P"	12.1		4.0 *		

* PROVIDE POLLUTION RETARDANT BAFFLES AT ALL EXFILTRATION TRENCHES

NOTE:

Elevations shown herein are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. CG-10-R, Elevation +13.09, located on November 24, 2010 near the intersection of Bird Road and University Drive on top of a headwall at the Coral Gables Canal Bridge.



Flood Legend

For compliance with Chapter 11C of the Miami-Dade County Code
Special Flood Hazard Area - Outside Special Flood Hazard Area
Commercial, Industrial & Multi Units

Process #: _____ File #: 03-4120-017-0010 pg. 28 of 22

Address: BIRD ROAD & LEJEUNE ROAD, MIAMI-DADE COUNTY, FLORIDA Highest Crown of Road Elevation: 13.46

Highest Crown of Road Elevation above was taken from a certified survey prepared by: FORTIN, LEAMY, SKILES, INC. (DANIEL C. FORTIN) PLS Lic. #: LB 3653/LS 2853

Scale: AS SHOWN

date: 9-09-10

drawn by: R.G.

PERMITS AND DRAINAGE PLANS

DEPM/MC - ENVIRONMENTAL RESOURCES PERMIT (EPF COPY ATTACHED) # _____ N/A

SPWMD - SURFACE STORMWATER PERMIT (SWP PERMIT COPY ATTACHED) # _____ N/A

Total Impervious Area: 0.000 Ac. (if 1% across ROW/ABER CONTROL, (EPF) PERMIT AND APPROVED PAVING & DRAINAGE MUST BE ATTACHED)

Underground Parking YES (X) / NO () (circle one) Basement: YES (X) / NO () (circle one)

	Lowest Floor Elev.	Adjacent Grade Elev.	Lowest Catch Basin	Retention Area
EXISTING:	N/A	11.0	11.28	N/A
PROPOSED:	13.8	13.5	12.1	N/A

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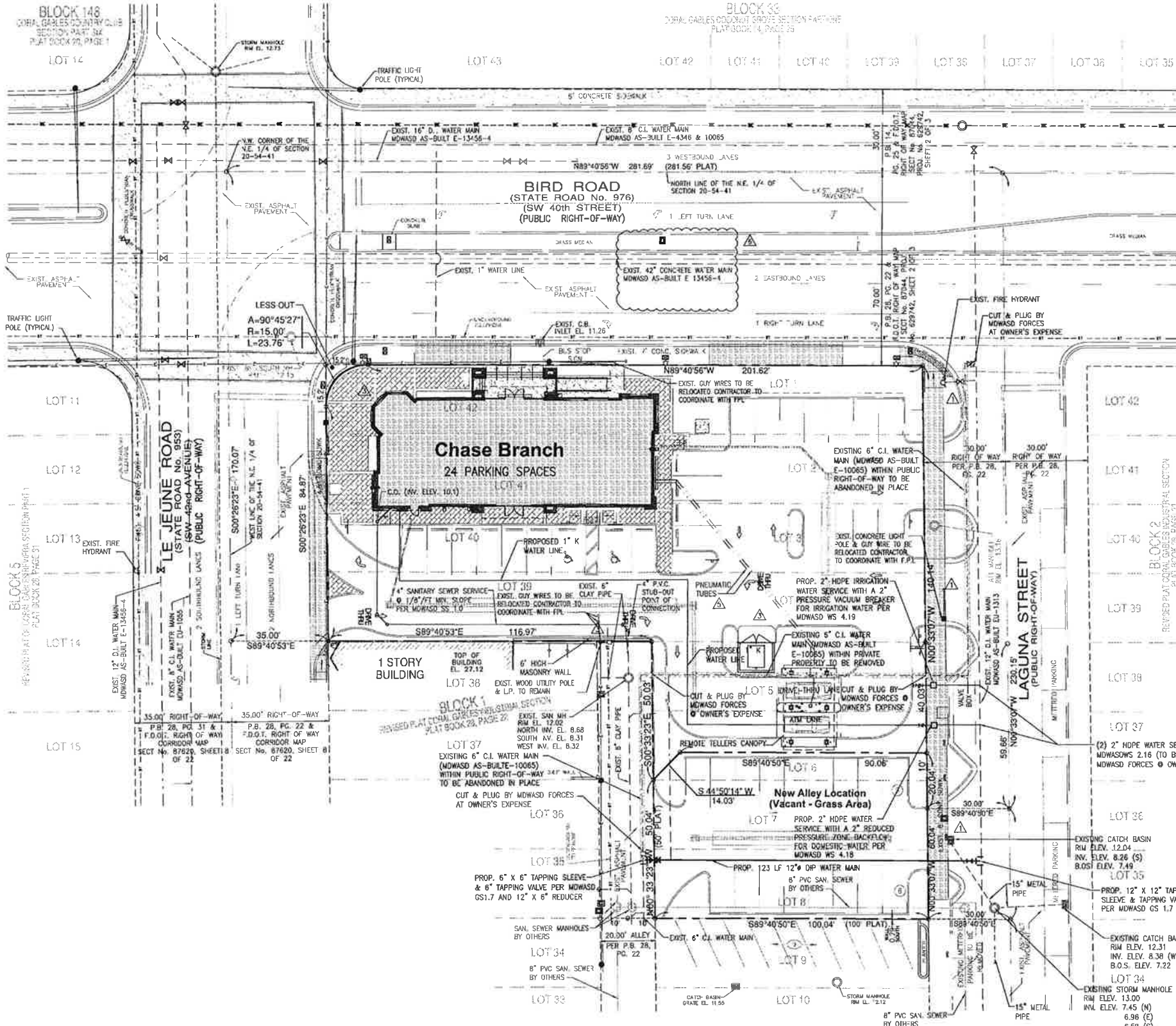
CHASEO
BIRD ROAD & LEJEUNE ROAD
CORAL GABLES, FLORIDA

15500 NEW BARN ROAD • SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124

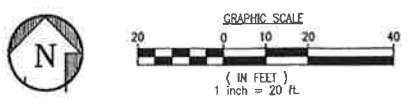
Chase project no: 14903
CKE project no: 1269
scale: AS SHOWN
date: 9-09-10
drawn by: R.G.

10-25-11 PER FOOT
11-23-11 ADD TUBES
12-23-11 REV. D/THRU
1-23-11 REV. D/THRU
2-23-11 BOA COMMENTS
3-23-11 BOA COMMENTS
4-23-11 REV. CITY

Revisions seal



UTILITY SITE PLAN
1"=20'-0"



LEGAL DESCRIPTION:

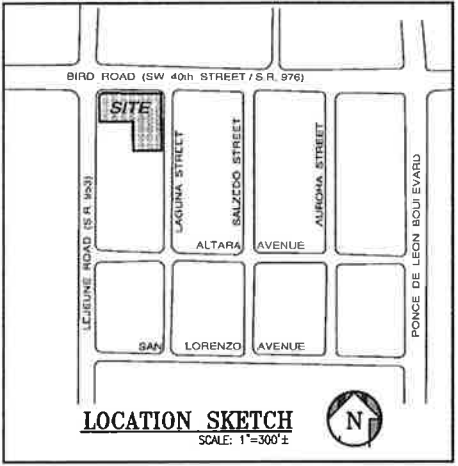
Lots 1 through 4, inclusive of Lots 39 through 42, Block 1, in the REVISED PLAT CORAL GABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida, LESS that portion of said Lot 42 conveyed to the County of Miami-Dade by deed dated October 18, 1991, and recorded in the Public Records of Miami-Dade County, Florida, described as the external area formed by a 15-foot radius arc concave to the Southwest, tangent to the North line of said Lot 42 and tangent to the West line of said Lot 42, TOGETHER WITH a portion of the 20 foot wide alley lying in said Block 1 and adjoining the East line of said Lots 39 through 42.

AND

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This site lies in Section 20, Township 54 South, Range 41 East, City of Coral Gables, Miami-Dade County, Florida.



LEGAL DESCRIPTION (ALLEY):

Lots 7 and 8, in Block 1, of the REVISED PLAT CORAL GABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida; together with that portion of Lot 6 being more particularly described as follows:

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- NOTES:**
1. ALL FIRE HYDRANTS SHALL BE AT 4' TO 7' FROM CURB.
 2. ALL WATER MAIN FITTINGS AND PIPE NEED TO BE RESTRAINED AS PER STANDARD DETAIL GS 2.0.
 3. SEWER SYSTEM IS PROPERTY OF CITY OF CORAL GABLES.
 4. ALL PIPING MUST HAVE VITON GASKETS DUE TO CONTAMINATED SITE.

FOR ALL PROJECTS WHERE REMOVAL OF UTILITY LINES IS PROPOSED:

ALL EXISTING UTILITIES BEING REMOVED AND/OR RELOCATED MUST REMAIN ACTIVE AND IN SERVICE UNTIL SUCH TIME WHEN NEW REPLACING UTILITIES HAVE BEEN INSTALLED, IN SERVICE, ACCEPTED BY THE DEPARTMENT AND ALL RELATED SERVICES FROM THE EXISTING MAINS HAVE BEEN TRANSFERRED TO THE NEW ONES, BY M-DWASD FORCES AT OWNER'S EXPENSE AS APPLICABLE.

ALL WATER AND/OR SEWER FACILITIES LOCATED IN PRIVATE PROPERTY SHALL BE REMOVED AFTER ALL INSTALLED SERVICES FROM THEM HAVE BEEN TRANSFERRED TO THE ALREADY INSTALLED AND IN SERVICE NEW MAINS, ANY ASSOCIATED EXCLUSIVE EASEMENTS SHALL BE CLOSED AND VACATED PRIOR TO THE REMOVAL OF THE EXISTING WATER AND/OR SEWER FACILITIES.

- GENERAL NOTES:**
1. ALL HYDRANTS SHALL BE AT 4 TO 7 FEET FROM CURB STEAMER CONNECTION TO FACE ROADWAY.
 2. LANDSCAPING SHALL NOT OBSCURE FIRE HYDRANT NOR SPRINKLER / STANDPIPE WYES.
 3. BUILDING ADDRESS SHALL BE CLEARLY VISIBLE FROM ROADWAY.
 4. ALL CLEAN-OUTS IN DRIVEWAYS TO HAVE TRAFFIC BEARING CAPS (USG #7605 VALVE BOX).
 5. ON-SITE SANITARY SEWER TO BE PRIVATELY MAINTAINED.
 6. CONTRACTOR TO VERIFY INVERTS AND EXACT LOCATION OF UTILITIES PRIOR TO COMMENCING WITH WORK.
 7. MINIMUM SLOPE OF SANITARY WASTE = 1%.
 8. CONTRACTOR TO PROVIDE CLEANOUTS AT EACH CHANGE OF DIRECTION OF SEWER LINE AND AT INTERVALS NOT TO EXCEED 70FT.
 9. NO SOLVENT WELD SHALL BE USED.
 10. REFER TO CITY OF CORAL GABLES PUBLIC WORKS STANDARD DETAILS FOR ADDITIONAL DETAILS.
 11. REFER TO SHEET CE-1 FOR SITE LIGHTING AND SITE ELECTRICAL.
 12. ALL PIPING MUST HAVE VITON GASKETS DUE TO CONTAMINATED SITE.

- (NOT PART OF M-DWASD NOTES NOR APPROVAL)
DEIRM NOTES ON WATER-SEWER INSTALLATION
1. A horizontal distance of at least 6 feet, and preferably "C" feet (outside to outside), shall be maintained between gravity or pressure sewer pipes and water pipes. The minimum horizontal separation can be reduced to 3 feet for vacuum-type sewers or for gravity sewers where the sewer pipe is at least 6 inches below the bottom of the water pipe. When the above specified horizontal distance criteria cannot be met, due to an existing underground facility conflict, smaller separations are allowed if:
 - a- The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
 - b- The sewer is encased in a watertight carrier pipe or concrete.
 - c- The top of the sewer is at least 18 inches below the bottom of the water pipe.
 2. A vertical distance of at least 12 inches (outside to outside) shall be maintained between any water and sewer mains with sewer pipes preferably crossing under water mains. The minimum vertical separation can be reduced to 6 inches for vacuum-type sewers or for gravity sewers where the sewer pipe is below the water main. The crossing shall be arranged so that all water main joints are at least 6 feet from all joints in gravity and pressure sewer pipes. The distance can be reduced to 3 feet for vacuum-type sewers. When the above specified vertical distance criteria cannot be met, due to an existing underground facility conflict, smaller separations are allowed if:
 - a- The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
 - b- The sewer is encased in a watertight carrier pipe or concrete.
 3. In highly congested areas, where other water or sewer facilities are existing and the separation requirements cannot be met, special consideration may be given subject to submittal of documentation showing that the proposed alternative will result in an equivalent level of reliability and public health protection.
 4. The maximum allowable exfiltration rate of gravity sanitary sewers constructed in a public wellfield protection area shall be fifty (50) gallons per inch pipe diameter per mile per day for residential land use and twenty (20) gallons per inch pipe diameter per mile per day for non-residential land use.
 5. Force main sewers constructed in a public wellfield protection area shall be either cast-iron or reinforced concrete pressure sewer pipes. For ductile iron pipe exfiltration rate shall not be greater than the allowable leakage rate specified in American Water Works Association Standard (AWWA) C900-82 at a test pressure of "C" psi. For reinforced concrete pressure sewer exfiltration rate shall not be greater than 1.2 (1.2) the allowable leakage rate specified in AWWA C600-82 at a test pressure of 100 psi.
 6. The contractor shall verify nature, depth, and character of existing underground utilities prior to start of construction.
 7. All other public or private utility facilities shall be constructed at least 5 feet from any water and sewer main as measured from the outside bell of the water or sewer pipe.
 8. When the 5 feet separation between proposed and existing line is not possible, the contractor shall hand dig or expose the water and sewer pipes before proceeding with power equipment excavation.
 9. In no case shall a contractor install utility pipes, conduits, cables, etc. in the same trench parallel and above an existing water or sewer pipe except where they cross. Any deviation from notes 6, 7 and 8 shall be approved in writing by the responsible water and sewer utility.
 10. A non-resettable elapsed time meter shall be installed at each dump to record the total number of operating hours of the station.

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CORAL GABLES, FLORIDA

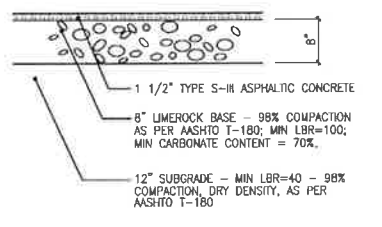
SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124

15500 NEW BARN ROAD

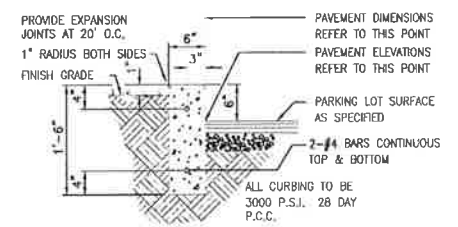
Chase project no: 14903
CKE project no: 1269
scale: AS SHOWN
date: 9-09-10
drawn by: R.G.

C-3

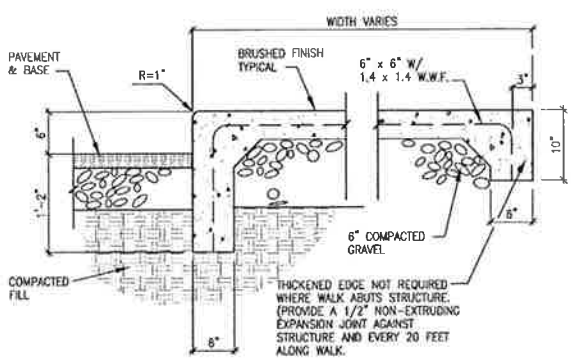




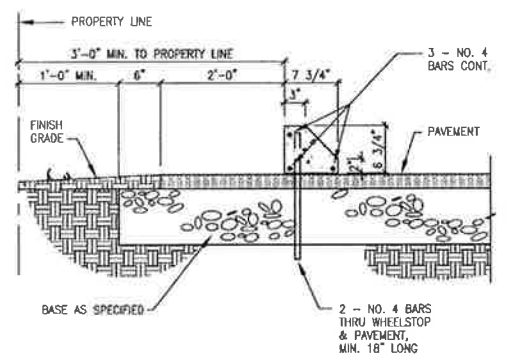
1 PAVEMENT DETAIL
NOT TO SCALE



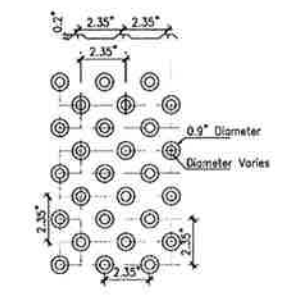
2 6\"/>



3 BRUSHED CONCRETE WALK
NOT TO SCALE

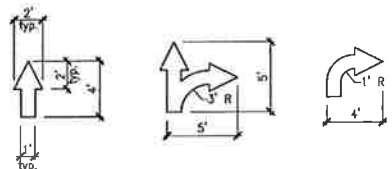


10 PRECAST CONCRETE WHEELSTOP
NOT TO SCALE



6 DETECTABLE WARNING SURFACE DETAIL
NOT TO SCALE

NOTE: PROVIDE MATS PER CHASE SPECS.
APPROVED SUPPLIERS:
ADA SOLUTIONS (800) 372-0519
PROF. PAVEMENT PRODUCTS (888) 717-7771



19 PAINTED ARROWS
NOT TO SCALE

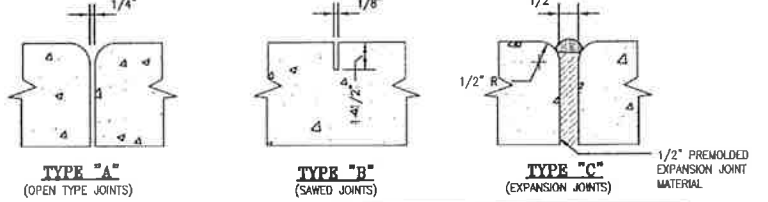
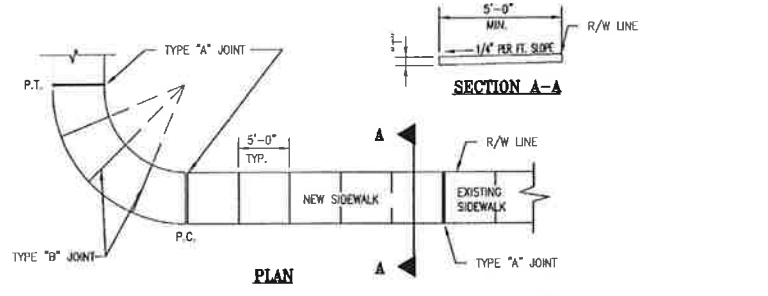
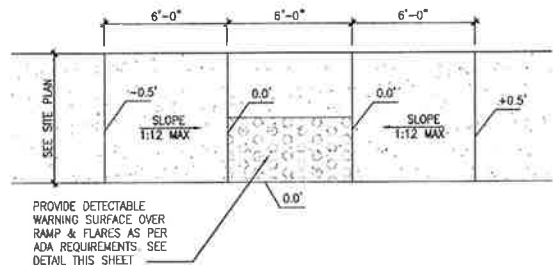
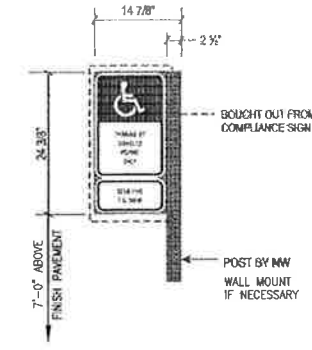


TABLE OF SIDEWALK THICKNESS - "T"		TABLE OF SIDEWALK JOINTS	
LOCATION	"T"	TYPE	LOCATION
RESIDENTIAL AREAS	4"	"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING AND NEW SIDEWALKS
AT DRIVEWAYS AND OTHER AREAS	6"	"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
		"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES

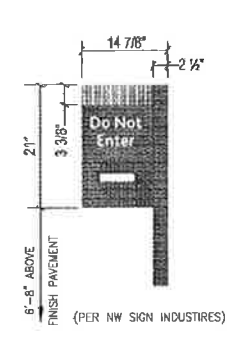
4 SIDEWALK CONSTRUCTION DETAIL
NOT TO SCALE



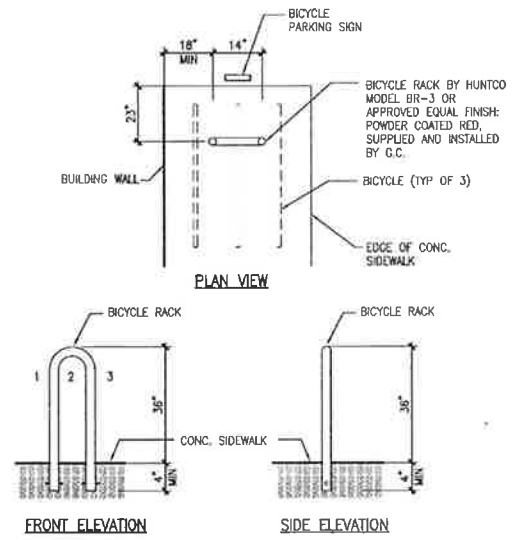
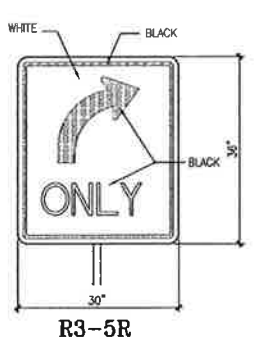
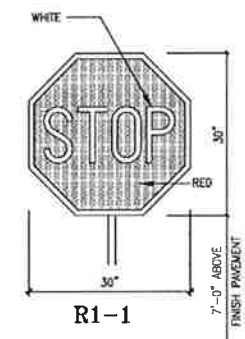
5 HANDICAP RAMP DETAILS
NOT TO SCALE



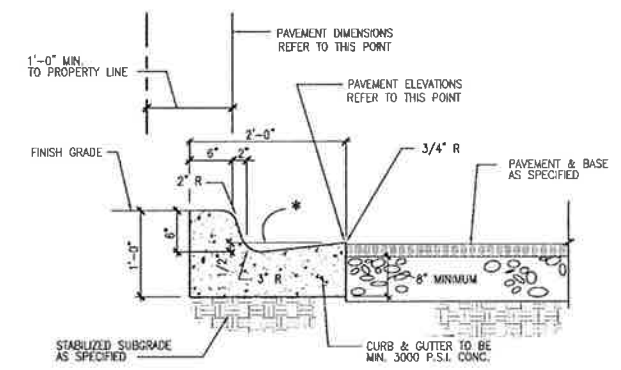
13 HANDICAP PARKING SIGN
NOT TO SCALE



16 17 18 STANDARD F.D.O.T. SIGNAGE DETAILS
NOT TO SCALE

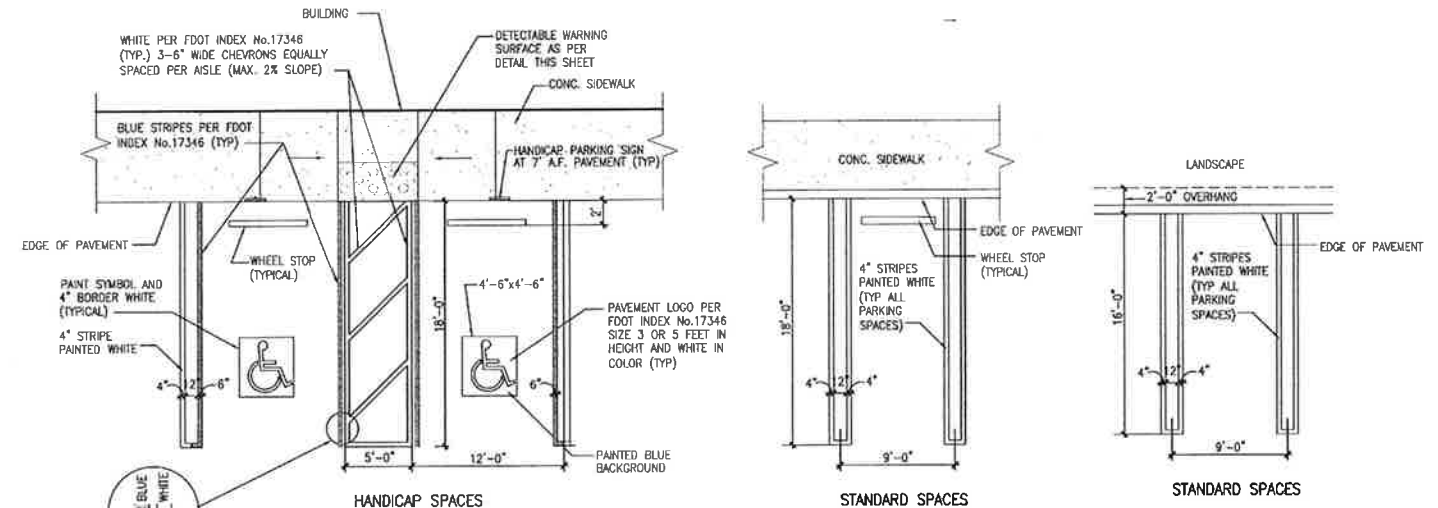


24 BIKE RACK DETAIL
NOT TO SCALE

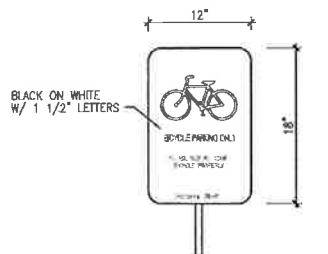


2' CONCRETE CURB & GUTTER (TYPE 'F')
SCALE: 1" = 1'-0"

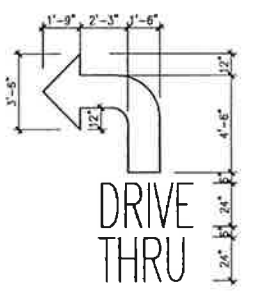
*** NOTE:**
WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS



12 HANDICAP AND STANDARD PARKING DETAILS
NOT TO SCALE



25 BICYCLE PARKING SIGN
NOT TO SCALE



28 PAVEMENT MARKING DETAIL
NOT TO SCALE

NOTES:
1. LETTERS TO BE ELONGATED HELVETICA MEDIUM.
2. PAINT COLOR TO BE WHITE FOR LETTERS AND ARROWS.

GENERAL NOTES
1. ALL SIGNS SHALL BE ERECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
2. DESIGNS ARE PER 146 MPH WIND LOADS (VERIFY LOCAL WIND AND SOIL CONDITIONS).

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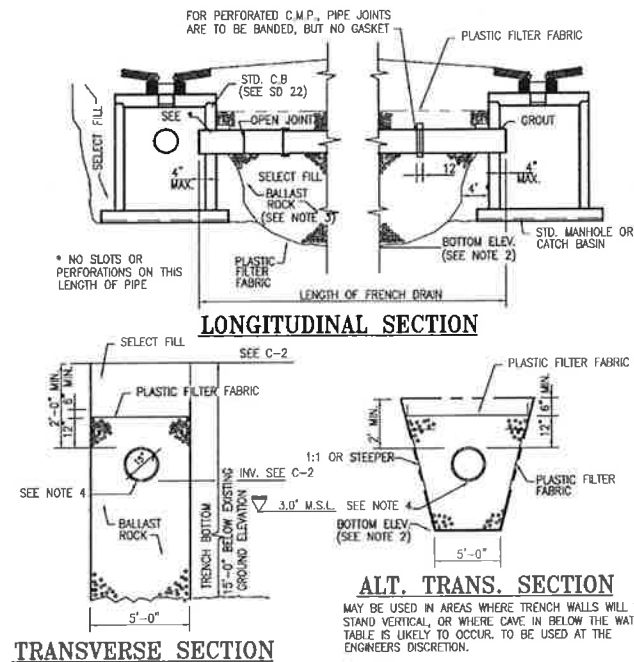
CHASEO
BIRD ROAD & LEJEUNE ROAD
CORAL GABLES, FLORIDA

15500 NEW BARN ROAD • SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124

Chase project no: 14903
CKE project no: 1269
scale: AS SHOWN
date: 9-09-10
drawn by: R.G.

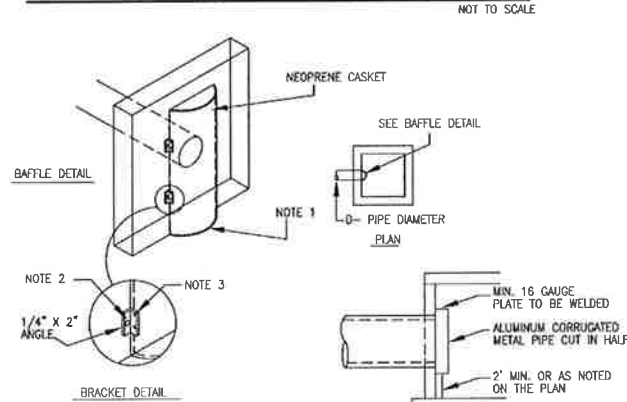
revisions seal

C-4



- NOTES:**
1. PLASTIC FILTER FABRIC (AT EA. SIDE SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND / OR AS DIRECTED BY THE ENGINEER).
 2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 15'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
 3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
 4. INVERT ELEVATION TO BE AS SHOWN IN W.C. 2.2 (AVG. OCTOBER GROUND WATER LEVEL) WITH THE DETAILS.

EXFILTRATION TRENCH DETAILS

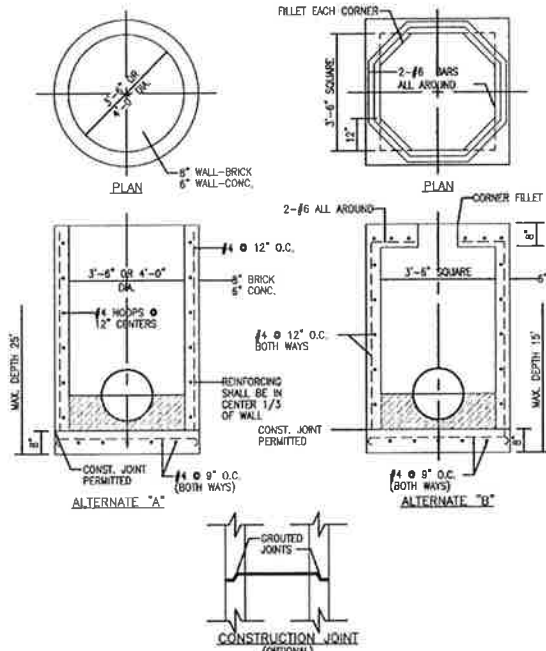
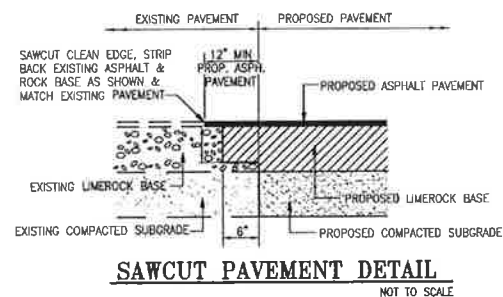


1. SECTION OF A.C.M.P. CUT IN HALF, BAFFLE DIAMETER TO BE AS PER TABLE 1
2. 1/2" GALVANIZED LAG BOLT IN LEAD SHIELD
3. WELL OR 2-1/4" THRU BOLTS.
4. MIN. SUMP IN P.R.B. INLET IS 2.5' BELOW LOWEST INV. OF PIPE IN INLET.
5. BOTTOM OF P.R.B. TO BE MIN. 2' BELOW CONTROL ELEVATION.

TABLE 1

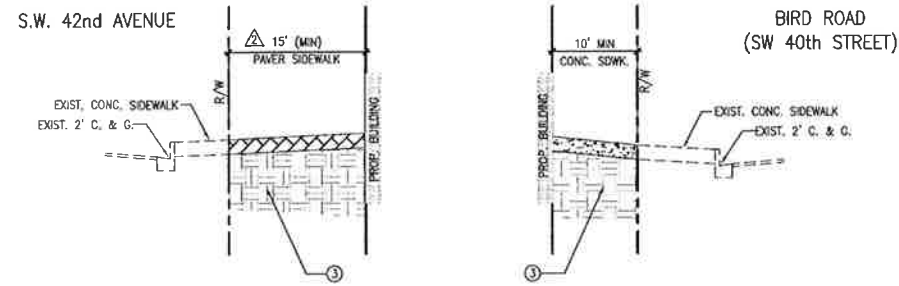
D	BAFFLE DIA.
12"	15"
18"	24"
24"	36"
30"	48"

POLLUTION RETARDANT BASIN (BAFFLE TYPE)

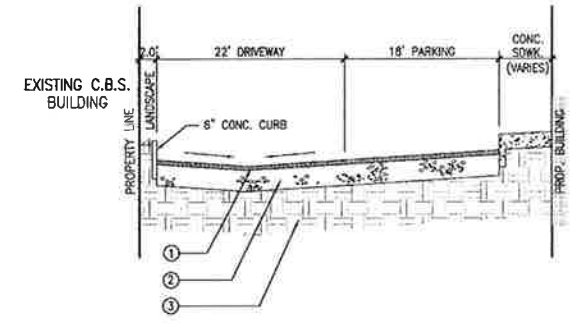
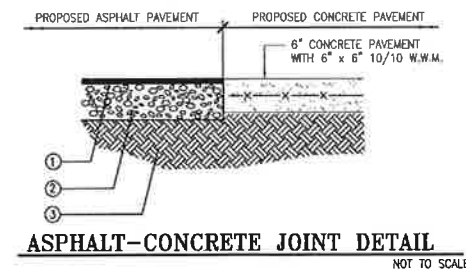
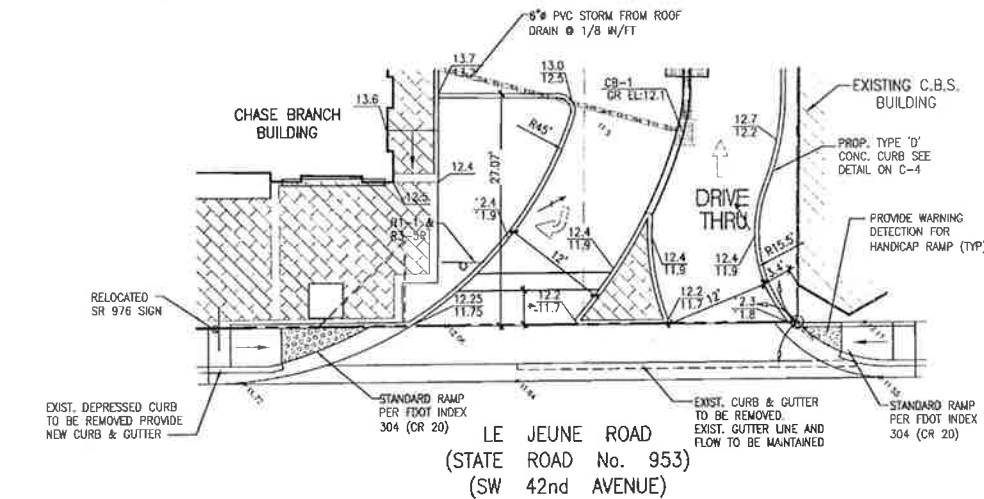


- GENERAL NOTES:**
1. CIRCULAR STRUCTURES (ALTERNATES 'A') MAY BE CONSTRUCTED OF CONCRETE OR BRICK, BUT RECTANGULAR STRUCTURES (ALTERNATES 'B' & 'C') SHALL BE CONSTRUCTED OF CONCRETE ONLY. THE CONCRETE MAY BE CAST-IN-PLACE OR PRECAST.
 2. WALL REINFORCEMENT AND THICKNESS ARE FOR EITHER CAST-IN-PLACE OR PRECAST CONCRETE EXCEPT THAT FOR PRECAST CIRCULAR UNITS A.S.T.M. SPECIFICATIONS C-76, TABLE III, FOR B WALL REINFORCED CONCRETE PIPE OR PRECAST CIRCULAR UNITS IN ACCORDANCE WITH ASTM SPECIFICATION C-478 WILL BE ACCEPTABLE. TOP AND FLOOR SLAB THICKNESS AND REINFORCEMENT ARE FOR ALL TYPES OF CONSTRUCTION.
 3. PRECAST TOP AND/OR FLOOR SLABS MAY BE OF THE SAME CONCRETE AS SPECIFIED IN ASTM SPECIFICATIONS C-478 FOR PRECAST CIRCULAR UNITS.
 4. SMOOTH FLOW CHANNELS COMPOSED OF CONCRETE, OR BRICK AND MORTAR, SHALL BE CONSTRUCTED IN THE BOTTOMS OF ALL STRUCTURES TO A DEPTH EQUAL TO HALF THE DIAMETER OF THE LARGEST PIPE.
 5. CORNER FILLETS SHOWN FOR RECTANGULAR STRUCTURES ARE NECESSARY ONLY WHEN STRUCTURES ARE USED IN CONJUNCTION WITH CIRCULAR TOPS.
 6. STRUCTURES SHALL BE SECURED TO INLET THROATS, RISERS OR MANHOLE TOPS WITH A MINIMUM OF 6-No. 4 BARS 12" LONG.
 7. ANY INLET, MANHOLE, OR JUNCTION BOX MAY BE USED IN CONJUNCTION WITH ANY INLET THROAT OR MANHOLE TOP.
 8. MORTAR USED TO SEAL THE PIPE IN THE WALLS OF THE PRECAST UNITS SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UNITS. MAXIMUM OPENING FOR PIPE SHALL BE MAXIMUM REQUIRED O.D. + 6".
 9. THE OUTSIDE OF BRICK WALLS SHALL BE PLASTERED WITH 1-2 CEMENT MORTAR.

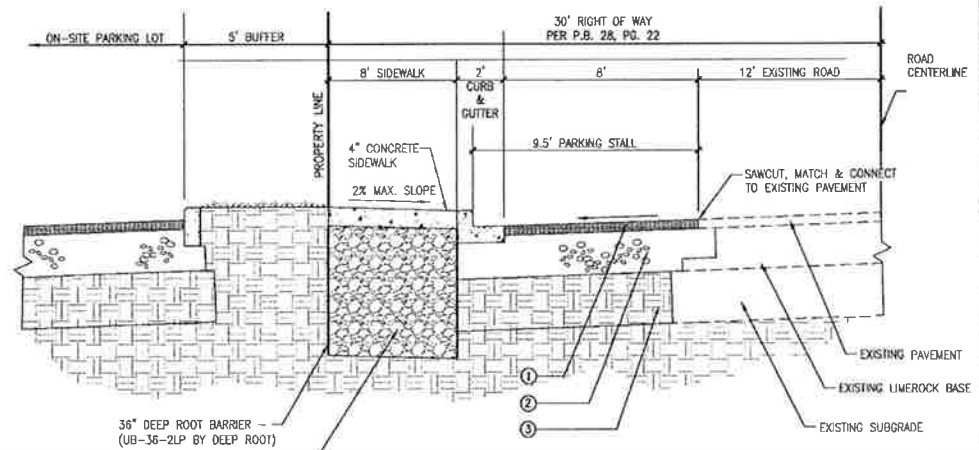
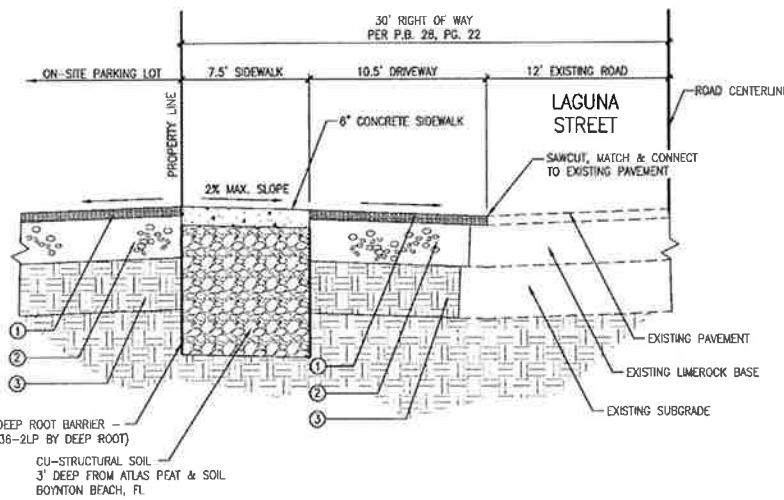
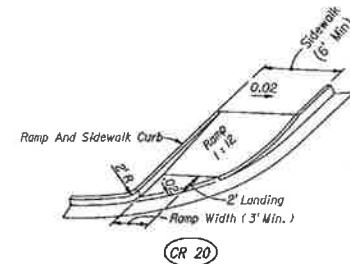
INLET, MANHOLE & JUNCTION BOX (TYPE 'P')



1 PAVEMENT SECTION
2 PAVEMENT SECTION
3 PAVEMENT SECTION



- LEGEND**
- 1 1 1/2" TYPE S-II ASPHALTIC CONCRETE.
 - 2 8" LIMEROCK BASE - 98% COMPACTION AS PER AASHTO T-180; MIN LBR=100; MIN CARBONATE CONTENT = 70%.
 - 3 12" SUBGRADE - MIN LBR=40 - 98% COMPACTION, DRY DENSITY, AS PER AASHTO T-180.
- NOTE:** REFER TO SOILS REPORT FOR DETAILED SPECS.



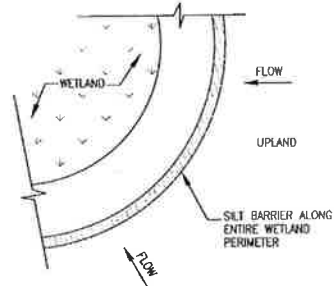
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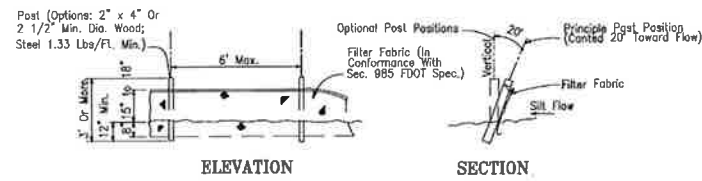
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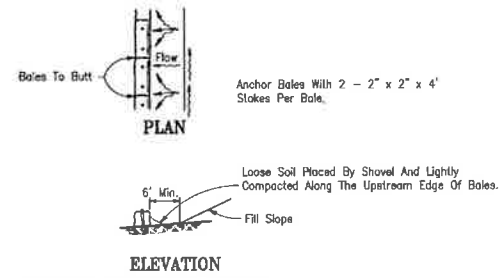


SILT BARRIER
Figure 1



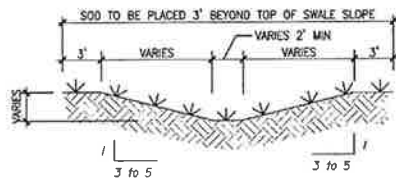
Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (LF).

TYPE III SILT FENCE
Figure 2

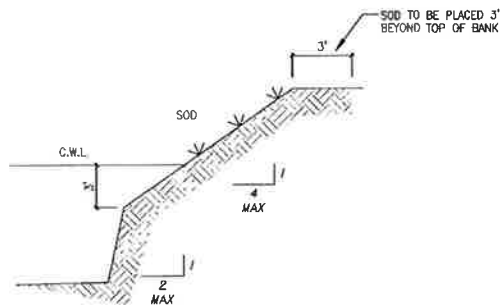


TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

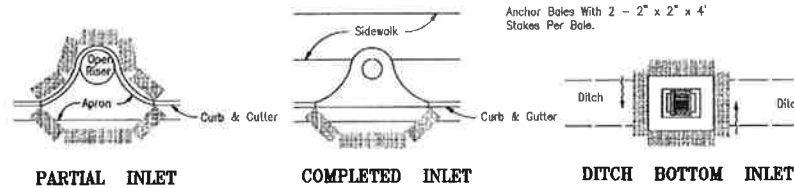
BARRIERS FOR FILL SLOPES



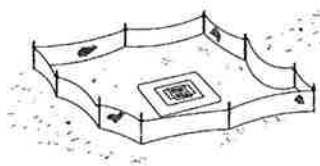
TYPICAL SWALE SECTION
Figure 4



TYPICAL RETENTION/DETENTION POND SECTION
Figure 5



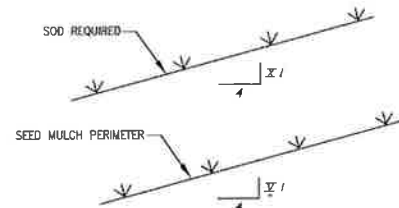
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
Figure 6



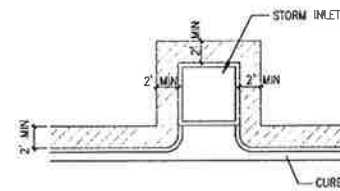
Type III Silt Fence Protection Around Ditch Bottom Inlets.

Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used of permanent bodies of water.

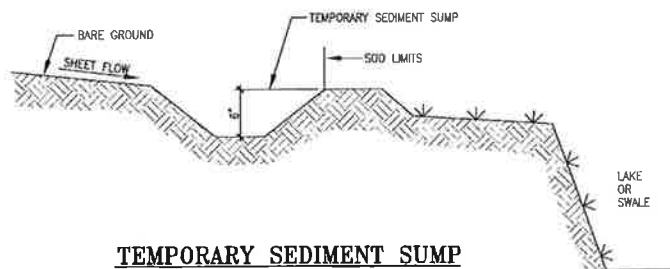
SILT FENCE APPLICATIONS
Figure 7



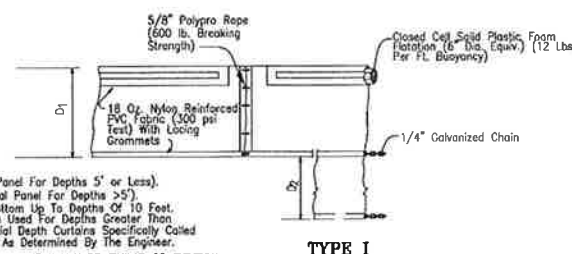
GRASS SLOPES
Figure 8



SOD ALONG CURB AND AROUND INLET
Figure 9



TEMPORARY SEDIMENT SUMP
Figure 10



D₁ = 5' Std. (Single Panel For Depths 5' or Less).
D₂ = 5' Std. (Additional Panel For Depths >5').
Curtain To Reach Bottom Up To Depths Of 10 Feet.
Type (2) Panels To Be Used For Depths Greater Than 10 Feet Unless Special Depth Curtains Specifically Called For In The Plans Or As Determined By The Engineer.
NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS

STORMWATER POLLUTION PREVENTION DETAILS
NOT TO SCALE

Best Management Practices

This plan has been prepared to ensure compliance with appropriate conditions of the Miami-Dade County Land Development Regulations, the Rules of the Florida Department of Environmental Protection, Chapter 17-25, F.A.C. The plan addresses the following areas:

1. Protection of preserved/conserved wetland habitats during construction.
2. Protection of preserved/conserved upland habitats during construction.
3. General erosion control.
4. Protection of surface water quality during and after construction.
5. Control of wind erosion.

The various techniques or actions identified under each section indicate the appropriate situation when the techniques should be employed. Also identified is a cross-reference to a diagram or figure representing the technique.

It should be noted that the measures identified on this plan are only suggested BMP(s). The contractor shall provide pollution prevention and erosion control measures as specified in FDOT Index #100 and as necessary for each specific application.

SECTION 1 PROTECTION OF PRESERVED/CONSERVED WETLAND HABITATS DURING CONSTRUCTION

- 1.1 Wetland habitat protection BMPs shall be utilized for any development parcel which contains or abuts a preserved wetland and/or for any parcel which contains or abuts a mitigated wetland.
- 1.2 Preserved wetlands shall be protected prior to the start of site-work construction. Protection shall consist of a silt barrier constructed along the entire perimeter of the preserved wetland as shown in Figure 1. The silt barrier shall be constructed along the outer edge of the required 30 foot buffer adjoining preserved wetlands. The silt barrier may be either a silt fence as shown in Figure 2 or hay bales as shown in Figure 3.
- 1.3 Mitigated wetlands shall be protected as soon as practical after their construction. Protection shall be the same as for preserved wetlands.
- 1.4 Silt barriers used for wetland protection shall remain in place for the duration of any site-work or building construction located in the vicinity of the wetland. Silt barriers erected during development shall be designed and maintained to not impound intermittent standing water for more than 72 hours. Silt barriers, any silt which accumulates behind these barriers and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

SECTION 2 PROTECTION OF PRESERVED/CONSERVED UPLAND HABITATS

- 2.1 Barricades shall be placed around all protected (preserved) habitats including mesic and uplands during development.
- 2.2 Silt barriers required for the protection of preserved habitats other than wetlands shall be constructed along the perimeter of the preserved area in accordance with implementation guidelines contained in Section 1.4.

SECTION 3 GENERAL EROSION CONTROL

- 3.1 General erosion control BMPs shall be employed to minimize soil erosion and potential lake slope cave-ins. While the various techniques required will be site and plan specific, they should be employed as soon as possible during construction activities.
- 3.2 Cleared site development areas not continually scheduled for construction activities shall be covered with hay or over-seeded and periodically watered sufficient to stabilize the temporary groundcover.
- 3.3 Slopes of banks of retention/detention ponds shall be constructed not steeper than 4H:1V from top of bank to two feet below normal water level as shown in Figure 5.
- 3.4 All grass slopes constructed steeper than 4H:1V shall be sodded as soon as practical after their construction as shown in Figure 8.
- 3.5 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before silt barriers, shown in Figure 6, are removed.
- 3.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or swale, a temporary sediment sump shall be constructed, as shown in Figure 10. The temporary sediment sump shall remain in place until vegetation is established on the ground draining to the sump.

SECTION 4 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION

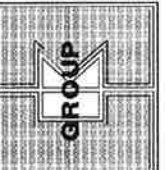
- 4.1 Surface water quality shall be maintained by employing the following BMPs in the construction planning and construction of all improvements.
- 4.2 Where practical stormwater shall be covered by swales. Swales shall be constructed as shown in Figure 5.
- 4.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following:
 - a. In general erosion shall be controlled at the furthest practical upstream location.
 - b. Stormwater inlets shall be protected during construction as shown in Figures 6 and 7. Protection measures shall be employed as soon as practical during the various stages of inlet construction. Silt barriers shall remain in place until sodding around inlets is complete.
 - c. Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease, and lubricants from entering site drainage features including stormwater collection and treatment systems. Contractors shall provide broad dikes, hay bales or silt screens around, and sediment sumps within, such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use, absorbent filter pads to clean up spills as soon as possible after occurrence.
 - d. Silt barriers, any silt which accumulates behind the barriers, and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

SECTION 5 CONTROL OF WIND EROSION

- 5.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:
 - a. Bare earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speed if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction.
 - b. As soon as practical after completion of construction, bare earth areas shall be vegetated.
 - c. At any time both during and after site construction that watering and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods as are necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a silt fence shown in Figure 2 except the minimum height shall be 4 feet.

NOTES

1. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION



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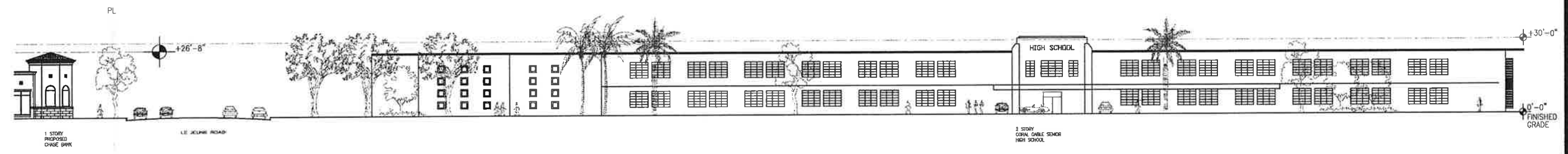
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CKE project no: 1269
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drawn by: R.G.
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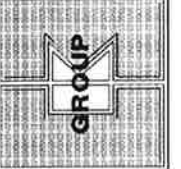


PARTIAL / EAST - WEST ELEVATION
N.T.S.



PARTIAL / EAST - WEST ELEVATION
N.T.S.

MASSING PLAN
N.T.S.



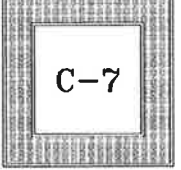
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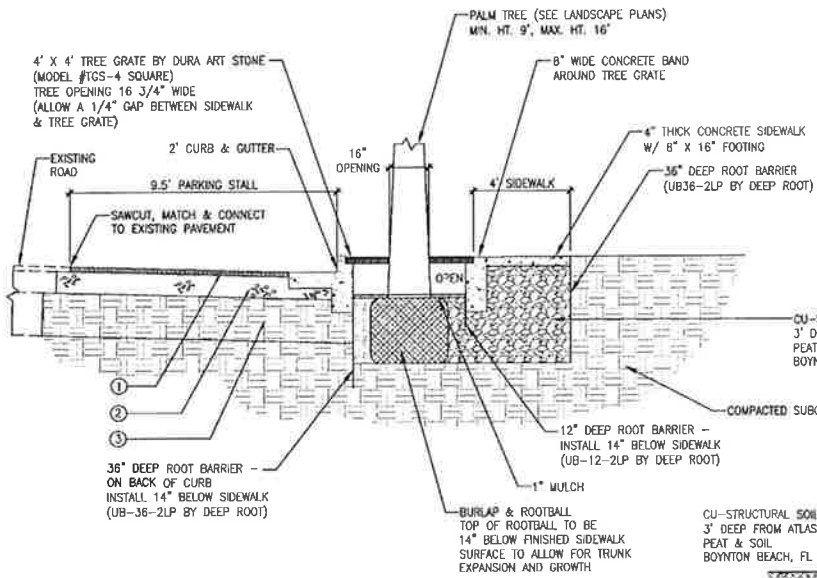
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Chase project no: 14903
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scale: AS SHOWN
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BQA COMMENTS
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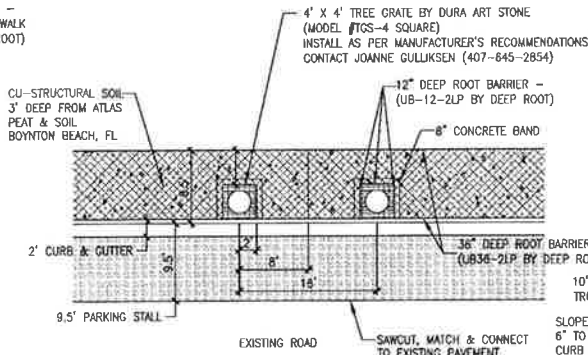
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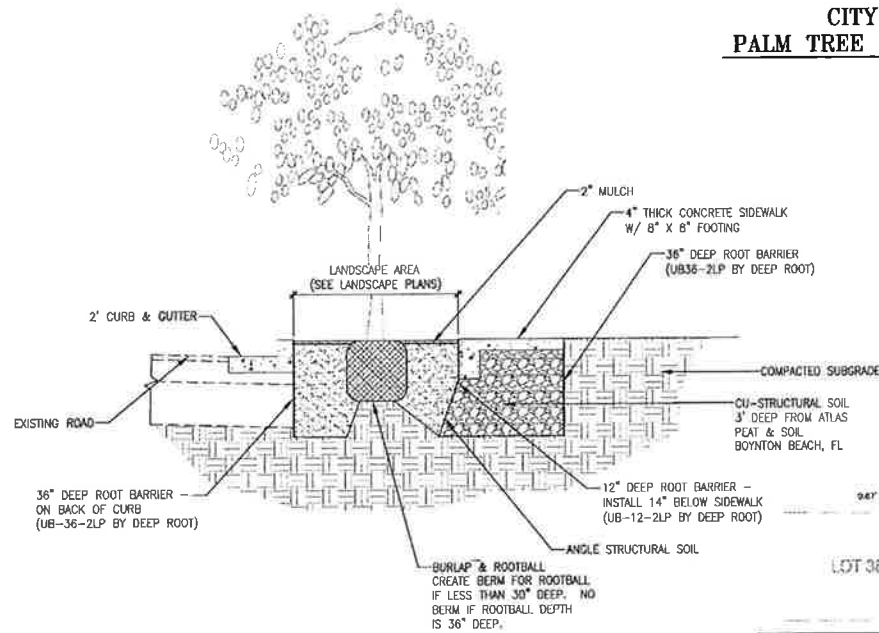


CITY OF CORAL GABLES
PALM DETAIL W/ TREE GRATE
NOT TO SCALE

- LEGEND**
- ① 1 1/2\"/>



CITY OF CORAL GABLES
PALM TREE GRATE & SIDEWALK DETAIL
NOT TO SCALE



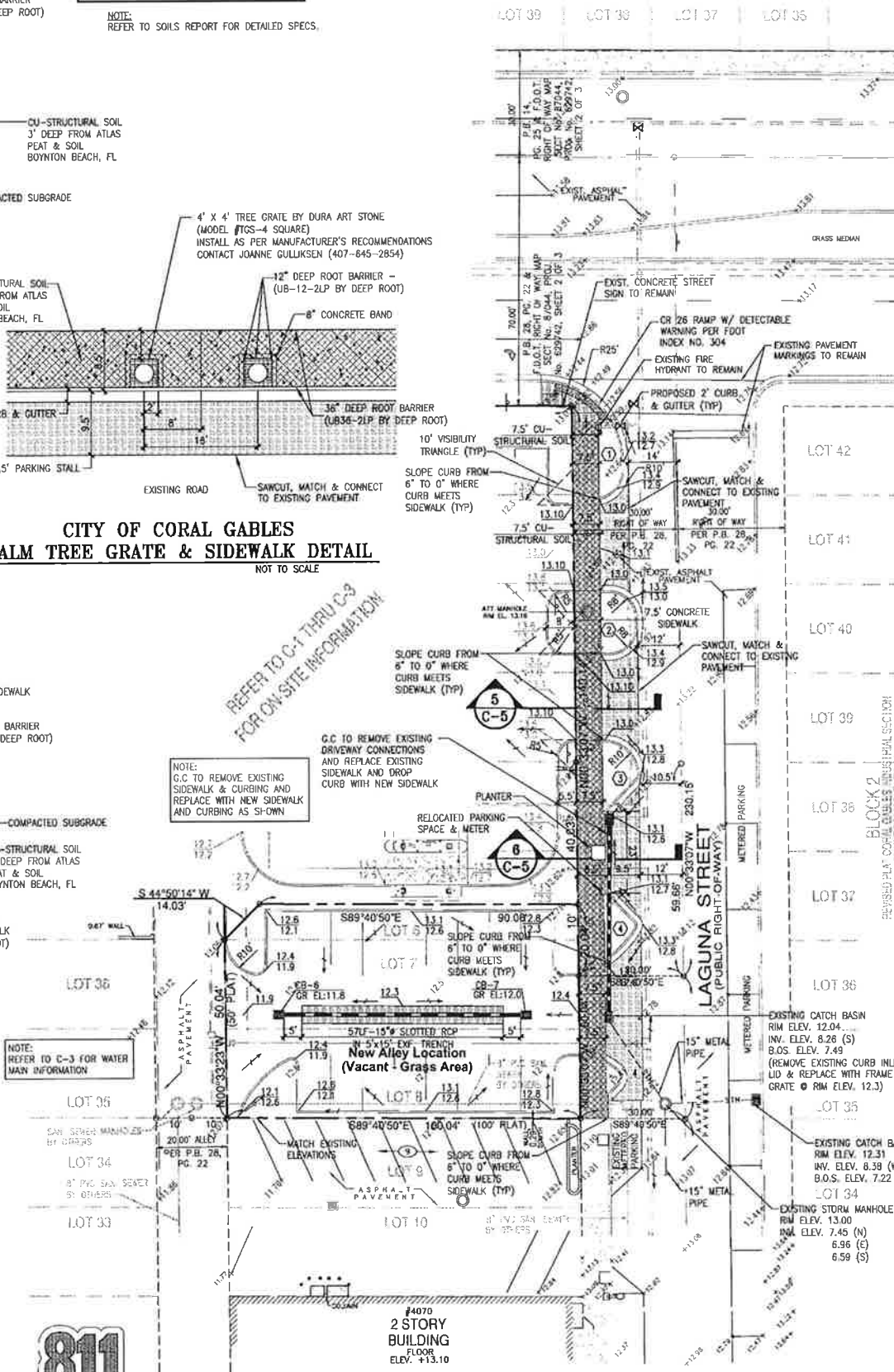
CITY OF CORAL GABLES
TYPICAL PLANTER SECTION
NOT TO SCALE

CU-STRUCTURAL SOIL CALCULATIONS

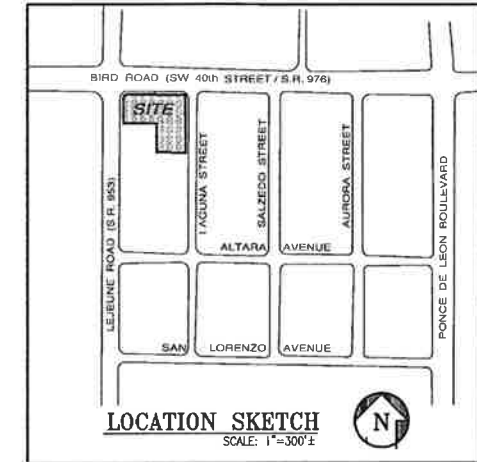
LANDSCAPE ISLAND	PLANTER AREA	REQUIRED ROOT SPACE AREA	REQUIRED CU-STRUCTURAL SOIL	PROVIDED CU-STRUCTURAL SOIL
①	116 S.F.	470 S.F.	354 S.F.	
②	146 S.F.	470 S.F.	324 S.F.	
③	129 S.F.	470 S.F.	341 S.F.	
④	93 S.F.	470 S.F.	377 S.F.	
TOTAL	484 S.F.	2,350 S.F.	1,396 S.F.	1,422 S.F.



LAGUNA STREET & ALLEY WAY PAVING AND DRAINAGE PLAN

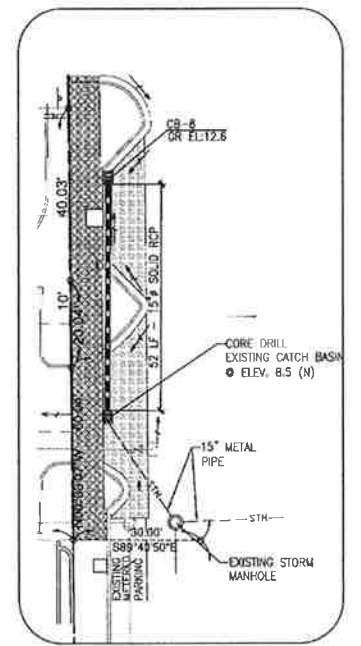


LEGAL DESCRIPTION (ALLEY):
Lots 7 and 8, in Block 1, of the REVISED PLAT CORAL CABLES INDUSTRIAL SECTION, according to the plat thereof recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida; together with that portion of Lot 6 being more particularly described as follows:
Begin at the Southeast corner of said Lot 6, thence run North along the East line of said Lot 5, a distance of 10 feet; thence Westerly a distance of 80.06 feet; thence run in a Southeasterly direction a distance of 14.14 to the Southwest corner of said Lot 6; thence East along the South line of said Lot 6, a distance of 100.24 feet to the point of beginning; containing 4,080 square feet more or less.



- NOTES**
- SITE CONTRACTOR SHALL GRADE ALL LANDSCAPED AREAS TO AN ELEVATION 3" BELOW TOP OF CURB OR SIDEWALK. REFER TO LANDSCAPE DRAWINGS.
 - SITE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL SITE, INCLUDING BERMS AND SLOPES, IF ANY, COORDINATE WITH LANDSCAPE DRAWINGS AND LANDSCAPE CONTRACTOR.
 - SITE CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE OVER ENTIRE SITE. NOTIFY CKE GROUP OF ANY PROBLEM AREAS.
 - GENERAL CONTRACTOR SHALL PROVIDE SLEEVES FOR LANDSCAPE IRRIGATION LINES PRIOR TO PAVING, COORDINATE WITH IRRIGATION DRAWINGS AND IRRIGATION CONTRACTOR.
 - SILT BARRIER FENCE MUST BE INSTALLED PRIOR TO START ANY WORK, AND MUST BE MAINTAINED IN PLACE UNTIL COMPLETION OF PROJECT.
 - SITE CONTRACTOR SHALL REVIEW SOILS REPORT EXISTING SITE LBR AND RECOMMENDATIONS TO IMPROVE IT IF NECESSARY TO MIN. LBR-40
 - REFER TO SD-1 FOR DEMOLITION INFORMATION FOR LAGUNA STREET INCLUDING UTILITY RELOCATION.

- LEGEND**
- DIRECTION OF DRAINAGE FLOW ARROW
 - 12.0 EXISTING ELEVATION
 - 12.0 PROP. TOP OF CURB & FINISHED GRADE ELEV.
 - 11.5 PROPOSED ELEVATIONS
 - CU-STRUCTURAL SOIL AREA



LAGUNA STREET DRAINAGE PLAN

- GENERAL NOTES**
- ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 10 FEET OF ANY AREA TO BE FILLED. THIS INCLUDES ALL BUILDING AREAS AND PAVING AREAS WHICH ARE BEING FILLED. ANY SUCH MATERIAL SHALL BE REPLACED WITH APPROVED GRANULAR FILL WHICH SHALL BE COMPACTED IN 8" LAYERS TO 100% OF MAXIMUM DENSITY AS PER AASHTO T-99C.
 - ALL UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE CONSTRUCTED, INSTALLED, AND ACCEPTED BY THE CITY OF CORAL GABLES ENGINEERING DEPARTMENT.
 - STABILIZED SUBGRADE SHALL HAVE LIMEROCK BEARING RATION (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99C.
 - LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 911 OF THE FLORIDA D. O. T. STANDARD SPECIFICATIONS, EXCEPT THAT THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE 70%.
 - ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE S-III.
 - PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D. O. T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
 - ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
 - PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A. S. T. M. SPECIFICATIONS C-478 AND 641, AND CITY OF CORAL GABLES ENGINEERING DEPARTMENT MINIMUM STANDARDS.
 - CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
 - REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A. S. T. M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION.
 - ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATERTIGHT.
 - ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2 : 1 CEMENT MORTAR MIX.
 - REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF A. S. T. M. SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 FLORIDA D. O. T. STANDARD SPECIFICATIONS. (LATEST EDITION)
 - ALL DRAINAGE SYSTEM PIPE JOINTS INCLUDING THOSE OUTSIDE THE EXFILTRATION TRENCH, TO BE WRAPPED IN FDOT APPROVED FILTER FABRIC WITH SECURING DEVICE (INDEX No. 280, FDOT DESIGN STANDARDS JANUARY 2004)
 - ALL WORKMANSHIP, INSTALLATIONS, AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE CITY OF CORAL GABLES ENGINEERING DEPARTMENT MINIMUM STANDARDS.
 - THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON AS-BUILT INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C. K. E. GROUP, INC. AND TO THE CITY OF CORAL GABLES ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED AS-BUILT DRAWINGS PRIOR TO FINAL INSPECTION BY THE CITY OF CORAL GABLES ENGINEERING DEPARTMENT OF UNDERGROUND UTILITIES.
 - SOIL BORING RECORDS ARE PART OF THE BID DOCUMENTS. IN THE EVENT OF DISCREPANCY BETWEEN THE SPECIFICATIONS AND THE SOILS REPORT RECOMMENDATIONS, THE MOST STRINGENT OF THE TWO SHALL BE USED.

PROPOSED DRAINAGE SCHEDULE

STRUCTURE #	TYPE	GRATE EL.	INVERT ELEVATIONS			
			N	S	E	W
CB-6	"p"	11.8			4.0 *	
CB-7	"p"	12.0				4.0 *
CB-8	"p"	12.6		8.5		4.0 *

* PROVIDE POLLUTION RETARDANT BAFFLES AT ALL EXFILTRATION TRENCHES

NOTE:
Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. CG-10-R, Elevation +13.09, located on November 24, 2010 near the intersection of Bird Road and University Drive on top of a headwall at the Coral Gables Canal Bridge.

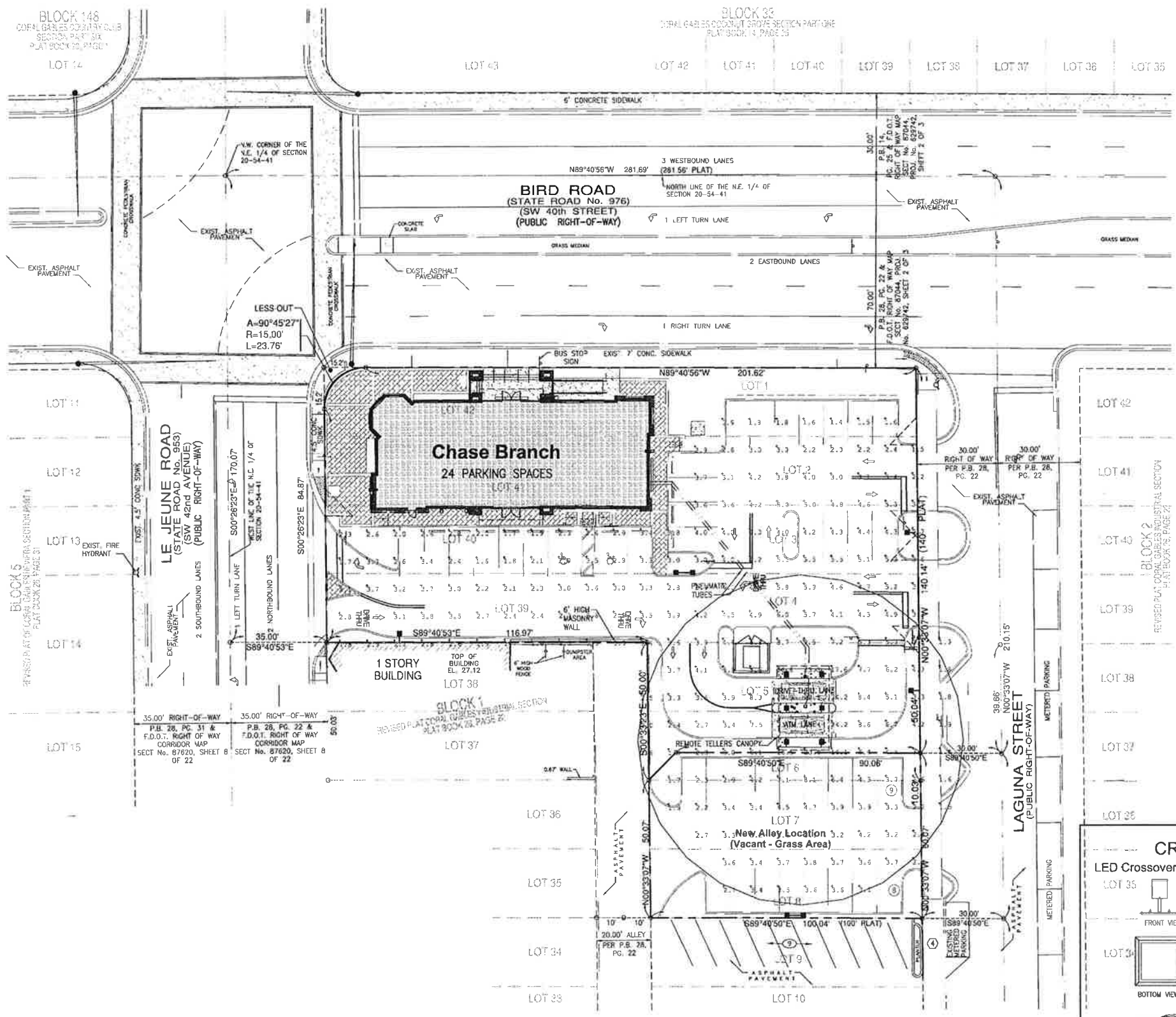
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CORAL GABLES, FLORIDA

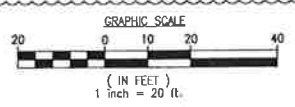
Chase project no: 14903
CKE project no: 1269
scale: AS SHOWN
date: 9-09-10
drawn by: R.G.
revisions

15500 NEW BARN ROAD SUITE 106 MIAMI LAKES, FLORIDA 33014 (305) 558-4124

RD-1



SITE ILLUMINATION PLAN
1"=20'-0"



NOTES

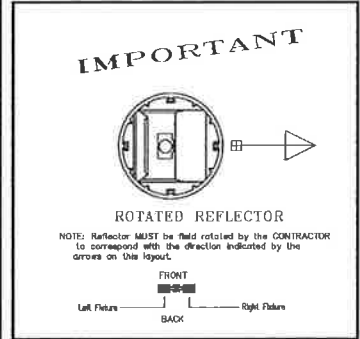
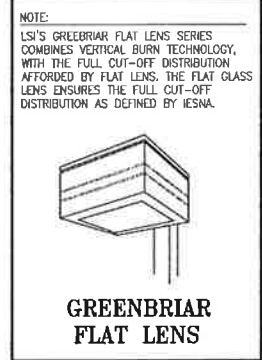
- Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.
- This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Statistical Area Summary

	Avg	Max	Min	Avg/Min	Max/Min
SUMMARY 60' D/T RADIUS	6.05	29.4	1.5	4.03	19.60
SUMMARY UNDER CANOPY	19.33	29.4	6.4	3.02	4.59
SUMMARY INSIDE LOT	4.53	29.4	1.4	3.24	21.00

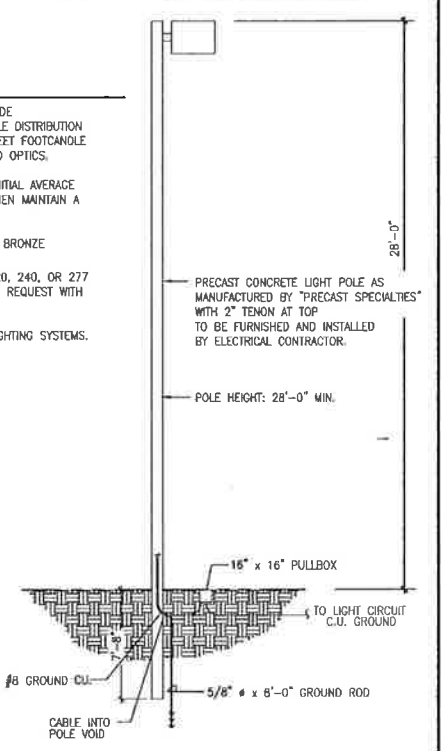
NOTES

- MAINTAINED FOOTCANDLE VALUES AT GRADE, USING A .80 MAINTENANCE FACTOR.
- POLES / LUMINAIRES SHALL BE RATED FOR 146 MPH.
- FIXTURE SUPPORT SHALL BE PER NEC 410-15.

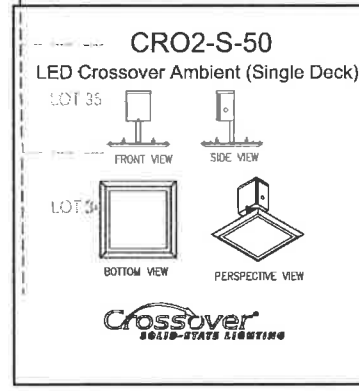


NOTES:

- SITE LIGHTING TO BE METAL HALIDE VERTICAL BURN FIXTURE. MULTIPLE DISTRIBUTION SHAPES WILL BE ALLOWED TO MEET FOOTCANDLE REQUIREMENTS USING SEGMENTED OPTICS.
- LOT IS REQUIRED TO HAVE AN INITIAL AVERAGE OF 10-12 FOOTCANDLES AND THEN MAINTAIN A MINIMUM OF 1 FOOTCANDLE.
- GREENBRIAR FINISH TO BE DARK BRONZE
- BALLAST SHALL BE MULTI TAP 120, 240, OR 277 VOLT. 480 VOLT AVAILABLE UPON REQUEST WITH A (2) YEAR WARRANTY.
- APPROVED MANUFACTURER LSI LIGHTING SYSTEMS.

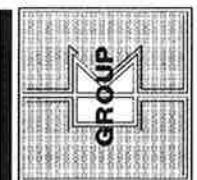


GREENBRIAR LIGHTING
NOT TO SCALE



Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
[Symbol A]	3	A	SINGLE	GM-FP-400-PSMVR-F 25' POLE 3' BASE	0.800	44000	19528	452
[Symbol B]	2	B	BACK-BACK	GM-S-400-PSMVR-F 25' POLE 3' BASE	0.800	44000	52274	904
[Symbol C]	6	C	SINGLE	CRO2-S-LED-50-CW-UE	0.900	N.A.	4958	60

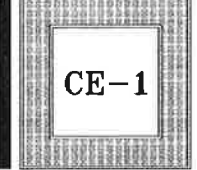


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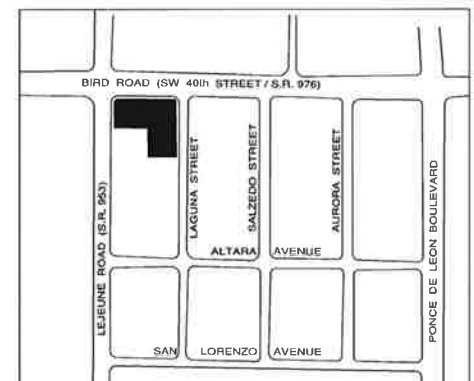
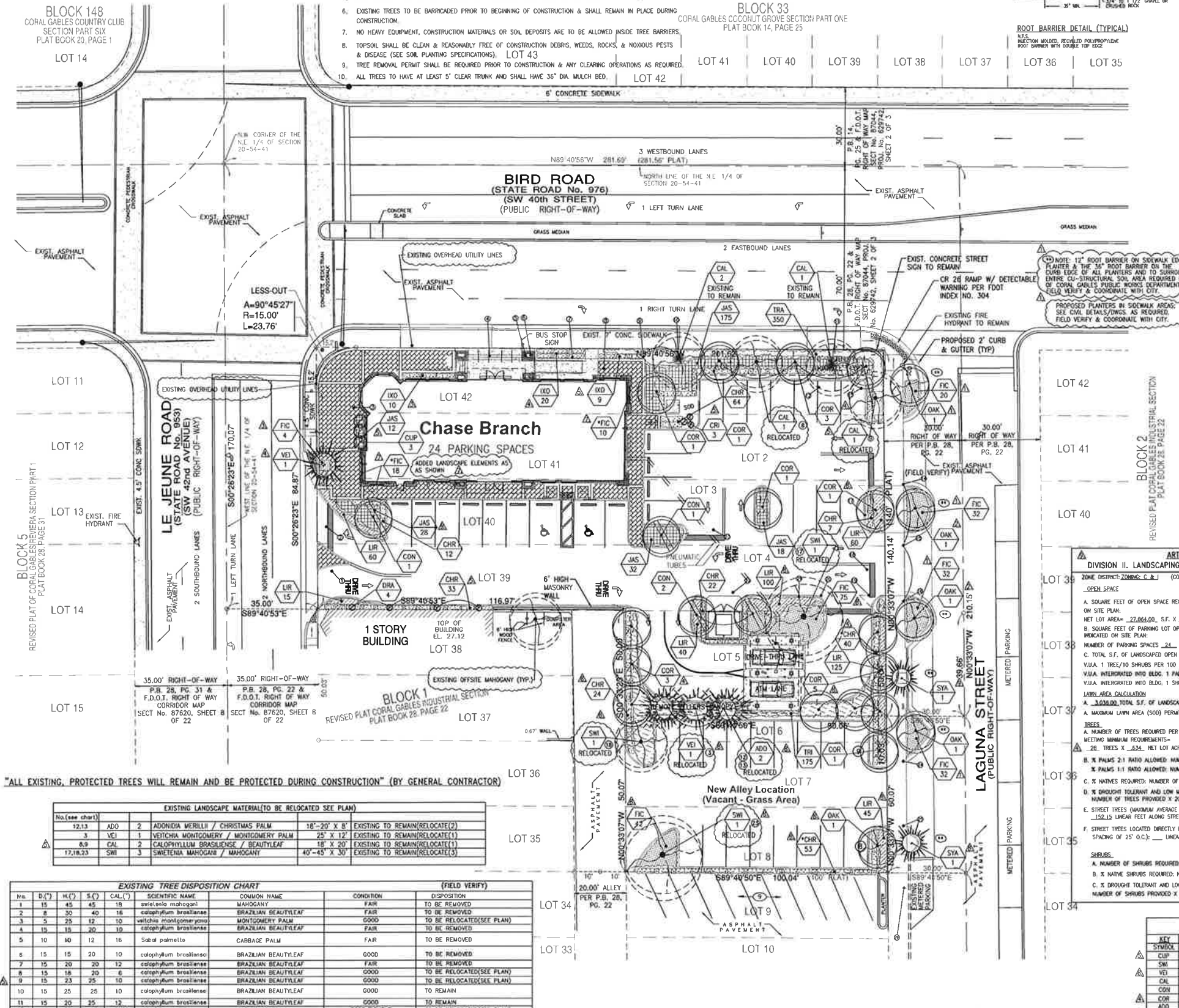
Chase project no: 14903
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scale: AS SHOWN
date: 9-09-10
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revisions seal



- NOTES:
- SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.
 - ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER & SHALL BE INSTALLED AS SPECIFIED IN "GRADES AND STANDARDS" FOR NURSERY PLANTS" FLORIDA DEPT. OF AGRICULTURE GRADES AND STANDARDS, CURRENT EDITION RESPECTIVELY.
 - LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC LAWN IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE & 50% MIN. OVERLAP TO ALL LANDSCAPED AREAS; SYSTEM SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED.
 - ALL EXISTING TREES SHALL BE TRIMMED AS PER "THE AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-1995" CURRENT EDITION RESPECTIVELY.
 - LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER & FLORIDA HOLLY FROM SITE.
 - EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
 - NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
 - TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS). LOT 43
 - TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
 - ALL TREES TO HAVE AT LEAST 5' CLEAR TRUNK AND SHALL HAVE 36" DIA. MULCH BED.

BLOCK 148
CORAL GABLES COUNTRY CLUB
SECTION PART SIX
PLAT BOOK 20, PAGE 1

BLOCK 33
CORAL GABLES COGOLIT GROVE SECTION PART ONE
PLAT BOOK 14, PAGE 25



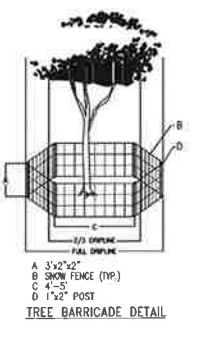
ZONING: C & I
(COMMERCIAL & INDUSTRIAL)
SITE ANALYSIS

TOTAL LAND AREA:	27,864.00 SQ. FT. (0.635± AC)
TOTAL BUILDING COVERAGE:	4,120.00 SQ. FT. (14.89 %)
TOTAL LANDSCAPED AREA:	3,984.03 SQ. FT. (14.40 %)
TOTAL PAVED AREA & WALKS:	19,559.97 SQ. FT. (70.71 %)
PERVIOUS AREA (OPEN AREA):	3,984.03 SQ. FT. (14.40 %) (0.091± AC)
IMPERVIOUS AREA:	23,679.97 SQ. FT. (85.60 %) (0.544± AC)

PARKING ANALYSIS

TOTAL PARKING SPACES REQUIRED:	17 SPACES
(1 SP PER 250 SF. BLDG. : 4120 S.F./250=17)	
HANDICAP SPACES REQUIRED:	1 SPACES

ALL NEW TREES/PALMS SHALL BE INSTALLED IN COMPLIANCE WITH "TPL PLANT THE RIGHT TREE IN THE RIGHT PLACE"



ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION (BY GENERAL CONTRACTOR)

EXISTING LANDSCAPE MATERIAL (TO BE RELOCATED SEE PLAN)

NO. (SEE CHART)	ADO	2	ADONIDA MERILLI / CHRISTMAS PALM	18'-20' X 8'	EXISTING TO REMAIN/(RELOCATE)(2)
12,13	3	VEI	VEITCHIA MONTGOMERY / MONTGOMERY PALM	25' X 12'	EXISTING TO REMAIN/(RELOCATE)(1)
3	5	25	CALOPHYLLUM BRASILENSE / BEAUTYLEAF	18' X 20'	EXISTING TO REMAIN/(RELOCATE)(1)
17,18,23	SWI	3	SMIETENA MAHOGANI / MAHOGANI	40'-45' X 30'	EXISTING TO REMAIN/(RELOCATE)(5)

EXISTING TREE DISPOSITION CHART (FIELD VERIFY)

NO.	D. (")	H. (')	S. (")	CAL. (")	SCIENTIFIC NAME	COMMON NAME	CONDITION	DISPOSITION
1	15	45	45	18	SWietenia mahogani	MAHOGANY	FAIR	TO BE REMOVED
2	8	30	40	18	Calophyllum brasiliense	BRAZILIAN BEAUTYLEAF	FAIR	TO BE REMOVED
3	5	25	32	10	Veitchia montgomeryana	MONTGOMERY PALM	GOOD	TO BE RELOCATED(SEE PLAN)
4	15	20	25	10	Calophyllum brasiliense	BRAZILIAN BEAUTYLEAF	GOOD	TO BE REMOVED
5	10	40	12	18	Sabal palmetto	CABBAGE PALM	FAIR	TO BE REMOVED
6	15	15	20	10	Calophyllum brasiliense	BRAZILIAN BEAUTYLEAF	GOOD	TO BE REMOVED
7	15	20	20	12	Calophyllum brasiliense	BRAZILIAN BEAUTYLEAF	FAIR	TO BE REMOVED
8	15	20	20	8	Calophyllum brasiliense	BRAZILIAN BEAUTYLEAF	GOOD	TO BE RELOCATED(SEE PLAN)
9	15	23	25	10	Calophyllum brasiliense	BRAZILIAN BEAUTYLEAF	GOOD	TO BE RELOCATED(SEE PLAN)
10	15	25	25	10	Calophyllum brasiliense	BRAZILIAN BEAUTYLEAF	GOOD	TO REMAIN
11	15	30	25	12	Calophyllum brasiliense	BRAZILIAN BEAUTYLEAF	GOOD	TO REMAIN
12	4	30	18	6X2	Adonidia merillii / Christmas Palm	CHRISTMAS PALM	GOOD/DOUBLE	TO BE RELOCATED(SEE PLAN)
13	4	18	15	6X2	Adonidia merillii / Christmas Palm	CHRISTMAS PALM	GOOD/DOUBLE	TO BE RELOCATED(SEE PLAN)
14	15	24	24	12	Quercus virginiana	LIVE OAK	GOOD	TO BE REMOVED
15	15	24	24	12	Quercus virginiana	LIVE OAK	GOOD	TO BE REMOVED
16	15	24	24	12	Quercus virginiana	LIVE OAK	GOOD	TO BE REMOVED
17	15	45	30	15	Swietenia mahogani	MAHOGANY	GOOD	TO BE RELOCATED(SEE PLAN)
18	15	45	20	12	Swietenia mahogani	MAHOGANY	GOOD	TO BE RELOCATED(SEE PLAN)
19	15	45	25	12	Schottaria octonophylla	MIMOSA	GOOD	TO BE RELOCATED(SEE PLAN)
20	15	30	10	4	Bischofia javanica	BISHOPWOOD(EKOTIC-CAT#)	POOR	TO BE REMOVED
21	15	30	10	4	Bischofia javanica	BISHOPWOOD(EKOTIC-CAT#)	POOR	TO BE REMOVED
22	15	45	40	36	Bischofia javanica	BISHOPWOOD(EKOTIC-CAT#)	POOR	TO BE REMOVED
23	15	40	20	12	Swietenia mahogani	MAHOGANY	GOOD	TO BE RELOCATED(SEE PLAN)
24	15	40	20	12	Quercus virginiana	LIVE OAK	GOOD	TO BE REMOVED
25	15	34	24	12	Quercus virginiana	LIVE OAK	GOOD	TO BE REMOVED
26	15	24	24	12	Quercus virginiana	LIVE OAK	GOOD	TO BE REMOVED



- NOTE:
- LANDSCAPE CONTRACTOR SHALL CALL THE LANDSCAPE ARCHITECT FOR A FINAL COMPLIANCE INSPECTION 72 HOURS MINIMUM BEFORE INSPECTION IS SCHEDULED, CALL (561)795-0443 AS REQUIRED.
 - LANDSCAPE CONTRACTOR TO SUPPLY & INSTALL 3" MINIMUM DEPTH "PINE BARK MULCH AS REQUIRED BY OWNER.

ARTICLE 5 - DEVELOPMENT STANDARDS

DIVISION II. LANDSCAPING-SECTION 5-1105 / CHAPTER 18A - ORDINANCE 98-13	REQUIREMENTS	PROVIDED
OPEN SPACE	REQUIRED	PROVIDED
A. SQUARE FEET OF OPEN SPACE REQUIRED BY ORDINANCE 1100A, AS INDICATED:	10,028	14,408
ON SITE PLAN: NET LOT AREA = 27,864.00 S.F. X 10% = 2,786.40 S.F. B. SQUARE FEET OF OPEN SPACE REQUIRED BY SECTION 8.2, AS INDICATED ON SITE PLAN:	240	240
NUMBER OF PARKING SPACES 24 X 10 S.F. PER PARKING SPACE = 240	240	240
C. TOTAL S.F. OF LANDSCAPED OPEN SPACE REQUIRED BY SECTION 8.2, A+B:	1,068.00	3,854.03
V.I.A. 1 TREE/10 SHRUBS PER 100 SQUARE FOOT INTERIOR LANDSCAPE AREA(1,132.34)	11,323.4	11,224
V.I.A. INTERGRADED WILD BLDG. 1 PALM OR MEDIUM SHADE TREE PER 25 L.F.	5	5
V.I.A. INTERGRADED INTO BLDG. 1 SHRUB PER 2 L.F.	60	60
LAWN AREA CALCULATION	1,036.00	1,884.63
A. MAXIMUM LAWN AREA (500) PERMITTED = .20% X .807.20 S.F.	607.20	607.20
TREES:	.28	.28
A. NUMBER OF TREES REQUIRED PER NET LOT ACRE, LESS EXISTING NUMBER OF TREES MEETING MINIMUM REQUIREMENTS =	.28	.28
B. % TREES X .50% NET LOT ACRES - NUMBER OF EXISTING TREES =	.28	.28
C. % TREES X 1:1 RATIO ALLOWED: NUMBER OF TREES PROVIDED X .50% =	.28	.28
D. % TREES X 1:1 RATIO ALLOWED: NUMBER OF TREES PROVIDED X .50% =	.28	.28
E. STREET TREES (MINIMUM AVERAGE SPACING OF 30' O.C.): =152.15 LINEAR FEET ALONG STREET/350'	.5	.5
F. STREET TREES LOCATED DIRECTLY BENEATH POWER LINES (MINIMUM AVERAGE SPACING OF 20' O.C.): = 100.00' LINEAR FEET ALONG STREET/250'	N/A	N/A
SHRUBS:	.255	.255
A. NUMBER OF SHRUBS REQUIRED: NUMBER OF TREES REQUIRED X 10=	.28	.28
B. % NATIVE SHRUBS REQUIRED: NUMBER OF SHRUBS PROVIDED X 50% =	.28	.255
C. % DROUGHT TOLERANT AND LOW MAINTENANCE PROVIDED:	.28	.255

TREE BARRICADE NOTES:

- ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 6 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 16"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHICH ROOT PRUNED FULL TRENCH WITH FIBROUS MATERIAL SUCH AS LEAVES OR WOOD SHAVES. BARRICADE SHALL BE GIVE A WEEK DURING ROOT PRUNING. TURN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LOCATED PRIOR TO NAME.
- ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-1995" CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EQUIPMENT FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC. IRRIGATION & SHALL REMAIN.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
- TRANSPLANT TREE WITH 60" TREE SPINE OR TREE CRONE. TRANSPLANTING HOLE SHALL BE AT LEAST 1 1/2 BIGGER THAN THE AREA THAT WAS BROCKEN FOR TRANSPORTING.
- SET THE TREE NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING AT 1"- GRADE LEVEL.
- PROMOTE OAK TO RETAIN WATER. ELIMINATE AIR PROCKETS WITH THE USE OF WATER HOSE. HOLE SHOULD BE FILLED WITH A MIXTURE OF GOOD TOP SOIL (SEE SPECIFICATION SHEET).
- A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30' & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS AND INTERSECTIONS AS REQUIRED.



LANDSCAPE LEGEND

KEY	QTY.	PLANT NAME / COMMON NAME	NATIVE	SIZE	SPEC.
CLIP 3	---	CUPRESSUS SEMPERVERENS / ITALIAN CYPRESS	---	10'-12' HGT.	75 GAL MIN. "FLORIDA FANCY" MATCHED
SWI 3	---	SMIETENA MAHOGANI / MAHOGANY	---	45'-50'	EXISTING TO REMAIN - (RELOCATE)(5)
VEI 1	---	VEITCHIA MONTGOMERYANA / MONTGOMERY PALM	---	18'-18" X 10" - 7"	F.C.C. (RELOCATE)(1) EXISTING
CAL 4	---	CALOPHYLLUM BRASILENSE / BEAUTYLEAF	---	18' X 20" - 20"	EXISTING TO REMAIN (RELOCATE)(1)
CON 4	---	CONOCARPUS SERICEUS / SILVER BUTTANWOOD	---	12'-14' X 6" - 7"	45 GAL 2" CAL. B.H. 6" C.T. STANDARD
COR 16	---	CORDIA SEBESTENA / ORANGE ORGER	---	12'-14' X 6" - 7"	65 GAL 2" CAL. B.H. 5" C.T.
ADO 2	---	ADONIDA MERILLI / CHRISTMAS PALM	---	18"-20" X 18"	EXISTING TO REMAIN (RELOCATE)(2)
QUA 5	---	QUERCUS VIRGINIANA / LIVE OAK	---	18"-20" X 12"	F.G. B.C.T. MIN.
SYA 1	---	SYZYGIA AMARA / OVERTOP PALM	---	10'-12' X 8"	25 GALLON AS SHOWN
CHR 3	---	CHRISMA ASSAICUM / TREE CRANUM	---	10'-12' X 8"	AS SHOWN
FIC 235	---	FICUS MICROCARPA / "GREEN ISLAND"	---	14' X 14' X 3" GAL	24" O.C. FULL TO BASE
CHR 93	---	CHRYSOBALANUS ICADO / "RED TIP"	---	36" X 24" X 7" GAL	24" O.C. FULL TO BASE
CHR 167	---	CHRYSOBALANUS ICADO / "RED TIP"	---	24" X 24" X 3" GAL	24" O.C. FULL TO BASE
CLIP 175	---	CLIPSA GUTIERREZII / "SMALL LEAF CLUSA"	---	36" X 24" X 7" GAL	24" O.C. FULL TO BASE
JAS 285	---	JASMINUM MULTIFLORUM / DOORWAY JASMINE	---	24" X 18" X 3" GAL	24" O.C. FULL
IRA 150	---	TRADESCANTIA PALLIDA / "PURPUREA"	---	6" 1 GAL FULL	12" O.C.
ORA 4	---	DRACAENA MARGIANA / "RED LEDGED DRACAENA"	---	5'-6" HGT. 25 GAL	AS SHOWN - FULL MULTI-STEM
IRA 39	---	EXORA NOIRA USANI / "PINK EXORA"	---	24" X 18" X 3" GAL	24" O.C. FULL
IRA 505	---	LIROPE MUSCARI / "EVERGREEN GIANT"	---	6" 1 GAL FULL	12" O.C.
FIC 28	---	FICUS PUMILA / CREEPING FIG(FICUS REPENS)	---	6" 1 GAL FULL	6" O.C.

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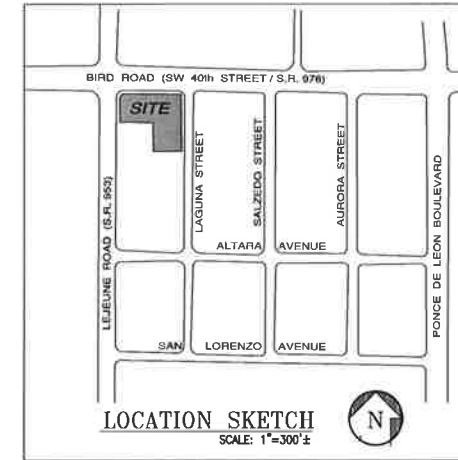
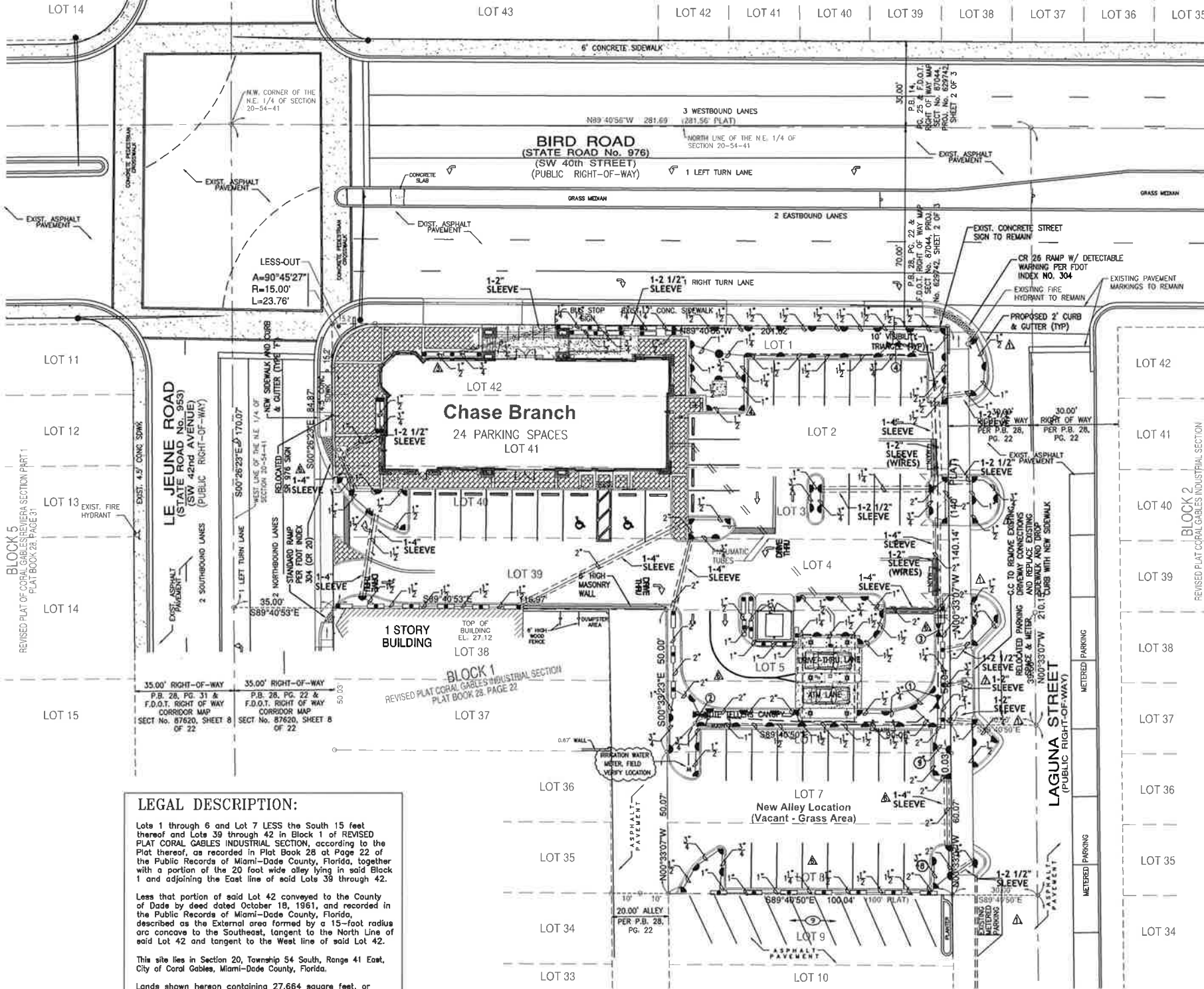
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scale: AS SHOWN
date: 9-09-10
drawn by: RICK BARTLETT
Revisions
Seal

9/07/11 ADD LANDSCAPE ELEMENTS (R.B.)
7/26/11 UPDATED SITE PLAN (R.B.)
6/23/11 REVISED BOA COMMENTS (R.B.)
6/20/11 REVISED PER CITY (R.B.)
5/19/11 REVISED PER CITY (R.B.)
5/18/11 REVISED PER CITY (R.B.)
10/23/12 REVISED, UPDATED (R.B.)
9/26/12 REVISED, SITE (R.B.)

BLOCK 148
CORAL GABLES COUNTRY CLUB
SECTION PART SIX
PLAT BOOK 20, PAGE 1

BLOCK 33
CORAL GABLES COCONUT GROVE SECTION PART ONE
PLAT BOOK 14, PAGE 25



IRRIGATION LEGEND			
TORO SPRAY NOZZLES 570 W/ 6" & 12" SPRINKLER BODIES			
SYMBOL	MODEL NUMBER	AREA	GPM
○	STREAM BUBBLER	2' RAD	3.50
—	CENTER STRIP - 4' CST	4'x30'	1.20
—	HALF - 15' H	15' RAD	2.00
—	QUARTER - 15' Q	15' RAD	1.00
—	END STRIP - 4' EST	4'x15'	0.60
—	TORO SERIES S700 GEAR DRIVEN ROTARY SPRINKLER	42' RAD	2.50
—	SIDE STRIP - 4' SST	4'x30'	1.45
—	FULL - 15' F	15' RAD	4.00
—	2" WATER METER & 2" PVB BACKFLOW PREVENTER (FIELD VERIFY, BY OWNER)		
—	SERIES LOW VOLTAGE CONTROL VALVES 1 1/2" & 2" W/ DIRECT BURIAL #14 WIRE AS REQUIRED		
—	2" SCH. 40 PVC MAIN LINE AS SHOWN		
—	RAIN BIRD 6 STATION TIME CONTROLLER RAIN SWITCH READY 110/24 VOLT		
—	TORO RAIN SWITCH MODEL # 850-74		

SEE DETAIL #2 ON SPECIFICATION SHEET										
ZONE	1	2	3	4	5	6	7	8	9	10
# HEADS	20	48	27	41	-	-	-	-	-	-
G. P. M.	28.40	66.00	37.43	61.80	-	-	-	-	-	-

- NOTES:
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC.. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
 - GENERAL CONTRACTOR TO SUPPLY AND INSTALL SLEEVES AS SHOWN AND PROVIDE ELECTRICAL HOOK-UP AS REQUIRED.
 - WORK ALSO SHALL COMPLY WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) CODES AND STANDARDS; ALL WORK SHALL BE INSTALLED AND COMPLY WITH FLORIDA BUILDING CODE APPENDIX (F) PART V-A-1., INCLUDING ORDINANCES AND REGULATIONS OF ALL GOVERNING AUTHORITIES.
 - PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL BE AS FOLLOWS: PBC V-A-1.1:
PIPE SIZE (INCHES) DEPTH OF COVER (INCHES)
1/2"-2 1/2" 18"-24"
3"-5 24"-30"
6 AND LARGER 30"-36"
 - HEADS TO BE INSTALLED IN PLANTERS AND BED AREAS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION. ALL RISERS SHALL BE PAINTED FLAT BLACK IF APPROVED.

LEGAL DESCRIPTION:

Lots 1 through 6 and Lot 7 LESS the South 15 feet thereof and Lots 39 through 42 in Block 1 of REVISED PLAT CORAL GABLES INDUSTRIAL SECTION, according to the Plat thereof, as recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida, together with a portion of the 20 foot wide alley lying in said Block 1 and adjoining the East line of said Lots 39 through 42.

Less that portion of said Lot 42 conveyed to the County of Dade by deed dated October 18, 1951, and recorded in the Public Records of Miami-Dade County, Florida, described as the External area formed by a 15-foot radius arc concave to the Southeast, tangent to the North Line of said Lot 42 and tangent to the West line of said Lot 42.

This site lies in Section 20, Township 54 South, Range 41 East, City of Coral Gables, Miami-Dade County, Florida.

Lands shown hereon containing 27,664 square feet, or 0.635 acres, more or less.

LEGAL DESCRIPTION (ALLEY):

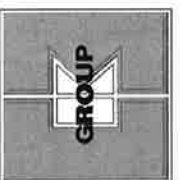
Lot 8 and the South 15 feet of Lot 7 in Block 1 of REVISED PLAT CORAL GABLES INDUSTRIAL SECTION, according to the Plat thereof, as recorded in Plat Book 28 at Page 22 of the Public Records of Miami-Dade County, Florida.

This site lies in Section 20, Township 54 South, Range 41 East, City of Coral Gables, Miami-Dade County, Florida.

Lands shown hereon containing 4,002 square feet, or 0.092 acres, more or less.



ROSAIRES BARRETT LANDSCAPE, INC.
1417 STROUD LANE
WELLINGTON, FL 33414
TEL: (561) 795-0443 FAX: (561) 793-7920
LANDSCAPE ARCHITECTURE [L26000332]
CARL B. HIGGINS RLA#0001426
EMAIL: planning@barrettlandscape.com

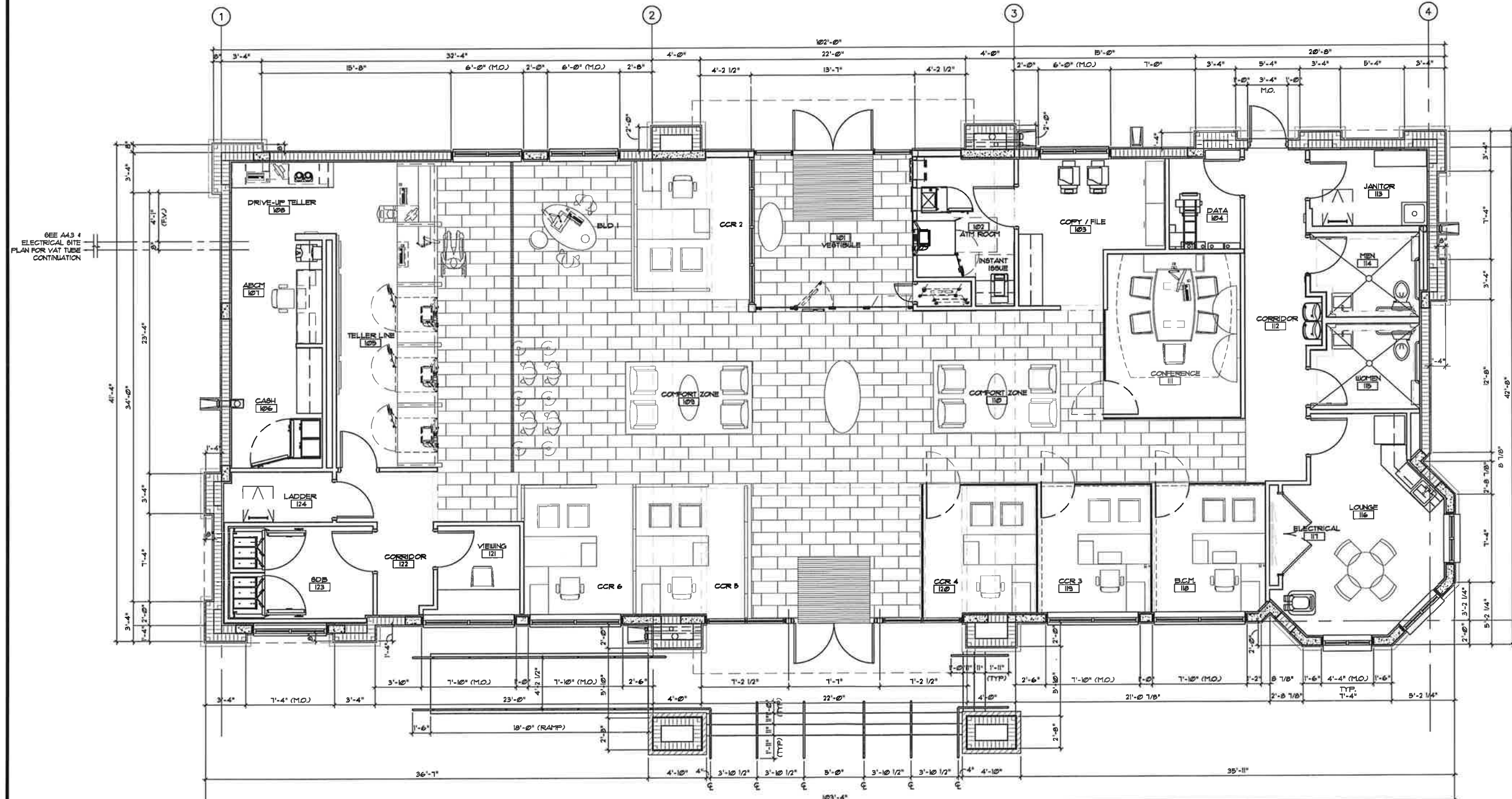


CKE GROUP
INCORPORATED
engineering • architecture • planning

CHASED
BIRD ROAD & LEJEUNE ROAD
CORAL GABLES, FLORIDA

15500 NEW BARN ROAD
SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124

Chase project no: 14503
CKE project no: 10-12-1892
scale: AS SHOWN
date: 9-09-10
drawn by: ROCK BARRETT
revisions seal



SEE A43.4
ELECTRICAL SITE
PLAN FOR VAV TUBE
CONTINUATION

SYMBOL LEGEND	
121A	DOOR SYMBOL, SEE SHEET A43.1
F	WINDOW SYMBOL, SEE SHEET A43.2
	PARTITION TYPE DESIGNATION
F.E.C.	RECESSED FIRE EXTINGUISHER CABINET
F.E.	SURFACE MOUNTED FIRE EXTINGUISHER CABINET
F.D.	FLOOR DRAIN

GENERAL PLAN NOTES:

- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.
- SEE SHEET A14 FOR PARTITION TYPES.
- REFER TO CIVIL PLAN FOR NORTH ORIENTATION.
- PROVIDE LIQUID BOOT GAS VAPOR BARRIER SYSTEM AS MANUFACTURED BY CETCO, 2810 FORBES AVENUE, HOFFMAN ESTATES, IL 60132 (714) 384-0911 (800) 571-9948 CETCO.COM

SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR UNDERSLAB GAS COLLECTION LAYOUT, AS WELL AS, VERTICAL VENTING THROUGH ROOF.

THIS DRAWING AND ANY REPRODUCTIONS ARE THE PROPERTY OF BDA ARCHITECTS. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BDA ARCHITECTS. BDA ARCHITECTS SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

JPMorgan Chase Bank
 390 Bird Road
 Coral Gables, Florida 33146

REV. BY	DATE & COMMENTS

JOB NUMBER: 10336
 DATE: 08-19-2011
 DRAWN BY: JU
 SCALE: AS NOTED
 DRAWING: FLOOR PLAN

SHEET NUMBER
A1.1

THE DRAWING AND ANY INFORMATION CONTAINED HEREIN IS THE PROPERTY OF BDA ARCHITECTS AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THIS DRAWING OR INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF BDA ARCHITECTS IS STRICTLY PROHIBITED. BDA ARCHITECTS SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION AND SECURITY OF THE DRAWING AND INFORMATION CONTAINED HEREIN. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION AND SECURITY OF THE DRAWING AND INFORMATION CONTAINED HEREIN. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION AND SECURITY OF THE DRAWING AND INFORMATION CONTAINED HEREIN.

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Coral Gables, Florida 33146

REV.	DATE & COMMENTS
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JOB NUMBER: 10336
DATE: 08-19-2011
DRAWN BY: JU
SCALE: AS NOTED
DRAWING: ROOF PLAN

SHEET NUMBER
A3.0

ROOFING AREAS SYSTEM DESCRIPTION

***ROOF AREA R-1 & R-2**
CONCRETE ROOF TILE OVER SELF-ADHERING SHEET UNDERLAYMENT ON EXTERIOR SHEATHING - SEE STRUCTURAL SHEETS

***ROOF AREA R-3 & R-4**
60 MIL REINFORCED FULLY ADHERED TPO MEMBRANE OVER 1/2" PRE-PRIMED COVERBOARD OVER (2) LAYERS FLAT 3" THICK POLYISOCYANURATE INSULATION MECHANICALLY ATTACHED TO DECKING

***ROOF AREA R-5 & R-6**
60 MIL REINFORCED FULLY ADHERED TPO MEMBRANE OVER 1/2" PRE-PRIMED COVERBOARD OVER TAPERED POLYISOCYANURATE INSULATION MECHANICALLY ATTACHED TO EXTERIOR SHEATHING AND METAL DECKING - SEE STRUCTURAL SHEETS

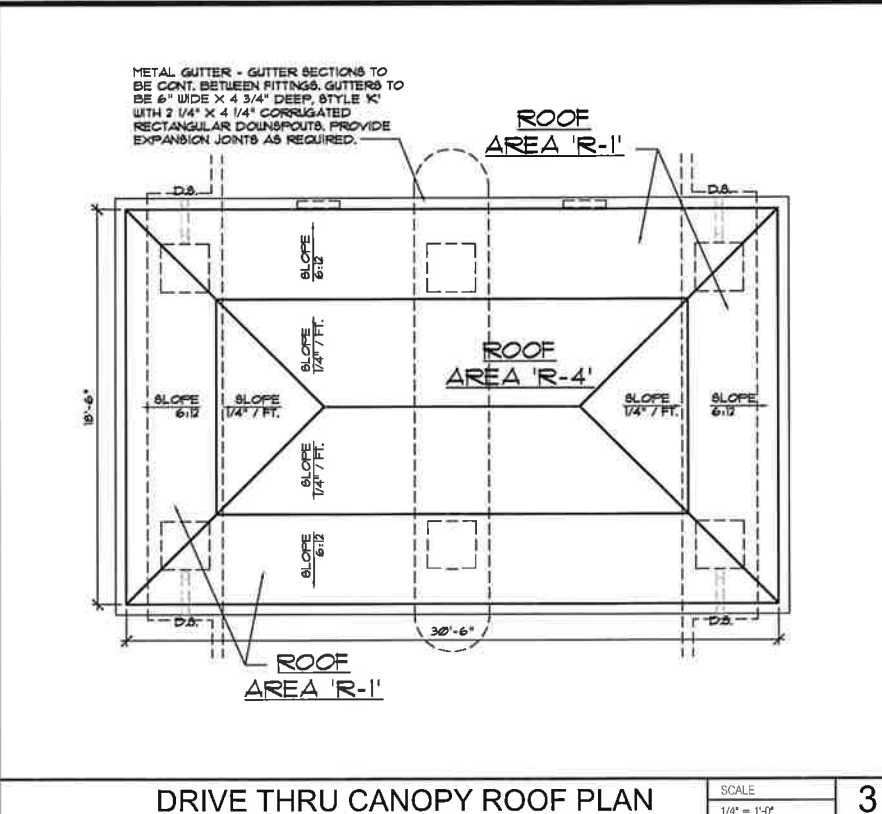
ROOF CRICKETS TO BE 1/4" PER FOOT FULLY TAPERED POLYISOCYANURATE INSULATION MECHANICALLY ATTACHED TO DECK BELOW AS PART OF ATTACHMENT OF LAYER ABOVE. 1/2" START AT DRAINS

DECKING- SEE STRUCTURAL SHEETS

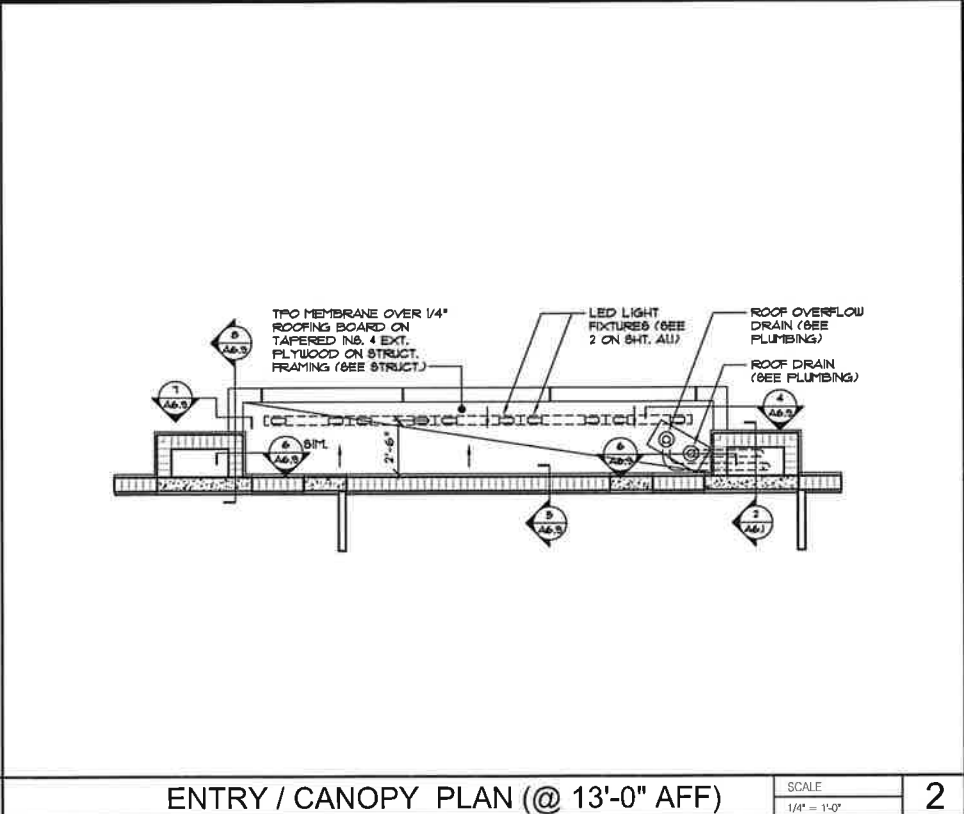
* NOTE: INSTALL ALL ROOF SYSTEMS AND RELATED COMPONENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS. PROVIDE SHOP DRAWINGS FOR APPROVAL AS REQUIRED BY SPECIFICATIONS.

ROOF MEMBRANE MECHANICALLY ATTACHED

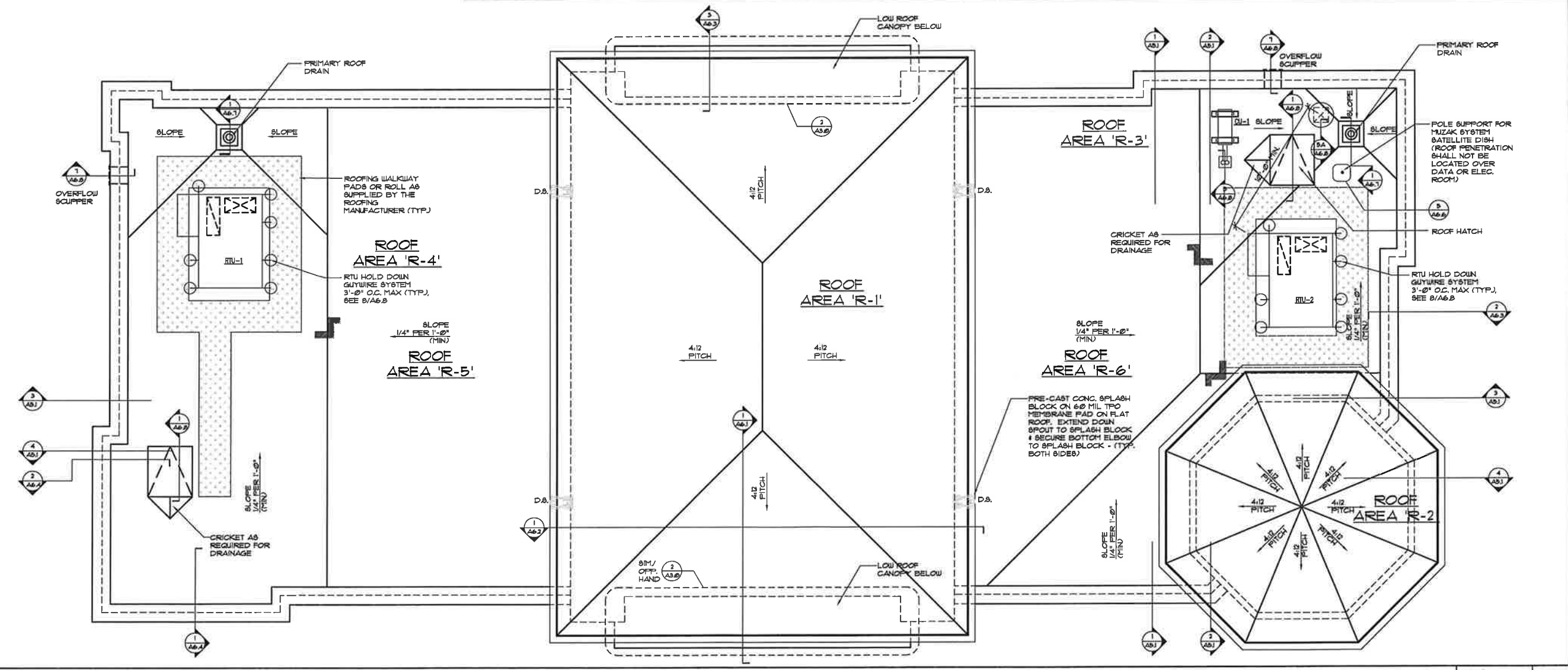
WHERE ROOF DESIGN WIND PRESSURES (SEE STRUCTURAL FOR WIND DESIGN DATA) WARRANT, MECHANICALLY ATTACH ROOF MEMBRANE PER APPLICABLE NOA, AS INDICATED ON THESE DOCUMENTS.



DRIVE THRU CANOPY ROOF PLAN SCALE 1/4" = 1'-0" 3



ENTRY / CANOPY PLAN (@ 13'-0" AFF) SCALE 1/4" = 1'-0" 2



ROOF PLAN SCALE 1/4" = 1'-0" 1

THE DRAWING AND ANY INSTRUMENTS AND ANY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF THE ARCHITECTS AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTS IS STRICTLY PROHIBITED. THE ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING OR FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DRAWING. THE ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DRAWING.

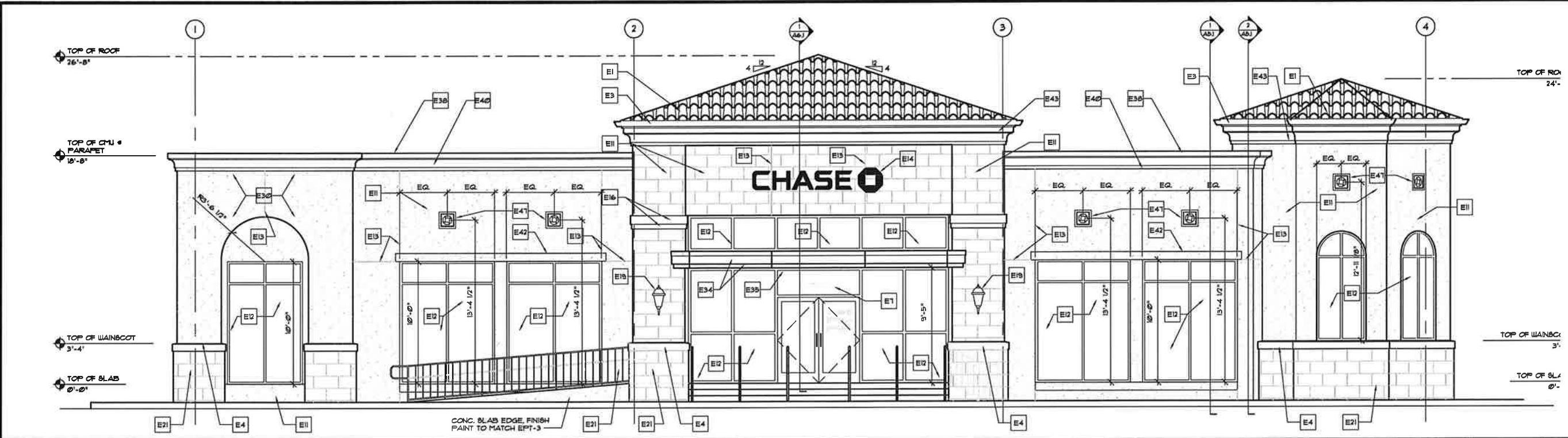
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390 Bird Road
Coral Gables, Florida 33146

REV.	BY	DATE & COMMENTS
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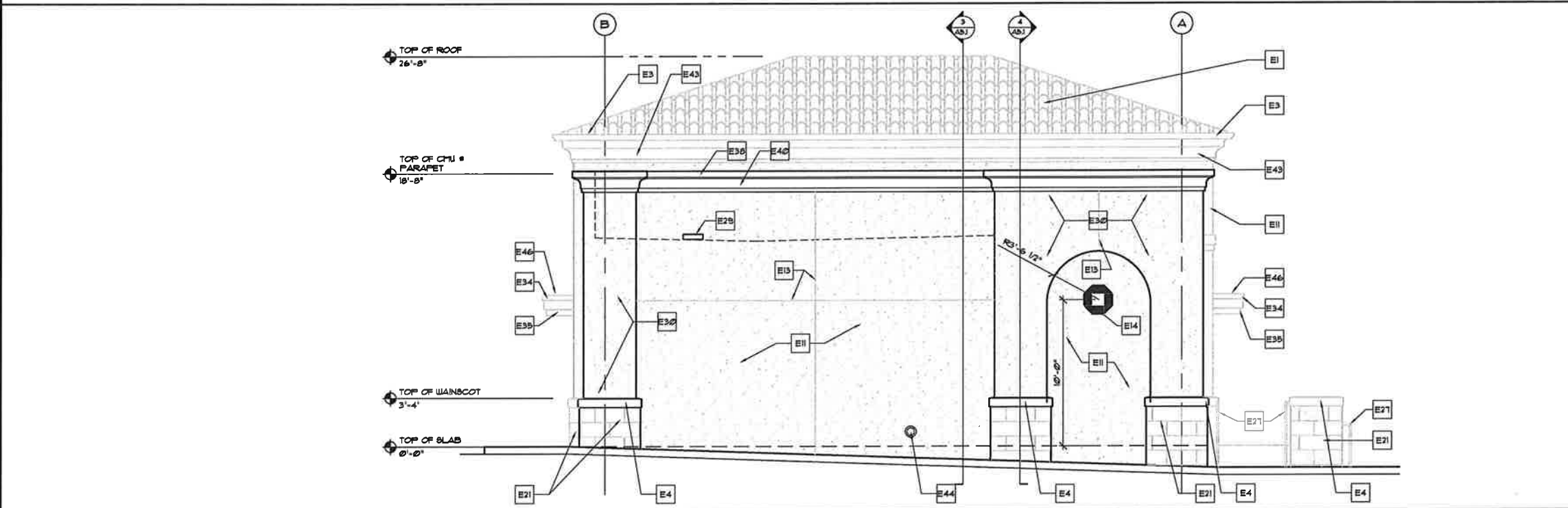
JOB NUMBER: 10336
DATE: 08-19-2011
DRAWN BY: JW
SCALE: AS NOTED
DRAWING: ELEVATIONS

SHEET NUMBER
A4.1

Architect of Record:
Gregg A. Holdsworth, AIA, LEED AP
FL Lic. # - AR0017689



BUILDING ELEVATION SCALE 1/4" = 1'-0" 4

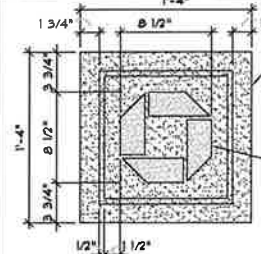


BUILDING ELEVATION SCALE 1/4" = 1'-0" 3

PAINTS

- EPT-1 EXTERIOR PAINT: EXTERIOR ALUMINUM / GALVANIZED METAL SURFACES (CORRESPONDS W/ EIFS-2)
MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: METALATEX ACRYLIC SEMI-GLOSS
PRODUCT NO.: B42 SERIES
COLOR: SW 2056 "FAIRFAX BROWN"
FINISH: SEMI-GLOSS
- EPT-2 EXTERIOR PAINT: EXTERIOR ALUMINUM / GALVANIZED METAL SURFACES (CORRESPONDS W/ EIFS-2)
MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: METALATEX ACRYLIC SEMI-GLOSS
PRODUCT NO.: B42 SERIES
COLOR: SW 2004 "RENNICK ROSE BEIGE"
FINISH: SEMI-GLOSS
- EPT-3 EXTERIOR PAINT: EXTERIOR ALUMINUM / GALVANIZED METAL SURFACES (CORRESPONDS W/ EIFS-3)
MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: METALATEX ACRYLIC SEMI-GLOSS
PRODUCT NO.: B42 SERIES
COLOR: SW 1104 "COTTON WHITE"
FINISH: SEMI-GLOSS
- EPT-4 NOT USED
- EPT-5 NOT USED
- EPT-6 NOT USED

FINISH LEGEND SCALE NOT TO SCALE 1



NOTE: CUSTOM MEDALLION MUST BE APPROVED BY ARCHITECT PRIOR TO FABRICATION.
NOTE: ANCHOR USING 3/8" BLIND PIN METHOD WITH ADHESIVE PER MANUF. PROVIDE 1/4" SEALANT ALL SIDES.

DETAIL SCALE 1 1/2" = 1'-0" 5

- | | | | | | |
|---|--|--|---|--|--|
| E1 CONCRETE ROOF TILE (MONIER 'BURNT MISSION') TYP. | E8 BANK EQUIPMENT BY BANK EQUIPMENT VENDOR | E16 GLASS FIBER REINFORCED CONCRETE PROFILE | E24 FLUSH KNOX BOX - VERIFY LOCATION | E32 NOT USED | E40 PARAPET CORNICE DETAIL - EPT-2 |
| E2 CUSTOM CAST STONE WINDOW SILL BY ROCKCAST, COLOR TO BE 'BONE' GP-B WITH 8M00TH (8M) TEXTURE | E9 BOLLARD BY G.C. SEE DETAILS SHT. A8.3 | E17 SIGN- ELEC. POWER REQ'D | E25 THRU-WALL OVERFLOW SCUPPER (SEE DTL. 1/A6.8) | E33 PROVIDE WEATHER TIGHT PULL BOX AT CONDUIT STUB OPENING IN ISLAND. | E41 8" HIGH x 1" PROJECTION RAISED STUCCO HEADER - EPT-2 |
| E3 PREFINISHED METAL GUTTERS, 6" W. x 4 3/4" DEEP, 'K'-STYLE W/ 4" W. x 2 1/4" DEEP CORRUGATED RECTANGULAR DOWNSPOUTS. GUTTER, D8, 4 FASCIA COLOR TO BE EPT-1 | E10 CONCRETE CURB & ISLANDS | E18 SIGN- NO ELEC. POWER REQ'D | E26 NOT USED | E34 ACM (ALUMINUM COMPOSITE MATERIAL) PANELS W/ DRY SEAL JOINTS OVER ALUMINUM TUBE AND METAL FRAMING - ALPOLIC 'BRONZE' FINISH | E42 CROWN MOULDING BELOW PITCHED ROOF SOFFITS - EPT-1 |
| E4 CUSTOM STONE WATERTABLE, COLOR AND FINISH TO MATCH FIELD TILE | E11 3/8" THK. STUCCO OVER CMU - COLOR TO BE EPT-3 | E19 EXTERIOR LIGHT FIXTURE, SEE ELEC. DWGS. | E27 1 1/2" DIA. PRE-FIN. ALUM. RAIL (MATCH EPT-1), CORE DRILL & EPOXY GROUT INTO CONC. MIN. 8" DEPTH & MIN. 2" CONC. COVERAGE | E35 ACM (ALUMINUM COMPOSITE MATERIAL) PANELS W/ DRY SEAL JOINTS OVER ALUMINUM TUBE AND METAL FRAMING - ALPOLIC 'CIVIL BLUE' FINISH | E43 MAIN STORM DRAIN NOZZLE, SEE PLUMBING DRAWINGS |
| E5 FLASHING TO CONNECT CANOPY TO BUILDING. SEE SHEET 3/A6.3 | E12 BRONZE COLORED ALUM. IMPACT-RESISTANT STOREFRONT SYSTEM W/ INS. IMPACT-RESISTANT GLAZING | E20 PAINT SOFFIT EPT-1 | E28 CARD READER - REFER TO SECURITY DRAWINGS FOR ADD'L INFO. | E36 UPPER FASCIA PANEL PAINTED TO MATCH EPT-1 | E44 SECONDARY STORM DRAIN OVERFLOW NOZZLE, SEE PLUMBING DRAWINGS |
| E6 METAL DOOR & FRAME, BRONZE TO MATCH STOREFRONT | E13 STUCCO CONTROL JOINT | E21 MAR-MOL 12"x24" TRAVERTINE TILE COLOR: BEIGE W/ BRUSHED FACE, CHISELED EDGE FINISH | E29 RELIEF SCUPPER (PRE-FINISHED OR PAINTED TO MATCH EPT-3) | E37 OFF-RIDGE ROOF VENTS W/ INSECT SCREEN. SEE SPECIFICATIONS | E45 LED LIGHT FIXTURES (SEE ELEC. DWGS. & SHEETS A3.8 & A6.9 FOR MOUNTING) |
| E7 6" TALL WITH 1/2" THICK STROKE VINYL ADDRESS NUMBER (WHITE) | E14 SIGN BY SIGN PROVIDER, ELECTRICAL POWER & FINAL CONNECTION BY G.C. | E22 GLASS FIBER REINFORCED CONCRETE COLUMN CAPITAL | E30 3-COAT STUCCO OVER CMU (COLOR TO BE EPT-3) | E38 ALUM. COPING, PRE-FINISHED TO MATCH ADJACENT EIFS | E46 CASTSTONE MEDALLION W/ CHASE LOGO. SEE DETAIL 5 / A4.1 |

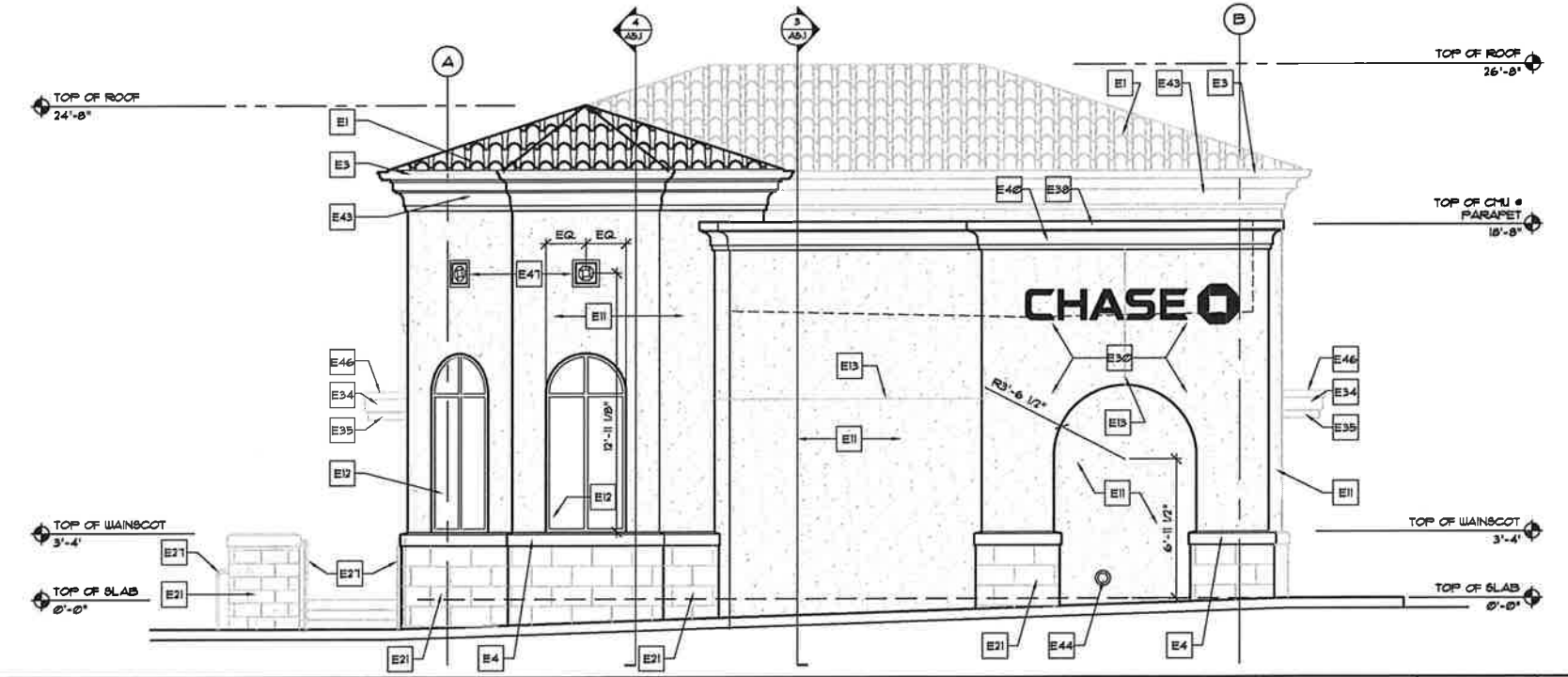
EXTERIOR ELEVATION SPECIFIC NOTES SCALE (NOT TO SCALE) 2

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BUILDING ELEVATION SCALE 1/4" = 1'-0" 3



BUILDING ELEVATION SCALE 1/4" = 1'-0" 2

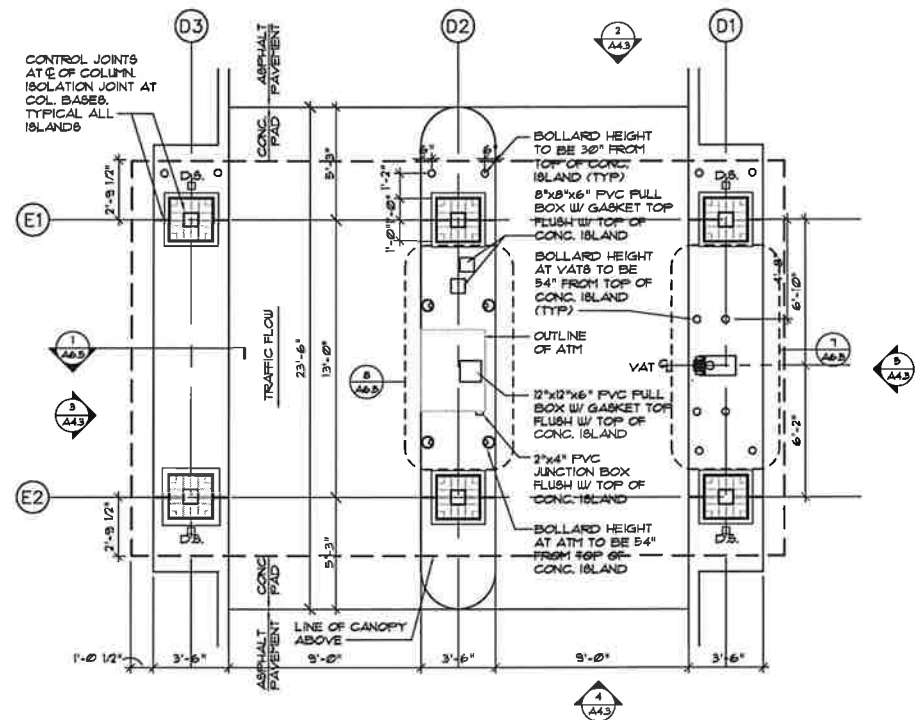
- | | | | | | |
|---|---|---|--|--|--|
| <p>E1 CONCRETE ROOF TILE (MONIER 'BURNT MISSION') TYP.</p> <p>E2 CUSTOM CAST STONE WINDOW SILL BY ROCKCAST, COLOR TO BE 'BONE' GP-B WITH SMOOTH (SM) TEXTURE</p> <p>E3 PREFINISHED METAL GUTTERS, 6" W x 4 3/4" DEEP, K-STYLE W/ 4" W x 2 1/4" DEEP CORRUGATED RECTANGULAR DOWNSPOUTS, GUTTER DS, & FASCIA COLOR TO BE EPT-1.</p> <p>E4 CUSTOM STONE WATERTABLE, COLOR AND FINISH TO MATCH FIELD TILE</p> <p>E5 FLASHINGS TO CONNECT CANOPY TO BUILDING. SEE SHEET 5/A6.5</p> <p>E6 METAL DOOR & FRAME, BRONZE TO MATCH STOREFRONT</p> <p>E7 6" TALL WITH 1/2" THICK STROKE VINYL ADDRESS NUMBER (WHITE)</p> | <p>E8 BANK EQUIPMENT BY BANK EQUIPMENT VENDOR</p> <p>E9 BOLLARD BY G.C. SEE DETAILS 8/HT, A0.3</p> <p>E10 CONCRETE CURBS & ISLANDS</p> <p>E11 5/8" THK STUCCO OVER CMU - COLOR TO BE EPT -3
BRONZE COLORED ALUM.
IMPACT-RESISTANT STOREFRONT SYSTEM W/ INS. IMPACT-RESISTANT GLAZING</p> <p>E12 STUCCO CONTROL JOINT</p> <p>E13 SIGN BY SIGN PROVIDER ELECTRICAL POWER & FINAL CONNECTION BY G.C.</p> <p>E14 BRONZE COLOR ALUM. IMPACT-RESISTANT CURTAINWALL SYSTEM W/ INS. IMPACT-RESISTANT GLAZING</p> | <p>E16 GLASS FIBER REINFORCED CONCRETE PROFILE</p> <p>E17 SIGN- ELEC. POWER REQ'D</p> <p>E18 SIGN- NO ELEC. POWER REQ'D</p> <p>E19 EXTERIOR LIGHT FIXTURE, SEE ELEC. DWGS.</p> <p>E20 PAINT BOFFIT EPT-1</p> <p>E21 MARMOL 12"x24" TRAVERTINE TILE COLOR: BEIGE W/ BRUSHED FACE, CHISELED EDGE FINISH</p> <p>E22 GLASS FIBER REINFORCED CONCRETE COLUMN CAPITAL</p> <p>E23 NOT USED</p> | <p>E24 FLUSH KNOX BOX - VERIFY LOCATION</p> <p>E25 THRU-WALL OVERFLOW SCUPPER (SEE DTL. 1/A6.5)</p> <p>E26 NOT USED</p> <p>E27 1 1/2" DIA. PRE-FIN. ALUM. RAIL (MATCH EPT-1), CORE DRILL & EPOXY GROUT INTO CONC. MIN. 8" DEPTH & MIN. 2" CONC. COVERAGE</p> <p>E28 CARD READER - REFER TO SECURITY DRAWINGS FOR ADD'L INFO.</p> <p>E29 RELIEF SCUPPER (PRE-FINISHED OR PAINTED TO MATCH EPT-3)</p> <p>E30 3-COAT STUCCO OVER CMU (COLOR TO BE EPT -3)</p> <p>E31 NOT USED</p> | <p>E32 NOT USED</p> <p>E33 PROVIDE WEATHER TIGHT FULL BOX AT CONDUIT STUB OPENINGS IN ISLAND.</p> <p>E34 ACM (ALUMINUM COMPOSITE MATERIAL) PANELS W/ DRY SEAL JOINTS OVER ALUMINUM TUBE AND METAL FRAMING - ALPOLIC 'BRONZE' FINISH</p> <p>E35 ACM (ALUMINUM COMPOSITE MATERIAL) PANELS W/ DRY SEAL JOINTS OVER ALUMINUM TUBE AND METAL FRAMING - ALPOLIC 'CYS BLUE' FINISH</p> <p>E36 UPPER FASCIA PANEL PAINTED TO MATCH EPT - 1</p> <p>E37 OFF-RIDGE ROOF VENTS W/ INSECT SCREEN. SEE SPECIFICATIONS</p> <p>E38 ALUM. COPING, PRE-FINISHED TO MATCH ADJACENT EPS</p> | <p>E40 PARAPET CORNICE DETAIL - EPT-2</p> <p>E41 PHOTOCELL. SEE ELEC. DRAWINGS FOR ADDITIONAL INFORMATION</p> <p>E42 8" HIGH x 1" PROJECTION RAISED STUCCO HEADER - EPT-2</p> <p>E43 CROWN MOULDING BELOW PITCHED ROOF BOFFITS - EPT-1</p> <p>E44 MAIN STORM DRAIN NOZZLE, SEE PLUMBING DRAWINGS</p> <p>E45 SECONDARY STORM DRAIN OVERFLOW NOZZLE, SEE PLUMBING DRAWINGS</p> <p>E46 LED LIGHT FIXTURES (SEE ELEC. DWGS. & SHEETS A3.0 & A6.3 FOR MOUNTING)</p> <p>E47 CASTSTONE MEDALLION W/ CHASE LOGO. SEE DETAIL 5 / A4.1</p> |
|---|---|---|--|--|--|

EXTERIOR ELEVATION SPECIFIC NOTES SCALE (NOT TO SCALE) 1

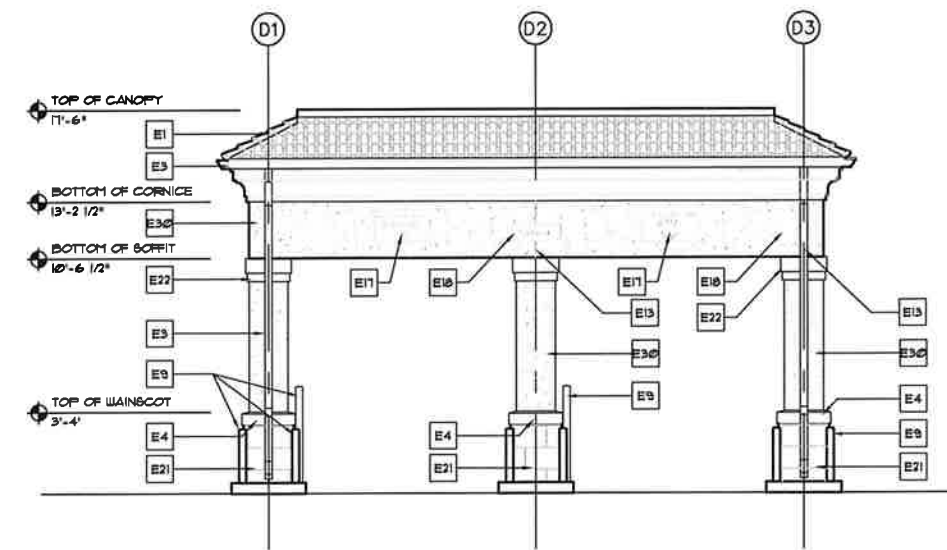
REV. BY	DATE & COMMENTS

JOB NUMBER: 10336
DATE: 06-18-2011
DRAWN BY: JW
SCALE: AS NOTED
DRAWING: ELEVATIONS

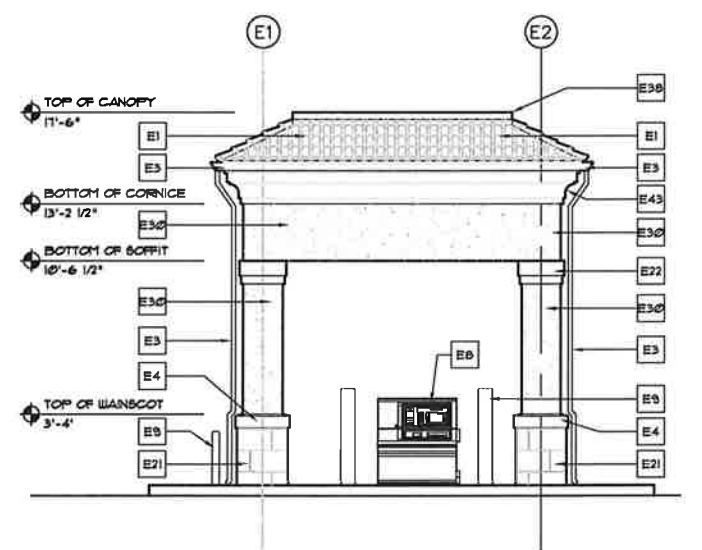
SHEET NUMBER
A4.2



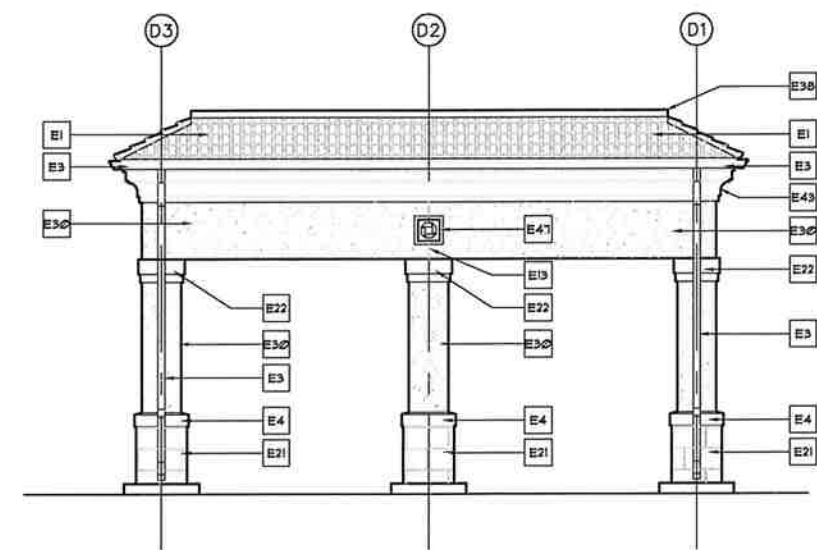
DRIVE-THRU FLOOR PLAN SCALE 1/4" = 1'-0" 1



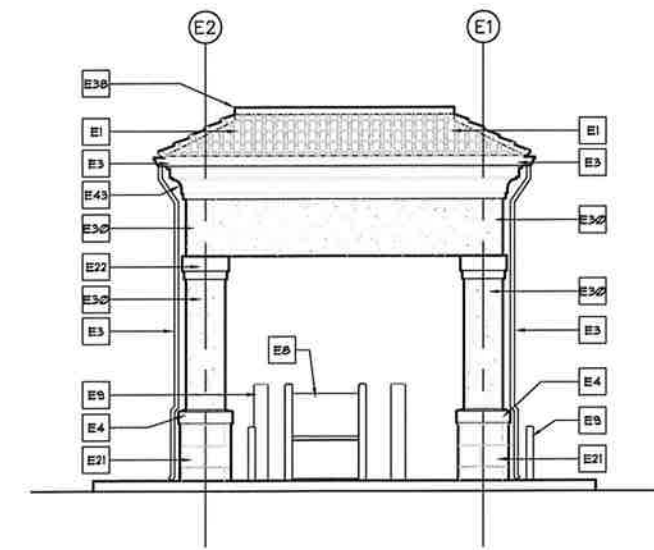
DRIVE-THRU FRONT ELEVATION SCALE 1/8" = 1'-0" 2



DRIVE-THRU SIDE ELEVATION SCALE 1/8" = 1'-0" 3



DRIVE-THRU REAR ELEVATION SCALE 1/8" = 1'-0" 4



DRIVE-THRU SIDE ELEVATION SCALE 1/8" = 1'-0" 5

- E1 CONCRETE ROOF TILE (MONIER 'BURNT MIRROR') TYP.
- E2 CUSTOM CAST STONE WINDOW SILL BY ROCKCAST, COLOR TO BE 'STONE' GP-B WITH SMOOTH (SM) TEXTURE
- E3 PREFINISHED METAL GUTTERS, 6" W. x 4 3/4" DEEP, 'K-STYLE' W/ 4" W. x 2 1/4" DEEP CORRUGATED RECTANGULAR DOWNSPOUTS, GUTTER, D8, 4 FASCIA COLOR TO BE EPT-1.
- E4 CUSTOM STONE WATERTABLE, COLOR AND FINISH TO MATCH FIELD TILE
- E5 FLASHING TO CONNECT CANOPY TO BUILDING. SEE SHEET 5/A6.3
- E6 METAL DOOR & FRAME, BRONZE TO MATCH STOREFRONT
- E7 6" TALL WITH 1/2" THICK STROKE VINYL ADDRESS NUMBER (WHITE)

- E8 BANK EQUIPMENT BY BANK EQUIPMENT VENDOR
- E9 BOLLARD BY G.C. SEE DETAILS 6HT, A8.3
- E10 CONCRETE CURB & ISLANDS
- E11 5/8" THK STUCCO OVER CMU - COLOR TO BE EPT - 3
- E12 BRONZE COLORED ALUM. IMPACT-RESISTANT STOREFRONT SYSTEM W/ INS. IMPACT-RESISTANT GLAZING
- E13 STUCCO CONTROL JOINT
- E14 SIGN BY SIGN PROVIDER ELECTRICAL POWER & FINAL CONNECTION BY G.C.
- E15 BRONZE COLOR ALUM. IMPACT-RESISTANT CURTAINWALL SYSTEM W/ INS. IMPACT-RESISTANT GLAZING

- E16 GLASS FIBER REINFORCED CONCRETE PROFILE
- E17 SIGN - ELEC. POWER REQ'D
- E18 SIGN - NO ELEC. POWER REQ'D
- E19 EXTERIOR LIGHT FIXTURE, SEE ELEC. DWGS.
- E20 PAINT SOFFIT EPT-1
- E21 MARMOL 12"X24" TRAVERTINE TILE COLOR: BEIGE W/ BRUSHED FACE, CHISELED EDGE FINISH
- E22 GLASS FIBER REINFORCED CONCRETE COLUMN CAPITAL
- E23 NOT USED

- E24 FLUSH KNOX BOX - VERIFY LOCATION
- E25 THRU-WALL OVERFLOW SCUPPER (SEE DTL. 1/A6.2)
- E26 NOT USED
- E27 1 1/2" DIA. PRE-FIN. ALUM. RAIL (MATCH EPT-1), CORE DRILL & EPOXY GROUT INTO CONC. MIN. 8" DEPTH & MIN. 2" CONC. COVERAGE
- E28 CARD READER - REFER TO SECURITY DRAWINGS FOR ADD'L INFO.
- E29 RELIEF SCUPPER (PRE-FINISHED OR PAINTED TO MATCH EPT-3)
- E30 3-COAT STUCCO OVER CMU (COLOR TO BE EPT - 3)
- E31 NOT USED

- E32 NOT USED
- E33 PROVIDE WEATHER TIGHT PULL BOX AT CONDUIT & BUS OPENING IN ISLAND.
- E34 ACM (ALUMINUM COMPOSITE MATERIAL) PANELS W/ DRY SEAL JOINTS OVER ALUMINUM TUBE AND METAL FRAMING - ALPOLIC 'BRONZE' FINISH
- E35 ACM (ALUMINUM COMPOSITE MATERIAL) PANELS W/ DRY SEAL JOINTS OVER ALUMINUM TUBE AND METAL FRAMING - ALPOLIC 'OVB BLUE' FINISH
- E36 UPPER FASCIA PANEL PAINTED TO MATCH EPT - 1
- E37 OFF-RIDGE ROOF VENTS W/ INSECT SCREEN. SEE SPECIFICATIONS
- E38 ALUM. COPING, PRE-FINISHED TO MATCH ADJACENT EIFS

- E40 PARAPET CORNICE DETAIL - EPT-2
- E41 PHOTOCELL. SEE ELEC. DRAWINGS FOR ADDITIONAL INFORMATION
- E42 8" HIGH x 1" PROJECTION RAISED STUCCO HEADER - EPT-2
- E43 CROWN MOULDING BELOW PITCHED ROOF SOFFITS - EPT-1
- E44 MAIN STORM DRAIN NOZZLE, SEE PLUMBING DRAWINGS
- E45 SECONDARY STORM DRAIN OVERFLOW NOZZLE, SEE PLUMBING DRAWINGS
- E46 LED LIGHT FIXTURES (SEE ELEC. DWGS. & SHEETS A3.2 & A6.3 FOR MOUNTING)
- E47 CASTSTONE MEDALLION W/ CHASE LOGO. SEE DETAIL 5 / A4.1

EXTERIOR ELEVATION SPECIFIC NOTES SCALE (NOT TO SCALE) 6

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 Coral Gables, Florida 33146

REV. BY	DATE & COMMENTS

JOB NUMBER: 10336
 DATE: 08-19-2011
 DRAWN BY: JU
 SCALE: AS NOTED
 DRAWING: ELEVATIONS

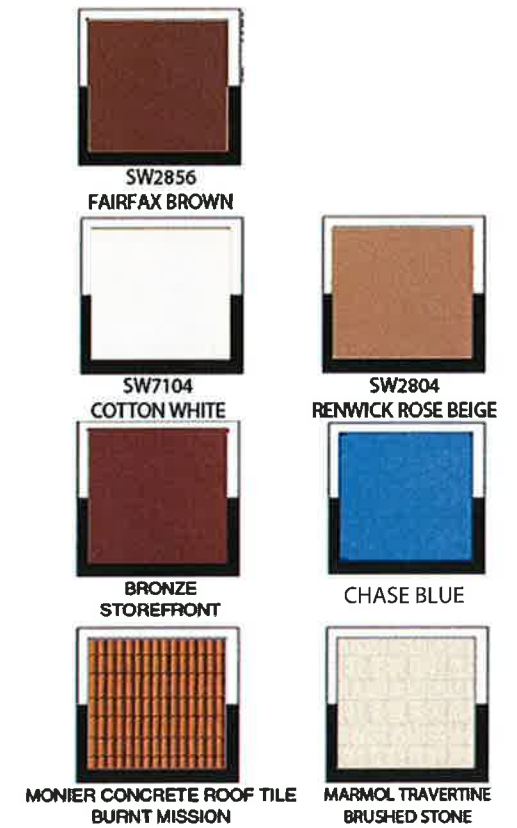
SHEET NUMBER
A4.3



NORTH ELEVATION



WEST ELEVATION



CHASE BANK
 BIRD ROAD AND LEJEUNE ROAD
 CORAL GABLES, FLORIDA 33146



THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.



SOUTH ELEVATION



EAST ELEVATION

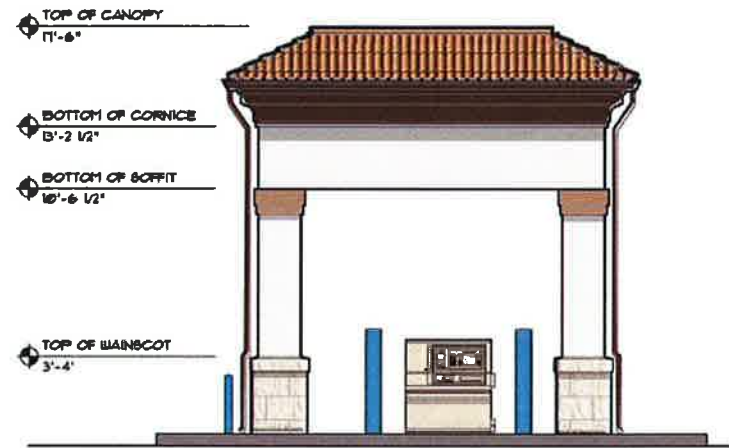
	
SW2856 FAIRFAX BROWN	SW2804 RENWICK ROSE BEIGE
	
SW7104 COTTON WHITE	CHASE BLUE
	
BRONZE STOREFRONT	MARMOL TRAVERTINE BRUSHED STONE
	
MONIER CONCRETE ROOF TILE BURNT MISSION	



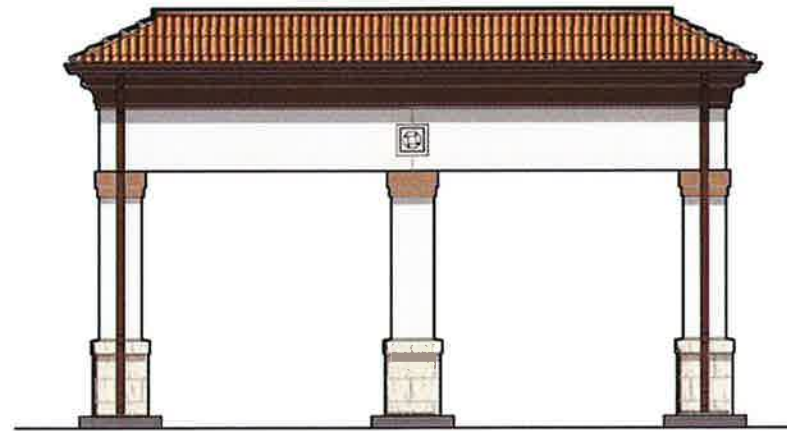
CHASE BANK
 BIRD ROAD AND LEJEUNE ROAD
 CORAL GABLES, FLORIDA 33146



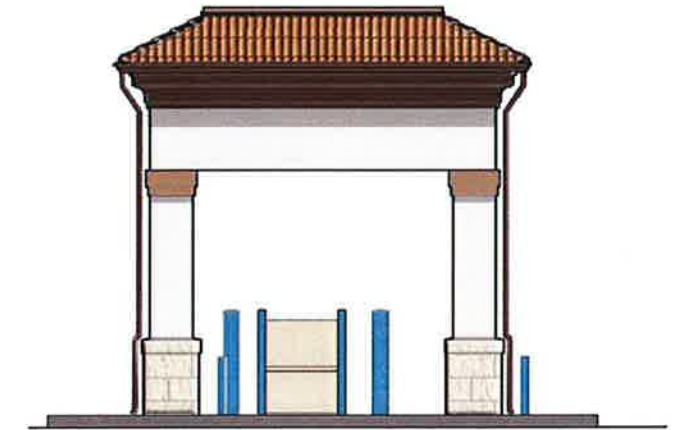
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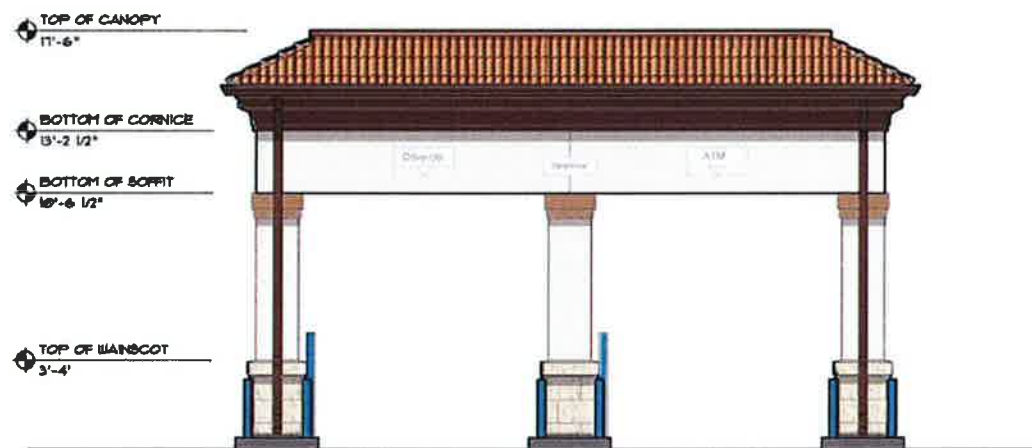
DRIVE - THRU
SOUTH ELEVATION



DRIVE - THRU
EAST ELEVATION



DRIVE - THRU
NORTH ELEVATION



DRIVE - THRU
WEST ELEVATION



CHASE BANK
BIRD ROAD AND LEJEUNE ROAD
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